

REPORT TO CITY COUNCIL

DATE: OCTOBER 23, 2024

TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: NATHAN HAMBURGER, CITY MANAGER

BY: DENICE THOMAS, COMMUNITY DEVELOPMENT DIRECTOR
KATRINA GARCIA, ASSOCIATE PLANNER

SUBJECT: CONDUCT A CONTINUED PUBLIC HEARING TO CONSIDER THE AGOURA HILLS PLANNING COMMISSION'S DENIAL OF CONDITIONAL USE PERMIT CASE NO. CUP-01533-2018 AND OAK TREE PERMIT CASE NO. OAK-01534-2018 FOR 28340 BALKINS DRIVE (AIN 2055-021-044), A REQUEST TO CONSTRUCT A 4,180-SQUARE-FOOT, TWO-STORY, SINGLE-FAMILY RESIDENCE AND A 730 SQUARE-FOOT ATTACHED GARAGE (ARVIND AURORA, APPLICANT/APPELLANT)

On January 24, 2024, the City Council continued a De Novo Public Hearing for Conditional Use Permit (CUP) Case No. CUP-01533-2018 and Oak Tree Permit Case No. OAK-01534-2018, a request to construct a 4,180-square-foot, two-story single-family residence with a 730-square-foot attached garage (the "Project"), which was denied by the Planning Commission under Resolution No. 20-1245, and appealed by the applicant. The City Council voted to continue the public hearing to a date on or before August 14, 2024, to give the applicant the ability to make changes to the Project, with respect to the feedback provided by the City Council, which is summarized as follows:

1. The house is too large considering the conditions present on the lot, specifically the hillside directly behind the home.
2. The house lacks articulation and is "boxy" in the rear, which does not complement the surrounding natural environment.
3. The design lacks reasonable access to the equestrian area.

Prior to August 14, 2024, the applicant submitted a request to extend the continuance to October 23, 2024, to update technical reports that were required due to the changes made to the Project and the age of the original reports. The City Council granted the extension and continued the hearing, to be publicly noticed, on October 23, 2024.

Since the January 24, 2024 Public Hearing, the applicant submitted various iterations of plans which were reviewed by staff and the City’s consultants. In an effort to address the lack of articulation, specifically in the rear yard, one design iteration included major architectural changes which reduced the size of the main residence from 4,180 square feet (sq. ft.) to 3,987 sq. ft., and reduced the building length along the street, from 83 feet (ft.) to 70 ft. This design iteration relocated a portion of the left (west) side of the building to the rear (south); however, this resulted in a 3-foot setback from the first retaining wall, which is less than the 5-foot distance the Los Angeles County Fire Department would prefer for access around the building. As such, the Fire Department could not grant their clearance and support of the Project.

In response to the feedback from staff and the LA County Fire Department, the applicant once again redesigned the building to the same general shape and layout, seen in the previous City Council meetings. However, the size of the residence was further reduced to 3,620 sq. ft. with a 650-square-foot attached garage. The length of the building parallel to Balkins Drive was reduced from 83 ft. to 72 ft. The updated and current plans were then reviewed and cleared by the Fire Department. The latest and revised plans are provided under Attachment 2. Additionally, Attachment 3 shows the differences between the current Project and the projects presented on August 12, 2020, and January 24, 2024.

Staff analyzed the Project against the objective standards in the RV (Very Low Density Residential), OA (Old Agoura Overlay), EQ (Equestrian Overlay) and the Old Agoura Design Guidelines. *Table 1. Zoning Conformance* demonstrates that the current Project complies with the objective development standards that regulate the size of the building and its location on the lot. The size of the structure is also less than the allowed maximum floor-area-ratio (FAR) of the Old Agoura Design Guidelines.

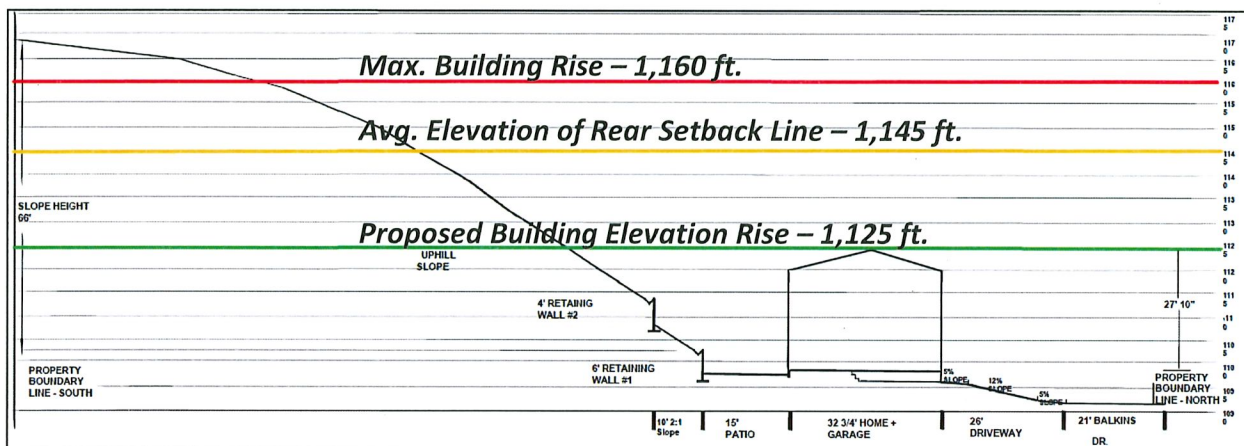
	Original Proposal (8/20/2020)	Previous Proposal (1/24/24)	Current Proposal (10/23/24)	Allowed or Required
1 st floor of SFR	1,985 sq. ft.	1,980 sq. ft.	1,670 sq. ft.	
2 nd floor of SFR	2,195 sq. ft.	2,200 sq. ft.	1,950 sq. ft.	
Total Size of SFR	4,180 sq. ft.	4,180 sq. ft.	3,620 sq. ft.	
3-car garage	730 sq. ft.	704 sq. ft.	650 sq. ft.	
Front Porch	45 sq. ft.	60 sq. ft.	40 sq. ft.	

Table 1. Zoning Conformance				
	Original Proposal (8/20/2020)	Previous Proposal (1/24/24)	Current Proposal (10/23/24)	Allowed or Required
Lot Coverage <i>(excludes 2nd floor)</i>	2,760 sq. ft. (6.24%)	2,744 sq. ft. (6.21%)	2,360 sq. ft. (5.80%)	11,047 sq. ft. (25%) Maximum
Building Setbacks				
North (Front) <i>(to ROW line)</i>	26 ft.	26 ft.	26 ft.	25 ft.
South (Rear)	134 ft.	137 ft.	137 ft.	25 ft.
West (Side)	61 ft.	65 ft.	75 ft.	12 ft.
East (Side)	26 ft.	25 ft.	25 ft.	12 ft.
Building Height	28 ft. – 7 in.	26 ft. – 5 in.	26 ft. – 5 in.	35 ft.
Old Agoura FAR				
	4,220 sq. ft.	4,194 sq. ft.	3,620 sq. ft.	4,227 sq. ft.

*Boxes highlighted in green indicate that it complies and meets the development standard.

In addition to the maximum building height of 35 ft., the Zoning Ordinance also stipulates that the building cannot be more than 15 ft. above the average elevation of the rear setback line's elevation¹. The average elevation of the rear setback line of this lot is approximately 1,145 ft. and the proposed building would rise to an approximate elevation of 1,125 ft. The maximum elevation a building can rise on this lot would be 1,160 ft.

Figure 1. Building Elevation Rise



Source: Civil Balkins Plans 090524

¹ AHMC 9607.1.A – “For properties zoned residential or open space, where the average elevation of the rear lot line is above the average elevation of the front lot line, no building or structure shall exceed a height of fifteen (15) feet above the average finished grade of the rear yard setback line.”

Therefore, the proposed building would be 35 ft. below the maximum allowed (see the illustration below, Figure 1).

The EQ Overlay requires that projects site a minimum horse-keeping area of 1,500 sq. ft. As such, the Project identifies a potential area for horse-keeping, located up the hill, on the east side of the property, which the City Council considered as not being accessible. This being said, at the discretion of the Planning Commission, horse-keeping is an option for lots greater than 25% average slope because it is particularly challenging to locate equestrian areas on steep slopes. Since the average slope of the lot is 49%, the City Council may choose to exempt the Project from the equestrian area requirements².

The current site design is generally the same design presented during the January 24, 2024 City Council meeting; with the exception of the reduced building size and a new retaining wall in the front yard. The retaining wall ranges from one to three feet in height, to support the approximate-three-foot-grade difference between the landscaped front yard and the driveway. The architectural design, including the style, colors, and materials also remain the same, which includes the following:

- Hipped roof along the rear elevation with cross gables at varying heights along the front elevation.
- Terra cotta colored concrete roof tiles.
- Primary exterior color and material: gold/yellow colored stucco accented with stone veneers.

The current design measures the face of the garage at 26 ft. from the right-of-way, while the rest of the structure is set back further into the lot by approximately 3 to 4 ft, thereby creating more articulation along the street (see Attachment 3 for a side-by-side comparison). The rear elevation features two separate balconies for the primary bedroom and another bedroom. Immediately behind the building is a 15-foot-wide paved area that will serve as the rear yard. Beyond the rear yard are two terraced retaining walls, each with a maximum height of six feet and approximately eight feet apart. The area in between the retaining walls will be fully landscaped to minimize the exposed face of the wall.

The Project proposes 16 modern cylindrical up/down light fixtures throughout the exterior of the residence. Should the City Council decide to approve the Project, staff recommends the City Council condition the Project to require the lights to be shielded and downward facing to prevent glare and excessive light spillage onto adjacent properties.

² AHMC 9592.A – "...At the discretion of the Planning Commission, the minimum horse keeping area shall be optional for lots under ten thousand eight hundred ninety (10,890) square feet (¼ acre) or lots with an average slope over twenty-five (25) percent."

The current Project still proposes to preserve all 24 oak trees on the site, which includes nine saplings that have grown on the property since 2020. The total percent encroachment of all trees on the property and four mature trees immediately adjacent to the property, is about nine-percent, with 54 percent being the highest encroachment on a single tree. These encroachments are not expected to harm the trees and will be conditioned to be protected at all times during construction. Only three trees—Nos. 1, 11, and 12--of the total 27 that were analyzed by the Project Arborist will need to be pruned to accommodate for the retaining walls. No single tree will lose more than 15 percent of its foliage and no more than two-percent of the total tree canopy of all trees on the property are proposed to be removed, as allowed by the Oak Tree Ordinance.

The following findings must be considered when making a decision:

Conditional Use Permit (AHMC § 9673.2.E)

1. *The proposed use is consistent with the intent and purpose of this Article IX, the goals and objectives of the general plan, and any applicable specific plan, and the purposes of the district in which the use is located.*
2. *The proposed use is compatible with the surrounding properties; based on the following land use factors:*
 - a. *Whether the proposed use would generate offsite noise louder than ambient noise levels by considering (i) the volume and times of day such noise would be generated; (ii) the proximity of nearby residences, schools, and other sensitive uses; (iii) the topography of the surrounding area likely to affect how noise travels; and (iv) the presences of other nearby uses likely to generate offsite noise at similar times;*
 - b. *Whether the proposed use would result in increased vehicular and/or pedestrian traffic;*
 - c. *Whether access and off-street parking, including parking for guests, can be adequately provided such that available on-street parking for neighboring properties is not negatively impacted;*
 - d. *Whether the proposed building and site design elements including without limitation, structures, fences, walls, lighting, landscaping, and signage, comport with the City's architectural design standards or otherwise achieve the City's goals in harmonizing development with the natural environment.*
3. *The purpose and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare; based on the following factors:*

- a. *Whether public and private roads and driveways used to access the property can safely accommodate all vehicular traffic associated with the proposed use, including emergency vehicles, and meet all applicable requirements of the Los Angeles County Fire Code;*
 - b. *Whether the proposed use could create harmful secondary nuisances that cannot be controlled through reasonable mitigation measures, including, without limitation: (i) littering on adjacent properties or public rights-of-way; (ii) public intoxication on adjacent properties or rights-of-way; or (iii) increased risk of trespass, vandalism, or other unlawful activity on adjacent property or public rights-of-way;*
 - c. *Whether the proposed use will involve activities that would increase the likelihood, spread, or intensity of fire or other life-safety emergency;*
 - d. *Whether the proposed use involves or would result in the alteration or modification of existing drainage patterns, or increased erosion that cannot be controlled through reasonable mitigation measures.*
4. *The proposed use will comply with all the applicable provisions of this Article IX, except for approved variances or modifications.*
 5. *The proposed use shall not be in violation of applicable provisions of this Code or of federal, state, or local law.*

Hillside (AHMC § 9652.15.A)

1. *That the proposed Project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood, mud flow, erosion hazards, or other hazards;*
2. *That the proposed Project is compatible with the natural, biotic, cultural, scenic and open space resources of the area;*
3. *That the proposed Project can be provided with essential public services and is consistent with the objectives and policies of the general plan; and*
4. *That the proposed development will complement the community character and benefit current and future community residents.*

Site Plan Review (AHMC § 9677.5)

- A. *That the proposed use is consistent with the objectives and provisions of this article and the purposes of the land use district in which the use is located;*

- B. That the proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare;*
- C. That the proposed use shall not conflict with the character and design of the buildings and open space in the surrounding area;*
- D. That the proposed use will comply with each of the applicable provisions of this chapter, except for approved variances or modifications;*
- E. That the proposed use is consistent with the city's general plan;*
- F. That the proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development.*

Architectural Review (AHMC § 9677.7.G)

- 1. That the proposed development is consistent with the general plan, any specific plans, and any design standards adopted by the City Council;*
- 2. That the design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion;*
- 3. That the design of the proposed development is in keeping with the character of the surrounding neighborhood is not detrimental to the harmonious, orderly, and attractive development contemplated by this ordinance and the general plan of the City;*
- 4. That the design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors;*
- 5. That the proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements;*
- 6. That the overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare.*

Oak Tree Permit (AHMC § 9657.5.C.3)

- a. That the proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property;*

- b. *That the removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated;*
- c. *That the removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present location(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive; or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s).*

Based on the City Council's decision, staff will prepare a resolution and present it at the next available meeting. Should the City Council decide to approve the project, a copy of the draft Conditions of Approval is provided for consideration, as Attachment 1.

FISCAL IMPACT

There is no additional fiscal impact to the City Council 2024-25 Adopted Budget as all application fees were paid, covering time spent by the City's consultants.

RECOMMENDATION

Staff respectfully recommends the City Council conduct a continued public hearing and consider any of the following options:

1. Affirm the Planning Commission's original decision and deny the project; or
2. Reverse the Planning Commission's decision and approve the project as presented, subject to the conditions proposed by staff; or
3. Reverse the Planning Commission's decision and approve the project with modifications and/or amend the project's conditions of approval.

Attachments:

1. Draft Conditions of Approval
2. New revised project plans for consideration
 - a. Architectural, Civil, and Landscape Plans
 - b. Renderings
 - c. Color and Materials

3. Site Design Comparison
4. Public Comments
5. January 24, 2024 Staff Report and Attachments (Electronic)

ATTACHMENT 1
Draft Conditions of Approval

EXHIBIT A
CONDITIONS OF APPROVAL
(Case Nos. CUP-01533-2018 and OAK-01534-2018)

PLANNING DIVISION

1. The decision of the City Council shall be final.
2. The approval of these permits shall not be effective for any purpose until the applicant has agreed in writing that they are aware of, and accept, all conditions of this of these permits with the Planning Division.
3. Except as specifically modified by conditions of approval, the proposed development shall be constructed in substantial conformance with the approved plans and project description. The proposed development shall further comply with all conditions of approval stipulated in this resolution attached hereto. In the event project plans conflict with any condition of approval, the condition shall take precedence.
4. Minor changes to the approved plans or the conditions of approval may be approved by the Planning Director, provided such changes achieve substantially the same results and the project is still in compliance with the Agoura Hills Municipal Code. Revised plans reflecting the minor changes and additional fees shall be required to be submitted to complete the record. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of these permits is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permits shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Agoura Hills Municipal Code and of the specific zoning designation of the subject property must be complied with unless set forth in these conditions or on the approved plans.
8. No occupancy shall be granted for any new building until all conditions of approval have been complied with as determined by the Community Development Director.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property for the primary residence, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.

10. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
11. The Applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
12. The applicant shall pass a final building inspection (final inspection prior to occupancy) within two years of approval of this permit (CUP-01533-2018 & OAK-01534-2018). This permit shall expire two years from the date of approval unless an extension is granted by the Planning Division.
13. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.
14. The Applicant shall pay school impact fees as required by the Las Virgenes Unified School District prior to the issuance of a building permit.
15. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days of the approval of this permit.
16. All roof-mounted equipment shall comply with the Agoura Hills Municipal Code.
17. New structures in excess of 120 square feet proposed in the equestrian area shall require the review and approval of the City Planning and Building and Safety Divisions.
18. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Division shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Division, and retained and paid for by the Developer/Applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Department.
19. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the Developer/Contractor shall contact the City Planning Division and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of

action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.

