



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT E**

**REDUCED COPIES OF PLANS**

**VEHICLE DEPARTMENT NOTES**

- PROVIDE AND INDICATE ON SITE PLAN FIRE DEPARTMENT ACCESS OR VEHICULAR TURN-AROUND IN ACCORDANCE WITH SPECIFICATIONS BELOW.
- PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 10 FEET ACCESS TO WITHIN 50 FEET OF ALL PORTION OF THE EXTERIOR WALLS. (SEE CODE 902.2)
- THE REQUIRED FIRE FLOW FOR BUILDING FIRE PROTECTION AT THIS LOCATION IS 1,500 GALLONS PER MINUTE AT 2.5 PSI FOR A DURATION OF 1 HOUR, OVER AND ABOVE MINIMUM DAILY DOMESTIC DEMAND.
- ALL HYDRANT-WALL MEASURE 6" X 4.2 INCH BRASS OR BRONZE CONDUITS TO CURRENT IAWA STANDARD CODES OR APPROVED EQUAL HYDRANTS SHALL BE INSTALLED PER SPECIFICATION SECTION 4.0 TO 4.6.
- VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION. ON SITE PLAN SHOW ALL EXISTING FIRE HYDRANT (IN WITHIN 500' / 100 FEET OF ALL PROPERTY LINES REQUIREMENTS MAY BE MADE AFTER THIS INFORMATION IS SUPPLIED.
- COMPLETE AND RETURN WATER AVAILABILITY FORM 19 / 196.
- DATE PLAN INDICATE OCCUPANCY, TYPE OF CONSTRUCTION AND PROVIDE THE CENTER LINE DISTANCE FROM NEAREST CROSS STREET.
- PROVIDE A CLEARANCE PER RESISTIVE AREA / OCCUPANCY SEPARATION BETWEEN THE THE EXISTING CODE TITLE 24 OR TITLE 24 TABLE 2-4.
- FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS TO CORRELATE WITH TITLE 24, TABLE 2-4, 1004.1.
- NOTES AND HEIGHT OF REQUIRED BOLT CONNECTIONS TO CORRELATE WITH TITLE 24, 1004.1.
- BRASS ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND READABLE FROM STREET FRONTING THE PROPERTY. BRASS NUMBERS SHALL CORRELATE WITH THEIR ENCLOSING FIRE CODES 901.4.1.
- CORRELATE WITH TITLE 24, 1004.1 REASONING FIRE ALARMS SYSTEMS. BRASS DETECTORS TO BE INSTALLED WITH A BATTERY BACKUP.
- CORRELATE WITH TITLE 24, 1004.1 REASONING ACCESS.

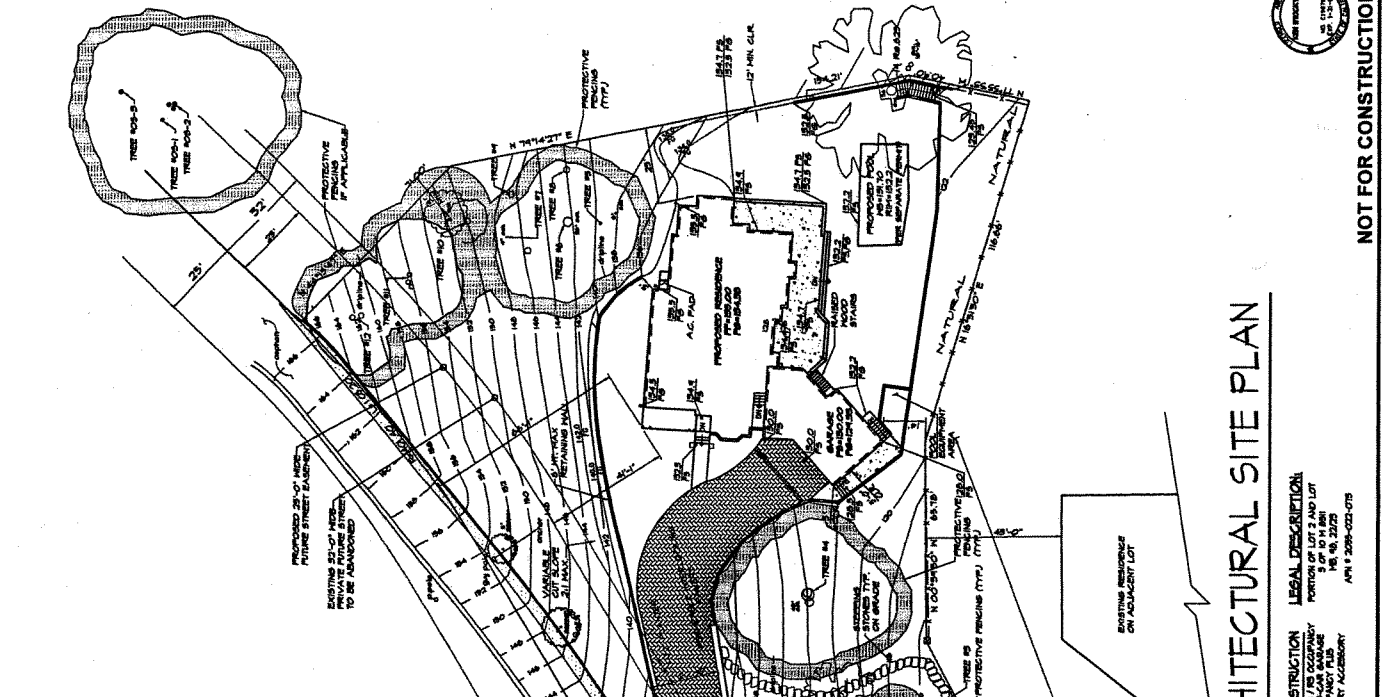
**LOT COVERAGE**

PERMIT DATA	PROPOSED
LOT SIZE	1.38 ACRES (59,000 SQ. FT.)
BUILDING HEIGHT	35'-0" FT.
# FIRST FLOOR	200' SQ. FT.
# SECOND FLOOR	2,000' SQ. FT.
TOTAL FLOOR AREA	2,200' SQ. FT.
# ATTACHED GARAGE	04' SQ. FT.
# SEPARATE GARAGE	500' SQ. FT.
# COVERED PATIO	2,200' SQ. FT.
TOTAL STRUCTURES	2,200' SQ. FT.

**BUILDING LOT COVERAGE**

RESIDENCE 1 ATTACHED GARAGE	175' SQ. FT. (1.5%)
COVERED PATIO	133' SQ. FT. (1.1%)
HARDSCAPE	144' SQ. FT. (1.2%)
SWIMMING POOL	144' SQ. FT. (1.2%)
POOL DECK / A.C. PAVES	143' SQ. FT. (1.2%)

- POST 'NO PARKING - FIRE LANE' SIGNS ALONG VEHICULAR ACCESS ROUTE. FIRE CODE 901.2.
- ALL ROOF COVERINGS SHALL BE CLASS 'A', AS SPECIFIED IN TITLE 24, BOAL, HOOD SHAWLS AND HOOD SHAVE ROOFS ARE INSTALLED REQUIREMENTS OF CLASSIFICATION UNDER IBCS STANDARD 5-2, BUILDING CODE 902.2.
- THE ROOFS SHALL BE FIRE STOPPED AT WALL ENDS TO PRECLUDE ENTRY OF FLAME OR GASES UNDER THE TILT BUILDING CODE 902.3.
- WALLS FORMING THE ENCLOSURE OF A BUILDING SHALL BE OF ONE HOUR FIRE RESISTIVE CONSTRUCTION ON THE EXTERIOR SIDES AS APPROVED BY THE BUILDING OFFICIAL. BUILDING CODE 902.5.
- EXTERIOR WINDOWS, GLASS AND GLASS BLOCKS, SKYLIGHTS AND EXTERIOR DOORS SHALL INCLUDE MULTI-LAYERED PANELS. BUILDING CODE 902.6.
- OPENINGS INTO ATTIC FLOORS, OR OTHER ENCLOSED AREAS SHALL NOT EXCEED 144 SQUARE INCHES PER AREA. BUILDING CODE 902.7.
- DOORS SHALL BE COMBUSTION RESISTANT PER WITHIN WITHIN OPENINGS OF 14 INCH BUILDING CODE 902.8.
- PROVIDE BARRIERS IN CORNERS USED WITH FREESTANDING OR PATIO COVERS WHICH ARE ATTACHED TO OR WITHIN EXISTING 20'-0" HIGH PRIVATE DRIVE STRUCTURE TO BE MAINTAINED TO BE MAINTAINED.
- DOORS SHALL BE COMBUSTION RESISTANT PER WITHIN WITHIN OPENINGS OF 14 INCH BUILDING CODE 902.8.
- WALLS AND PARTS OF ENCLOSED AREAS SHALL BE MAINTAINED PER FIRE CODE 902.3.
- HALLS AND SORTERS OF ENCLOSED AREAS SHALL BE MAINTAINED PER FIRE CODE 902.3.
- HYDRANTS SHALL BE INSTALLED IN 2 COATS OF RED PAPER AND ONE COAT OF TRAFFIC SIGNAL YELLOW FOR VEHICLE. HYDRANTS AND TO COAT OF RED FOR ON SITE HYDRANTS. IN THE EXCEPTION OF THE STEPS 1 THROUGH 3.



**ARCHITECTURAL SITE PLAN**

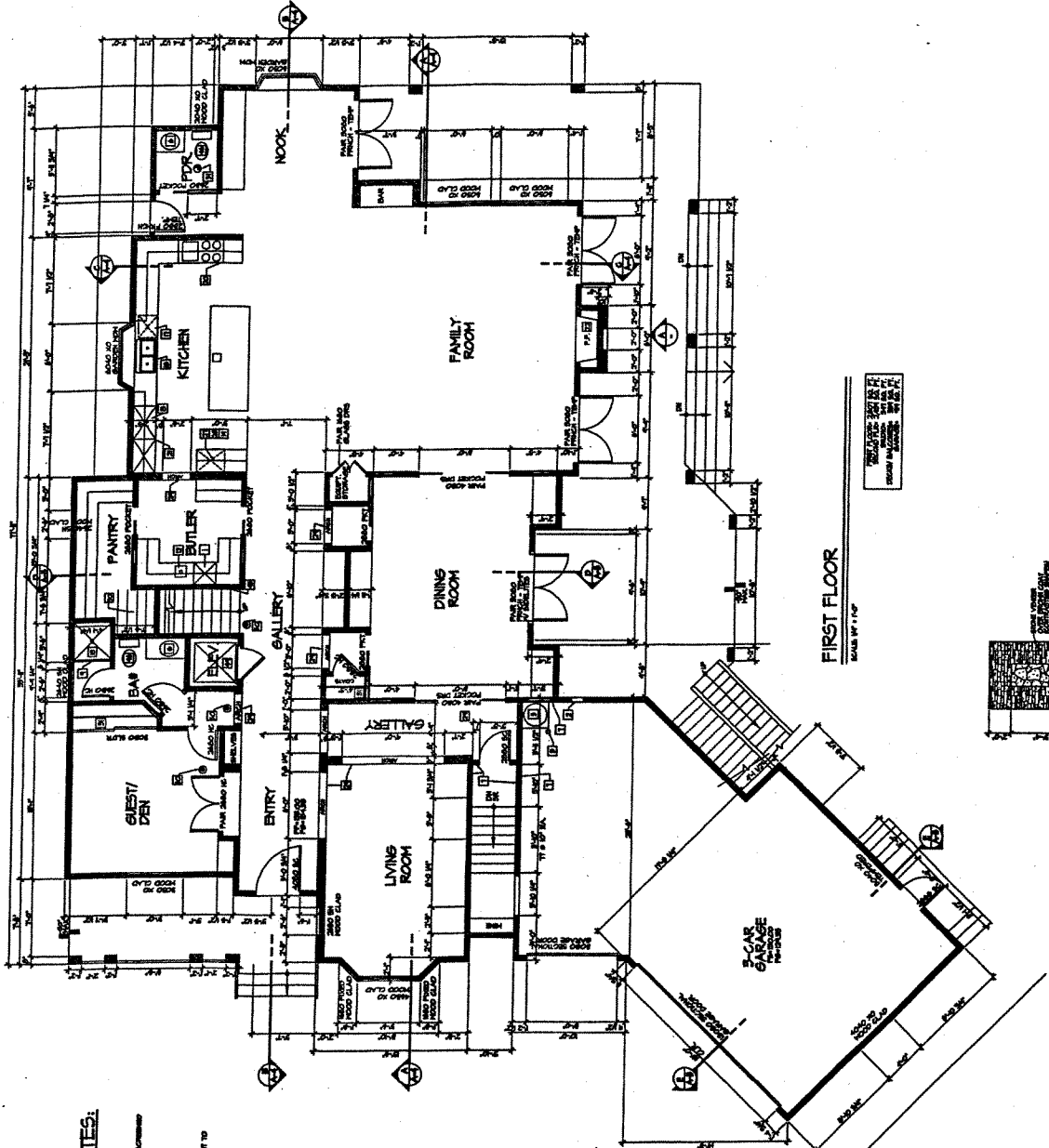
SCALE: 1/4" = 1'-0"  
 TYPE OF CONSTRUCTION: PERMITTED BY THE CITY OF SAN JOSE WITH AN ATTACHED 2-CAR GARAGE. TYPE: V-1 (1-COMMERCIAL) PLD. 18-08-3725  
 LEGAL DESCRIPTION: 1/4 ACRES (10,890 SQ. FT.)  
 APN: 5209-002-078

**NOT FOR CONSTRUCTION**

**KEN STOCKTON / BRUCE SHINDELUS**  
ARCHITECTS  
3800 K. AGUIAR ROAD, STE 44, CAJON VALLEY, CA 92009  
(951) 942-4443 FAX (951) 942-4443

