

REPORT TO PLANNING COMMISSION

DATE: NOVEMBER 21, 2024

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: DENICE THOMAS, COMMUNITY DEVELOPMENT DIRECTOR

BY: KATRINA GARCIA, ASSOCIATE PLANNER

REQUEST: 1) APPROVE A CONDITIONAL USE PERMIT AND SITE PLAN/ARCHITECTURAL REVIEW PERMIT FOR ADDITIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE, 2) ENCROACH INTO PROTECTED ZONE OF ONE OAK TREE, AND 3) MAKE A DETERMINATION OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

APPLICANT	Michal Behar (MBB Design Studio) for Nicole Radoumis
CASE NOS:	CUP-2023-0024, SPR-2023-0042, OAK-2023-0082
LOCATION:	6441 Chesebro Road (AIN 2055-025-072)
ENVIRONMENTAL DETERMINATION:	Exempt from the California Environmental Quality Act (CEQA) per § 15301 (Existing Facilities) and § 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines.
ZONING DESIGNATION:	OS-R-OA-D-EQ (Open Space-Restricted District with Old Agoura, Drainageway, and Equestrian Overlays)
GENERAL PLAN DESIGNATION:	OS-R
<u>RECOMMENDATION:</u>	Staff recommends the Planning Commission consider a Resolution approving 1) Conditional Use Permit Case No. CUP-2023-0024 and Site Plan/Architectural Review permit Case No. SPR-2023-0042 for additions to an existing single-family residence, 2) Oak Tree Permit Case No. OAK-2023-0082 to encroach into the protected zone of one oak tree and 3) making a determination of exemption under the CEQA.

I. PROJECT BACKGROUND AND DESCRIPTION

The project site is located on a developed lot with an existing three-story single-family residence with large decks, a pool and spa, an underground septic tank and dispersal field, and a natural watercourse. The applicant is requesting to add 661 square feet (sq. ft.) to the first floor, 670 sq. ft. to the second floor, 153 sq. ft. to the interior¹ of the third floor, a new 394 square-foot balcony, and a new 94 square-foot covered balcony of an existing three-story single-family residence, as well as site a new equestrian area, and install a new septic tank and dispersal field (the “Project”).

The property is located at 6441 Chesebro Road in the Palo Comado Significant Ecological Area (SEA). The lot is zoned Open Space-Restricted (OS-R) with an Old Agoura and Equestrian Overlay and Drainageway Overlay due to a natural watercourse that runs through the two-acre lot. The surrounding neighborhood includes other single-family residences and open space (see Attachment 2 – Vicinity Map).

Existing Development

- Existing Residence
 - First Floor: 1,609 sq. ft.
 - Second Floor: 1,328 sq. ft.
 - Third Floor: 723 sq. ft.
 - Total Residence Area: 3,660 sq. ft.**
- Existing Garage 458 sq. ft.
- Existing Covered Entry/Porch 96 sq. ft.
- Total Building Coverage 2,163 sq. ft.**

New Construction

- First Floor: 661 sq. ft.
- Second Floor: 670 sq. ft.
- Third Floor (interior only): 153 sq. ft.
- Total Additions 1484 sq. ft.**
- New Proposed Residence Area 5,144 sq. ft.**
- Covered Balcony 94 sq. ft.
- Uncovered Balcony 394 sq. ft.

Legislative Review

The Agoura Hills Municipal Code (AHMC) requires that the Project comply with the Development Standards of the OS-R zoning district (AHMC § 9481), Old Agoura Overlay (§ 9551), Drainageway Overlay (§ 9511), Equestrian Overlay (§ 9590), and the Hillside and Significant Ecological Areas Ordinance (AHMC § 9652). The Project is within the

¹ Existing non-habitable space will be converted to habitable space. The third-floor addition will not extend beyond the existing exterior walls of the house.

SEA and is subject to a Conditional Use Permit (CUP) pursuant to AHMC § 9652.10.A.4, which must be heard by the Planning Commission.