20. It is the responsibility of the Applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
21. A pre-construction conference shall be held prior to the issuance of a Grading Permit, with all construction personnel involved with the grading operations in attendance.
22. If substantial changes are made to the approved Preliminary Landscape Plan, as determined by the Community Development Director, the revised Landscape Plan shall be subject to approval by the Planning Commission.
23. I understand that the receipt of the approvals and the rights granted pursuant to such approvals are for my benefit (or that of my principal). Therefore, if the approvals, any conditions attached thereto, or any other City permits issued pursuant to such approvals, are challenged by a third party, I will be responsible for defending against this challenge. I agree to accept this responsibility for defense at the request of the City and also agree to defend and indemnify (with counsel of the City's choosing), and hold the City harmless from any costs, claims, demand, financial loss, penalties, fines, judgments, or liabilities arising from the approvals, any conditions attached thereto, or any City permits issued pursuant to such approvals, including without limitation, any award or attorney's fees that might result from the third party challenge, excepting only liability arising from the sole negligence, gross negligence, or intentional misconduct of City. For the purpose of this indemnity, the term "City" shall include the City of Agoura Hills, its officers, officials, employees, agents, and representatives. For the purpose of this indemnity, the term "challenge" means any legal or administrative action to dispute, contest, attack, set aside, limit, or modify the approval, project conditions, or any act upon which the approval is based, including, but not limited to, any action alleging a failure to comply with the California Environmental Quality Act or other laws.
24. A construction chain link fence with green mesh fabric screening no higher than six (6) feet in height shall be installed on-site along the perimeter of the site prior to construction, no closer than five (5) feet from the property line. The fence shall allow for vehicle access to the site, and be installed such that the line-of-sight for vehicles entering or exiting the site is clear and unobstructed. The fence and screening shall be installed prior to construction and shall remain in good working condition and free from disrepair and vandalism for the duration of the construction period. The fence shall be removed upon construction completion.
25. All exterior lights shall be focused downward and shielded to minimize glare and light spillover onto the open space area on the south end of the site and the adjacent lots.

26. Retaining walls shall not be built with an exposed face greater than six (6) feet tall.
27. The retaining wall design shall be shown on the final grading plans and be of decorative, rustic material, consistent with the surrounding natural area, to the satisfaction of the Planning Division.
28. No construction work or repair shall be performed outside the hours of 7:00 a.m. to 7:00 p.m. or any Sunday or Holiday.

BUILDING AND SAFETY DIVISION CONDITIONS

Prior to permit issuance

29. All buildings and structures to be constructed, altered, or change of use proposed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City's Building Codes, Fire Code, and any related Building Standards Code in effect; and all other applicable provisions of the AHMC which are adopted and in effect at the time of application for a building permit.
30. All the code requirements for the Very High Fire Hazard Severity Zone (VHFHSZ) per amended Chapter 7A of the governing California Building Code or the amended Section R337 of the governing California Residential Code, Los Angeles County Fire Code, and Agoura Hills Municipal Code shall apply to this Project.
31. Approval from the Planning Division is required prior to submitting applications for building permits with the Building and Safety Division
32. City of Agoura Hills Department of Public Works approval for the grading plan will be required prior to the issuance of building permits.
33. Fire Sprinklers is required for all new structures per Agoura Hills Municipal Code 903.2 including the garage, pool house and studio.
34. Soils report is required to be submitted for this project for review and shall be a part of the final construction plans.
35. Los Angeles County Fire Department approval for FD access will be required prior to the issuance of building/grading permits.
36. Las Virgenes Municipal Water District approval will be required prior to the issuance of building permits
37. Los Angeles County Health Department approval is required for the installation of any septic tanks, leach fields or seepage pits and future leach fields and seepage pits prior to the issuance of building permits.
38. School fees is required to be paid prior to the issuance of building permits.

During Construction

39. Hours of construction shall be limited to the following: 7:00 AM to 7:00 PM Monday through Saturday, no work on Sundays and Holidays. All construction workers shall be respectful of the surrounding neighborhood and keep non-construction-related noise to a minimum prior to, during, and after permissible construction hours.
40. All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.
41. Compliance with the following noise standards shall be required at all times:
 - a. No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment;
 - b. All construction equipment shall be properly maintained to minimize noise emissions;
 - c. If any construction vehicles are serviced at a location on site, the vehicle(s) shall be setback from any street and other property lines to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors;
 - d. Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Director of Community Development or/and the Building Official.
 - e. Stationary source equipment (i.e., compressors) shall be located to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors.
42. In the event multiple citations are issued in connection with the Project for violations of these Conditions of Approval or other violations of the AHMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the AHMC.

Prior to TCO/CO issuance

43. Successfully completed all required inspections as determined by the Building Official and obtained Final approval from all Agencies.

PUBLIC WORKS/ENGINEERING DIVISION

44. Prior to issuance of a grading permit, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
45. For all work within the public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of a grading permit, all improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc. shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.agourahillscity.org.
46. Prior to issuance of a grading permit, the applicant shall pay all applicable Transportation Impact Fee (TIF) to the Building and Safety Department in the amount of \$3,094.
47. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
48. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
49. The grading plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
50. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
51. Prior to issuance of a grading permit, the project shall obtain a permit from the Los Angeles County Fire & Health Departments, and from Las Virgenes Municipal Water District.
52. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.

53. Grading and Building Permits shall not be issued until applicant has obtained septic system approval from Los Angeles County Health Department.
54. Prior to issuance of a grading permit, all public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. **This project shall provide 20 feet minimum of paved surface, grind and repave Balkins Drive along the property frontage, construct a permeable pavers driveway approach, and construct all water appurtenances per Las Virgenes Municipal Water District' standards.**
55. The following existing street being cut for new services will require an asphalt concrete overlay: Balkins Drive along property frontage.
56. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
57. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.
58. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
59. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

60. Prior to the approval of the Grading Plan and issuance of Grading Permit, a completed Low Impact Development (LID) Plan shall be submitted to and approved by the Engineering Department. The LID Plan shall comply with the requirements of the LID Ordinance and Los Angeles County LID Standards Manual. The LID Plan shall include the following information:
- Identification of whether the proposed project is a Designated or Non-Designated Project.
 - If the proposed project is a Designated Project, identification of the project category.
 - Feasibility of infiltration including a percolation report as part of a geotechnical report prepared by a geotechnical engineer.
 - Source control measure(s) proposed to be implemented
 - Calculation of the SWQDv.
 - Discussion on whether stormwater runoff harvest and use is feasible.
 - Stormwater quality control measure(s) proposed to be implemented.
 - Discussion of how the applicable water quality standards and total maximum daily loads (TMDLs) will be addressed (off-site mitigation projects only).
 - Proposed hydromodification controls and calculations (if necessary).
 - Proposed maintenance plan (if necessary).
61. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.
62. Prior to issuance of Certificate of Occupancy, all construction improvements covered in condition number 54 must be completed to the satisfaction of the City Engineer.
63. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
64. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County.
65. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
66. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed

by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

67. Prior to issuance of permits from the Engineering Department, applicant shall provide written permission from Southern California Edison to relocate utilities. Grading plans shall clearly show all details associated with this work including the location of the new easement.

GEOTECHNICAL CONDITIONS

68. The consultant shall provide a geotechnical update to address any changes in 1) geotechnical conditions at the site; 2) changes to the proposed development plans relative to previous submittals; and 3) changes to applicable codes and guidelines. The geotechnical update shall include an updated geotechnical map and sections and provide additional geotechnical recommendations, as necessary.
69. The applicant shall comply with all recommendations of the updated geotechnical engineering report prepared by Calwest Geotechnical Consulting Engineers dated September 10, 2024, the updated geologic report prepared by Landphases, Inc. dated September 4, 2024, and the City Geological/Geotechnical Consultant's (GeoDynamics, Inc.) recommendation and comments dated September 25, 2024.

OAK TREE CONDITIONS

Prior To Construction

70. *Pre-construction.* Prior to the start of any work or mobilization at the site, a fencing plan shall be prepared in accordance with the City's Oak Tree Preservation Guidelines, Section V, Standards for Performance of Required Work (see Subsection 1.1 on page 1,052). Where encroachment is approved by the City within the tree protection zone (TPZ), protective fencing shall be installed at the limits of encroachment. An oak tree protective fencing plan shall be submitted to the City Oak Tree Consultant for approval prior to initiation of construction activities, and fence installation shall also be verified by the City Oak Tree Consultant prior to initiating construction. No activities, including grading, excavation, or pruning, may be conducted beyond the protective fencing.
71. *Project Plans.* Before the commencement of the project, all project plans and/or construction drawings shall accurately reflect the oak trees' driplines and TPZs as depicted in the October 9, 2024 oak tree location map.
72. *Utility Trenching Pathway Plan.* To avoid unnecessary damage to the root systems of protected oak trees, before the commencement of the construction phase, the developer shall submit a utility trenching pathway plan to the Community Development Department and the City Engineer for review and approval before the commencement of the construction phase.

- a. The plan shall depict all of the following systems: storm drains, subdrains, sewers, easement area drains, gas lines, electrical service and fiberoptics, water mains, irrigation mainlines and laterals, and other underground installations.
 - b. The plan shall include all lateral lines serving the new building. To be completely effective, the plan shall include the surveyed locations of all oak trees on the project as well as an accurate plotting of the TPZ within 1 foot.
73. *Nesting Bird Surveys.* If any work including digging, grading, excavation, or construction is proposed to occur during nesting bird season (from January 1 to September 15), the applicant shall submit a nesting bird survey performed by a qualified biologist, to the City, seven days prior to such work. If any bird species protected by the Migratory Bird Treaty Reform Act of 2004 is observed on/in the vicinity of the project site, the project shall be delayed until the conclusion of nesting bird season.

During Construction

74. *Conditions.* All conditions stated in the City of Agoura Hills (City) Oak Tree Preservation Guidelines, Section V, Standards for Performance of Required Work (pages 1,048–1,057), shall be implemented.
75. *Additional Requirements.* In addition to the conditions within Section V of the City's Oak Tree Preservation Guidelines, all tree avoidance and minimization recommendations within the February 19, 2020, oak tree report shall be implemented.
76. *Tree Protection Zone Requirements.* All work within the TPZ shall occur as described within the October 9, 2024, letter update. No work, including excavation, grading, or pruning, may occur in the TPZ of Tree No. OP4. No work within the TPZ that is not described in the October 10, 2024, letter update shall be permitted.
77. *Additional Work.* If any tree has grown significantly and requires work in the TPZ beyond what is described in the previous materials (including excavation, grading, and pruning), such additional work shall be subject to additional City review and written consent. Any work within the TPZ for a future horse corral, including excavation, grading, and/or pruning, shall be subject to additional City review and written consent. Any Southern California Edison lines proposed for relocation within the TPZ, or otherwise require work in the TPZ, shall be subject to additional City review and written consent.
78. *On-Site Documentation.* The following information must be located and permanently retained on the construction site at the start of grading operations. The superintendent will be required to call the and Community Development

Department to request an inspection and to verify that the information is located on site.

- a. Oak tree report and all present and proposed modifications
 - b. Oak tree location map
 - c. Oak tree fencing plan
 - d. Oak tree permit and all present and future modifications
 - e. Approved grading plans approved by the City Engineer and City Oak Tree Consultant
 - f. Stamped set approved by the Community Development Department
 - g. Permit and tract conditions: A copy of the approved permit and tract conditions and all current and future modifications approved by the Community Development Department
 - h. Oak tree ordinance
 - i. Oak tree preservation guidelines
 - j. Approved planting and irrigation drawings
79. *Noticing.* The Applicant shall provide a minimum of 48-hour notice to the City Oak Tree Consultant prior to the start of any approved work within the TPZ of any oak tree. The Applicant shall notify the City in writing within 5 days of any changes of their Oak Tree Consultant(s) of record.
80. *Construction Phase Monitor.* The Applicant shall retain an International Society of Arboriculture (ISA) Certified Arborist as their Oak Tree Consultant to monitor all work occurring in the TPZ, including trenching for the retaining wall to minimize impacts to the tree's roots to the greatest extent feasible. The Applicant's Oak Tree Consultant shall provide recommendations for minimizing and avoiding roots during trenching activities within the TPZ. The Applicant's Oak Tree Consultant shall submit an observation report with their recommendations and mitigation or remediation measures at the completion of the observation to the City Community Development Department for review.
81. *Standards.* All work within the TPZ shall be consistent with American National Standard Institute's A300 Tree Care standards and the most recent edition of ISA Best Management Practices.
82. *Grade Changes.* Grade changes, including adding fill, are not permitted within the TPZ, without special written authorization from the City and supervision by the Applicant's Oak Tree Consultant. Lowering the grade within this area will necessitate cutting main support and feeder roots, jeopardizing the health and structural integrity of the tree(s). Adding soil, even temporarily, on top of the existing grade will compact the soil further and decrease both water and air availability to the trees' roots.

83. *Excavation.* All subsurface ground disturbances that will occur within the TPZ of an oak tree shall be performed using hand tools under the direct observation of the Applicant's Oak Tree Consultant. If work within the TPZ is not feasible with the use of hand tools, mechanical equipment may be allowed so long as the Applicant's Oak Tree Consultant is present to directly observe activities and to ensure that no impact occurs to the oak tree. The Applicant's Oak Tree Consultant shall be responsible for prescribing measures for minimizing impacts to roots. No grading, scarifying, or other soil disturbance shall be permitted within the portion of the TPZ of any oak tree, except as specifically indicated on the project plans and as approved in accordance with this oak tree permit.
84. *Footings.* In accordance with the Oak Tree Preservation Guidelines (B, Tree Maintenance and Pruning Operations, 8, Roots [page 1,051]), where structural footings are required, and roots will be impacted, the footings shall be bridged and the roots protected. All such roots shall be covered with a layer of plastic cloth and 2–4 inches of Styrofoam matting prior to pouring the footing. The City Oak Tree Consultant shall be notified within no less than 5 business days to visually inspect implementation of this method prior to backfilling the trench. The trench shall not be backfilled until the City Oak Tree Consultant conducts a visual inspection.
85. *Root Pruning.* If any roots less than 2 inches in diameter need to be cut, do not apply any tree/root sealers to the cut. It is best to cut roots with a sharp pruning saw so that cuts are clean (i.e., not jagged). This will allow lateral roots to grow and supplement water/nutrient uptake from the loss of the cut root. All root pruning shall consist of clean cuts at a 45-degree angle with the cut surface facing downward. Rooting hormone may be applied to the cut root, so long as it is applied properly according to the product label. No roots greater than 2 inches in diameter may be cut without additional City review and written consent.
86. *Vehicle and Material Storage.* Do not store or discard any supply or material, including paint, lumber, concrete overflow, etc. within the TPZ. Remove all foreign debris within the TPZ; it is important to leave the duff, mulch, chips, and leaves around the retained trees for water retention and nutrients. Avoid draining or leakage of equipment fluids near retained trees. Fluids such as gasoline, diesel, oils, hydraulics, brake and transmission fluids, paint, paint thinners, and glycol (anti-freeze) should be disposed of properly. Keep equipment parked at least 50 feet away from the TPZ to avoid the possibility of leakage of equipment fluids into the soil. The effect of toxic equipment fluids on the retained trees could lead to decline and death.
87. *Crown Pruning.* Crown pruning may only occur as described in the October 10, 2024, letter update. Any additional pruning not discussed in the October 10, 2024, letter update shall be subject to additional City review and shall require written City consent.

88. *Tree Removal.* The stump from the removal of the fallen stem of Tree No. 1 shall be left to preserve the root system of the remaining vertical stem.
89. *Debris.* All debris shall be relocated to a recognized county refuse disposal site.

Post-Construction

90. *Documentation.* Any unintentional oak tree impacts shall be reported to the City within 48 hours of the incident. The Applicant's Oak Tree Consultant shall submit a certification letter for all work completed within the TPZ of an oak tree within 5 working days following the completion of said work. The letter(s) shall describe all work performed, methods utilized, and monitoring performed and shall state whether such work was completed in accordance with the Conditions of Approval.
91. *Fencing Removal.* Prior to the removal of the protective fencing, the Applicant shall contact the City Oak Tree Consultant to perform a final inspection. The Applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree within 2 weeks of the site inspection.
92. *Irrigation and Ground Cover.* No irrigation or plantings shall be installed within the TPZ of any oak tree.
93. *Herbicides.* No herbicides shall be used within 100 feet of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
94. *Post-Construction Care and Maintenance.* An observable care and maintenance program shall be established to ensure the continued health and care of the oak trees. The program will consist of two visits per year for three years. After each visit, the Applicant's Oak Tree Consultant shall provide a written report to the City detailing the health, condition, and any recommended remedial measures for, at minimum, Tree Nos. 1, 11, and 12, and any trees that are planted as mitigation trees.
95. *Tree Replacement (failed trees).* If any protected oak trees die or are otherwise removed as a result of the project, replacement trees shall be provided according to the standards in the City's Oak Tree Preservation Guidelines, or at a rate of 4:1.
96. *Tree Stabilization.* Any tree stabilization measures, including bracing, shall not result in actions that may harm any protected oak tree. If any actions to stabilize any protected oak tree, such as excavating, grading, or pruning, have the potential to harm the tree, such actions shall be subject to additional City review and written consent.
97. *Mulch.* A 3-inch layer of chipped bark mulch shall be applied throughout the soil ring surrounding any mitigation trees at the time of planting. Under no circumstances shall eucalyptus mulch or mulch derived from diseased plant

material be used. The mulch shall be maintained so that it remains slightly away from the trunk of the tree to avoid excess moisture at the root crown. The mulch shall be replenished as necessary throughout the life span of the tree.