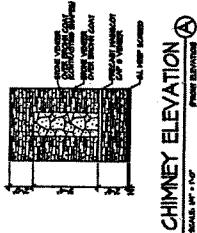
**EDWARDS RESIDENCE**  
SINGLE FAMILY CUSTOM HOME  
LAJOLLA HILLS, CA 92037

PROJECT NAME  
DRAWN BY  
DATE  
REVISIONS



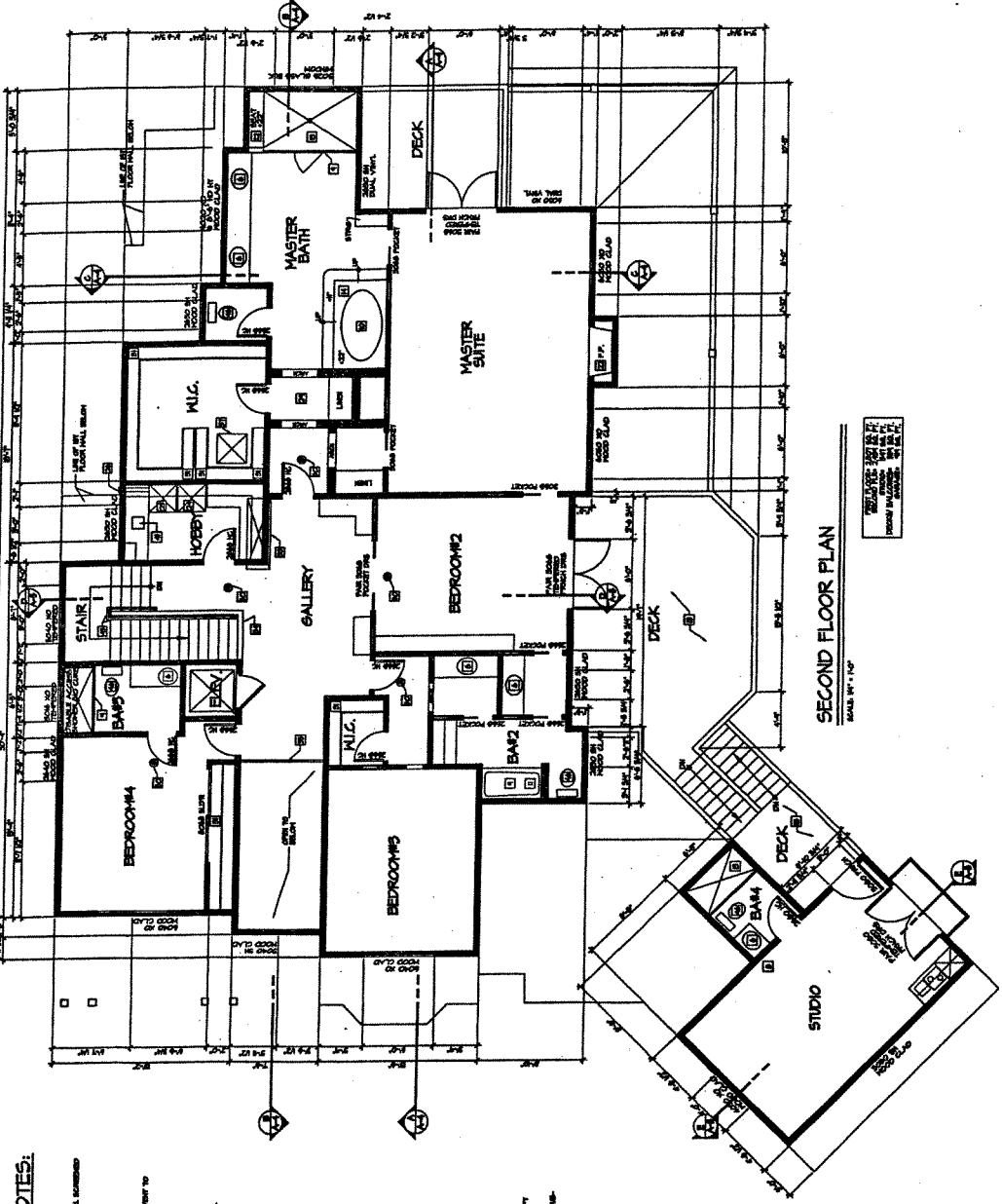
**FLOOR PLAN KEYNOTES:**

- 1) BY CONSTRUCTION DOCUMENTS
- 2) COMBINATION AIR VENT FOR WATER HEATER, AS SHOWN
- 3) ALL WALLS TO BE 1/2" GYP. BOARD ON 2" X 4" STUDS
- 4) ALL WALLS TO BE FINISHED WITH CONCRETE
- 5) SEE JAMES TITUS
- 6) SEE ON BY MECHANICAL SHOP TO HALL, VENT TO OUTSIDE AND FROM BATH HALL
- 7) LAUNDRY SINK & PANTRY
- 8) SEE TYPE "C" ON THE WALL AND STAIRS
- 9) ALL WALLS TO BE FINISHED WITH CONCRETE AT ALL
- 10) ALL WALLS TO BE FINISHED WITH CONCRETE
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- 100) ALL WALLS TO BE FINISHED WITH CONCRETE



**CHIMNEY ELEVATION**  
SCALE 1/4" = 1'-0"

**FIRST FLOOR**  
SCALE 1/4" = 1'-0"



A-4

**KEN STOCKTON /  
BRUCE SHINDELUS**  
ARCHITECTS  
3800 N. AURORA ROAD, STE 104, CALIFORNIA, CA 90008  
(818) 248-4400 FAX: (818) 248-4405

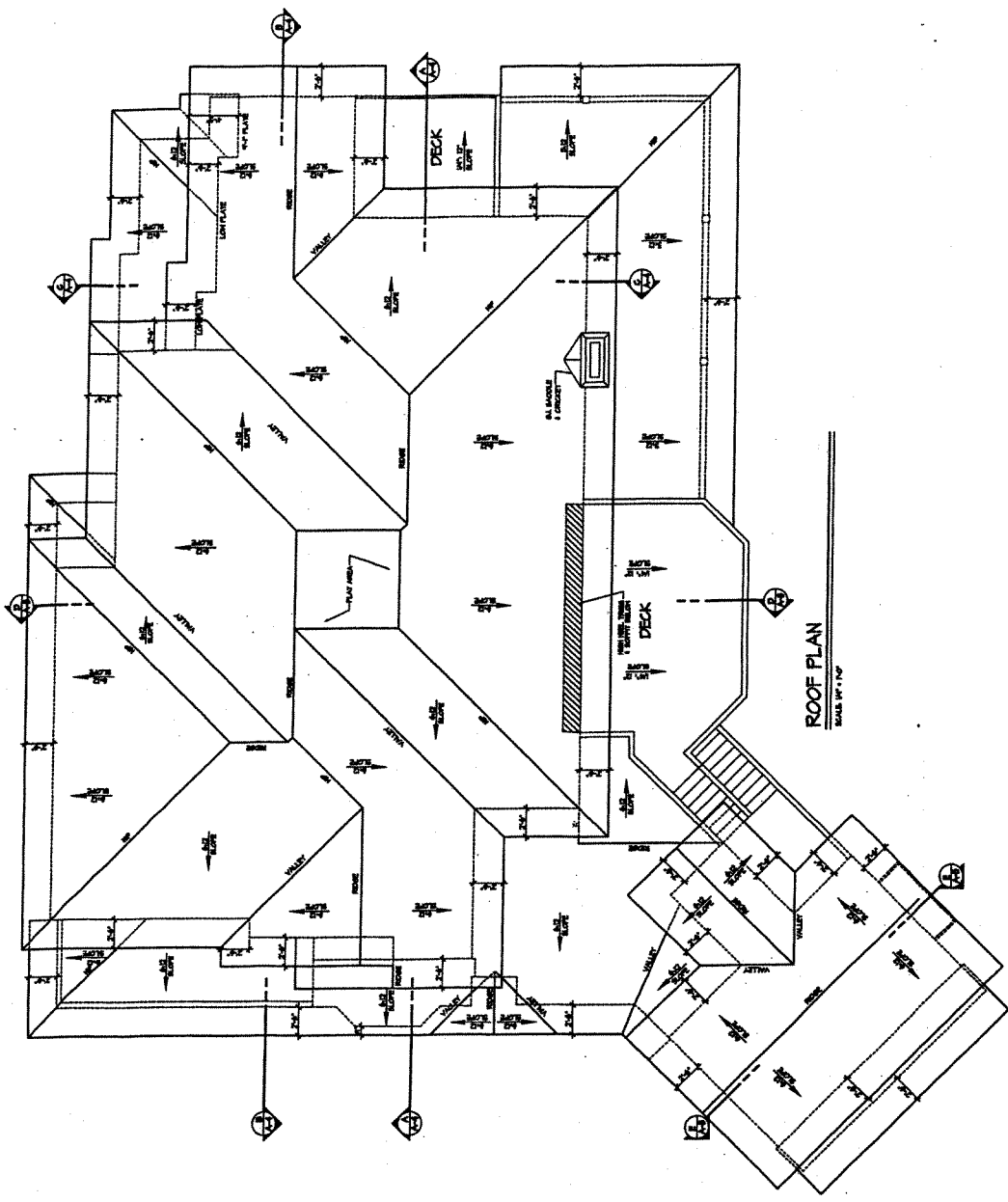
PROJECT:	ROOF PLAN
DATE:	02/27/01
DRAWN BY:	R. S.
REVISIONS:	

PROJECT NAME:  
**EDWARDS RESIDENCE**  
SINGLE FAMILY CUSTOM HOME  
LAFORTE & BLACKING DR  
AGOURA HILLS, CA 91001

DEVELOPER:



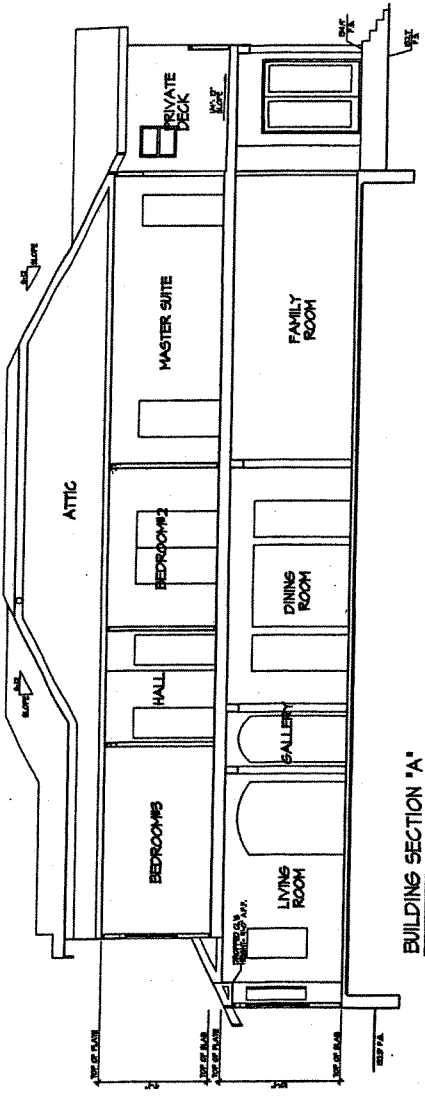
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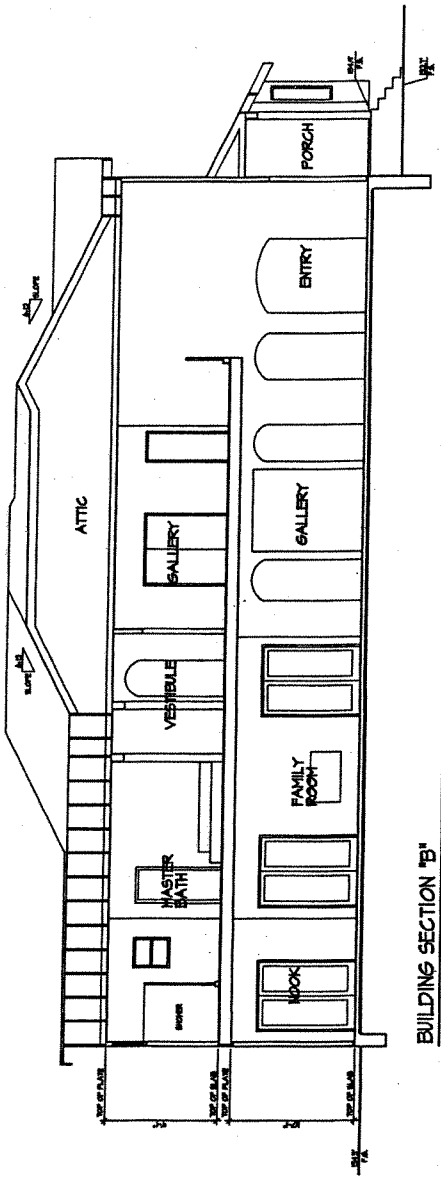


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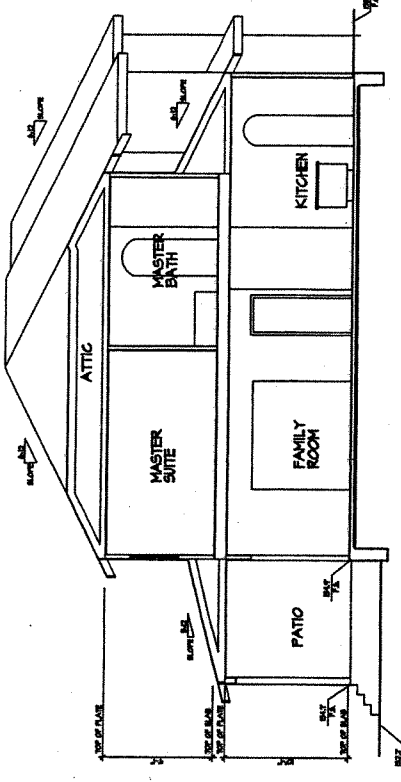
BUILDING SECTION "A"  
SCALE: 1/4" = 1'-0"



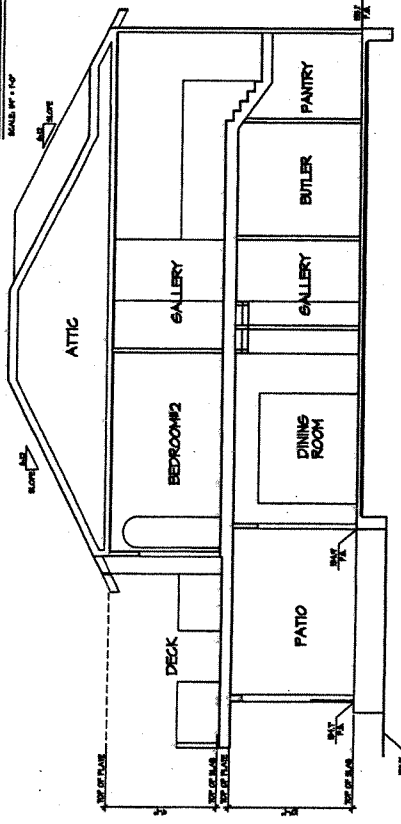
BUILDING SECTION "B"  
SCALE: 1/4" = 1'-0"



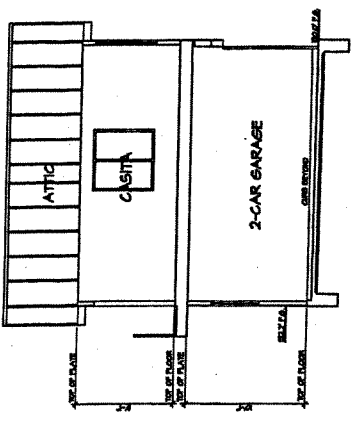
BUILDING SECTION "C"  
SCALE: 1/4" = 1'-0"



BUILDING SECTION "D"  
SCALE: 1/4" = 1'-0"

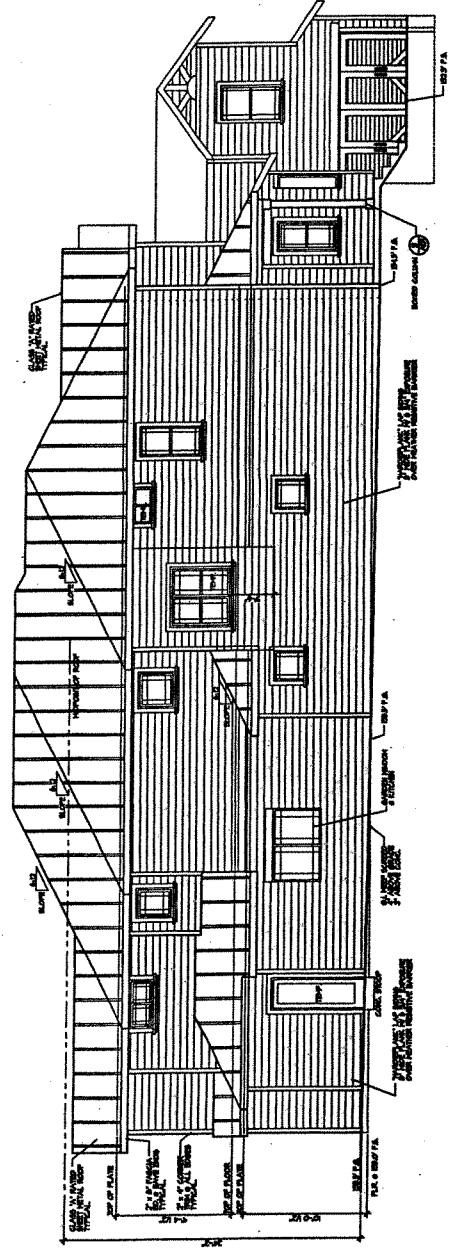
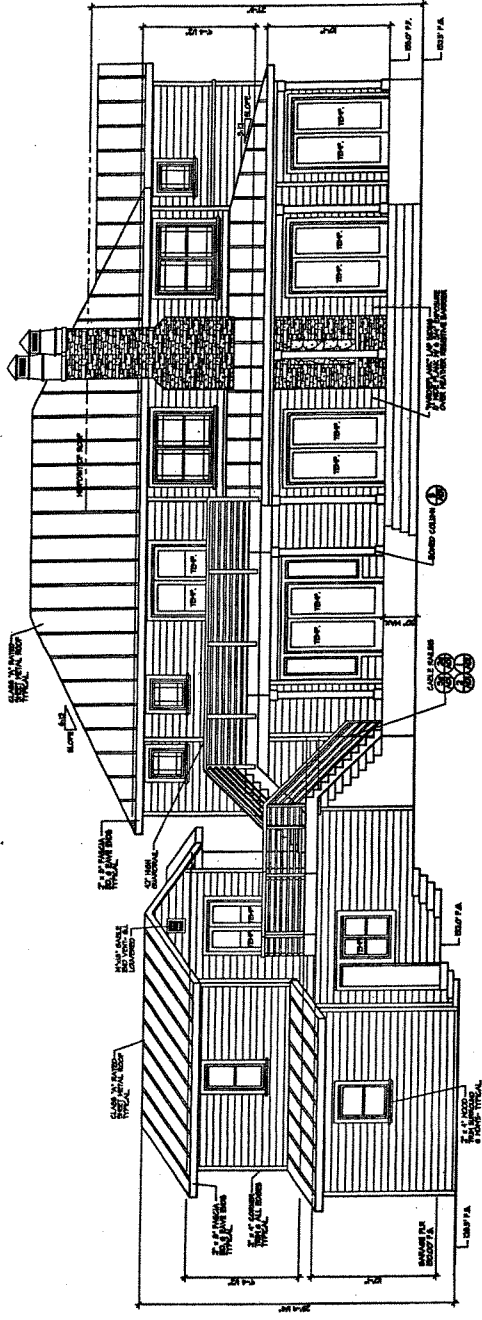