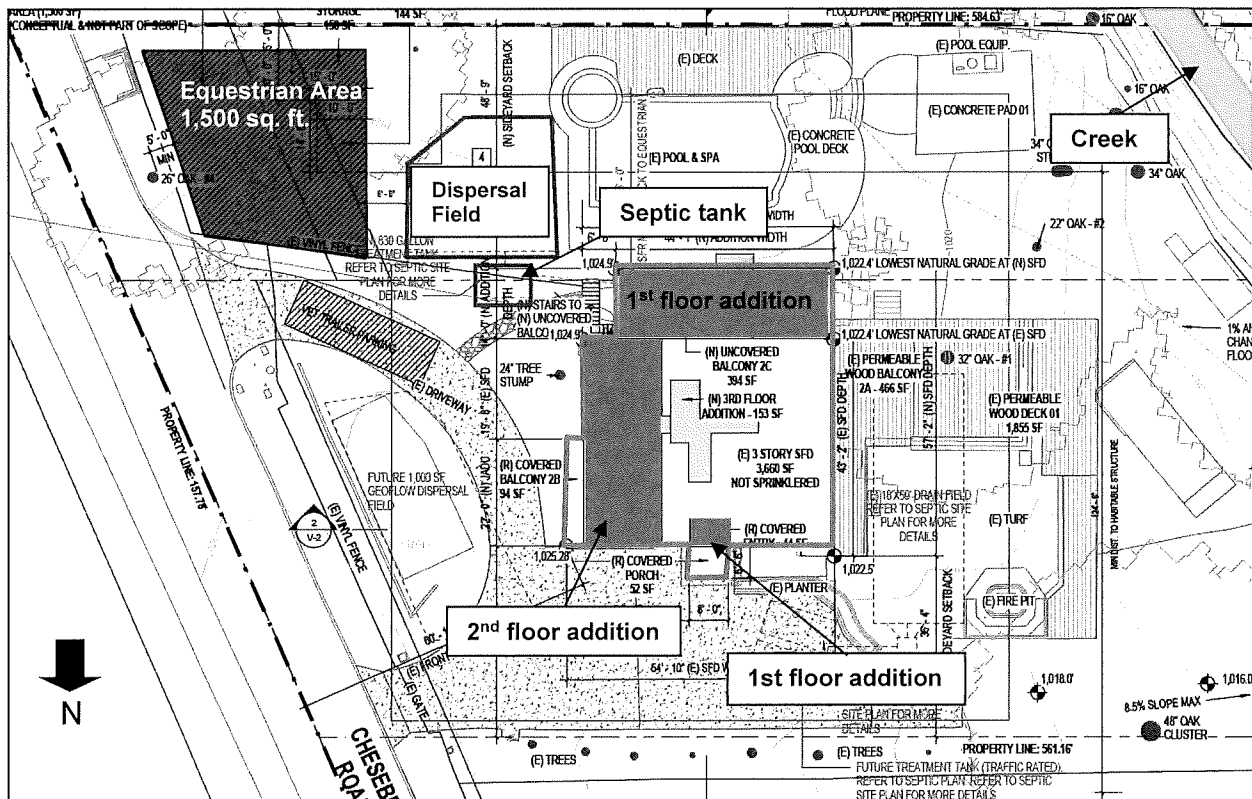
II. STAFF ANALYSIS

Site Plan and Buildings

The existing lot is composed of two parcels with an average slope of 23% that contains a natural creek that cuts through the lot. The existing three-story single-family residential building, a pool and spa, decks, driveway, and existing septic tank are located east of the creek, which is relatively flat compared to west of the creek. Some of these features are identified in *Figure 1. Site Plan* (Note: The site plan is inverted, with north pointing down). West side of the creek was the site of the old equestrian area and barn that burned down during the 2018 Woolsey Fire, and beyond that, is open space with steeper slopes. The two-acre lot also contains numerous oak trees.

The existing residence features a large balcony on the east side of the building, on the second floor. The second-floor addition will fully enclose the entire balcony, with the exception of 94 sq. ft. which will be a covered balcony off the new interior space. The first-floor addition will be located on the south side of the building, which will require the demolition of an existing trellis. The first-floor addition will create a new pantry, a larger

Figure 1. Site Plan



Source: 6441 Chesebro Rd Project Plans, 10/30/24

kitchen, and breakfast nook, and serve as the structure for a new balcony on the south side of the building. The third floor will be remodeled and include a new staircase that is compliant with building and safety standards. The third-floor remodel will require portions of an existing attic space to be converted into habitable square footage.

A new equestrian area is proposed to be sited on the southeast corner of the lot adjacent to the street in order to avoid the flood plain.

Additionally, the current residence does not have public sewer connections. As with many other properties in the immediate vicinity, the lot is equipped with an existing onsite water treatment system (OWTS), also referred to as a septic tank and dispersal field, which are located just northwest of the residence. The applicant obtained approval from the Los Angeles County Environmental Health Services Department (EHS) to install a new tank and dispersal field on the southeast corner of the residence, near the proposed equestrian area.

The following table summarizes how the proposed Project compares with the relevant lot and development standards.