98. *Preservation.* All oak trees located on the property, including mitigation oaks (if applicable), shall be preserved in perpetuity.

LANDSCAPING AND IRRIGATION CONDITIONS

99. Final Landscape Plans shall substantially conform to the Landscape Preliminary Plan prepared by Wynn Landscape Architects, Inc. (File Name Aurora L1-06252024), as approved by the City of Agoura Hills City Council.
100. Location and material of paved surfaces, accessory structures, walls and fences, landscape features and other site improvements shall conform to the approved plans. Paving to match other consultant plans, including permeable concrete at the patio area. Paving for access to the trash enclosure and around the building to be clearly shown on plans.
101. Prior to the approval of a grading permit, the applicant shall electronically submit the Final Landscape Plans for review by the City Landscape Consultant and approval by the Community Development Director. A California Landscape Architect with a current license shall prepare, stamp and sign the plans. The Plans shall be submitted with a copy of the following approved plans: Architectural Site Plan, Building Elevations and Final Grading Plan. Conditions of Approval shall also be submitted with the Landscape and Irrigation Plans.
102. The Planting and Irrigation Plans shall meet the requirements of the State Model Water Efficient Landscape Ordinance and Division 8, Chapter 6, Article IX of the Agoura Hills Municipal Code. Plans shall include Compliance Statements per State MWEL, California Code of Regulations Chapter 2.7 Model Water Efficient Landscape Ordinance §492.7(b)(6)&(7).
- a. "I have complied with the criteria of the ordinance and applied them accordingly for the efficient use of water in the irrigation design plan"
 - b. Signature of the licensed landscape architect, certified irrigation designer, licensed landscape contractor, or any other person authorized to design an irrigation system
 - c. Completed and approved irrigation plans to be submitted to the Las Virgenes Municipal Water District.
103. At the time of the Final Landscape Plans submittal, the project Landscape Architect shall provide the City with written confirmation that the civil engineering drawings have been reviewed and that the Landscape Plan is not in conflict with

the requirements of the National Pollutant Discharge Elimination System (NPDES) or Low Impact Development Standards (LID) .

104. Planting Plans shall indicate the botanical name, the plant container sizes and spacing and WUCOLS designations. The minimum size of trees shall be fifteen (15) gallon. The minimum size of shrubs shall be five (5) gallon except shrubs planted as groundcovers and or as accent planting, which may be one (1) gallon size. Plant sizes may be increased on some projects at the discretion of the Planning Director. *(If necessary specify required plant sizes)*. Plant symbols shall depict 75 percent of the size of the plant at maturity. Palm trees are not permitted in the City of Agoura Hills. All plant material shall be compatible with Sunset's Climate Zone 18.
105. Utilities and utility areas to be screened from public view, including the trash area and ac compressor.
106. The Final Landscape Plans shall include the following:
 - a. A note stating, that the project Landscape Architect shall inspect and certify in writing that the landscape installation is in conformance with the approved Landscape Plans prior to final city inspection.
 - b. A table indicating the total square footage of the landscape area within the project.
107. The Final Irrigation Plans shall be provided separate from, but utilizing the same format as, the Planting Plans. The Final Irrigation Plans shall include calculations that demonstrate the irrigation design hydraulically works given the static and working design pressure of the system.
108. With the Final Landscape Plans, details and specifications shall be provided, addressing but not limited to layout, planting, soil preparation, tree staking, guying, installation details and post installation maintenance.
109. The approved landscape shall be continually maintained in a healthy state. Plants that die and plants that are damaged shall be immediately replaced with originally specified material.
110. Invasive non-native plants that can threaten the local wildland ecosystems are not permitted. These plants are listed in the California Invasive Plant Inventory published by the California Invasive Plant Council.
111. All planting areas shall receive a three (3) inch layer of coniferous bark mulch. Mulch to be kept away from tree and shrub crowns. Mulch areas to be dressed to present a clean uniform appearance when complete. Mulch within five feet of the structures to conform to fire safety requirements.

112. The Final Landscape Plan shall be approved by the Fuel Modification Unit of the County of Los Angeles Fire Department prior to the issuance of a building permit.
113. Landscape improvements, planting, and irrigation installation shall be subject to inspection and approval by the Planning Division prior to final building permit inspection.

SOLID WASTE MANAGEMENT CONDITIONS

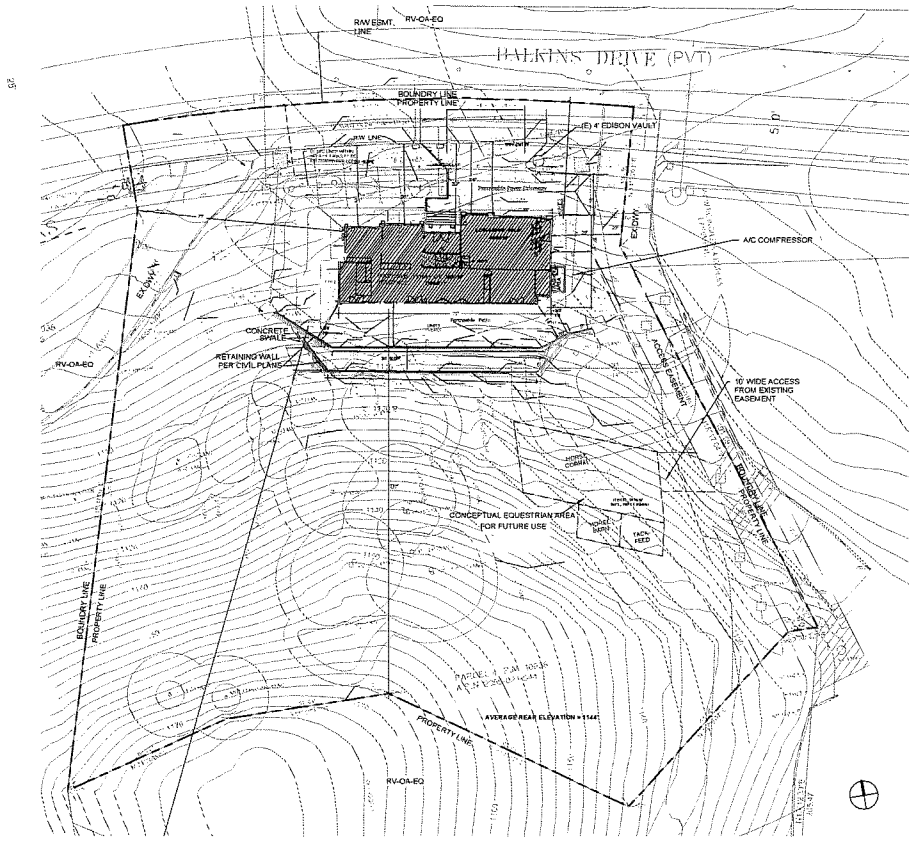
114. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 65% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
115. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
116. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

ATTACHMENT 2

New Revised Project Plans

- a. Architectural, Civil, and Landscape Plans
- b. Renderings
- c. Color and Materials



LEGEND

- DRAIN LINE
- SDC CONDUIT
- EXIST. GAS LINE
- NEW SEWER LINE
- RETAINING WALL
- EDGE OF PAVEMENT
- CIRCULAR LINE
- STRUCTURE
- PERMISSIBLE PAVING
- PDA GRAVEL
- 2:1 FILL SLOPE
- SWALE

1 Site Plan
1" = 20'-0"

VICINITY MAP



APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY CODE
- AGOURA HILLS MUNICIPAL CODE
- 2017 LOS ANGELES COUNTY FIRE CODE

EASEMENT LEGENDS

EASEMENT NUMBERS ARE PER TITLE REPORT, PREPARED BY CALIFORNIA TITLE, ORDER # 410-1843387-84

LEGEND # EASEMENT DETAILS

- 7 10' WIDE EASEMENT FOR INGRESS AND EGRESS AS DEDICATED AND DELINEATED PER PARCEL MAP NO. 10038 BK 157 PG 27
- 8 15' WIDE EASEMENT FOR WATER LINE PURPOSES TO LVMWD PER INSTRUMENT NO. 06-1408841 O.R.
- 9 VARIABLE WIDTH EASEMENT FOR INGRESS AND EGRESS PER INSTRUMENT NO. 07-140751 O.R.
- 10 8' WIDE EASEMENT FOR UTILITY LINE PURPOSES TO SCE PER INSTRUMENT NO. 07-144532 O.R.
- 12 INGRESS AND EGRESS EASEMENT FOR PARCELS 1, 2 & 3 PER INSTRUMENT NO. 06-2683156 O.R.
- 13 EASEMENT FOR CONSTRUCTION PURPOSES OVER PARCEL 1, 2 & 3 PER INSTRUMENT NO. 05-3237175

EASEMENT NOTES

THE RIGHT-OF-WAY FOR THOUSAND OAKS BLVD, AS SHOWN ON PARCEL MAP 10038 BK 157 PG 27 WAS VACATED BY THE CITY OF AGOURA HILLS PER RESOLUTION NO. 537 ADOPTED 7-12-88.
THE 20' WIDE EASEMENT FOR SLOPE PURPOSES AS SHOWN ON PARCEL MAP 10038 BK 157 PG 27 AND IN THE TITLE REPORT AS EASEMENT NO. 6, PREPARED BY CALIFORNIA TITLE AS ORDER NO. 410-1843387-84 WAS VACATED BY THE CITY OF AGOURA HILLS PER RESOLUTION NO. 08-1487, ADOPTED 7-8-2008

PROJECT DATA

PROJECT ADDRESS 28340 BALKINS DR. (PRIVATE)
AGOURA HILLS, CA 91301

PROPERTY OWNER ARVIND AURORA
6670 ARMITOS DRIVE
SANTA ROSA VALLEY, CA 93012
(650) 281-9853

GENERAL DESCRIPTION NEW SINGLE FAMILY HOME WITH ATTACHED 3-CAR GARAGE

CONSTRUCTION TYPE V-B

FIRE SPRINKLERS YES (UNDER SEPARATE PERMIT)

STORIES 2

BUILDING HEIGHT 1ST FLOOR TO ROOF RIDGE = 26'-2"
1ST FLOOR TO TOP OF SKTD = +10'-2"; 2ND FLOOR TO TOP PLATE = +9'-0"

OCCUPANCY R3

APN RV-04-EO
205-021-044

PROPERTY DESCRIPTION 70%-PARCEL MAP AS PER BK 157 P 27 OF P.M. LOT 4

LOT AREA 44,186 SF OR 1.01 AC (AVG. WIDTH 190', AVGL. DEPTH 229')
40,310 SF OR 0.925 AC - NET OF EASEMENTS AND HIGHWAY

	GROSS LOT	NET LOT
HOUSE	1670 SF or 3.78%	4,101%
GARAGE	650 SF or 1.47%	1,620%
ENTRY PORCH	44 SF or 0.09%	0.09%
TOTAL LOT COVERAGE	2360 SF or 5.34%	5.80%
TOTAL HORSE FACILITY	1510 SF (INCL. 140 SF BARN)	

FUTURE HORSE FACILITY (ALLOCATED)

YARDS SETBACKS

FRONT	32 FT
WEST SIDE	75 FT
REAR	157 FT
EAST SIDE	25 FT

AVERAGE TOPOGRAPHIC SLOPE 48.3%

AVG. ELEVATION AT REAR SETBACK 1144'

AVG. ELEVATION AT FRONT SETBACK 1092'

ELEVATION AT PAD SITE 1096'

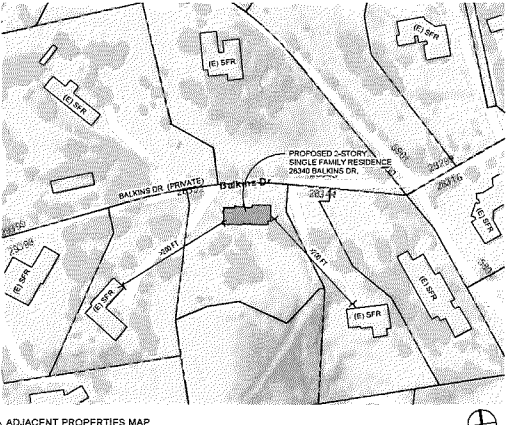
FLOOR AREAS

1ST FLOOR	1670 SF
2ND FLOOR	1850 SF
TOTAL BLDG.	3520 SF
GARAGE	650 SF

**EXCAVATION AREA (VOLUME OVER-EXCAVATION (BUILDING REMOVAL/REPLACE) = 630 CY
DRY QUANTITY CUT VOLUME = 160 CY, FILL VOLUME = 160 CY
TOTAL CUT = 160 CY, TOTAL FILL = 160 CY, DIFFERENCE (EXPORT) = 0 CY**

DRAWING LIST

Sheet Number	Sheet Title	Sheet Number	Sheet Title
A100	Cover Sheet & Site Plan		
A101	Fire Dept. Requirements		
A201	1st Floor Plan		
A202	2nd Floor Plan		
A203	Roof Plan		
A301	Exterior Elevations		
A302	Exterior Elevations		
A304	Building Sections		
A305	Building Sections		
A600	General Notes		



2 ADJACENT PROPERTIES MAP
1" = 100'-0"

Aurora Design & Consulting
6670 Armitos Dr., Santa Rosa Valley, CA 93012
email: whipower1@gmail.com



Consultants

Revisions

No.	Description	Date

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)
Agoura Hills, CA 91301

Applicant: Arvind Aurora
6670 Armitos Drive
Santa Rosa Valley, CA 93012
(650) 281-9853

Cover Sheet & Site Plan

Project Number	Aurora
Date	05/15/2024
Drawn By	Author
Checked By	Checker

A100

Scale 1" = 20'



Consultants

Revisions

No.	Description	Date
	TOTAL 1ST FLOOR AREA = 1599 SQ. FT.	02/01/22
	1ST FLOOR HEIGHT = 10 FT.	02/01/22

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)
 Agoura Hills, CA 91301

Applicant: Arvind Aurora
 6670 Armitos Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

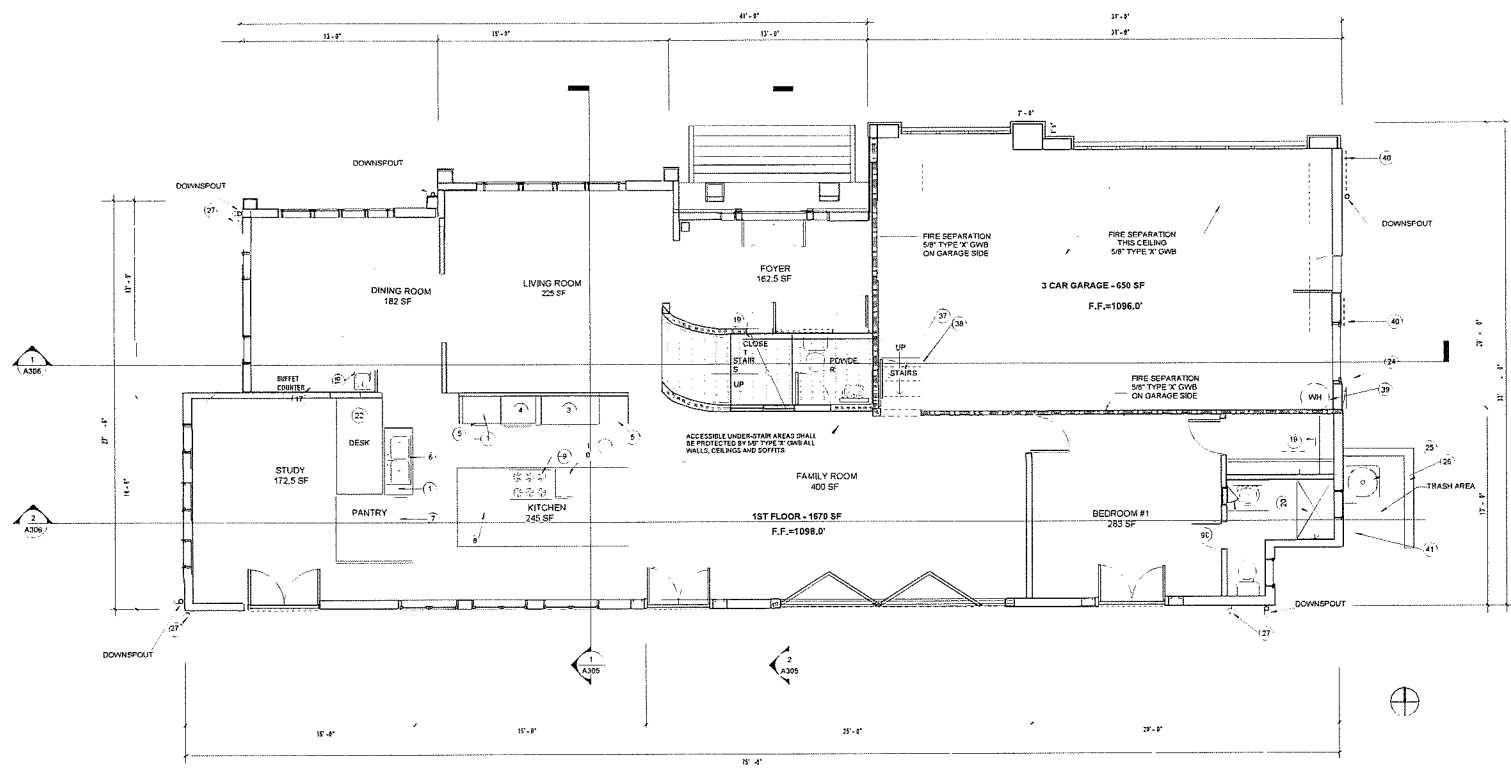
1st Floor Plan

Project Number	Aurora
Date	05/15/2024
Drawn By	Author
Checked By	Checker

A201

Scale 1/4" = 1'-0"