BUILDING SECTION "E"  
SCALE: 1/4" = 1'-0"





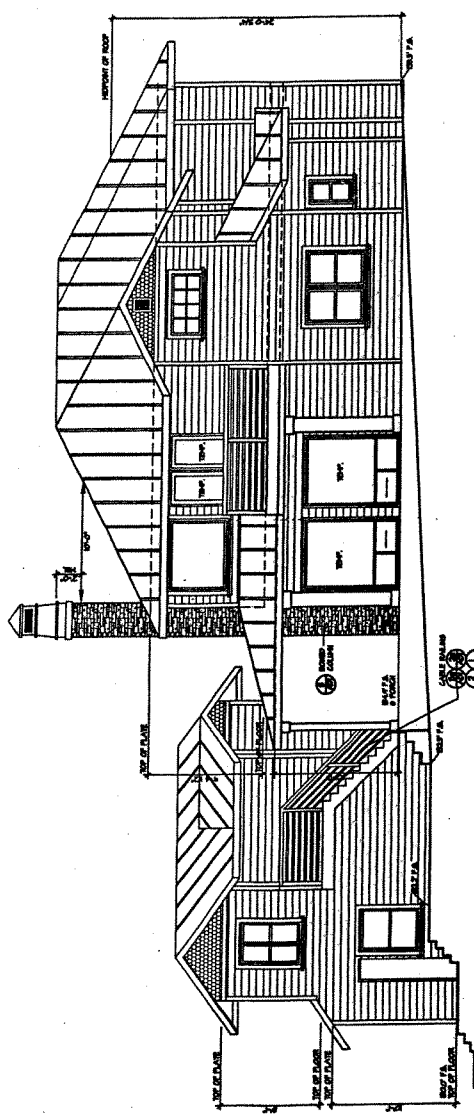
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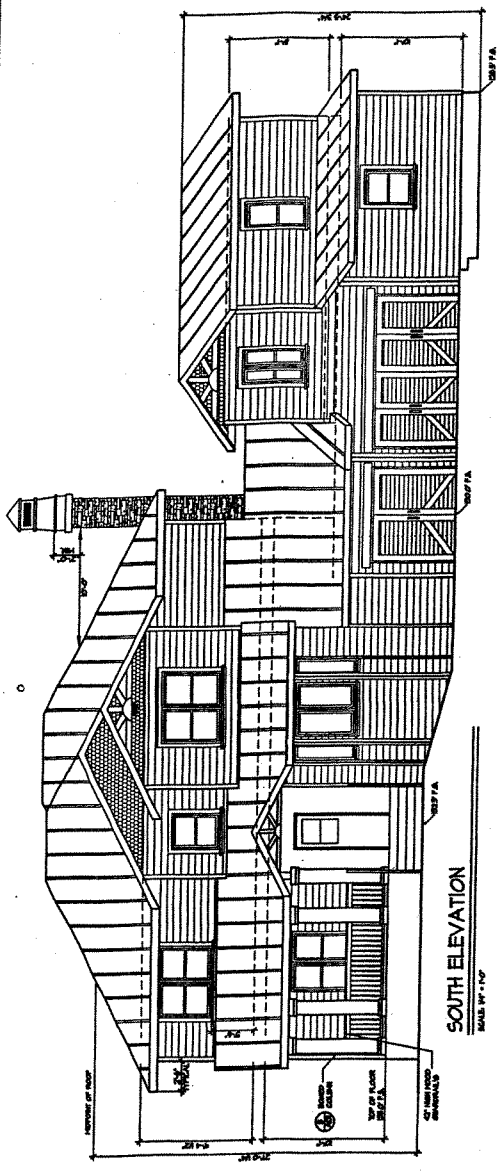
FINISHES:  
BRICK: BRICK  
SIDING: SIDING  
WOOD: WOOD



NOT FOR CONSTRUCTION



NORTH ELEVATION  
SCALE 1/4" = 1'-0"



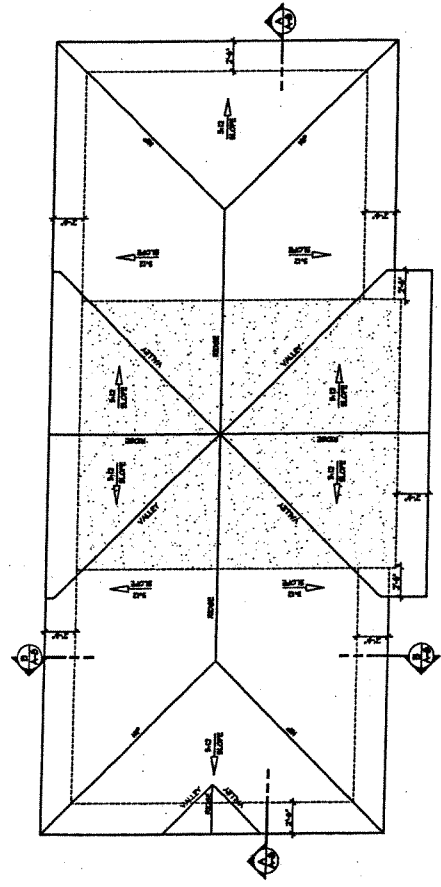
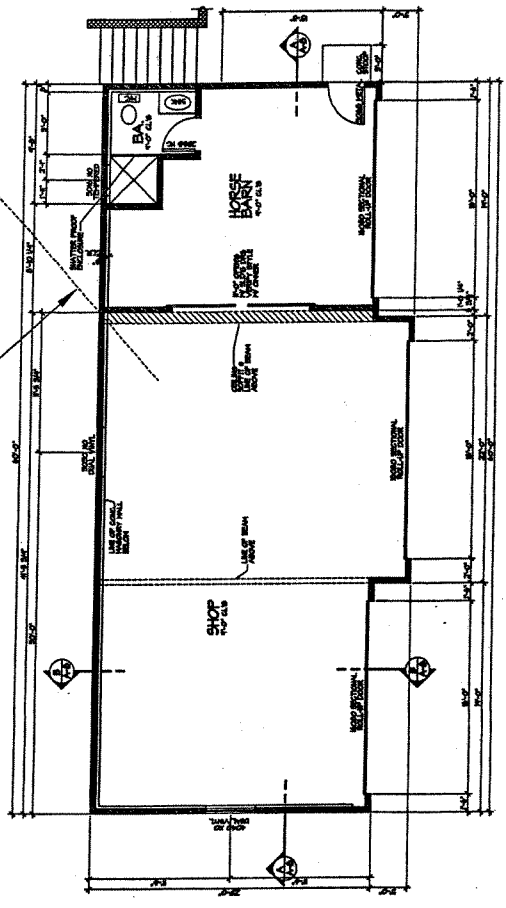
SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



BARN FLOOR PLAN & SECTION	
DATE:	02/20/07
BY:	R.C.S.
CHECKED:	
REVISIONS:	



**NOT FOR CONSTRUCTION**

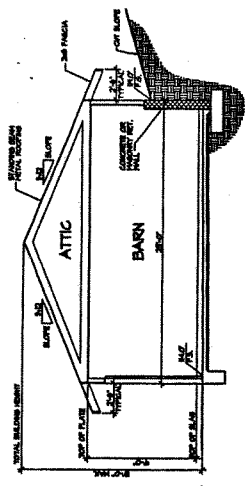
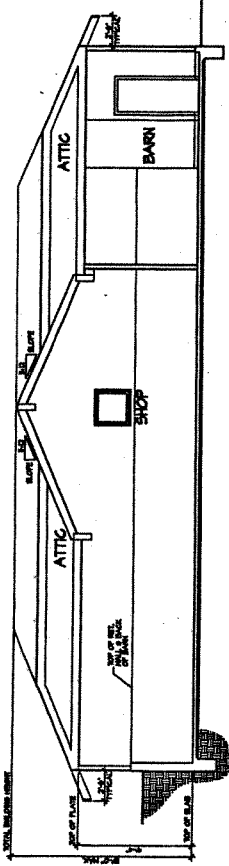


**ROOF PLAN NOTES**

1. CHECK ATTIC AREA NET VOLUME & VENTILATION CALCULATION
2. ALL ROOF SHALL RECEIVE CLASS "IV" MINERAL FIBER INSULATION
3. ALL ROOF SHALL RECEIVE CLASS "IV" MINERAL FIBER INSULATION TO ADHERE TO AIR QUALITY REGULATIONS
4. ALL ROOF SHALL RECEIVE CLASS "IV" MINERAL FIBER INSULATION TO ADHERE TO AIR QUALITY REGULATIONS
5. ALL ROOF SHALL RECEIVE CLASS "IV" MINERAL FIBER INSULATION TO ADHERE TO AIR QUALITY REGULATIONS
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9. ALL ROOF SHALL RECEIVE CLASS "IV" MINERAL FIBER INSULATION TO ADHERE TO AIR QUALITY REGULATIONS

**ATTIC VENTILATION**

ATTIC VENTILATION SHALL BE PROVIDED BY MEANS OF ROOF VENTILATORS AS SHOWN ON THESE PLANS. THE VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE VENTILATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.





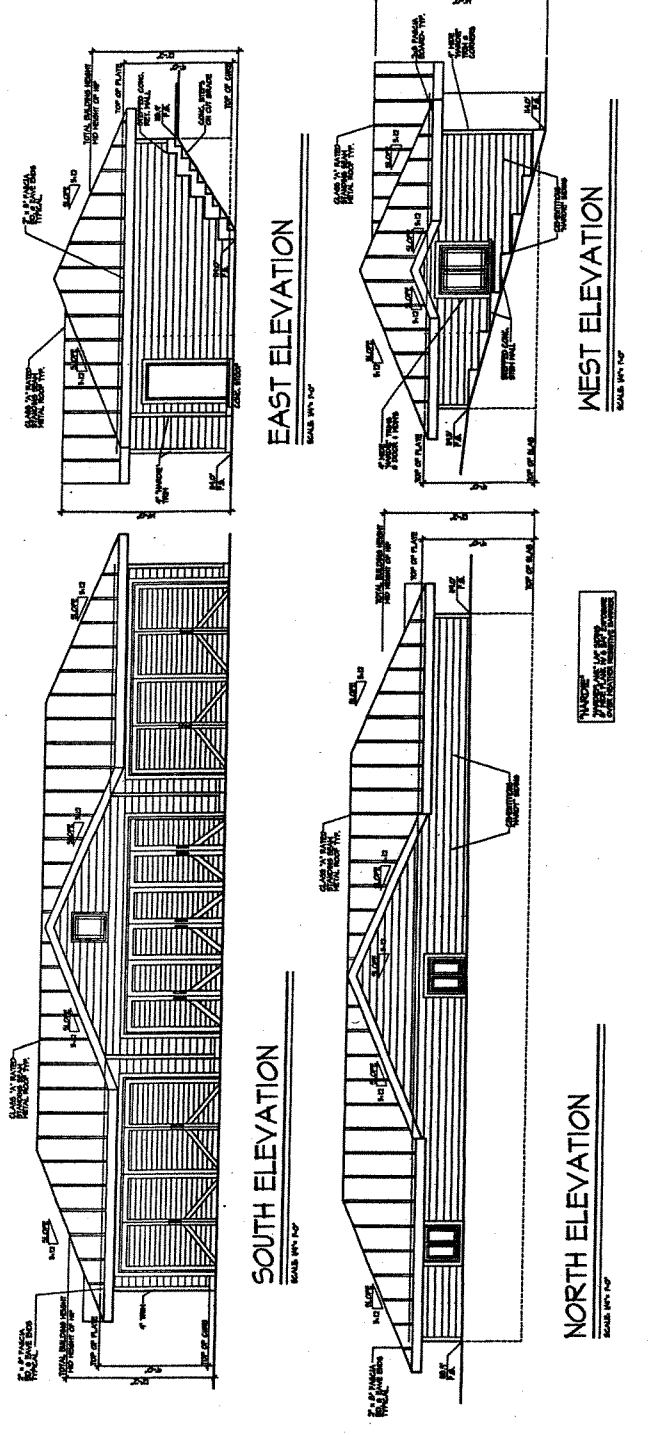
NOT FOR CONSTRUCTION

A-3

PROJECT NO. \_\_\_\_\_  
 DATE: 08/10/05  
 DRAWN BY: R.E.S.  
 CHECKED BY: \_\_\_\_\_  
**KEN STOCKTON /**  
**BRUCE SHINDELLUS**  
**ARCHITECTS**  
 2800 N. AGORA ROAD, SUITE 204, CALABAZAS, CA 94508  
 (925) 252-4400 FAX: (925) 252-4405

PROJECT NAME: **EDWARDS RESIDENCE**  
 SINGLE FAMILY CUSTOM HOME  
 LAFORTH & BLAKINS DR.  
 ASORA HILLS, CA 91301

SAME EXTERIOR ELEVATIONS



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NOT FOR CONSTRUCTION

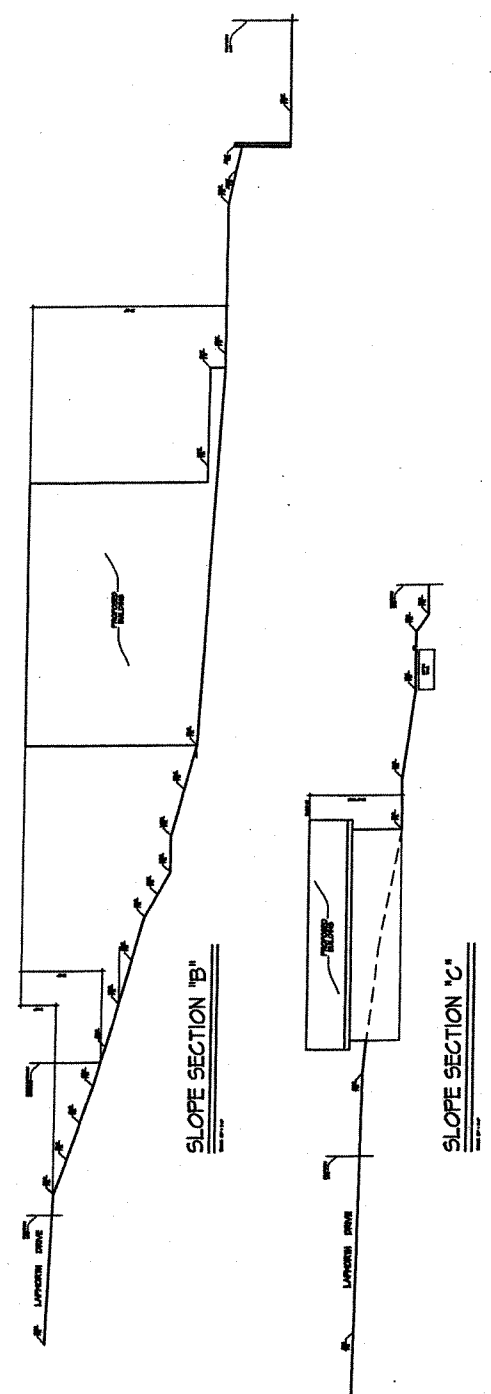
A-10



KEN STOCKTON /  
BRUCE SHINDELUS  
ARCHITECTS  
3800 N. AGOURA ROAD, SUITE 200, CALIFORNIA, CA 91304  
(818) 888-1449 FAX: (818) 888-1404