Table 1 – Zoning Conformance					
		Existing	Proposed	Required/ Allowed	Compliance
Lot Specifications					
Size		81,987 sq. ft. or 2 acres	Same	None Specified (based on § 9652 lot slope & density requirements)	N/A
Average Slope		23%	Same	N/A	N/A
Building Height					
		33 ft.- 7 in.	Same	35 ft.	Complies
Floor Area					
House	1 st Floor	1,609 sq. ft.	2,270 sq. ft.	N/A	N/A
	2 nd Floor	1,328 sq. ft.	1,988 sq. ft.	N/A	N/A
	3 rd Floor	723 sq. ft.	876 sq. ft.	N/A	N/A
Garage		458 sq. ft.	Same	N/A	N/A
Covered Entry		96 sq. ft.	52 sq. ft.	N/A	N/A
Covered Balcony		764 sq. ft.	94 sq. ft.	N/A	N/A
Uncovered Balcony		n/a	394 sq. ft.	N/A	N/A

Table 1 – Zoning Conformance				
	Existing	Proposed	Required/ Allowed	Compliance
Site Coverage				
House (1 st floor only), Garage, Covered Entry, covered deck area, shed, coop	2,875 / 81,987 = 3.5%	3,492 / 81,987 = 4.3%	10%	Complies
Minimum Building Setbacks				
Front (East)	60 ft. – 10 in.	Same	50 ft.	Complies
Rear (West)	381 ft. – 6 in.	Same	50 ft.	Complies
Side (South)	62 ft. – 9 in.	48 ft. – 9 in.	25 ft.	Complies
Side (North)	36 ft. – 4 in.	Same	25 ft.	Complies
Old Agoura Floor-Area-Ratio (FAR)				
Includes 1 st , 2 nd , 3 rd floors, entry, covered balcony	4,978 sq. ft.	5,290 sq. ft.	5,575 sq. ft.	Complies

Architectural Design

The existing residence stands at three-stories, with large balconies, dormers, and a clipped gable roof. The residence is predominantly beige-stucco with brown trim, and a brown shingle roof. The Project includes refinishing the exterior of the house with a grey and tan limestone-veneer on the exterior of the first story, with board and batten siding on the upper stories. The existing clipped gables will be removed and reframed to a full open gable roof. The new roof structure for the second story addition, along the front elevation, will be a tiered cross gable off the existing roof. The existing roof pitch is 12:12, but the new roofed area will be 6:12 and not as steep as the existing. The roof covering is proposed to be a dark grey shingle with standing metal seam at the front porch and wooden faux rafter tails beneath the eaves. Wooden beams are also proposed on the open gables along the north and east elevation. Balconies will be outfitted with black steel railings and all windows and exterior doors on the south, east, and north elevations will be replaced. The Project also proposes 18 new exterior light fixtures that will be conditioned to be shielded and pointed down to prevent glare.

Hillside and Significant Ecological Area

As previously mentioned, the lot contains a 23% average slope with a natural creek that runs along the back of the residence. The developed area, and location of additions are

all located within a space that has already been disturbed. A Biological Reconnaissance Report, submitted by the Applicant, indicated that the site does not have any special status species due to the developed residence and surrounding residences. There are no anticipated impacts to wildlife, subject to standard construction conditions regarding noise and basic construction site maintenance (i.e. waste, garbage, standing water, and oak tree fencing). The natural open space, west of the creek, will be preserved as no construction and improvements are proposed in that area. The Project also does not propose any extensive grading or cuts into hillsides, other than excavation for the footing and foundation of the first-floor addition and for the new septic tank and field.

Oak Trees

The site contains numerous oak trees, with the western area of the southern hillside considered a woodland habitat composed of Coast Live and Valley Oaks. The Project analyzed four oaks that are located within the vicinity of the project area both on and offsite. Of the four, only one tree (Oak Tree #1) will be impacted by the Project. The excavation for the foundation of the addition on the first floor will encroach approximately 4.3% into the protected zone, however, no pruning is anticipated. Although only one oak tree will be encroached, all other trees in the area are required to have protective fencing during the duration of construction.