05/15/2024



Floor Plan Key Notes

- 1 36" HIGH COUNTERTOP OVER BASE CABINETS
- 3 40" REFRIGERATOR - PROVIDE WATER SUPPLY
- 4 DOUBLE WALL OVEN
- 5 DISHWASHER
- 6 KITCHEN SINK WITH GARBAGE DISPOSAL
- 7 PANTRY
- 8 36" HIGH ISLAND COUNTER OVER BASE CABINETS
- 9 36" COOKTOP
- 10 15" TRASH COMPACTOR
- 16 BUILT-IN MEDIA CABINET
- 17 36" HIGH ISLAND BAR COUNTER OVER BASE CABINETS
- 18 15" BAR SINK
- 19 CLOSET SHELF & POLE
- 20 SHOWER
- 21 LINEN CABINET
- 22 BUILT-IN OFFICE DESK
- 24 ELECTRIC PANEL
- 25 A/C CONDENSER - PROVIDE CONCRETE PAD
- 26 4" HIGH MAX BLOCK SCREEN WALL FOR A/C COMPRESSOR AND TRASH. VERIFY CLEARANCE REQUIRED FOR EQUIPMENT ACCESS.
- 27 HOSE BIB
- 28 SPA BATH TUB
- 29 HVAC DUCT CHASE
- 30 42" HIGH COUNTER/CAPABLE OF RESISTING LIVE LOAD OF 200 LBS IN ANY DIRECTION
- 32 LAUNDRY WASHER
- 33 CLOTHES DRYER - PROVIDE VENT DUCT TO OUTSIDE
- 34 CLASS 'A' FIRE RESISTANT DECK COATING. LIFE DECK SPECIALTY COATINGS AL WATERPROOF DECKING SYSTEM, CA STATE FIRE MARSHALL # CSPM #4175-1220 0100. INSTALL PER MFG'S INSTRUCTIONS

Floor Plan Key Notes

- 35 DRYER VENT TO OUTSIDE WITH DAMPER. VENT SHALL BE MINIMUM 4" AND SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO.
- 36 RECESSED MEDICINE CABINET
- 37 CAST-IN-PLACE CONCRETE STEPS AND LANDING - MATCH GARAGE SLAB RE-BAR.
- 38 METAL HANDRAIL 34" ON ABOVE NOSING
- 39 WATER HEATER - IF GAS FUELED EQUIPMENT - IT SHALL BE PLACED ON PLATFORM 18" ABOVE GARAGE FLOOR AND SHALL BE STRAPPED TO THE WALL.
- 40 16" X 16" FRESH AIR VENT W/ SCREEN AND LOUVERS AT BASE OF STUD WALL
- 41 WALL MOUNTED BATTERY PANELS.

Exterior Windows and Doors Key Notes

- 42 EXTERIOR GLAZING ON WINDOWS SHALL BE MULTIPANE WITH A MINIMUM OF ONE TEMPERED PANEL OR MINIMUM 20 MINUTE, OR COMPLIES WITH SPM 12-7A-2, AS PER CODE 70A.1, R327.8.2.1.
- 43 EXTERIOR AND INTERIOR GARAGE ACCESS DOORS SHALL MEET THE FOLLOWING:
 - A. NON-COMBUSTIBLE MATERIAL, OR
 - B. IGNITION RESISTANT MATERIAL, OR
 - C. SOLID-CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 7/8 INCH THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1 1/4 INCH THICK, OR
 - D. MINIMUM 20MINUTE RATE, OR
 - E. COMPLIES WITH SPM 12-7A-1.



Consultants

Revisions

No.	Description	Date
	Total 2nd Floor Area = 2200 SF	02/01/22
	2nd Floor Height = 9 FT	03/01/22

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)
 Agoura Hills, CA 91301

Applicant: Arvind Aurora
 6670 Armitos Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

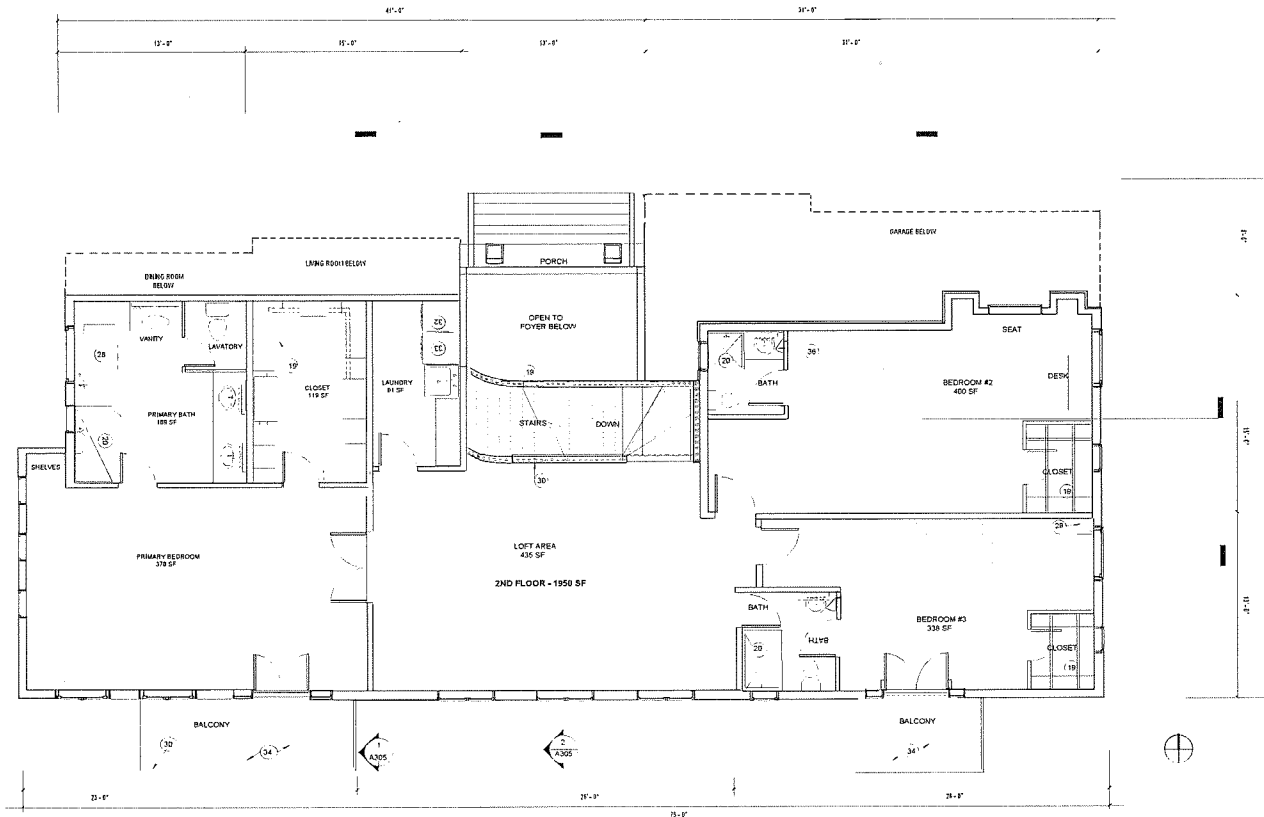
2nd Floor Plan

Project Number	Aurora
Date	05/15/2024
Drawn By	Author
Checked By	Checker

A202

Scale 1/4" = 1'-0"

06/15/2024



Floor Plan Key Notes

- 1 3/4" HIGH COUNTERTOP OVER BASE CABINETS
- 2 48" REFRIGERATOR - PROVIDE WATER SUPPLY
- 4 DOUBLE WALL OVEN
- 5 DISHWASHER
- 6 KITCHEN SINK WITH GARBAGE DISPOSAL
- 7 PANTRY
- 8 36" HIGH ISLAND COUNTER OVER BASE CABINETS
- 9 26" COUNTERTOP
- 10 15" TRASH COMPACTOR
- 11 BUILT-IN MEDIA CABINET
- 12 36" HIGH ISLAND BATH COUNTER OVER BASE CABINETS
- 13 12" BAR SINK
- 14 CLOSET SHELF & POLE
- 15 SHOWER
- 16 LINEN CABINET
- 17 BUILT-IN OFFICE DESK
- 18 ELECTRIC PANEL
- 19 AC CONDENSER - PROVIDE CONCRETE PAD
- 20 4" HIGH MAX BLOCK SCREEN WALL FOR A/C COMPRESSOR AND TRASH - VERIFY CLEARANCE REQUIRED FOR EQUIPMENT ACCESS.
- 21 HOSE BIB
- 22 SPA BATH TUB
- 23 HVAC DUCT CHASE
- 24 42" HIGH GUARDRAIL CAPABLE OF RESISTING LIVE LOAD OF 200 LBS IN ANY DIRECTION
- 25 LAUNDRY WASHER
- 26 CLOTHES DRYER - PROVIDE VENT DUCT TO OUTSIDE
- 27 CLASS IV FIRE RESISTANT DECK COATING - USE DECK SPECIALTY COATINGS AS WATERPROOF DECKING SYSTEM - CA STATE FIRE MARSHALL # CSFM #4175-1229 0100 INSTALL PER MFR'S INSTRUCTIONS

Floor Plan Key Notes

- 35 DRYER VENT TO OUTSIDE WITH DAMPER. VENT SHALL BE MINIMUM 4" AND SHALL NOT EXCEED A TOTAL LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO.
- 36 RECESSED MEDICINE CABINET
- 37 CAST-IN-PLACE CONCRETE STEPS AND LANDING - MATCH GARAGE SLAB RE-BAR.
- 38 METAL HANDRAIL 34"-36" ABOVE NOSING
- 39 WATER HEATER - IF GAS FUELED EQUIPMENT, IT SHALL BE PLACED ON PLATFORM 18" ABOVE GARAGE FLOOR AND SHALL BE STRAPPED TO THE WALL.
- 40 8"x14" FRESH AIR VENT w/ SCREEN AND LOWERS AT BASE OF STUD WALL.
- 41 WALL MOUNTED BATTERY PANEL

Exterior Windows and Doors Key Notes

- 42 EXTERIOR GLAZING ON WINDOWS SHALL BE MULTI-PANE WITH A MINIMUM OF ONE UNFURRED PANE, OR MINIMUM 20 MINUTE, OR COMPLY WITH SFM 120A-2, AS PER CODE 708.1, R327.4.2.1.
- 43 EXTERIOR AND INTERIOR GARAGE ACCESS DOORS SHALL MEET THE FOLLOWING:
 - A. NON-COMBUSTIBLE MATERIAL, OR
 - B. IGNITION RESISTANT MATERIAL, OR
 - C. SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 1/4 INCH THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1 1/4 INCH THICK, OR
 - D. MINIMUM 20 MINUTE RATE, OR
 - E. COMPLIES WITH SFM 12-7A-1.



Consultants

Revisions

No.	Description	Date

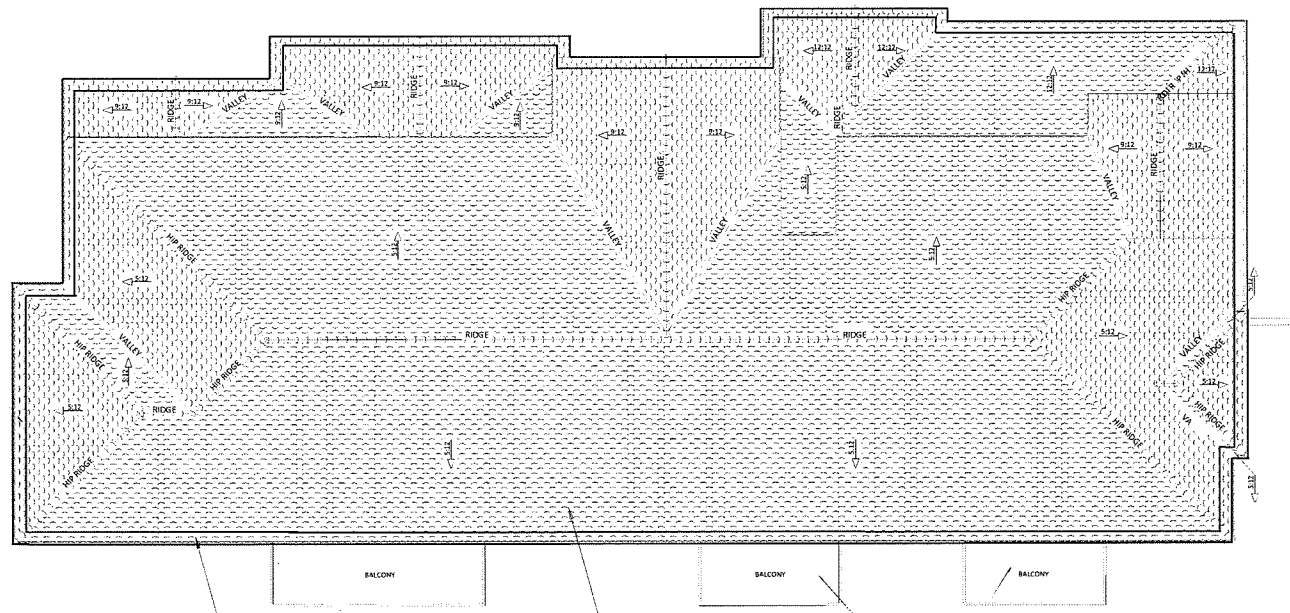
Single Family Residence for Arvind Aurora
 28340 Balkins Dr. (Private)
 Agoura Hills, CA 91301

Applicant: Arvind Aurora
 6670 Armitos Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

Roof Plan

Project Number: Aurora
 Date: 05/15/2024
 Drawn By: Author
 Checked By: Checker

A203
 Scale: 1/4" = 1'-0"



5/8" BEVELED METAL GUTTER

5/8" BEVELED METAL GUTTER

BALCONY

BALCONY

BALCONY

CLASS "A" TILE ROOF BY SHALE ROOFING "CAPSTRAND" 312 TERRAZZOTA OR EQUAL

WATERPROOFED BALCONY BELOW

NOTES:

- ALL ROOF COVERINGS SHALL BE CLASS "A" AS SPECIFIED IN CBC 1908.1.1
- ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.534 AND CBC 705A.4)
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT MATERIAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM CAP SHEET MEETING RUNNING THE FULL LENGTH OF THE VALLEY. (RESIDENTIAL CODE R327.53.3 AND BUILDING CODE 705A.3)
- ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.534 AND BUILDING CODE 705A.4)
- VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH MINIMUM 1/16TH INCH OPENINGS AND SHALL NOT EXCEED 18TH INCH. VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES. (RESIDENTIAL CODE R327.6.1 AND BUILDING CODE 706A.1)

Shahbazi Design & Consulting
 6736 Cowboy St., Simi Valley, CA 93063
 phone: 805-520-0391 email: sam@samshahbazidesign.com



www.samshahbazidesign.com

Consultants

Revisions

No.	Description	Date
	Total 2nd Floor Area = 2208 SF	08/23/20
	2nd floor Height = 9 FT	08/23/20

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)
 Agoura Hills, CA 91301

Applicant: Arvind Aurora
 6670 Armitos Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

Exterior Elevations

Project Number: Aurora
 Date: 01/11/2023
 Drawn By: Author
 Checked By: Checker

A301

Scale: 1/4" = 1'-0"

01/11/2023



NORTH ELEVATION

North Elevation
 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 CLASS 'A' ROOF, CONCRETE ROOF TILE OVER APPROVED UNDERLAYMENT, EAGLE ROOFING 'CAFESTRANO' 3125 TERRACOTTA, OR EQUAL
- 2 IMITIA STUCCO FOAM TRIM, OR EQUAL, COVERED WITH STUCCO
- 3 5/8" BEVELED METAL RAIN GUTTERS, PAINT TO MATCH CORNICE
- 4 WHITE PLASTER COVERED STANDARD FASCIA BOARD - SEE TYPICAL ROOF-EAVE DETAIL THREE COAT PORTLAND CEMENT PLASTER AND LATH OVER APPROVED MOISTURE BARRIER, COLOR TEX 221 'WAINESWOOD' TEXTURED
- 5 EAST WEST STONE QUARTZITE 'HONEY GOLD' VANEER PANELS.
- 7 FEENE DESIGN RAL 42" HIGH HORIZONTAL CABLE RAILING SYSTEM - MATTE BLACK FRAME
- 8 MORGES CLASSIC SECTIONAL GARAGE DOORS - GRAY COLOR, OR EQUAL
- 9 ADVANCED ARCHITECTURAL STONE PRE-CAST MOLDING, OR EQUAL, COVERED WITH STUCCO.