PROJECT NAME	ARCHITECTURAL SITE PLAN
DATE	02/25/05
DRAWN BY	R. C. S.
REVISIONS	
PLAN CHK.	
PERMIT	

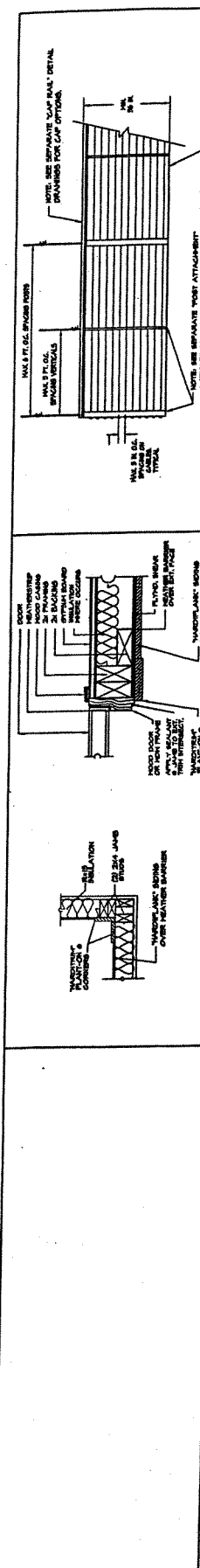
PROJECT NAME  
EDWARDS RESIDENCE  
SINGLE FAMILY CUSTOM HOME  
CORNER OF LAYPOETH & BARKINS  
OLD AGOURA, CA 91301



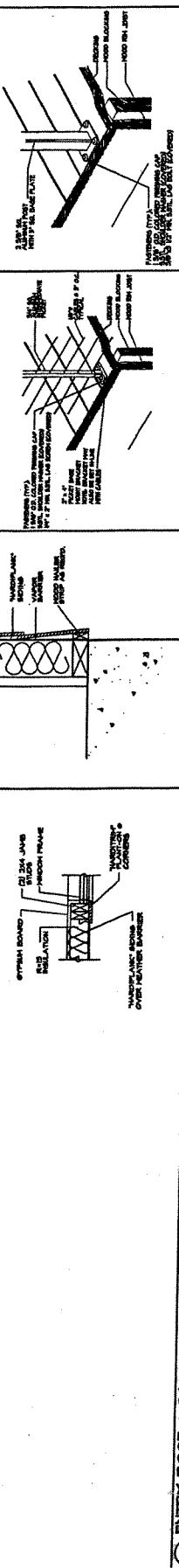
**SLOPE SECTION "B"**

**SLOPE SECTION "C"**

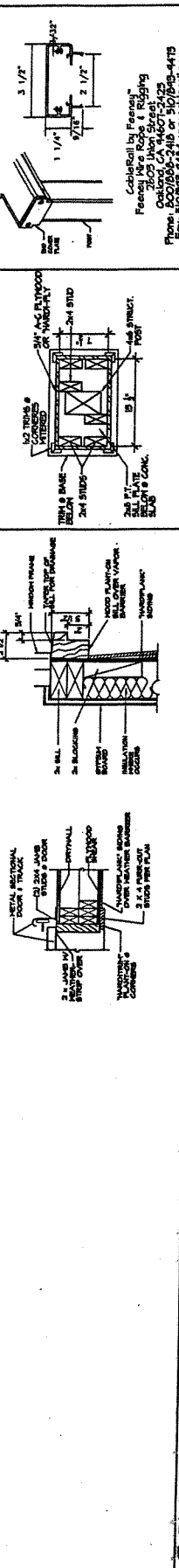
DEVELOPER



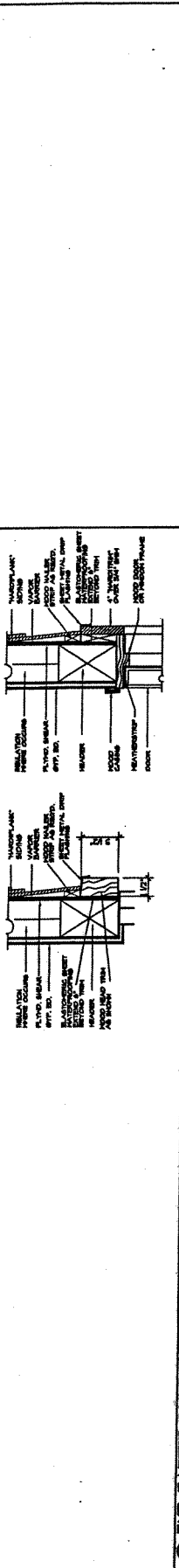
**21) GUARDRAIL DETAIL**  
 SCALE: 1/2" = 1'-0"



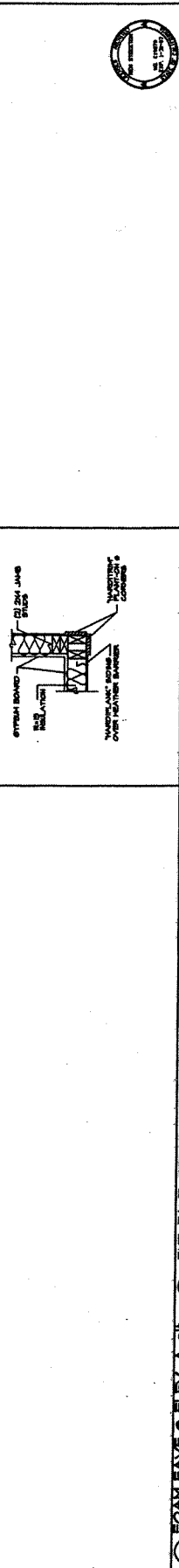
**6) DOOR JAMB DETAIL**  
 SCALE: 1/2" = 1'-0"



**7) SIDING & SLAB DETAIL**  
 SCALE: 1/2" = 1'-0"



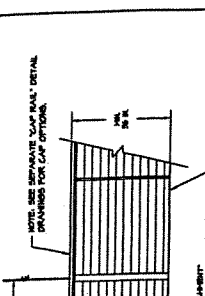
**9) WINDOW HEAD DETAIL**  
 SCALE: 1/2" = 1'-0"



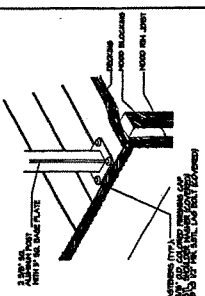
**14) WINDOW HEAD DETAIL**  
 SCALE: 1/2" = 1'-0"



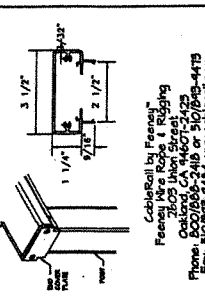
**10) EXT. CORNER DETAIL**  
 SCALE: 3/4" = 1'-0"



**1) CABLE GUARDRAIL PICKET DETAILS**  
 NO SCALE



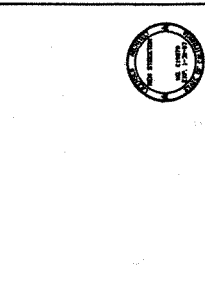
**2) INTERMEDIATE POSTS**  
 NO SCALE



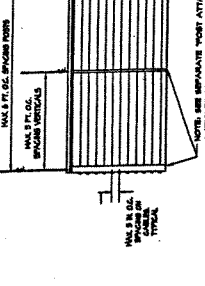
**29) POST & CABLE RAILING**  
 NO SCALE



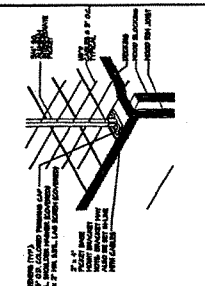
**9) BOX COLUMN DETAIL**  
 NO SCALE



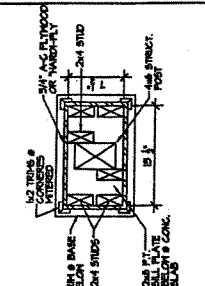
**4) ROOF TO WALL CONNECTION**  
 SCALE: 1/2" = 1'-0"



**24) EXP. RAFTER TAILS ELEV. B**  
 SCALE: 1/2" = 1'-0"



**20) FOAM EAVE ELEV. A & B**  
 SCALE: 1/2" = 1'-0"



**20) CHIMNEY CAP DETAIL**  
 SCALE: 1/2" = 1'-0"



**19) FLUSH RAKE W BARGE**  
 SCALE: 1/2" = 1'-0"



**19) FLUSH RAKE ELEV. A**  
 SCALE: 1/2" = 1'-0"

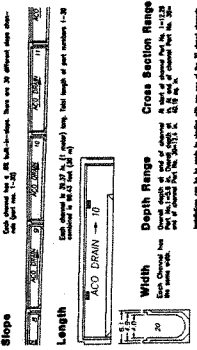


**20) CHIMNEY CAP DETAIL**  
 SCALE: 1/2" = 1'-0"



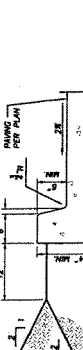


# CHANNEL-SLOPE® NW100 Series Channels Sloped Channels

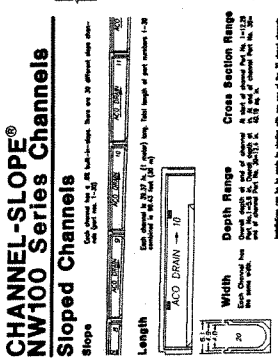
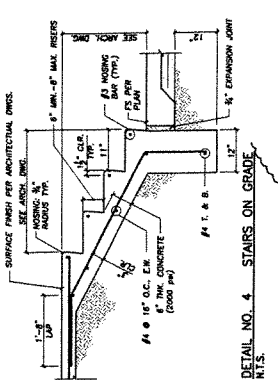


**Depth At End of Each Channel**

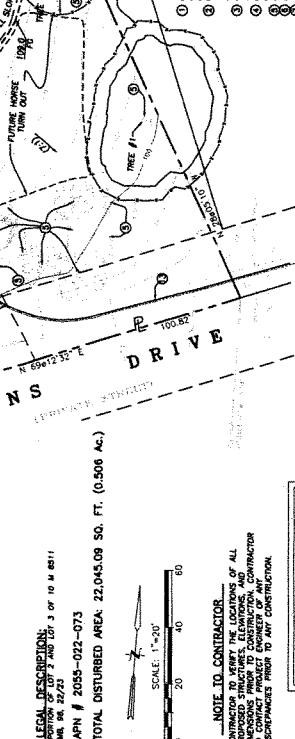
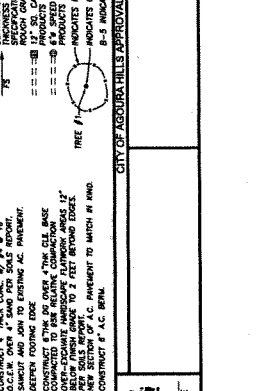
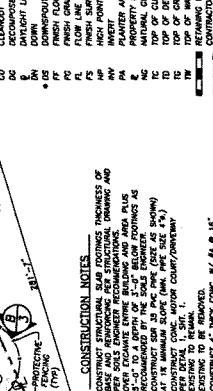
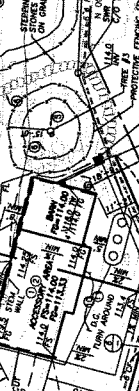
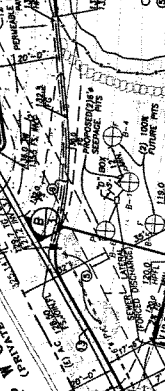
Channel No.	Depth	Channel No.	Depth
1	1.0	11	1.0
2	1.0	12	1.0
3	1.0	13	1.0
4	1.0	14	1.0
5	1.0	15	1.0
6	1.0	16	1.0
7	1.0	17	1.0
8	1.0	18	1.0
9	1.0	19	1.0
10	1.0	20	1.0



- ADDITIONAL NOTES:**
1. ALL CHANNELS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF AGOURA HILLS SPECIFICATIONS AND APPROVED BY THE CITY ENGINEER PRIOR TO FINAL PLACEMENT OF THE CHANNEL.
  2. TEST SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE STRENGTH OF THE CONCRETE. THE TEST RESULTS SHALL BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND APPROVED BY THE CITY ENGINEER.
  3. ALL CHANNELS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS AND APPROVED BY THE CITY ENGINEER PRIOR TO FINAL PLACEMENT OF THE CHANNEL.
  4. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
  5. ALL PROTECTION EXCAVATIONS MUST BE OBSERVED AND APPROVED IN WRITING BY THE CITY ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL.
  6. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THE REPORT SHALL BE REVIEWED BY THE CITY ENGINEER AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF THE CHANNEL.
  7. ALL CHANNELS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS AND APPROVED BY THE CITY ENGINEER PRIOR TO FINAL PLACEMENT OF THE CHANNEL.
  8. ALL CHANNELS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS AND APPROVED BY THE CITY ENGINEER PRIOR TO FINAL PLACEMENT OF THE CHANNEL.



- CONSTRUCTION NOTES:**
1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  4. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  6. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  7. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  8. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.



**LEGAL DESCRIPTION:**  
APN # 2055-02-073  
TOTAL DISTURBED AREA 22,045.09 SQ. FT. (0.506 AC.)

**NOTE TO CONTRACTOR:**  
CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT PROJECT ENGINEER FOR ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

**UNDERGROUND SERVICE ALERT:**  
CALL TOLL FREE 1-800-377-1800  
TWO WORKING DAYS BEFORE YOU DIG

**REVISIONS:**

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY	DATE

**PROJECT ENGINEER:** [Signature]  
**DATE:** 1/17/07

**CITY OF AGOURA HILLS APPROVAL:** [Signature]

**GRADING AND DRAINAGE PLAN**  
5952 LAPWORTH DR.  
AGOURA HILLS, CA. 91301  
PROJECT NO. \_\_\_\_\_ SHEET 2 OF 1

TYPE 316 STAINLESS STEEL (ASTM A240) OR 304 STAINLESS STEEL (ASTM A304) OR ALUMINUM (AA2024-T3) OR 6061-T6 ALUMINUM. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN INCHES. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.

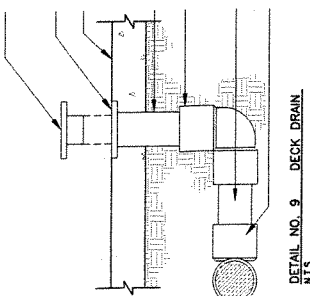
REVISED IN FINISH SURFACE TO ALLOW FOR FINISH SURFACE CONSTRUCTION PLAN FOR MATERIAL FINISH & THICKNESS.

4" PVC DRAIN LINE RISER.

4" 90° ELL

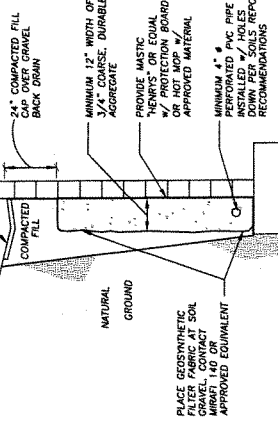
4" NIPPLE

4" TEE OR ELB CONNECT TO DRAIN LINE. MINIMUM 12" CLEARANCE FROM DRAIN LINE SURFACE TO TOP OF DRAIN LINE SIZE.

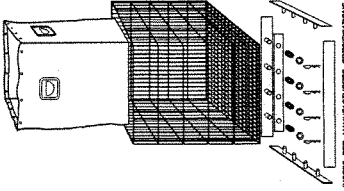


DETAIL NO. 9 DECK DRAIN  
N.T.S.

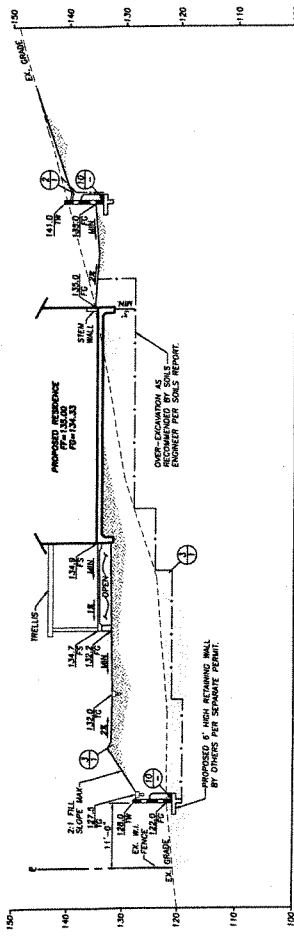
CONCRETE "Y" DRAIN (WHERE OCCURS)



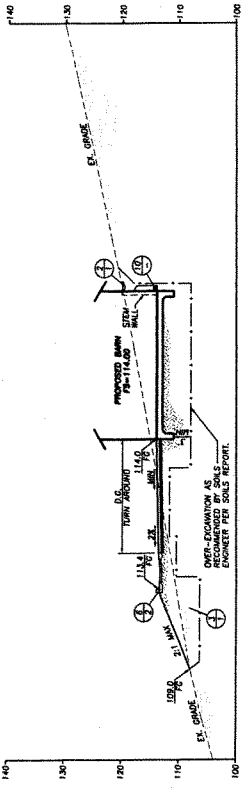
DETAIL NO. 10 BACKFILL  
N.T.S.



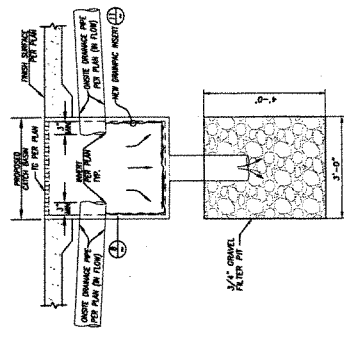
DETAIL NO. 11 DRAINPACK  
N.T.S.



SECTION A  
1"=10'

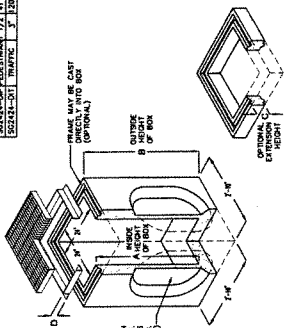


SECTION B  
1"=10'



DETAIL NO. 12 SUSUMP  
N.T.S.

DROP INLET		FRAME AND GRATE	
MODEL NO.	WEIGHT	MODEL NO.	WEIGHT
A	120 LB.	1	120 LB.
B	150 LB.	2	150 LB.
C	200 LB.	3	200 LB.
D	250 LB.	4	250 LB.



EXTENSION	
MODEL NO.	WEIGHT
E	120 LB.
F	150 LB.
G	200 LB.
H	250 LB.

FRAME AND GRATE ASSEMBLY AVAILABLE IN ALUMINUM OR STAINLESS STEEL. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.

FRAMES MAY BE CAST INTO BOX (OPTIONAL).

OUTSIDE OF BOX (OPTIONAL).

OPTIONAL CHAIN HOIST.

FRAMES MAY BE CAST INTO BOX (OPTIONAL).

OUTSIDE OF BOX (OPTIONAL).

OPTIONAL CHAIN HOIST.

FRAMES MAY BE CAST INTO BOX (OPTIONAL).

OUTSIDE OF BOX (OPTIONAL).

OPTIONAL CHAIN HOIST.

DETAIL NO. 8 DROP INLET  
N.T.S.

SECTIONS & DETAILS  
5962 LAPWORTH DR.  
AGOURA HILLS, CA. 91301



CITY OF AGOURA HILLS APPROVAL

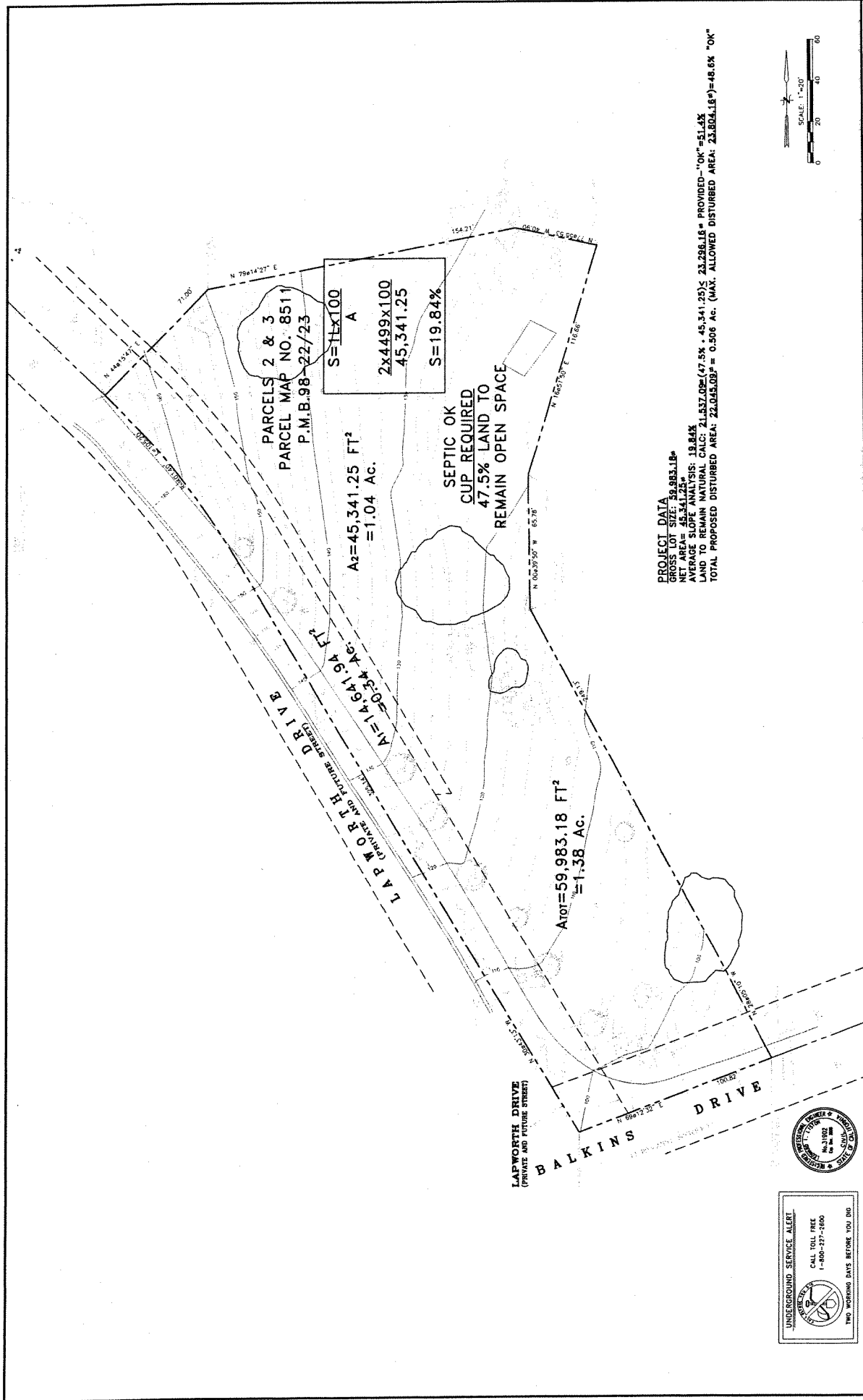
PREPARED BY:  
LA ENGINEERING GROUP, INC.  
REGISTERED PROFESSIONAL ENGINEERS  
CALIFORNIA LICENSE NO. 44801

PROJECT ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

DESCRIPTION OF CHANGE: \_\_\_\_\_

REV: \_\_\_\_\_ SYMBOL: \_\_\_\_\_ RCE: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT NO. \_\_\_\_\_ SHEET 3 OF 7



REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	RCE	DATE	PROJECT ENGINEER	DATE

PREPARED BY: **JC ENGINEERING GROUP, INC.**  
REGISTERED PROFESSIONAL ENGINEER  
 No. 31007  
 State of California  
 PROJECT ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF AGOURA HILLS APPROVAL: \_\_\_\_\_  
**SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY**  
 5952 LAPWORTH DR.  
 AGOURA HILLS, CA. 91301  
 PROJECT NO. \_\_\_\_\_ SHEET    OF   

CITY OF AGOURA HILLS DWG. NO. **08-001**









LOCAL SWPPP BMP SELECTION WORKSHEET

BMP DESCRIPTION	WILL BMP BE USED?		COMMENTS
	YES	NO	
SITE PLANNING CONSIDERATIONS			
SCHEDULING			
PRESERVING OF EXISTING VEGETATION			NO ALL VEGETATION REMOVED TO BE REPLACED WITH NEW PLANTING & SOIL.
CONSTRUCTION PRACTICES			
DEMATERING OPERATIONS			
PAVING OPERATIONS			
STRUCTURE CONSTRUCTION & FINISH			
DUST CONTROL			
VEHICLE & EQUIPMENT MANAGEMENT			
VEHICLE & EQUIP. CLEANING			
VEHICLE & EQUIP. FUELING			
VEHICLE & EQUIP. MAINTENANCE			
TRACKING CONTROL			
STABILIZED CONSTRUCTION ENTRANCE			
CONTRACTOR TRAINING			
EMPLOYEE/SUBCONTRACTOR TRNG.			
MATERIAL MANAGEMENT			
MATERIAL DELIVERY AND STORAGE			
MATERIAL USE			
SOIL PREVENTION AND CONTROL			
WASTE MANAGEMENT			
HAZARDOUS WASTE MANAGEMENT			
CONTAMINATED SOIL MANAGEMENT			
CONCRETE WASTE MANAGEMENT			
SEWARIARY/SEPTIC WASTE MANAGEMENT			

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM ON SITE SELF-INSPECTION CHECKLIST

TO BE ATTACHED TO THE LOCAL SWPPP INSPECTED BY: \_\_\_\_\_ PROJECT ADDRESS: NE CORNER OF LAPHORTH DR. & BALKINS DR.

1. HAS THERE BEEN AN ABSENCE OF RAIN SINCE THE LAST INSPECTION?
2. ARE ALL SEDIMENT BARRIERS (E.G., SANDBAGS, STRAW MATS, ETC.) IN PLACE AND MAINTAINED?
3. ARE ALL MATERIALS AND EQUIPMENT PROPERLY STORED AND COVERED?
4. ARE ALL EXTERNAL DISCHARGE POINTS (I.E., CULVERTS) REASONABLY FREE OF ANY NOTICABLE POLLUTANT DISCHARGE?
5. ARE ALL INTERNAL DISCHARGE POINTS (I.E., STORM DRAIN INLETS) PROVIDED WITH INLET PROTECTION?
6. ARE ALL EXTERNAL DISCHARGE POINTS REASONABLY TRANSPORT?
7. ARE ALL BMPs INSTALLED ON THE PLAN INSTALLED IN THE PROPER LOCATION AND ACCORDING TO THE SPECIFICATIONS FOR THE PLAN?
8. ARE ALL STRUCTURAL CONTROL PRACTICES IN GOOD REPAIR AND MAINTAINED IN FUNCTIONING ORDER?
9. ARE ALL ON-SITE TRAFFIC ROUTES, PARKING, AND STORAGE OF EQUIPMENT AND SUPPLIES RESTRICTED TO DESIGNATED AREAS?
10. ARE ALL LOCATIONS OF TEMPORARY SOIL STOCKPILES OR CONSTRUCTION MATERIALS IN APPROVED AREAS MAINTAINED?
11. ARE ALL SEEDS OR LANDSCAPED AREAS PROPERLY MAINTAINED?
12. ARE SEDIMENT TREATMENT CONTROLS IN PLACE AT DISCHARGE POINTS FROM THE SITE?
13. ARE SLOPES FREE OF SIGNIFICANT EROSION?
14. ARE ALL POINTS OF UNDESIRABLE EGRESS FROM THE SITE PROTECTED WITH SUBLEGGED CONSTRUCTION ENTRANCES?
15. IS SEDIMENT DEBRIS OR MUD BEING CLEANED FROM PUBLIC ROADS AT INTERSECTIONS WITH SITE ACCESS ROADS?
16. DOES THE PLAN REFLECT CURRENT SITE CONDITIONS?

IF ATTACHMENTS TO LOCAL SWPPP CERTIFICATION-PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT, A CERTIFICATION SIGNED BY THE OWNER OR AUTHORIZED AGENT OF THE PROJECT MUST BE ATTACHED TO THE LOCAL SWPPP. THE CERTIFICATION SHALL BE DATED AND SIGNED BY THE OWNER OR AUTHORIZED AGENT OF THE PROJECT AND MADE AVAILABLE TO CITY INSPECTORS WHEN REQUESTED. (ATTACHMENT 1)

1. GENERAL NOTES (ATTACHMENT 2)
2. SELF-INSPECTION TO ENSURE THAT BMPs ARE PROPERLY IMPLEMENTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
3. INSPECTIONS BY THE DEVELOPERS OR CONTRACTORS IS REQUIRED. SUCH INSPECTIONS SHALL BE RECORDED ON THE ATTACHED FORM AND MADE AVAILABLE TO CITY INSPECTORS WHEN REQUESTED. (ATTACHMENT 3)
4. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED IN TO THE NEARBY RECEIVING AREAS (E.G., STORM DRAIN OR BY ANY OTHER MEANS). THE OWNER OR AUTHORIZED AGENT OF THE PROJECT SHALL UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORMWATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS. AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

INSPECTION LOG

THE SITE SHALL BE INSPECTED FOR EROSION EVENTS WITH 0.5 INCHES OR GREATER OF ACTUAL PRECIPITATION FOR WHICH NECESSARY WORK OR GREATER AND DOCUMENTED ON THE CONSTRUCTION SITE INSPECTION CHECKLIST. INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

DATE	INSPECTOR	TYPE OF INSPECTION		OBSERVATIONS
		ROUTE	PRE-STORM POST-STORM	

DEPARTMENT OF BUILDING AND SAFETY CITY OF AGOURA HILLS STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM EFFECTIVE AUGUST 3, 1999 PRIORITY PROJECTS

- THIS HANDBOOK IS TO PROVIDE ASSISTANCE FOR APPLICANTS TO COMPLY WITH THE CITY'S STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM FOR PROJECTS ASSIGNED AS PRIORITY PROJECTS. PROJECTS DEEMED TO BE CLASSIFIED AS PRIORITY PROJECTS ARE:
- SITES OF GREATER THAN TWO ACRES BUT LESS THAN FIVE ACRES OF DISTURBED SOIL;
  - LOCATIONS OR LOCATED IN ENVIRONMENTAL SENSITIVE AREAS; OR
  - LOCATIONS OR LOCATED IN DESIGNATED HILLSIDE AREAS.
- THE REQUIREMENT TO IMPLEMENT STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM IS BASED UPON THE PRIMARY OBJECTIVES SET FORTH IN THE 1987 AMENDMENTS OF FEDERAL CLEAN WATER ACT. UNDER THE FEDERAL CLEAN WATER ACT, THE CITY OF AGOURA HILLS IS REQUIRED TO DEVELOP AND MAINTAIN A DRAINAGE SYSTEM INTO THE WATERS OF THE UNITED STATES IS REQUIRED TO OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THE CITY OF AGOURA HILLS HAS OBTAINED SUCH PERMIT AND IS CURRENTLY UNDER THE QUALITY CONTROL BOARD ON JULY 15, 1996 CONTAIN A REQUIREMENT FOR THE CONSTRUCTION ACTIVITIES TO DEVELOP AND IMPLEMENT A DEVELOPMENT CONSTRUCTION PROGRAM TO PREVENT AND REDUCE STORMWATER POLLUTION.
- REQUIREMENTS
1. LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT, APPLICANTS MUST DEVELOP AND SUBMIT LOCAL STORM WATER POLLUTION PREVENTION PLAN. THE LOCAL SWPPP AND SWPPP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER TO CONTROL AND PREVENT DISCHARGE OF POLLUTANTS. NECESSARY CONSTRUCTION ACTIVITIES SPECIFIC TO EACH SITE INTO THE STORM DRAIN SYSTEM. THE SWPPP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER AND KEPT ON THE PROJECT SITE AT ALL TIMES AFTER THE START OF CONSTRUCTION.
- WHEN PREPARING A LOCAL SWPPP, THE PREPARER SHOULD ASSESS SITE CONDITIONS, IDENTIFY CONSTRUCTION ACTIVITIES WITH THE POTENTIAL TO CAUSE STORMWATER POLLUTION, AND DEVELOP AND IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AS LISTED IN THE "DEVELOPMENT BEST MANAGEMENT PRACTICES HANDBOOK, PART A CONSTRUCTION ACTIVITIES" PUBLISHED BY THE STORMWATER MANAGEMENT DIVISION.
- THE LOCAL SWPPP SHALL CONTAIN THE FOLLOWING:
- A BRIEF DESCRIPTION OF THE PROJECT;
  - THE OWNER/DEVELOPER'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S);
  - CONTRACTOR'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S), IF AVAILABLE AT ISSUANCE OF PERMIT;
  - A LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE, AND ACTIVITIES AT THE PROJECT SITE;
  - A SITE PLAN (A CONSTRUCTION OR SITE PLAN MAY BE USED) WITH THE FOLLOWING:
    - THE PROJECT BOUNDARY AND/OR LIMITS OF GRADING;
    - THE FOOTPRINT OF EXISTING AND PROPOSED BUILDINGS OR STRUCTURES;
    - EXISTING LOCATIONS WHERE CONSTRUCTION MATERIALS, VEHICLES, AND LOGS WILL BE STORED OR PLACED;
    - LOCATIONS OF STRUCTURAL MEASURES THAT WILL BE USED TO CONTROL THESE MATERIALS ON-SITE;
    - THE LOCATIONS WHERE RUNOFF FROM THE SITE MAY ENTER STORM DRAIN(S), CHANNELS, AND/OR RECEIVING WATER(S);
    - LOCATIONS OF SELECTED BMPs WHERE APPROPRIATE.