ELEVATION KEY NOTES

- 10 MIRRBA OUTDOOR WALL SCENE - BLACK LIGHT FIXTURE
- 11 WHITE ALUMINUM FRAME WINDOWS WITH CLEAR DUAL PANE GLASS
- 12 MULTIPANEL RETRACTABLE DOOR.
- 13 ELECTRICAL PANEL / METER
- 14 CANTILEVERED BALCONY WITH STUCCO EDGES AND UNDERSIDE TO MATCH

26'-5" OVERALL STRUCTURE HEIGHT

Shahbazi Design & Consulting

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Consultants

Revisions

No.	Description	Date
	Total 2nd Floor Area = 2208 SF	06/22/20
	2nd floor Height = 9 FT	06/22/20

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)
 Agoura Hills, CA 91301

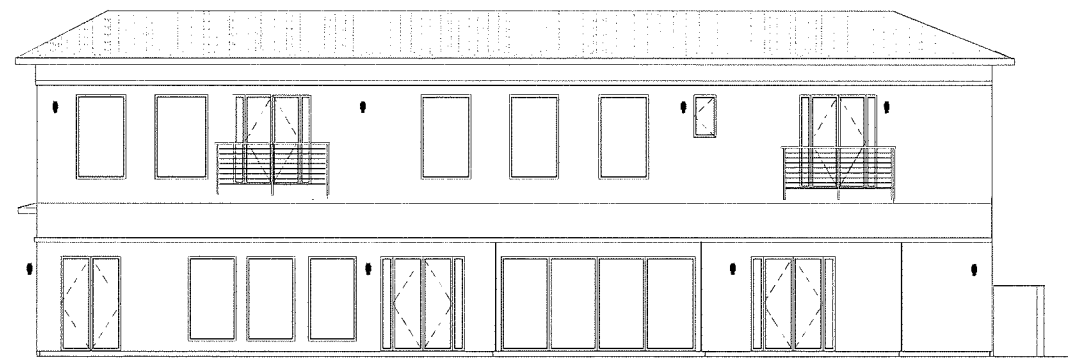
Applicant: Arvind Aurora
 6670 Armitous Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

Exterior Elevations

Project Number	Aurora
Date	01/11/2023
Drawn By	Author
Checked By	Checker

A302

Scale 1/4" = 1'-0"



SOUTH ELEVATION

2) South Elevation
 1/4" = 1'-0"

- ELEVATION KEY NOTES**
- 1 CLASS 'A' ROOF CONCRETE ROOF TILE OVER APPROVED UNDERLAYMENT, EAGLE ROOFING 'CARISTRANO' 3125 TERRACOTTA, OR EQUAL
 - 2 INVICIA STUCCO FOAM TRIM, OR EQUAL, COVERED WITH STUCCO
 - 3 5/8" BEVELED METAL DRAIN GUTTER, PAINT TO MATCH CORNICE
 - 4 WHITE PLASTER COVERED STANDARD FASCIA BOARD - SEE TYPICAL ROOF-EAVE DETAIL THREE
 - 5 COAT PORTLAND CEMENT PLASTER AND LATH OVER APPROVED MOISTURE BARRIER, COLOR TEX 221 'HARVEST GOLD' TEXTURED
 - 6 EAST WEST STONE QUARTZITE 'HONEY GOLD' VANEER PANELS
 - 7 FRENCH ROSSION TRAIL 40" HIGH HORIZONTAL CABLE RAILING SYSTEM - MATTE BLACK FRAME
 - 8 MENARDS CLASSIC SECTIONAL GARAGE DOOR - GRAY COLOR, OR EQUAL
 - 9 ADVANCED ARCHITECTURAL STONE PRE-CAST MOLDING, OR EQUAL, COVERED WITH STUCCO.

- ELEVATION KEY NOTES**
- 10 MIRREA OUTDOOR WALL SCENE - BLACK LIGHT FIXTURE
 - 11 WHITE ALUMINUM FRAME WINDOWS WITH CLEAR DUAL PANE GLASS
 - 12 MULTIPANEL RETRACTABLE DOOR, ELECTRICAL PANEL, METER
 - 13 CANTELEVERED BALCONY WITH STUCCO EDGES AND UNDERSIDE TO MATCH

01/11/2023

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Consultants

Revisions

No.	Description	Date

Single Family Residence for Arvind Aurora

28340 Balkins Dr. (Private)
 Agoura Hills, CA 91301

Applicant: Arvind Aurora
 6670 Armitos Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

Exterior Elevations

Project Number: Aurora
 Date: 05/15/2024
 Drawn By: Author
 Checked By: Checker

A303

Scale: 1/4" = 1'-0"



WEST ELEVATION

West Elevation
 1/4" = 1'-0"

- ELEVATION KEY NOTES
- 1 CLASS 'A' ROOF CONCRETE ROOF TILE OVER APPROVED UNDERLAYMENT, EAGLE ROOFING
 - 2 "CAPISTRANO" 3"x3" TERRACOTTA, OR EQUAL
 - 3 1/2" STUCCO FOAM TRIM - OR EQUAL, COVERED WITH STUCCO
 - 4 5"x6" BEVELED METAL RAIN GUTTER, PAINT TO MATCH CORNICE
 - 5 WHITE PLASTER COVERED STANDARD FASCIA BOARD - SEE TYPICAL ROOF-GAVE DETAIL
 - 6 THREE COAT PORTLAND CEMENT PLASTER AND LATH OVER APPROVED MOISTURE BARRIER - COLORTEK 231 "HARVEST GOLD" TEXTURED
 - 7 EAST WEST STONE QUARTZITE "HONEY GOLD" VENEER PANELS
 - 8 FEENEY DESIGN RAIL, 42" HIGH HORIZONTAL CABLE RAILING SYSTEM - MATTE BLACK FRAME
 - 9 MENARDS CLASSIC SECTIONAL GARAGE DOOR - GRAY COLOR
 - 10 ADVANCED ARCHITECTURAL STONE PRECAST HOLDING, OR EQUAL, COVERED WITH STUCCO.

- ELEVATION KEY NOTES
- 10 MIRREA OUTDOOR WALL SCONE - BLACK LIGHT FIXTURE
 - 11 WHITE ALUMINUM FRAME WINDOWS WITH CLEAR DUAL PANE GLASS
 - 12 MULTIPANEL RETRACTABLE DOOR
 - 13 ELECTRICAL PANEL / METER
 - 14 CANVELEVERED BALCONY WITH STUCCO EDGES AND UNDERSIDE TO MATCH

05/15/2024

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Consultants

Revisions

No.	Description	Date

Single Family Residence for Arvind Aurora

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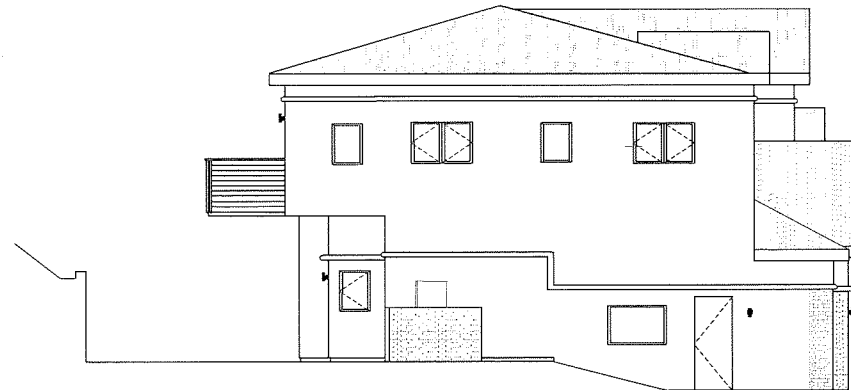
Applicant: Arvind Aurora
 6670 Armitos Drive
 Santa Rosa Valley, CA 93012
 (650) 281-9853

Exterior Elevations

Project Number: Aurora
 Date: 05/15/2024
 Drawn By: Author
 Checked By: Checker

A304

Scale: 1/4" = 1'-0"



EAST ELEVATION

East Elevation
 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 CLASS 'A' ROOF - CONCRETE ROOF TILE OVER APPROVED UNDERLAYMENT, EAGLE ROOFING
- 2 "CAPISTRANO" 3125 TERRAZZOTA, OR EQUAL
- 3 IMITATA STUCCO-FRAM TRIM - OR EQUAL, COVERED WITH STUCCO
- 4 5"x5" BEVELED METAL RAIN GUTTER, PAINT TO MATCH CORNICE
- 5 WHITE PLASTER COVERED STANDARD FASCIA BOARD - SEE TYPICAL ROOF-EAVE DETAIL
- 6 THREE COAT PORTLAND CEMENT PLASTER AND LATH OVER APPROVED MOISTURE BARRIER - COLORTEK 221 "HARVEST GOLD" TEXTURED
- 7 EAST WEST STONE, QUARTZITE "HONEY GOLD" VANNER PANELS
- 8 FENNY DESIGN RAIL, 4" HIGH HORIZONTAL CABLE RAILING SYSTEM - MATTE BLACK FRAME
- 9 MENARDS CLASSIC SECTIONAL GARAGE DOOR - GRAY COLOR
- 10 ADVANCED ARCHITECTURAL STONE PRECAST MOLDING, OR EQUAL, COVERED WITH STUCCO.

ELEVATION KEY NOTES

- 11 MIRREA OUTDOOR WALL SCONE - BLACK LIGHT FIXTURE
- 12 WHITE ALUMINUM FRAME WINDOWS WITH CLEAR DUALPANE GLASS
- 13 MULTIPANEL RETRACTABLE DOOR
- 14 ELECTRICAL PANEL / METER
- 15 CANTILEVERED BALCONY WITH STUCCO EDGES AND UNDERSIDE TO MATCH

05/15/2024

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 120, FOUNDATION ANALYSIS PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:30 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

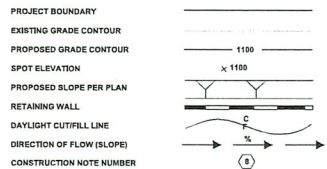
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

AC - ASPHALTIC CONCRETE	NG - NATURAL GROUND
BF - BOTTOM OF FOOTING	NTS - NOT TO SCALE
CB - CATCH BASIN	PL - PROPERTY LINE
CF - CURB FACE	POB - POINT OF BEGINNING
E - CENTERLINE	SDMH - STORM DRAIN MANHOLE
ELCF - CHAIN LINK FENCE	SMH - SEWER MANHOLE
CO - CLEAN OUT	SS - SANITARY SEWER
DB - DEBRIS BASIN	TB - TOP OF BERM
DL - DAYLIGHT	TC - TOP OF CURB
EG - EDGE OF GUTTER	TF - TOP OF FOOTING
EP - EDGE OF PAVEMENT	TG - TOP OF GRATE
FF - FINISHED FLOOR	TW - TOP OF WALL
FG - FINISHED GRADE	TY - TYPICAL
FI - FIRE HYDRANT	WK - WATER METER
FL - FLOWLINE	WV - WATER VALVE
FS - FINISH SURFACE	
HC RMP - HANDICAP RAMP	
HP - HIGH POINT	
INV - INVERT	

LEGEND AND SYMBOLS



PUBLIC UTILITIES / SERVICES

WATER:	LAS VIRGENES MUNICIPAL WATER DISTRICT 4232 LAS VIRGENES ROAD CALABASKAS, CA 91302 (818) 880-4110
ELECTRICAL:	SOUTHERN CALIFORNIA Edison 3589 FOOTHILL DRIVE THOUSAND OAKS, CA 91381 (805) 494-7916
TELEPHONE:	8BC (PAC BELL) 16201 RAYMER STREET, #115 VAN NUYS, CA 91416 (818) 373-6889
GAS:	SOUTHERN CALIFORNIA GAS 940 DAKDALE AVENUE CHATSWORTH, CA 91313 (818) 701-2324
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1025 S. FREMONT AVENUE, BLDG 68 EAST ALHAMBRA, CA 91803 (626) 353-2088
CABLE:	ADELPHI 2123 TELLER ROAD NEWBURY PARK, CA 91320 (805) 374-5013
CABLE:	CHARTER COMMUNICATIONS 3808 CROSSCREEK ROAD MALIBU, CA 90265 (310) 456-6010
CALTRANS:	CALTRANS 5660 RESEDA BOULEVARD TARZANA, CA 91359 (805) 388-1428



ENGINEERING NOTES

- The pavement on Balkins Drive will be widened to 20 feet, and Balkins Drive shall be repaved full width along the entire parcel frontage.

GEOTECHNICAL NOTES

- The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
- All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer.
- All setbacks shall be in accordance with City of Agoura Hills Ordinance 10-836, Chapter 2 Construction Codes, Section 8200 (g) amendments to California Building Code Section 1808.7 - Footings on or adjacent to slopes, 1808.7.1 - Building clearance from ascending slope and 1808.7.2 - Footing setback from descending slope.
- The grading plan should include the limits and depths of over-excavation of the road and flatwork areas as recommended by the Consultant.
- The consultant should verify the adequacy of the capdown depth during construction of the future seepage piles.
- Tests shall be performed to determine the Expansion Index of the finished building pad grade and R-value of finish grade materials within the proposed road pavement areas.
- Excavations shall be made in compliance with CAL/OSHA Regulations.
- All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel.
- Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
- The Project Geotechnical Consultant shall prepare an as-built report documenting the installation of the pile foundation elements for the City's files. The report shall include total depths of the piles, depth into the recommended bearing material, minimum depths into the recommended bearing material, and a map depicting the locations of the piles.
- Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
- Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
- An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map.

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 597-7350, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

LEGAL DESCRIPTION

LOT 4 OF PARCEL MAP NO. 10938 RECORDED IN BOOK 157, PAGE 27 OF MAPS IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

PREPARED FOR
ARVIND AURORA
12250 LOCKWOOD DRIVE
CUPERTINO, CA 95014
(650) 281-9853

ENGINEER'S SEAL

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GRADING COVER SHEET
2	GRADING AND DRAINAGE PLAN
3	GRADING AND DRAINAGE PLAN SECTIONS AND DETAILS
4	EROSION SEDIMENT CONTROL PLAN NOTES AND DETAILS
5	EROSION SEDIMENT CONTROL PLAN

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT:	281 CY	ESTIMATED EXPORT:	172 CY
ESTIMATED FILL:	110 CY	ESTIMATED IMPORT:	0 CY
ESTIMATED OVER-EXCAVATION:	733 CY		

BENCHMARK:

DESCRIPTION: BM NO. Y 8984 ELEVATION: 968.331 ± 0.04 M SURVEY DATE: MALIBU QUAD 2008
RDM IN FLY EDGE CONC. BASE OF WATER LN VENT @ N END DRYW HSE 45747 FAIRVIEW PL
6M (20') WIO CL & 0.5M (2') SID BALKINS DR

RECORD DRAWING STATEMENT

I, _____ HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER DATE RCE NO. EXP. DATE

SOILS APPROVAL

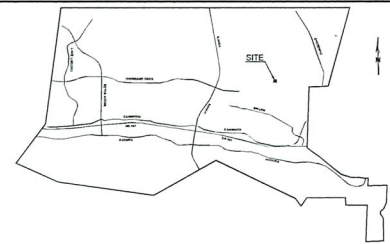
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____

ROBI KAHN REGISTERED GEOLOGIST	3/25/18 DATE	7010 RCE NO.	EXP DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP DATE

OWNER
NAME: ARVIND AURORA
ADDRESS: 12250 LOCKWOOD DRIVE, CUPERTINO, CA, 95014
REPRESENTATIVE: ARVIND AURORA
TELEPHONE: (650) 281-9853

CIVIL ENGINEER
NAME: WESTLAND CIVIL INC.
ADDRESS: 101 HODECAMP ROAD SUITE 216, THOUSAND OAKS CA, 91360
REPRESENTATIVE: DON WATTE
TELEPHONE: 805-495-1330

GEOTECHNICAL ENGINEER
NAME: CALWEST GEOTECHNICAL CONSULTING ENGINEERS
ADDRESS: 889 PIERCE COURT, SUITE 101, THOUSAND OAKS, CA, 91360
REPRESENTATIVE: LEONARD LISTON
TELEPHONE: 818-921-5942