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF CONSTRUCTION ACTIVITIES ON THE QUALITY OF THE NEARBY RECEIVING AREAS. THE PROJECT CONTRACTOR'S NAME THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE RECOMMEND OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF CONSTRUCTION ACTIVITIES ON THE QUALITY OF THE NEARBY RECEIVING AREAS. THE PROJECT CONTRACTOR'S NAME THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE RECOMMEND OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

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STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

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COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

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COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

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COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

AGOURA HILLS CITY OF AGOURA HILLS CONTROL ATTACHMENTS 5952 LAPHORTH DR. AGOURA HILLS, CA. 91301 PROJECT NO. \_\_\_\_\_ SHEET 1 OF 1

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM ON SITE SELF-INSPECTION CHECKLIST

TO BE ATTACHED TO THE LOCAL SWPPP INSPECTED BY: \_\_\_\_\_ PROJECT ADDRESS: NE CORNER OF LAPHORTH DR. & BALKINS DR.

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF CONSTRUCTION ACTIVITIES ON THE QUALITY OF THE NEARBY RECEIVING AREAS. THE PROJECT CONTRACTOR'S NAME THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE RECOMMEND OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS CERTIFICATION STATEMENT

AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE APPROXIMATE BMP'S WILL BE IMPLEMENTED IS EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF CONSTRUCTION ACTIVITIES ON THE QUALITY OF THE NEARBY RECEIVING AREAS. THE PROJECT CONTRACTOR'S NAME THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE RECOMMEND OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ (OWNER OR AUTHORIZED AGENT OF THE OWNER)

# LANDSCAPE

L-1

SCALE: 1"=20'-0"

5952 LAPWORTH DRIVE AGOURA HILLS, CA 91301  
 APN# 2055-022-073 LOT# PORTION OF 2 AND 3

# EDWARDS RESIDENCE

**OLWYNKINGERY**  
 LANDSCAPE DESIGN

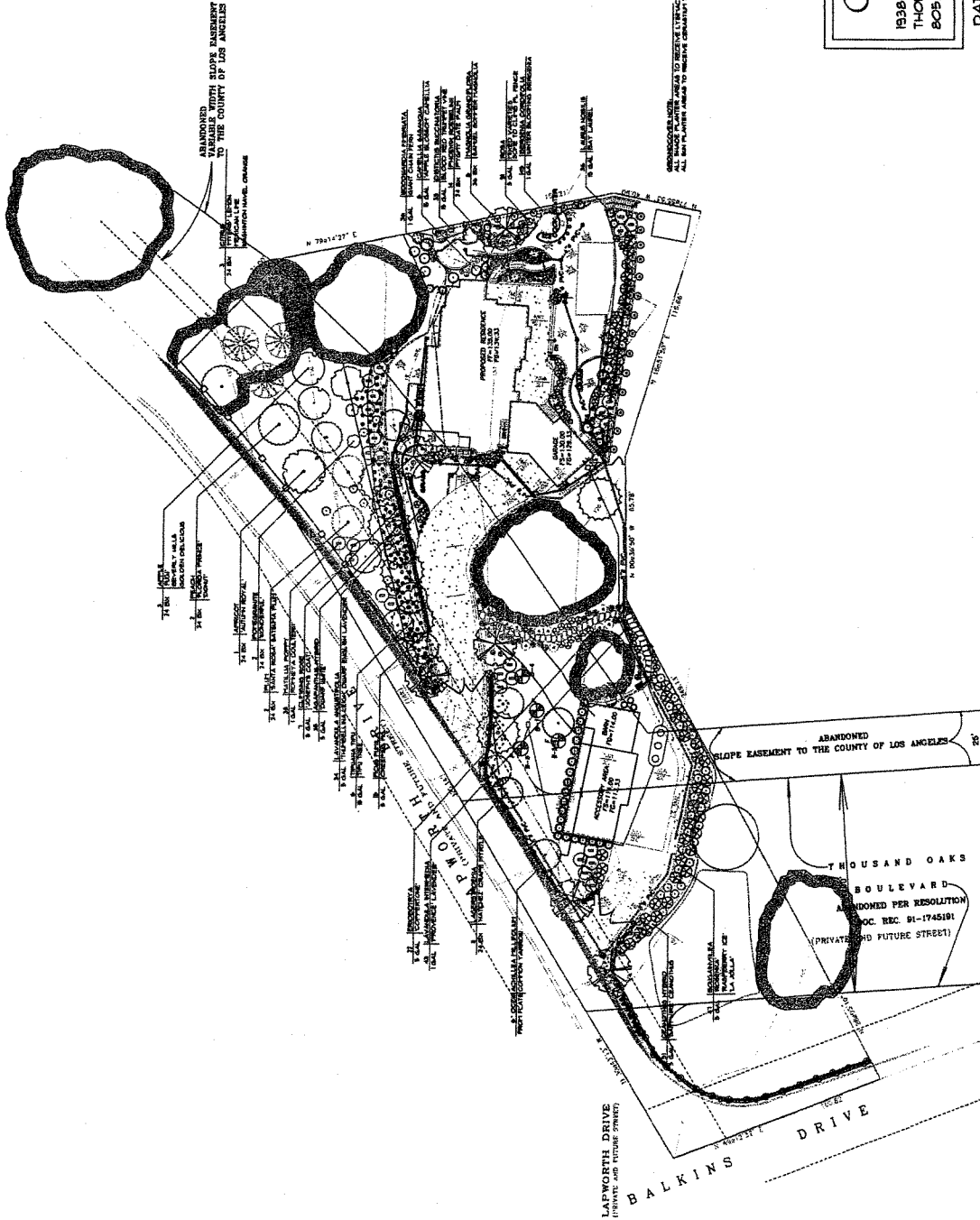
1938 EAST THOUSAND OAKS BLVD SUITE B  
 THOUSAND OAKS, CALIFORNIA 91360  
 805.275.9115 VOICE 805.494.9918 OFFICE

DATE: 2/13/07

REVISIONS: 6/13/06 10/10/06 2/13/07

PRINT DATE:

**EDWARDS**  
**L-1 LANDSCAPE**



EDWARDS RESIDENCE

OLWYNKINGERY  
 LANDSCAPE DESIGN

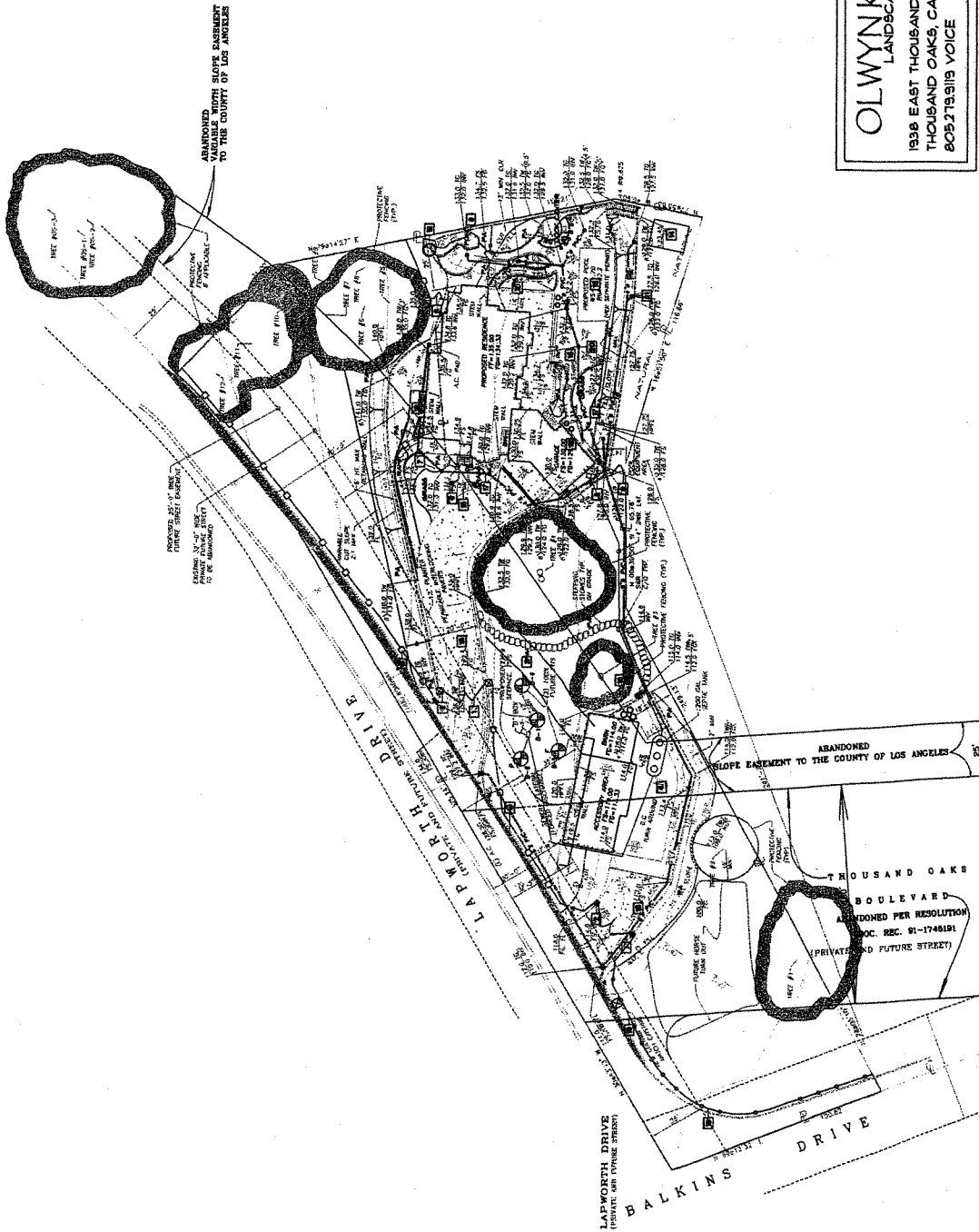
1938 EAST THOUSAND OAKS BLVD. SUITE B  
 THOUSAND OAKS, CALIFORNIA 91360  
 805.279.9119 VOICE 805.434.9318 OFFICE

DATE: 2/13/07

REVISIONS: 6/13/06 10/10/06 2/13/07

PRINT DATE:

EDWARDS  
 L-2 CONSTRUCTION



LEGEND OF MATERIALS

- 1 SURFACE FINISH OF IMPACT CENTER DRIVE
- 2 SURFACE FINISH OF IMPACT CENTER DRIVE
- 3 SURFACE FINISH OF IMPACT CENTER DRIVE
- 4 SURFACE FINISH OF IMPACT CENTER DRIVE
- 5 SURFACE FINISH OF IMPACT CENTER DRIVE
- 6 SURFACE FINISH OF IMPACT CENTER DRIVE
- 7 SURFACE FINISH OF IMPACT CENTER DRIVE
- 8 SURFACE FINISH OF IMPACT CENTER DRIVE
- 9 SURFACE FINISH OF IMPACT CENTER DRIVE
- 10 SURFACE FINISH OF IMPACT CENTER DRIVE
- 11 SURFACE FINISH OF IMPACT CENTER DRIVE
- 12 SURFACE FINISH OF IMPACT CENTER DRIVE
- 13 SURFACE FINISH OF IMPACT CENTER DRIVE
- 14 SURFACE FINISH OF IMPACT CENTER DRIVE
- 15 SURFACE FINISH OF IMPACT CENTER DRIVE
- 16 SURFACE FINISH OF IMPACT CENTER DRIVE
- 17 SURFACE FINISH OF IMPACT CENTER DRIVE
- 18 SURFACE FINISH OF IMPACT CENTER DRIVE
- 19 SURFACE FINISH OF IMPACT CENTER DRIVE
- 20 SURFACE FINISH OF IMPACT CENTER DRIVE
- 21 SURFACE FINISH OF IMPACT CENTER DRIVE
- 22 SURFACE FINISH OF IMPACT CENTER DRIVE



DETAILS

L-3

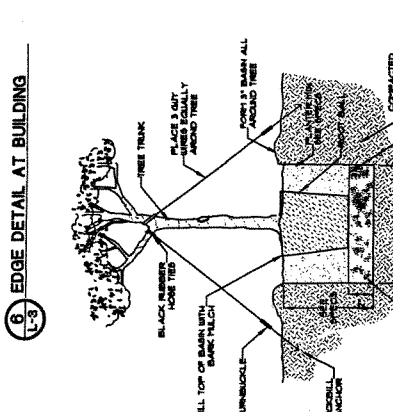
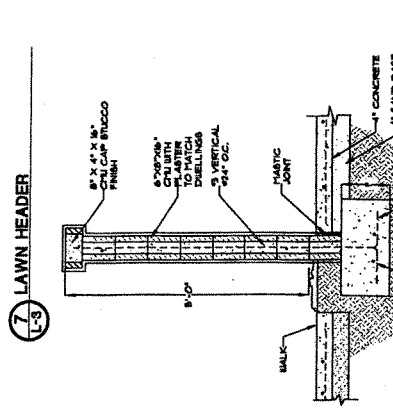
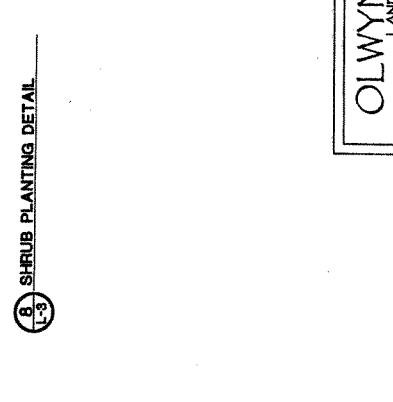
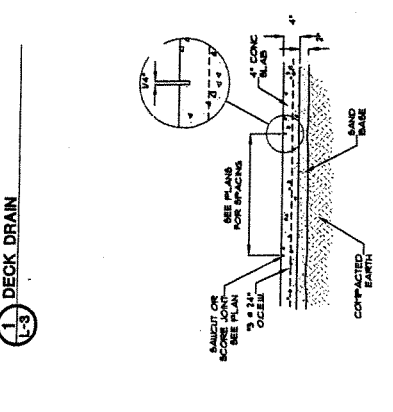
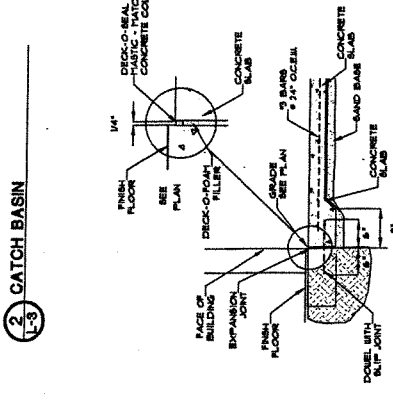
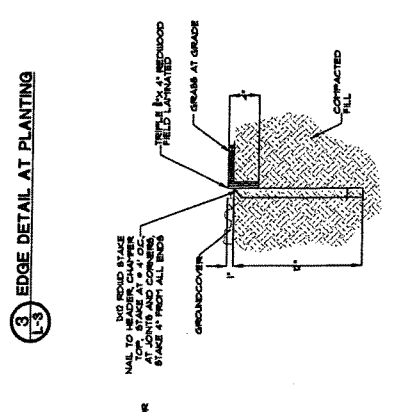
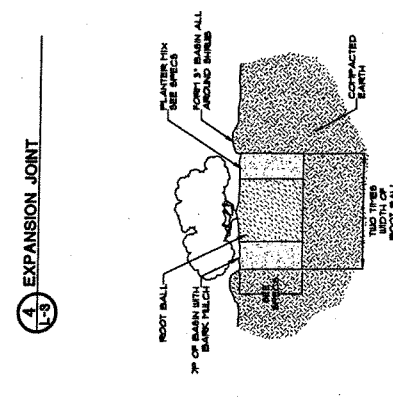
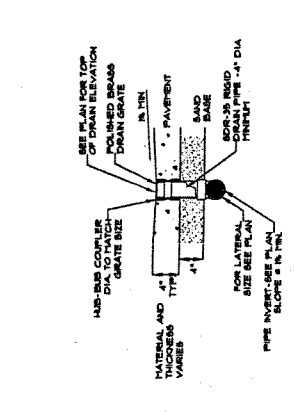
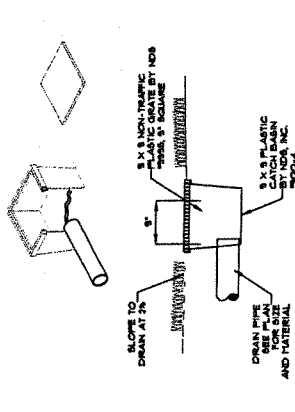
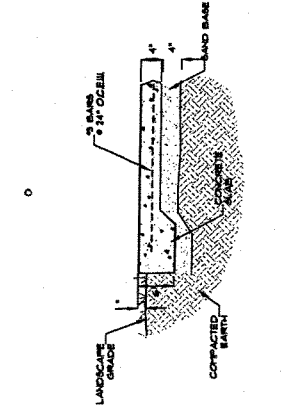
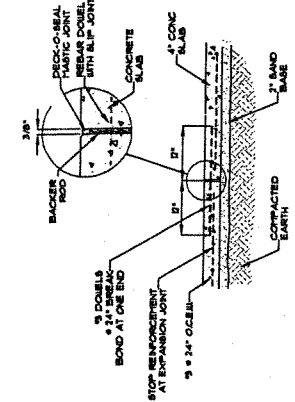
SCALE: NTS