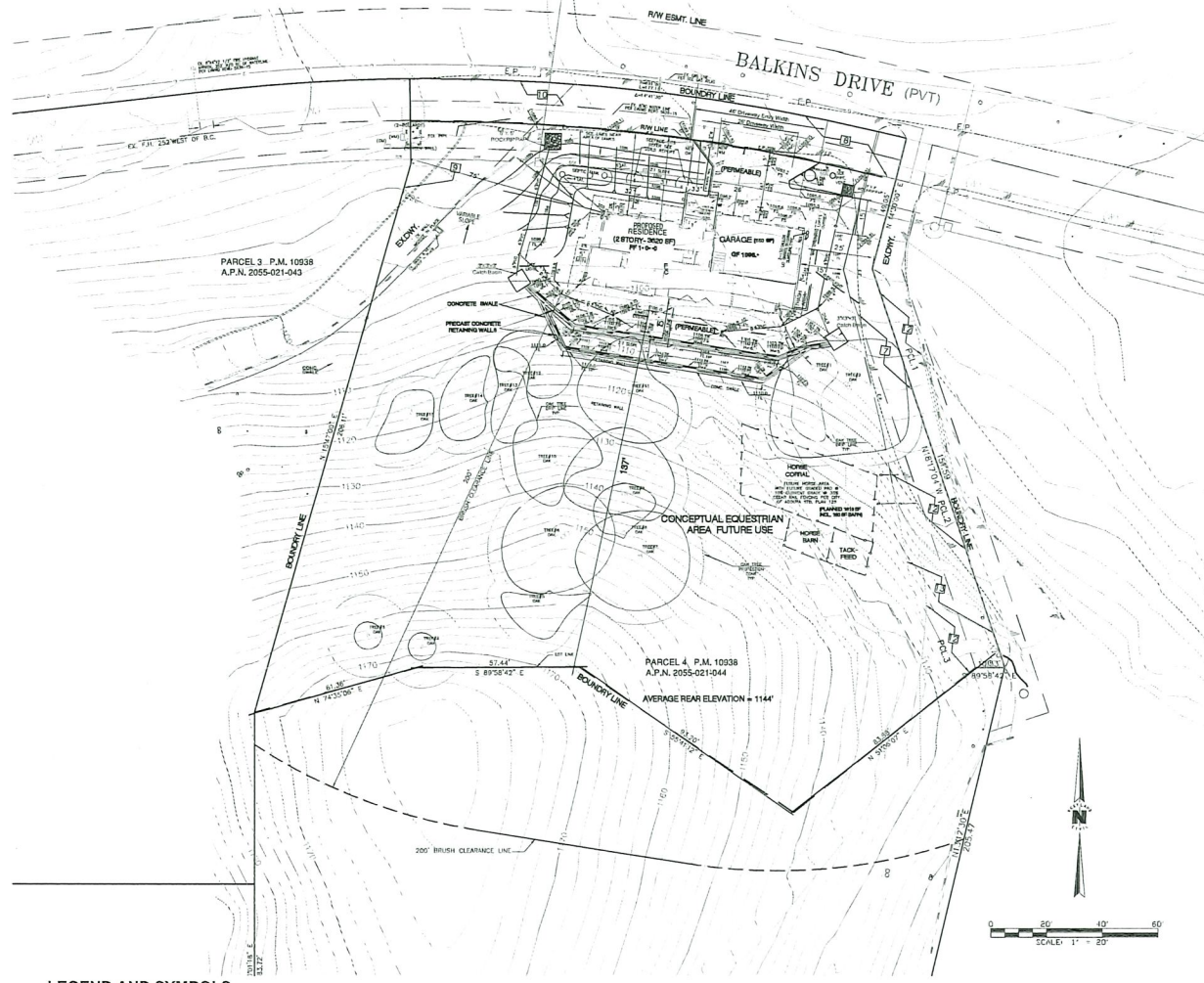
VICINITY MAP

GRADING PLAN COVER SHEET
ARVIND AURORA RESIDENCE
28340 BALKINS DRIVE
AGOURA HILLS, CA, 91301 SHEET 1 OF 5

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	REVIEWED BY	DATE	JESSICA FORTE CITY ENGINEER	DATE	80486 PE NO.	3/31/23 EXP DATE
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08/17/23



GENERAL NOTES

ARCHITECTURE, AND LANDSCAPE INFORMATION PROVIDED AS REFERENCE ONLY. REFER TO ARCHITECT AND LANDSCAPE PLANS FOR BUILDING CONSTRUCTION

CONTRACTOR TO VERIFY THE PRESENCE OF ANY/ALL UTILITIES IN AREAS OF EXCAVATION BEFORE BEGINNING WORK. ANY SUCH UTILITIES OF OBSTRUCTION ARE TO BE RELOCATED PER CONTRACTOR DIRECTION.

PROTECT ALL OAK TREE TRUNK AND ROOTS PER LANDSCAPE ARCHITECT PLANS, AND/OR OAK TREE REPORT

ANY GRADING, WALL CONSTRUCTION, DRIVEWAY CONSTRUCTION, FOUNDATION WORK, SHALL BE PER SOILS ENGINEERS, AND LANDSCAPE ARCHITECT RECOMMENDATION

L.I.D. NOTES

OWNER SHALL INSTALL MINIMUM OF TWO - 150 GALLON TREES WHICH MUST BE PLANTED A MINIMUM OF 10 FEET FROM IMPERVIOUS SURFACES

INSTALL IRRIGATION SYSTEM THAT UTILIZES AN SPRINKLER BASED SMART IRRIGATION (RANCHO SMART) SPRINKLER CONTROLLER, 16 ZONE, 2ND GENERATION OF EQUAL CONTROLLER IN THE GARAGE, TO MINIMIZE WATER USAGE AND REDUCES DRY WEATHER URBAN RUNOFF

ROOF DOWNSPOUTS TO CONNECT TO RAIN-BARRELS OR UNDERGROUND CISTERN (WITH SUMP PUMP) TO BE USED FOR IRRIGATION OR NON POTABLE USES PER L.A. COUNTY/ CITY OF AGOURA HILLS BUILDING CODE

PROJECT DATA

OWNER: ARVIND AURORA
ASSESSORS # = 2055-021-040
LAND USE = RESIDENTIAL
ZONING = RV-CA-EG
ZIP CODE = 91303

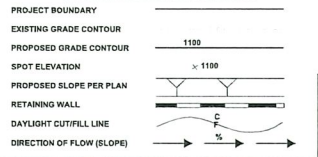
AREA/VOLUME CALCULATIONS

DIRT QUANTITIES	
CUT VOLUME BLDG, PLANTER, & GARAGE	160 C.Y.
FILL VOLUME BLDG, DRIVEWAY & GARAGE	160 C.Y.
TOTAL CUT=	160 C.Y.
TOTAL FILL=	160 C.Y.
DIFFERENCE = EXPORT	0 C.Y.

- LEGEND**
- D DRAIN LINE
 - E SCE CONDUIT
 - R RIDGE LINE
 - C EXIST. GAS LINE
 - S NEW SEWER LINE
 - REINFORCED RETAINING WALL
 - EDGE OF PAVEMENT
 - CUT/FILL LINE
 - PERM. PAVEMENT
 - 2:1 FILL SLOPE

- ABBREVIATIONS**
- A.C. ASPHALTIC CONCRETE
 - AD AREA DRAIN
 - APN ASSESSORS PARCEL NUMBER
 - A.S. AGGREGATE SUBBASE
 - B.M. BENCH MARK
 - C.B. CATCH BASIN
 - C/L CENTERLINE
 - C/F CURB FACE
 - CONC. CONCRETE
 - DIA. DIAMETER
 - E.P. EDGE OF PAVEMENT
 - ESMT. EASEMENT
 - EC EXISTING GRADE
 - FG FINISH GRADE
 - FDC FIRE DEPARTMENT CONNECTION
 - F/L FLOW LINE
 - FF FINISHED FLOOR
 - FS FINISHED SURFACE
 - GF GARAGE FLOOR
 - GV GAS VALVE
 - LID LOW IMPACT DEVELOPMENT
 - LP LOW POINT
 - TOP OF CURB
 - T.G. TOP OF GRATE
 - TW TOP OF WALL
 - O.R. OFFICIAL RECORDS
 - PM PARCEL MAP
 - PVC POINT OF VERTICAL INTERSECTION
 - SCF SOUTHERN CALIFORNIA Edison
 - WM WATER METER
 - VC VERTICAL CURVE

LEGEND AND SYMBOLS



AVERAGE ELEVATION @ 25' REAR SETBACK
 EL. 1172+EL. 1116 = 2288/2 =
 EL. 1144 AVG. ELEVATION



PREPARED FOR
ARVIND AURORA
 6070 AMITOS DRIVE
 SANTA ROSA VALLEY, CA 93012
 (650) 281-9953



PREPARED BY: **WESTLAND CIVIL, INC.**
 161 HODGKIN BL., SUITE 214, POCOCKS HILLS, CA 91368
 (909) 460-1100

CITY OF AGOURA HILLS APPROVAL

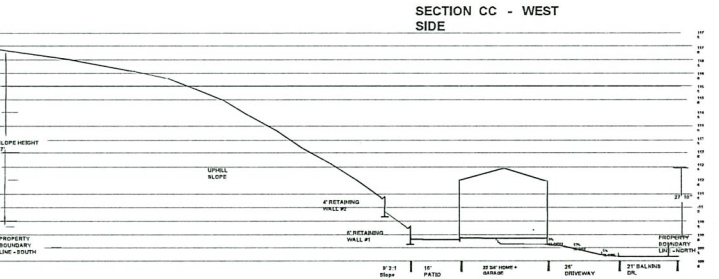
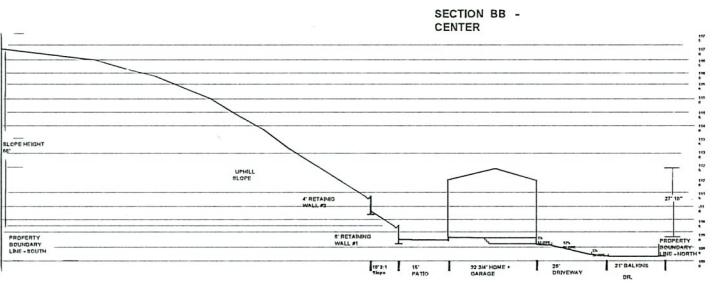
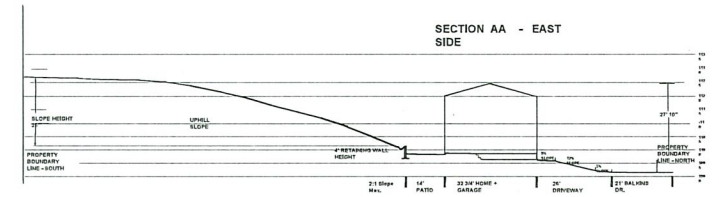
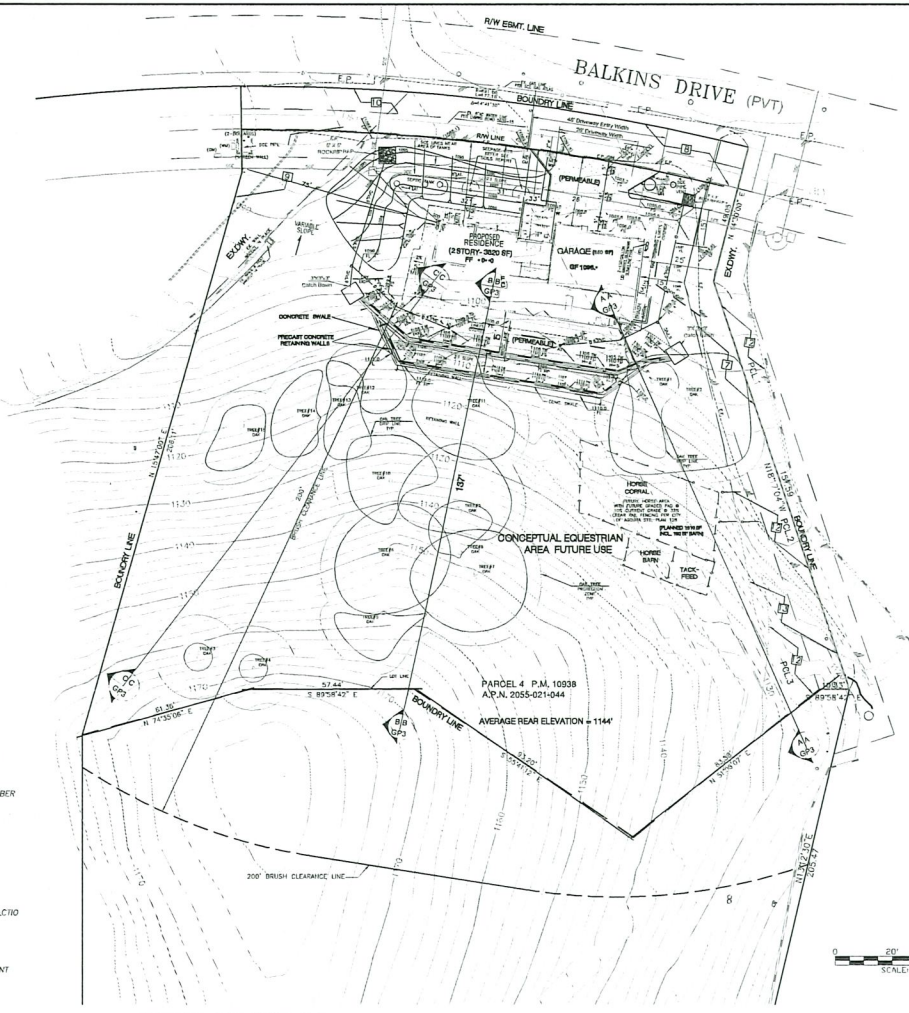
REVIEWED BY: **JESSICA FORTE**, CITY ENGINEER
 DATE: **3/31/23**
 PE NO. **80486**



GRADING AND DRAINAGE PLAN

ARVIND AURORA RESIDENCE
 28340 BALKINS DRIVE
 AGOURA HILLS, CA, 91301
 APN 2055-021-044

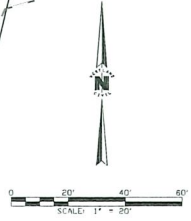
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



- ABBREVIATIONS**
- A.C. ASPHALTIC CONCRETE
 - AD AREA DRAIN
 - APN ASSESSORS PARCEL NUMBER
 - A.S. ASSOCIATE SUBBASE
 - B.M. BENCH MARK
 - C.B. CATCH BASIN
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 - C/F CURB FACE
 - CONC. CONCRETE
 - DIA. DIAMETER
 - E.P. EDGE OF PAVEMENT
 - ESMT. EASEMENT
 - EX. EXISTING GRADE
 - FG FINISH GRADE
 - FDC FIRE DEPARTMENT CONNECTION
 - F/L FLOW LINE
 - FF FINISHED FLOOR
 - FS FINISHED SURFACE
 - GF GARAGE FLOOR
 - GM GAS METER
 - LD LOW IMPACT DEVELOPMENT
 - LP LOW POINT
 - T.C. TOP OF CURB
 - T.G. TOP OF GRADE
 - TW TOP OF WALL
 - O.R. OFFICIAL RECORDS
 - PM PARCEL MAP
 - P.V.C. POINT OF VERTICAL INTERSECTION
 - SCE SOUTHERN CALIFORNIA EDISON
 - WM WATER METER
 - VC VERTICAL CURVE

- LEGEND AND SYMBOLS**
- PROJECT BOUNDARY
 - EXISTING GRADE CONTOUR
 - PROPOSED GRADE CONTOUR
 - SPOT ELEVATION
 - PROPOSED SLOPE PER PLAN
 - RETAINING WALL
 - DAYLIGHT CUT/FILL LINE
 - DIRECTION OF FLOW (SLOPE)

AVERAGE ELEVATION @ 25' REAR SETBACK
 EL. 1172 + EL. 1116 = 2288 / 2 =
 EL. 1144 AVG. ELEVATION



- LEGEND**
- D DRAIN LINE
 - C SIDE CONDUIT
 - R RIDGE LINE
 - G EXIST. GAS LINE
 - S NEW SEWER LINE
 - W EDGE OF PAVEMENT
 - CUT/FILL LINE
 - PERM. PAVEMENT
 - 2:1 FILL SLOPE



PREPARED FOR
ARVIND AURORA
 6070 ARMITOS DRIVE
 SANTA ROSA VALLEY, CA 90012
 (650) 281-9953

PREPARED BY: ID# AURORA-BALKINS
WESTLAND CIVIL, INC.
 1011 HODGKIN BL., SUITE 214, THOUSAND OAKS, CA 91320
 (805) 481-1011 FAX: (805) 481-1012

REVIEWED BY: _____ DATE _____
 JESSICA FORTE
 CITY ENGINEER

CITY OF AGOURA HILLS APPROVAL
 80486 PE NO. 3/31/23 EXP DATE



GRADING AND DRAINAGE PLAN

ARVIND AURORA RESIDENCE
 28340 BALKINS DRIVE
 AGOURA HILLS, CA, 91301
 APN 2055-021-044

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

GENERAL NOTES

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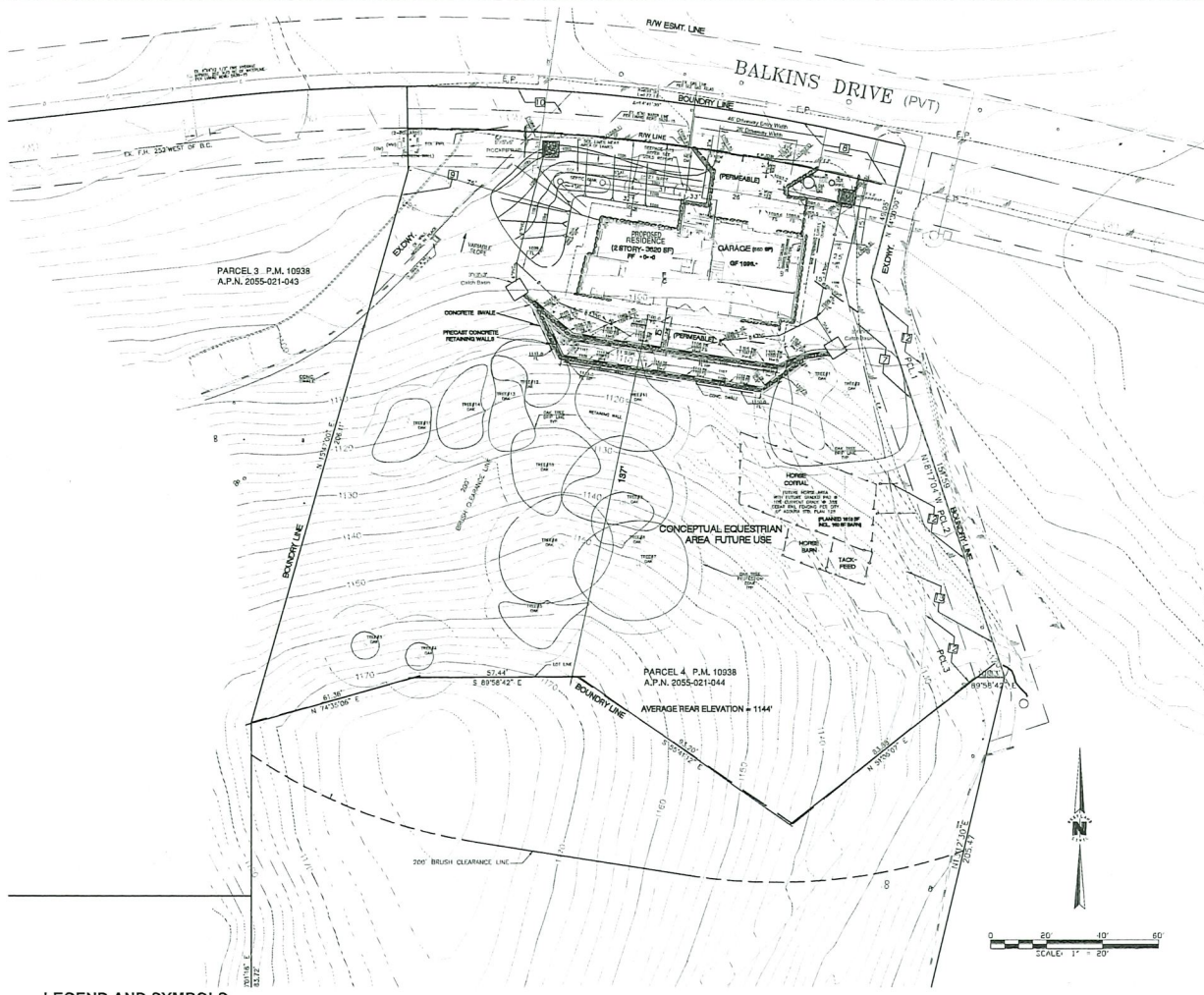
PROJECT DATA

OWNER: ARVIND AURORA
 ASSESSORS = 2055-021-040
 LAND USE = RESIDENTIAL
 ZONING = RV-CA-EG
 ZIP CODE = 91303

AREA/VOLUME CALCULATIONS	
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FILL VOLUME BLDG, DRIVEWAY & GARAGE	160 C.Y.
TOTAL CUT=	160 C.Y.
TOTAL FILL=	160 C.Y.
DIFFERENCE = EXPORT	0 C.Y.

EASEMENT LEGEND:
 EASEMENT NUMBERS ARE PER TITLE REPORT; PREPARED BY CALIFORNIA TITLE, ORDER # 410-1943397-64

- 7) 10' WIDE ESMT. FOR INGRESS AND EGRESSES AS DEDICATED AND DELINEATED PER PARCEL MAP NO. 10938 BK.157,PG.27
- 8) 15' WIDE ESMT. FOR WATER LINE PURPOSES TO LVWWD PER INSTRUMENT NO. 86-1408841 O.R.
- 9) VARIABLE WIDTH ESMT. FOR INGRESS AND EGRESSES PER INSTRUMENT NO. 87-140751 O.R.
- 10) 8' WIDE ESMT. FOR UTILITY LINE PURPOSES TO SCE PER INSTRUMENT NO. 87-1545352 O.R.
- 11) INGRESS AN EGRESSES ESMT. PARCELS 1 PER INSTRUMENT NO. 05-2063156 O.R.
- 12) INGRESS AN EGRESSES ESMT. PARCELS 2 PER INSTRUMENT NO. 05-2063156 O.R.
- 13) INGRESS AN EGRESSES ESMT. PARCELS 3 PER INSTRUMENT NO. 05-2063156 O.R.
- 14) ESMT. FOR CONSTRUCTION PURPOSES OVER PARCELS 1,2,3 PER INSTRUMENT NO. 05-3237175



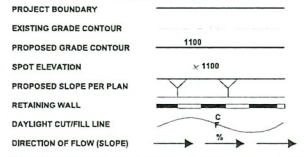
LEGEND

- D DRAIN LINE
- E SCE CONDUIT
- R RIDE LINE
- C EXIST GAS LINE
- S NEW SEWER LINE
- REINFORCED RETAINING WALL
- EDGE OF PAVEMENT
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ABBREVIATIONS

- A.C. ASPHALTIC CONCRETE
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- PM PARCEL MAP
- PVC POINT OF VERTICAL INTERSECTION
- SCE SOUTHERN CALIFORNIA Edison
- WM WATER METER
- VC VERTICAL CURVE

LEGEND AND SYMBOLS



AVERAGE ELEVATION @ 25' REAR SETBACK
 EL.1172+EL.1116 = 2288/2 =
 EL. 1144 AVG. ELEVATION

DIGAULT
 DIAL TOLL FREE
 1-800-422-4133
 41 LEGG DR. SUITE 200
 WESTLAND, CA 93091

PREPARED FOR
ARVIND AURORA
 0670 ARMITOS DRIVE
 SANTA ROSA VALLEY, CA 93012
 (530) 281-9953



PREPARED BY: **WESTLAND CIVIL, INC.**
 101 HIDECAUP RD., SUITE 214, WESTLAND, CA 93091
 (951) 494-1300 FAX: (951) 494-1310

CITY OF AGOURA HILLS' APPROVAL

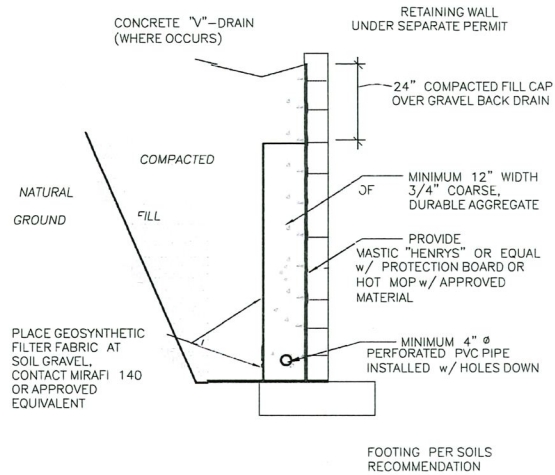
REVIEWED BY: _____ DATE: _____
 JESSICA FORTE CITY ENGINEER DATE: _____
 80486 PE NO. 3/31/23 EXP DATE



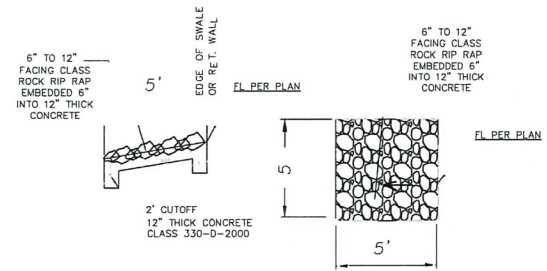
GRADING AND DRAINAGE PLAN

ARVIND AURORA RESIDENCE
 28340 BALKINS DRIVE
 AGOURA HILLS, CA, 91301
 APN 2055-021-044

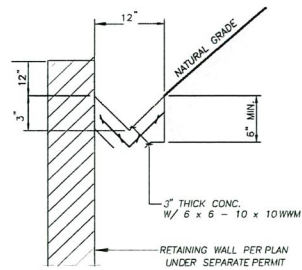
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



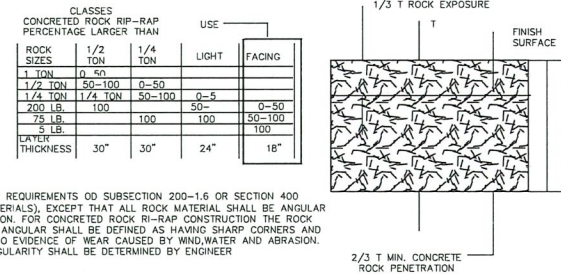
RET. WALL BACKFILL DETAIL
N.T.S.



ROCK RIP-RAP DETAIL
N.T.S.



CONCRETE SWALE DETAIL
N.T.S.



ROCK RIP-RAP DETAIL
N.T.S.

ROCK QUALITY:
ROCK SHALL MEET THE REQUIREMENTS OF SUBSECTION 200-1.6 OR SECTION 400 (ALTERNATE ROCK MATERIALS), EXCEPT THAT ALL ROCK MATERIAL SHALL BE ANGULAR FOR ROCK CONSTRUCTION. FOR CONCRETED ROCK RIP-RAP CONSTRUCTION THE ROCK MAY BE SUBANGULAR. ANGULAR SHALL BE DEFINED AS HAVING SHARP CORNERS AND ON ALL FACES, WITH NO EVIDENCE OF WEAR CAUSED BY WIND, WATER AND ABRASION. DETERMINATION OF ANGULARITY SHALL BE DETERMINED BY ENGINEER.



PREPARED FOR
ARVIND AURORA
6670 ARMITOS DRIVE
SANTA ROSA VALLEY, CA 93012
(930) 281-9853



GRADING AND DRAINAGE PLAN

REVISION	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: IDP: AURORA-BALKINS
WESTLAND CIVIL, INC.
181 WINTERCAMP PL., SUITE 214, THERMANTON VALLEY, CA, 91330
(930) 281-9853

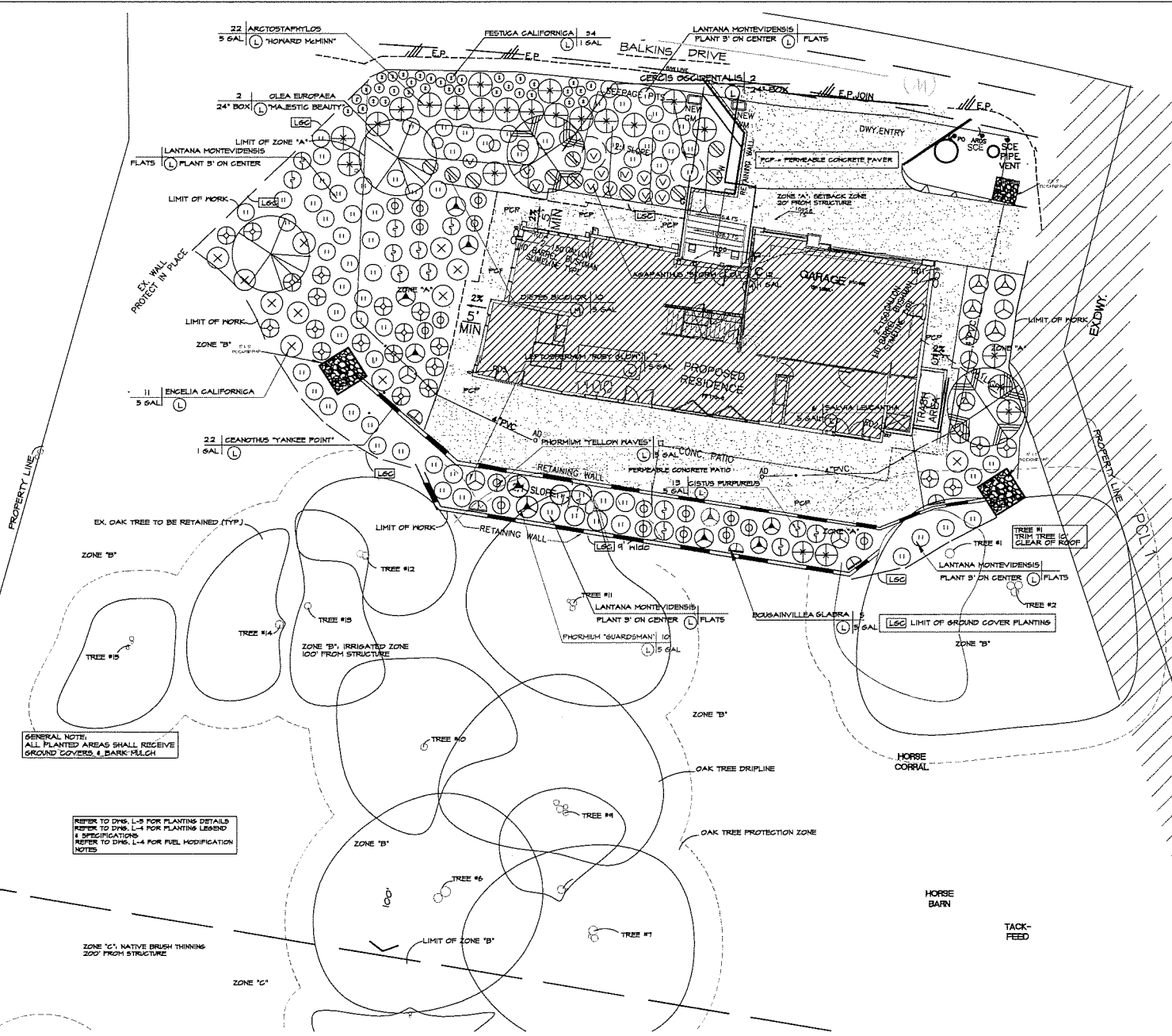
CITY OF AGOURA HILLS APPROVAL
REVIEWED BY: _____ DATE: _____
JESSICA FORTE
CITY ENGINEER



ARVIND AURORA RESIDENCE
28340 BALKINS DRIVE
AGOURA HILLS, CA, 91301
APN 2055-021-044

ZONE 'C'

EL 3 P.M. 10938
.2055-021-043



GENERAL NOTE:
ALL PLANTED AREAS SHALL RECEIVE
GROUND COVERS, & BARK MULCH

REFER TO DWS L-5 FOR PLANTING DETAILS
REFER TO DWS L-4 FOR PLANTING LEADING
& SPECIFICATIONS
REFER TO DWS L-4 FOR FUEL MODIFICATION
NOTES

ZONE 'C' NATIVE BRUSH THINNING
300' FROM STRUCTURE

Wynn Landscape Architects, Inc.