EDWARDS RESIDENCE  
 5952 LAPWORTH DRIVE AGOURA HILLS, CA 91301  
 APN# 2055-022-073 LOT# PORTION OF 2 AND 3

**OLWYNKINGERY**  
 LANDSCAPE DESIGN  
 1939 EAST THOUSAND OAKS BLVD, SUITE B  
 THOUSAND OAKS, CALIFORNIA 91360  
 805.273.9119 VOICE 805.454.9519 OFFICE

DATE: 2/18/01  
 REVISIONS: 6/13/06 10/10/06 2/18/01  
 PRINT DATE:

**EDWARDS**  
**L-3 DETAILS**



GENERAL NOTES

- 1. ALL REQUIREMENTS HEREIN SHALL BE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

CONCRETE UNIT MASONRY

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

CAST IN PLACE CONCRETE

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

IRON FENCE

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

IRRIGATION SPECIFICATIONS

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

PLANTING

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

POST MAINTENANCE

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

SWIMMING POOL AND SPA

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

CARPENTRY

- 1. ALL REQUIREMENTS HEREIN REFERRED TO ARE...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

OLWYNKINGERY LANDSCAPE DESIGN
1938 EAST THOUSAND OAKS BLVD, SUITE B
THOUSAND OAKS, CALIFORNIA 91360
805-273-9319 VOICE 805-494-9318 OFFICE

DATE: 2/18/07
REVISIONS: 6/13/06 10/10/06 2/18/07
PRINT DATE:
EDWARDS
L-4 SPECIFICATIONS





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT F**

**LETTER FROM OLD AGOURA  
HOMEOWNERS ASSOCIATION**



DATE: August 4, 2006  
RE: Review of Proposed Project  
FROM: Planning and Zoning Committee,  
Old Agoura Homeowners Association  
TO: Mike Kamino, Director  
Department of Planning & Community Development  
City of Agoura Hills  
SUBJECT: 06-CUP-008 AND 06-OTP-017 (Edwards, Steve and Marguerite)

#### Description

Application to build a 4,950 sq. ft., 2 story single family house w/ a 908 sq. ft. attached 3-car garage, and a 1,502 sq. ft. barn/accessory structure.

#### Comment

The architecture of the house, with its wrap-around porches and metal roof, evokes a Western style of rural architecture and is well-suited to the neighborhood. The house and accessory structure have been set back from the streets and turned at angles to them, a placement that will help to create a sense of space between buildings. Taken together, the size of house and accessory structure are at the limit of what the Committee considers appropriate for the neighborhood, but the Committee also finds the scale acceptable. The accessory structure, whatever its use, reads architecturally as a Western barn and should be easily converted to horse-keeping as it is integrated with a set-aside for a future corral.

We are happy to recommend this project.

Should you have questions about these comments please contact Robert Evren, Chair, Planning and Zoning Committee, Old Agoura Homeowners Association: 865-9003, 448-2556 cell, [robtevren@aol.com](mailto:robtevren@aol.com).

We hope this is of help to you.