P.A. 001 1948
01/20/00
181 310-262-1442
Fax 310-262-0881

Client:

ARVIND AURORA

Project:

28340 BALKINS DRIVE
AGOURA HILLS
CA 91301

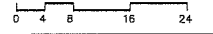


LEGENDS:

- DOUGLASSVILLEA GLABRA
- PHORHULUM 'YELLOW MAVES'
- CEANOTHUS 'YANKIE POINT'
- ENCELIA CALIFORNICA
- SALVIA LEUCANTHA
- LEPTOSPERMUM 'RUBY GLOW'
- AGAPANTHUS 'STORM CLOUD'
- DIETS BICOLOR
- LANTANA MONTEVIDENSIS
- ARGYOSTAMYLOS
- FESTUCA CALIFORNICA
- CISTUS PURPUREUS
- PHORHULUM 'GUARDSMAN'
- OLEA EUROPAEA
- CERCSIS OCCIDENTALIS



SCALE: 1/8" = 1'-0"



Date	By	Description	By

Revisions:

Date: 1/11/25

Scale:

Drawing Title:

PLANTING PLAN

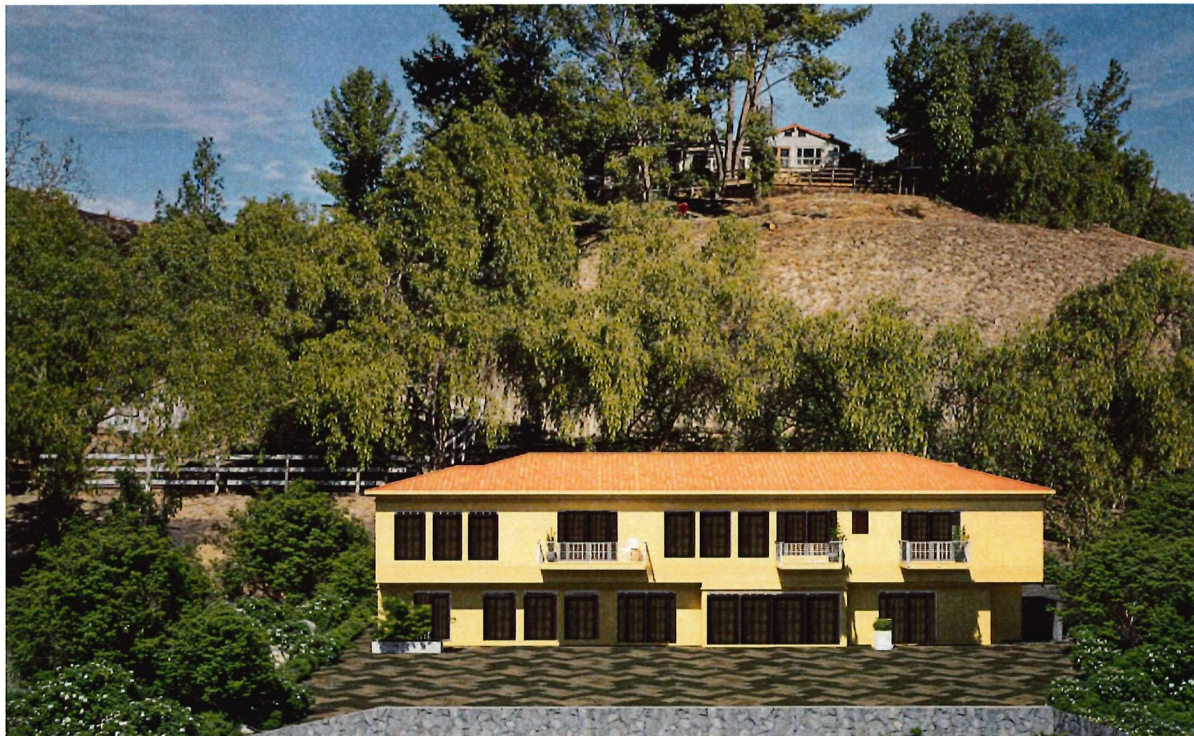
Sheet No:

L-1

28340 Balkins Drive Renderings-to-Scale



North View: Garage Width - 31 ft., Home width - 41 ft. (Total Building Length - 72 ft.)
Distance from Street: Garage Door – 26 ft., Front Door – 33 ft. Building Height – 26'10" to Rooftop



South View: House Width - 72 ft., Rear Patio Width - 16 ft., Retaining Wall Height - 6 ft



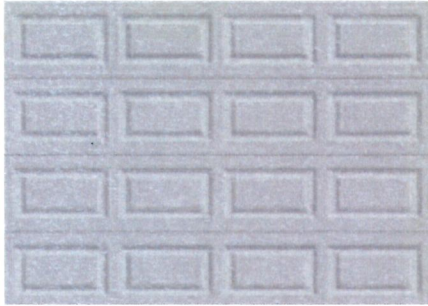
West View: Home Depth - 27.6 ft, Home Height – 26'10" to Rooftop



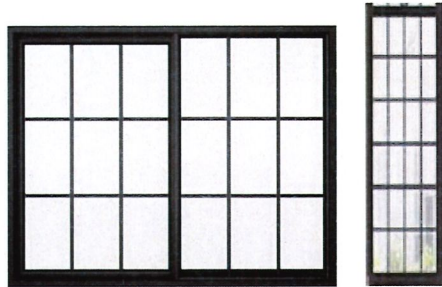
East View: Home Depth - 33 ft, Home Height – 26'10" to Rooftop

MATERIAL BOARD: 28340 Balkins Drive, Agoura Hills

**Menard Classic Sectional
Garage Door-Gray. or Equal**



Windows with Grid



Patio Doors with Grid



FRONT Doors with Side Light



**East West Stone Quartzite
Honey Gold Vaneer**



**Belgard Aqua Dublin Pavers
- Toscana Color**



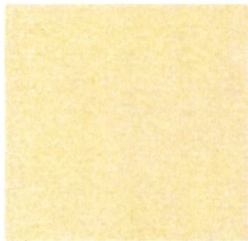
**Roof Tile-"Capistrano" 3125
Red Mixed Terracotta, (or Equal)**



**Mighty 190-Gray Pea Gravel
(or equal)**



Colortek 221 Harvest Gold Stucco



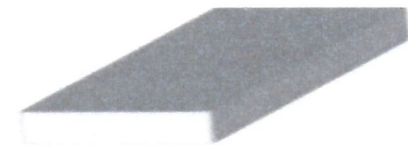
**Advanced Architectural stone
precast molding (to be covered
with Harvest Gold stucco)**



**Mirrea Modern Outdoor
Wall Scones, or Equal**



**Invicta Foam Trim (to be
covered with Harvest Gold stucco)**

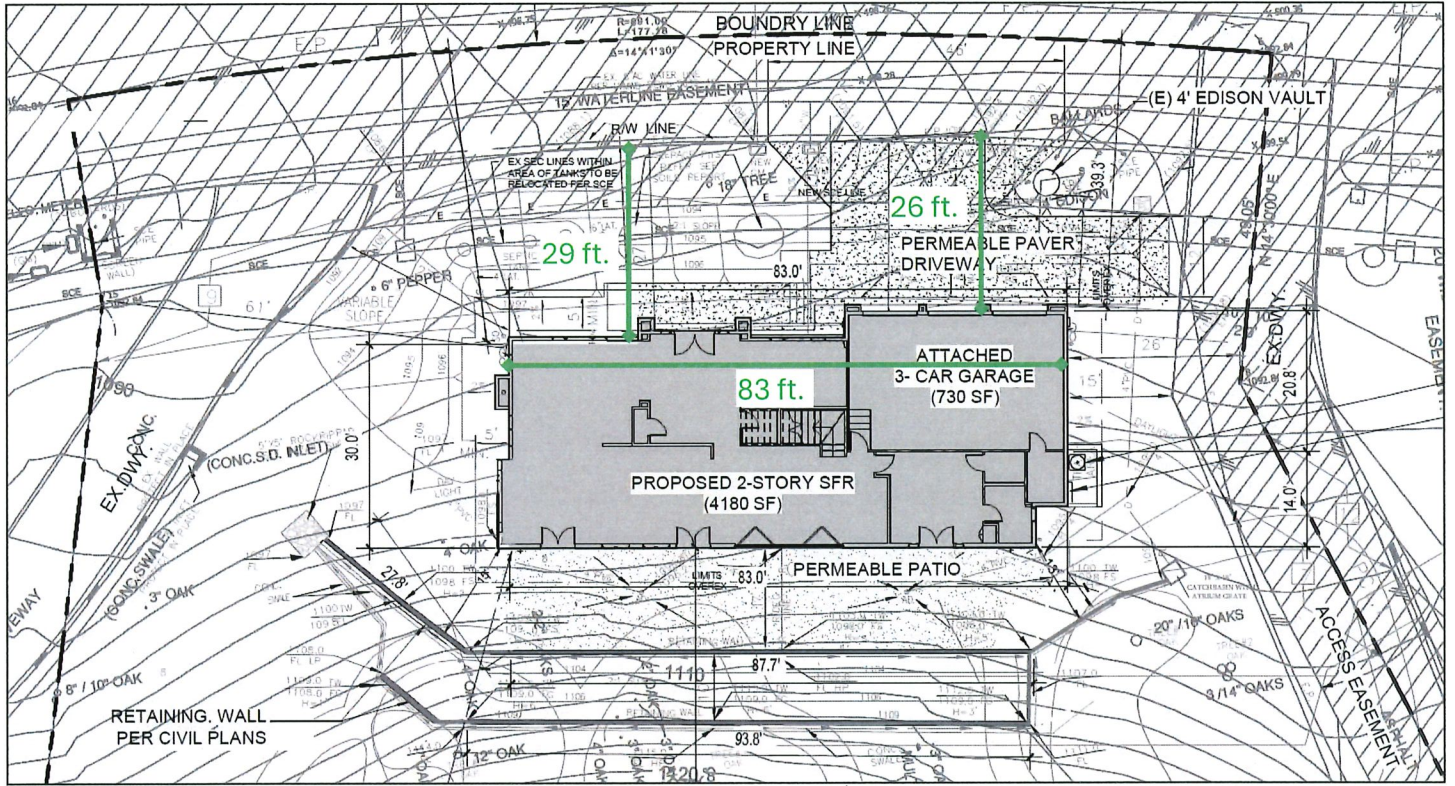


ATTACHMENT 3
Site Design Comparison

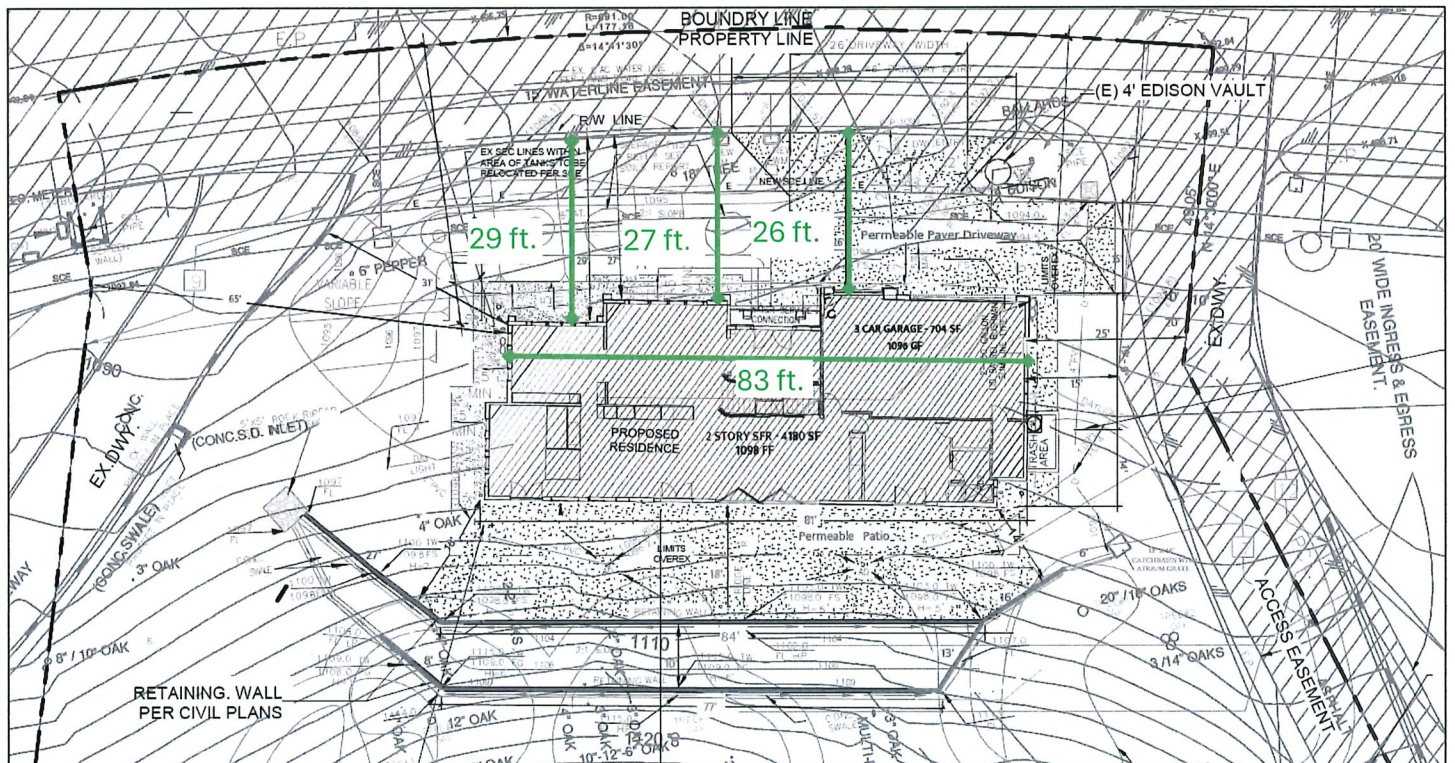
Site Design Comparison – 28340 Balkins Dr.

*Scales vary between each image

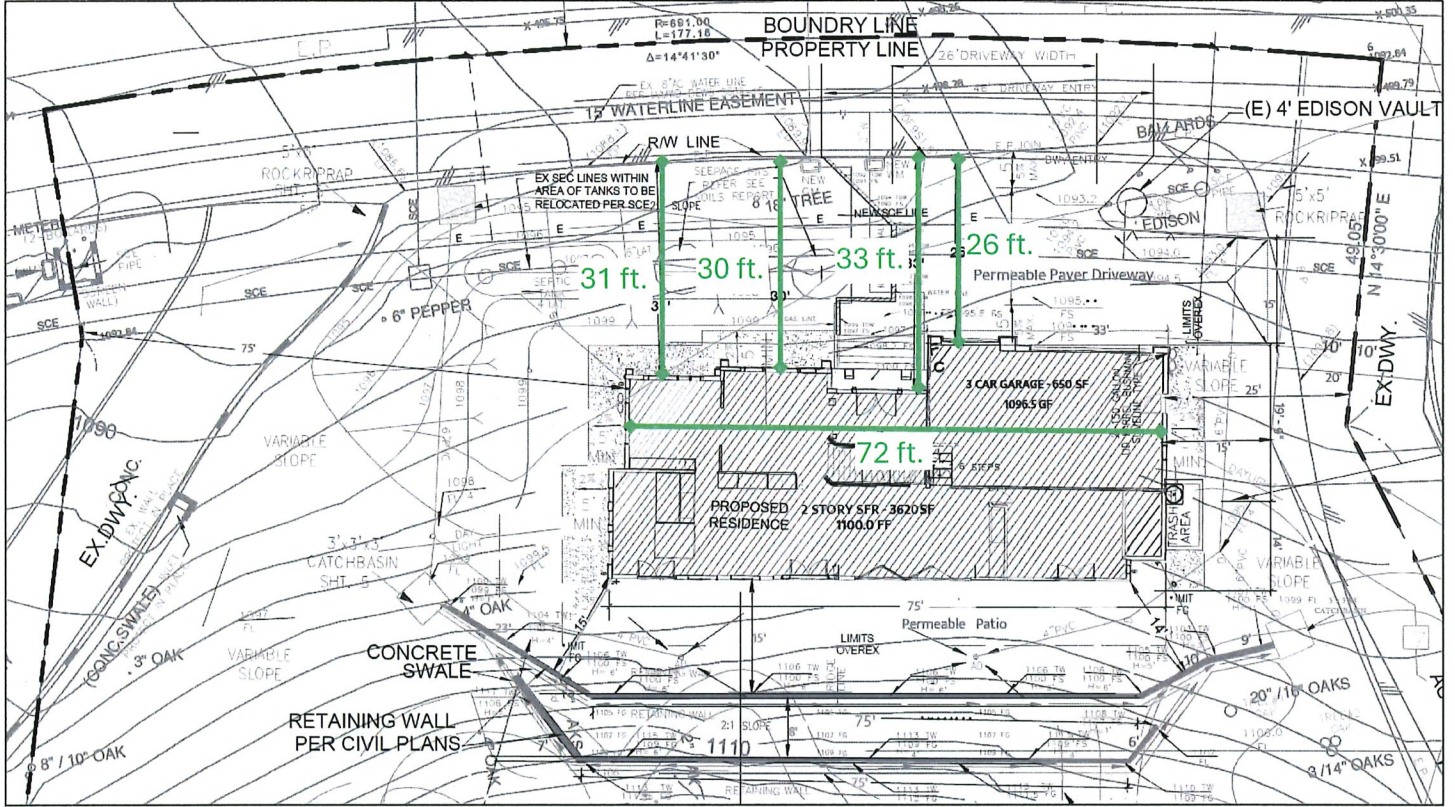
August 2020



January 2024



October 2024



ATTACHMENT 4

Public Comments

FW: Public Hearing

From Comments <Comments@agourahillscity.org>

Date Mon 10/14/2024 8:33 AM

To Katrina Garcia <KGarcia@agourahillscity.org>

-----Original Message-----

From: Amy <amymblatt@gmail.com>

Sent: Friday, October 11, 2024 2:16 PM

To: Comments <Comments@agourahillscity.org>

Subject: Public Hearing

Caution! This message was sent from outside your organization.

We once again are requesting that the approval at 28340 Balkins Dr., be denied. We are strongly against any exemption under the California Environmental Quality Act and encroaching on oak trees. We also received a letter from Arvin and Anu Aurora asking for a peace offering and wrongly stating they were subduing their original plans and manipulating what is going on.

Again we strongly object to any approval of this home.

Thank you,

Amy Blatt

28241 Balkins Dr.

Sent from my iPhone

ATTACHMENT 5

January 24, 2024 Staff Report and Attachments
(Available online at agourahillscity.org)