CC: Valerie Darbouze, Assistant Planner



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

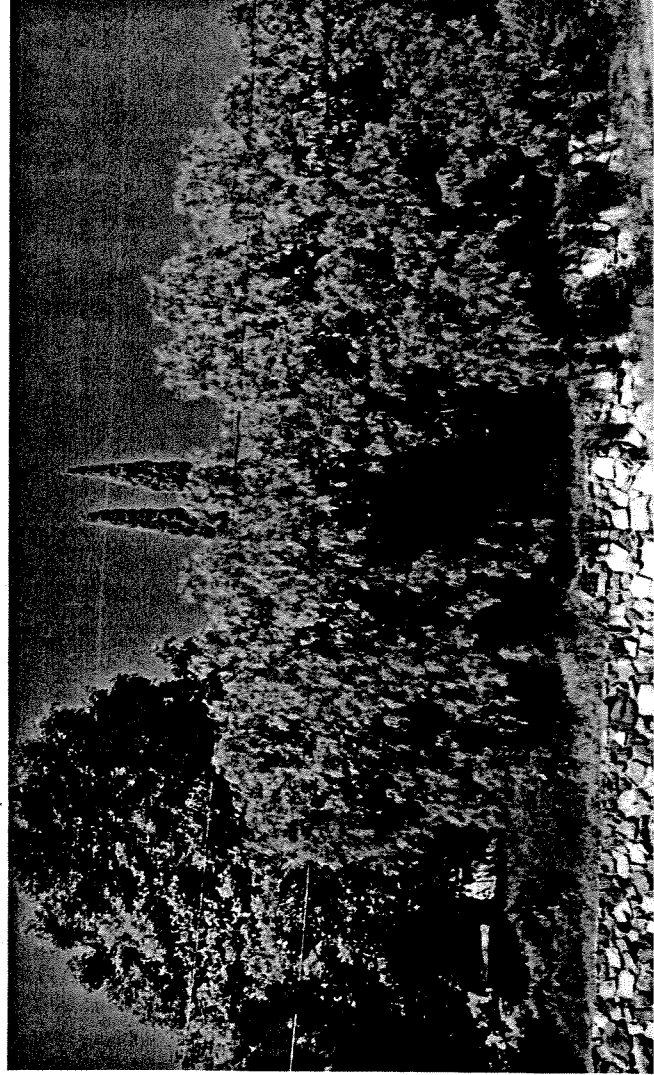
**EXHIBIT G**

**PHOTOGRAPHS OF THE SITE AND  
SURROUNDINGS**

EDWARDS' RESIDENCE  
5952 LAPWORTH DRIVE  
NE CORNER BALKINS & LAPWORTH

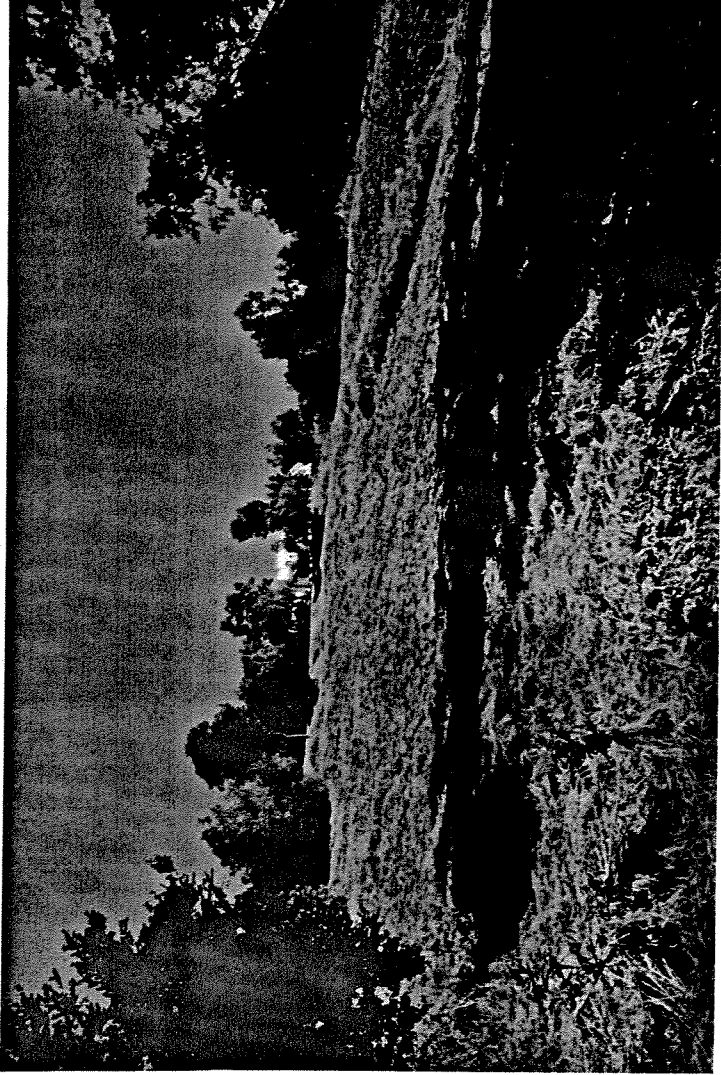


WEST P/L LOOKING EAST DOWN ON  
HOUSE SITE

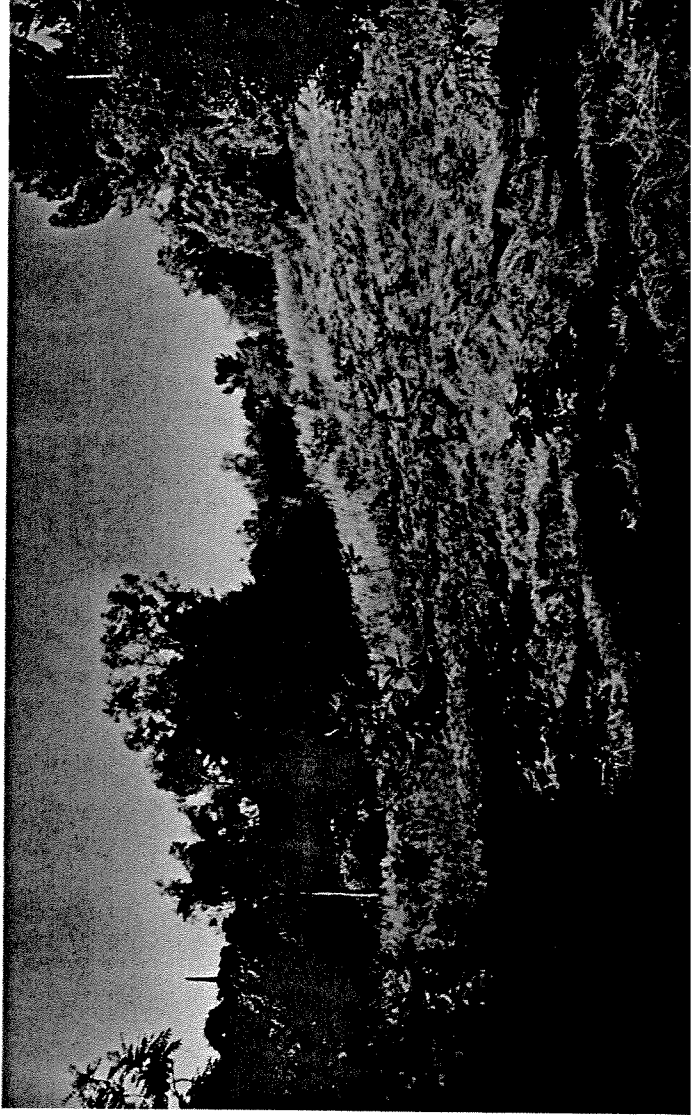


FROM WEST P/L LOOKING WEST

EDWARDS' RESIDENCE  
5952 LAPWORTH DRIVE  
NE CORNER BALKINS & LAPWORTH

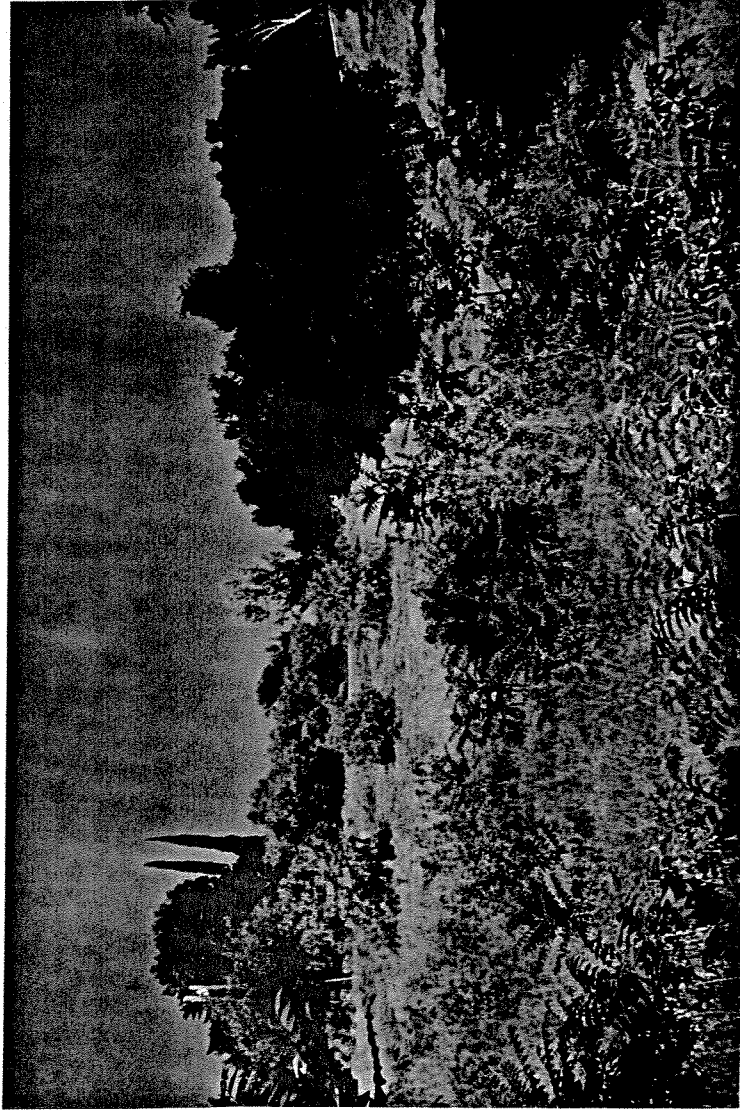


EAST P/L LOOKING WEST AT HOUSE SITE



NORTH P/L LOOKING SOUTH AT HOUSE SITE

EDWARDS' RESIDENCE  
5952 LAPWORTH DRIVE  
NE CORNER BALKINS & LAPWORTH



FROM EAST P/L LOOKING WEST UP TO  
HOUSE SITE



VIEW FROM EAST P/L LOOKING EAST

EDWARDS' RESIDENCE  
5952 LAPWORTH DRIVE  
NE CORNER BALKINS & LAPWORTH



FROM SOUTH P/L LOOKING NORTH



FROM SOUTH P/L LOOKING SOUTH



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

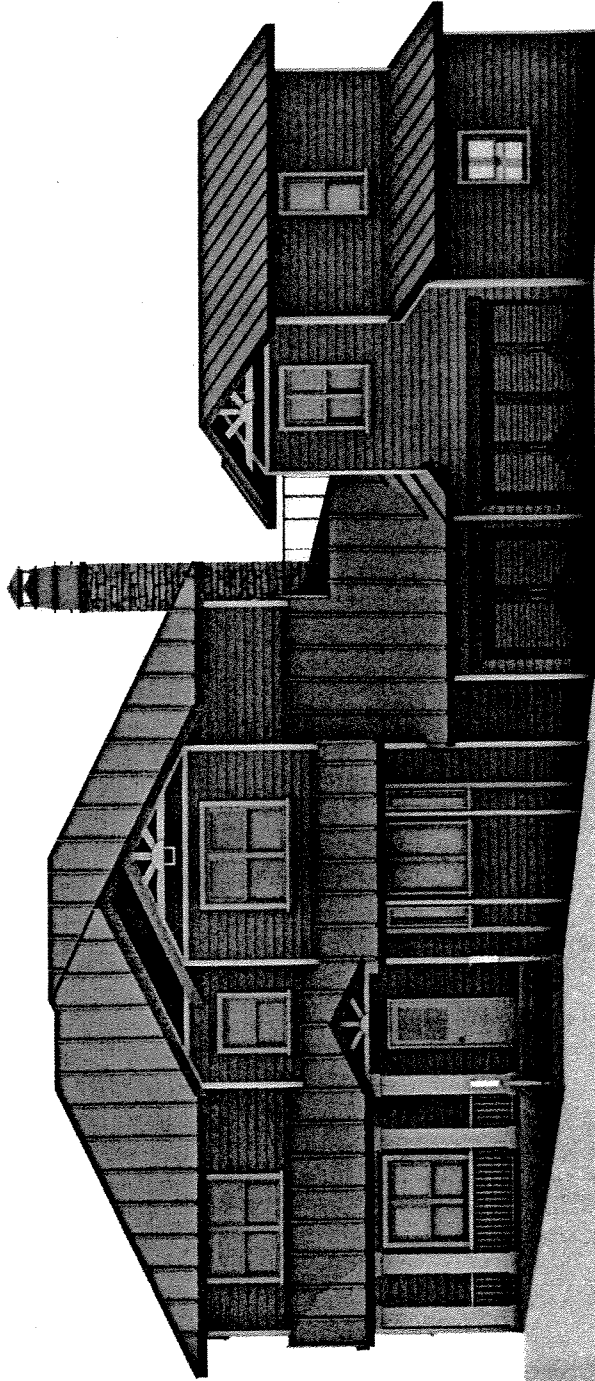
**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT H**

**COLOR RENDERING OF  
RESIDENCE AND BARN**



# Edwards Residence



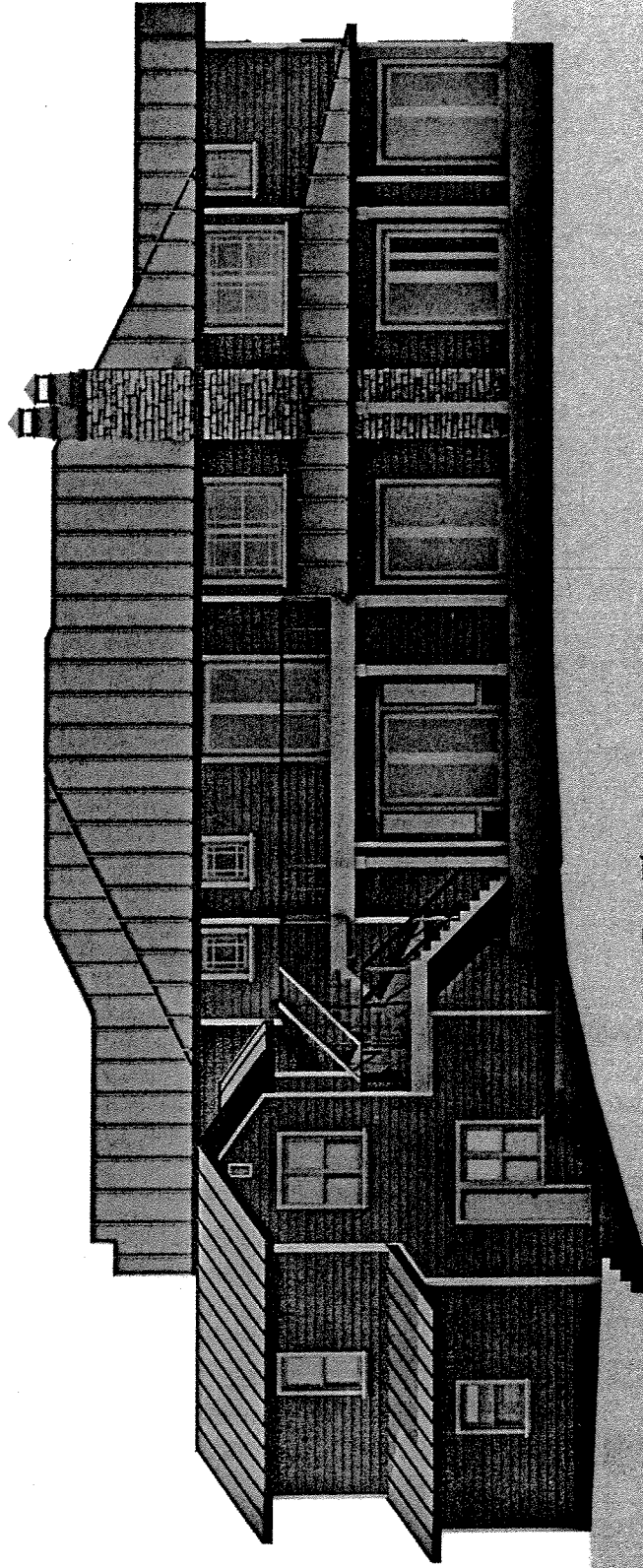
South Elevation

Ken Stockton / Bruce Shindler  
Architects  
(818) 888-9443 Fax (818) 888-9603

Edwards Residence  
Architects



# Edwards Residence

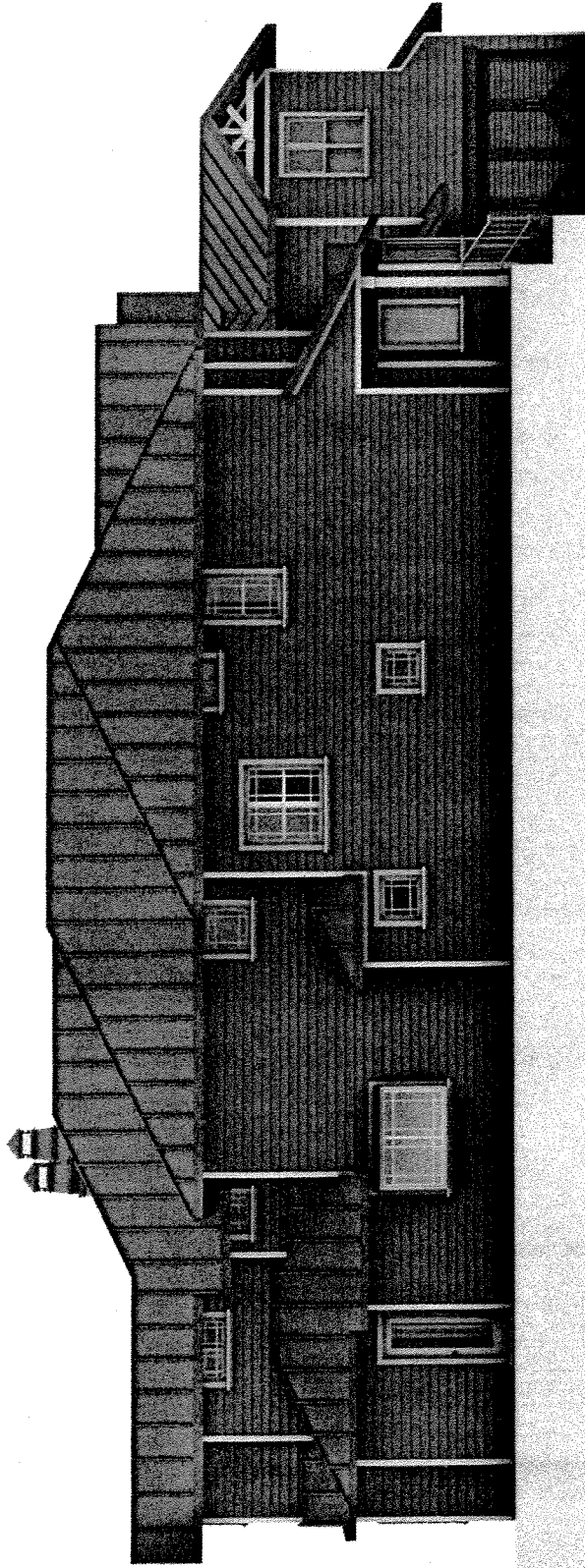


East Elevation

Ken Stockton / Bruce Shindelus  
Architects  
(818) 888-9443 Fax (818) 888-9603

Edwards Residence  
1881 S. ...

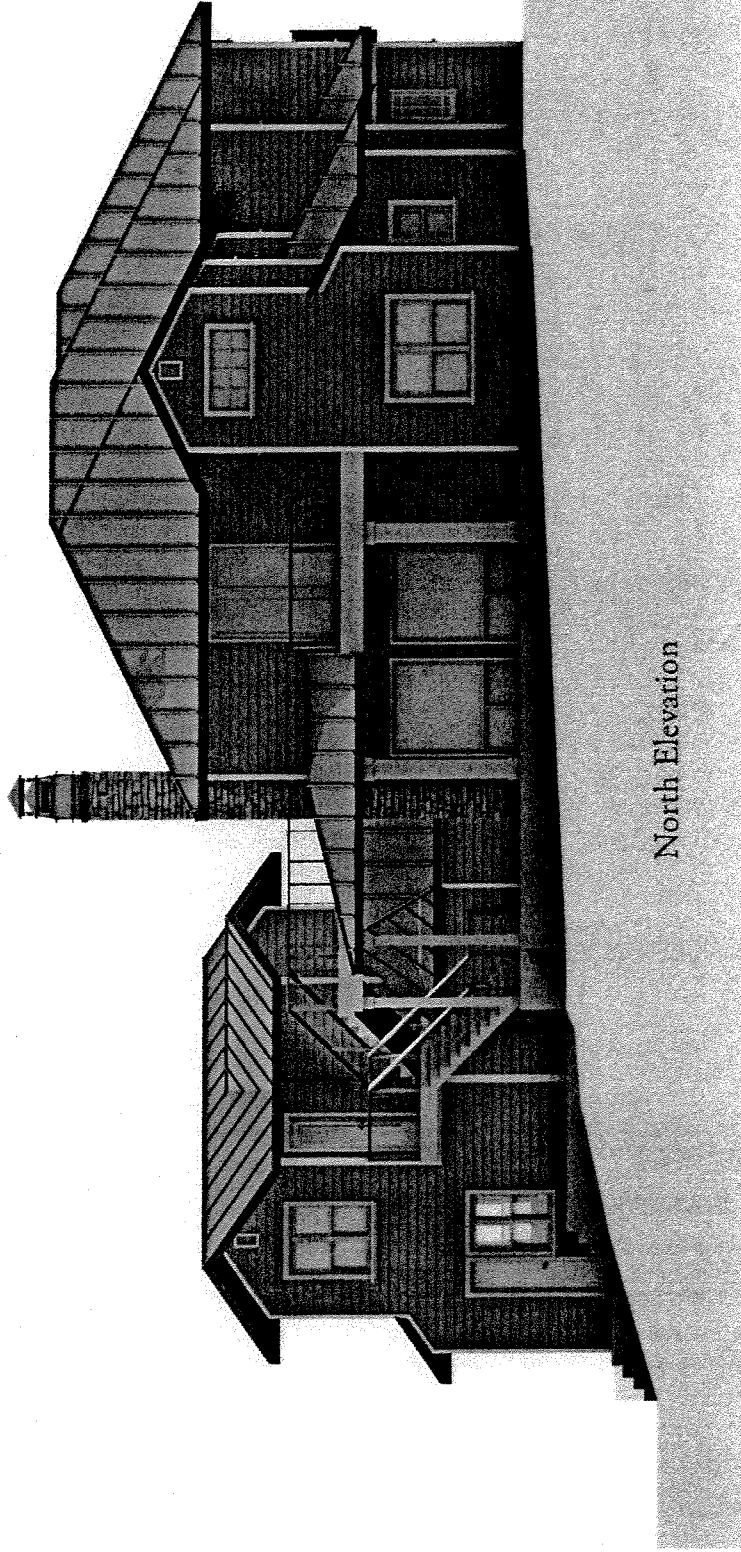
# Edwards Residence



West Elevation

Ken Sirokton / Bruce Shudler  
Architects  
(518) 658-9773 Fax (518) 888-9607

# Edwards Residence

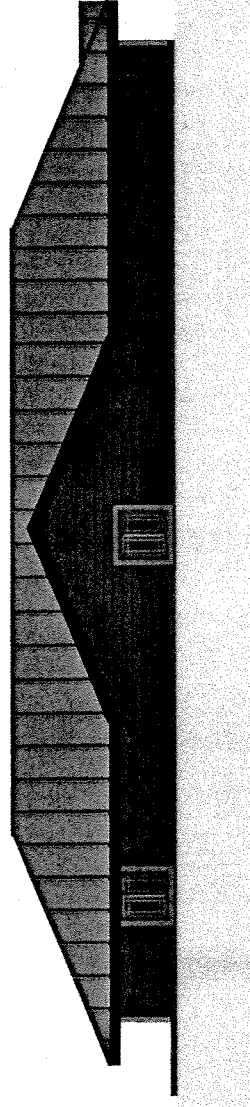
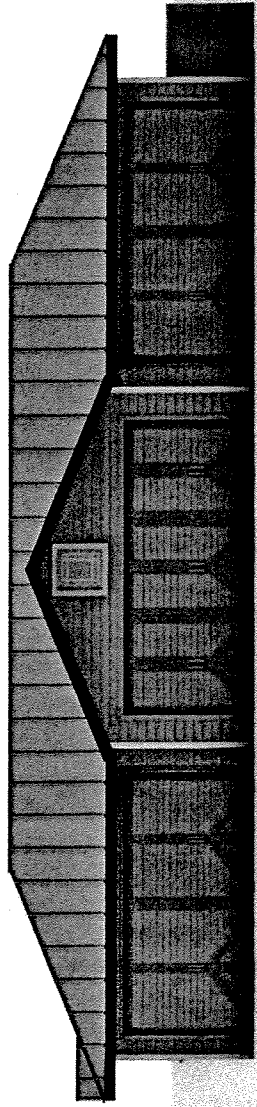
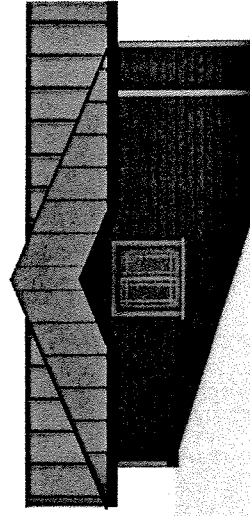
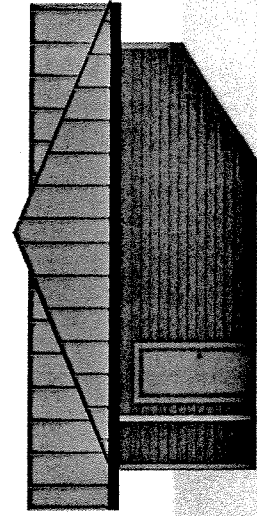


North Elevation

Ken Stockton / Bruce Shindelar  
Architects  
(818) 888-9443 fax (818) 888-9603

Location: 10101 North Hollywood Blvd.  
Los Angeles, CA 90024

# Edwards Residence



Barn Elevations

Ken Stockton / Bruce Shindechus  
Architects  
(818) 888-9443 Fax (818) 888-9603

Residence by Ken Stockton / Bruce Shindechus Architects  
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