III. FINDINGS

Staff's recommendation of the project is based on sets of findings listed in the AHMC. These findings include Findings 1-5 of § 9673.2 (Conditional Use Permit), Findings 1-4 of § 9652.15.A (Hillside Areas), Findings 1-6 of § 9652.15.B (Significant Ecological Area), Findings A-F of § 9677.5 (Site Plan Review), Findings 1-6 of § 9677.7.G (Architectural Review) and Findings a-c of § 9657.5.C.3 (Oak Tree Permit). The existing residence is located in the OS-R zoning district which allows single-family residential uses. The Project also meets all setback requirements of the OS-R, including setbacks for the equestrian area, which requires conceptual barns to be at least 35 ft. from habitable structures and the street. Also as required by the Equestrian Overlay, the Project sites a new 1,500 square-foot equestrian area in a more suitable location, which is away from the creek and easily accessible from the street. The Project is also below the maximum building height and site coverage, as depicted in *Table 1. Zoning Conformance*. The new septic tank and dispersal field are also significantly set back from the creek and the flood plain to avoid contamination in the event of a flood, as required by the Drainageway overlay. Furthermore, the Project complies with the *Old Agoura Design Guidelines'* maximum FAR.

The Project was also analyzed against the City's General Plan and was found to be consistent with Goal LU-7, Policies LU-7.1 and LU-7.2 as the proposed remodel and improved equestrian siting enhances the aesthetics and use of the property which benefits the property's economic value and its residents. The Project is also compatible with the surrounding open space and residences with proper features such as cross-

gabled roof, complementary use of materials and color, and recessed upper floors that help reduce the mass of the building. The Project is also consistent with Goal LU-19, Policies LU-19.1 and LU-19.4 because the Project seeks to preserve all the oak trees with minimal encroachments and mitigates any impacts to the natural creek by siting the new equestrian and septic field as far from the creek as feasibly possible. The Project also aligns with Goal NR-1, Policy NR-1.3 and Goal S-1, Policy S-1.9 because the Project preserves the topographic character of the site by locating the additions and accessory uses away from hillsides, sensitive areas and natural watercourses. By doing so, this ensures the residents and surrounding neighbors are safe from potential water, waste, and structural hazards that a flood may cause. The full list of findings are described in the draft resolution (Attachment 1).

IV. ENVIRONMENTAL REVIEW

The Project has been reviewed pursuant to the CEQA and has been determined to be Categorical Exempt from the CEQA Guidelines per California Code of Regulations (CCR) § 15301 (Existing Facilities) and § 15303 (New Construction or Conversion of Small Structures). The Project proposes to add floor area to an existing single-family residence, consistent with the criteria for exemption of § 15301, and proposes to install a new septic tank, consistent with the criteria for exemption of § 15303. No significant environmental impacts are expected from the development of this project. No exception to this categorical exemption applies as set forth in § 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

V. FISCAL IMPACT

There are no fiscal impacts to the City Council adopted 2024-2025 budget as all applicable fees were paid by the applicant during the Project submittal. The fees collected cover the full cost of review for the City's consultants, and also cover staff's time spent reviewing the Project plans.

VI. RECOMMENDATION

Based on the foregoing analysis, staff recommends the Planning Commission approve Conditional Use Permit Case No. CUP-2023-0024, Site Plan/Architectural Review Case No. SPR-2023-0042, and Oak Tree Permit Case No. OAK-2023-0082, subject to the Conditions of Approval and based on the findings of the attached Draft Resolution and make a determination of exemption pursuant to the CEQA.

VII. ATTACHMENTS

1. Draft Resolution
 - a. Exhibit A, Conditions of Approval

2. Vicinity Map
3. Project Plans
4. Site Photos

Case Planner: Katrina Garcia, Associate Planner

ATTACHMENT 1

Draft Resolution with Exhibit A, Conditions of Approval

RESOLUTION NO. 24-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CASE NO. CUP-2023-0024, SITE PLAN/ARCHITECTURAL REVIEW PERMIT CASE NO. SPR-2023-0042 FOR ADDITIONS TO AN EXISTING SINGLE-FAMILY RESIDENCE, AND OAK TREE PERMIT CASE NO. OAK-2023-0082 TO ENCROACH INTO ONE OAK TREE LOCATED AT 6441 CHESEBRO ROAD AND MAKING A FINDING OF EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Michal Behar of MBB Design Studio for Nicole Radoumis, with respect to the real property located 6441 Chesebro Road (Assessor's Identification Number 2055-025-072), requesting the approval of a Conditional Use Permit (Case No. CUP-2023-0024) and Site Plan/Architectural Permit (Case No. SPR-2023-0042) for additions to the first, second, and third floors, a new uncovered balcony, a new covered balcony, a new septic tank and dispersal field, and siting of a new equestrian area; and Oak Tree Permit (Case No. OAK-2023-0082) to encroach into one oak tree (the "Project").

Section II. The Project is a request for additional floor area to an existing residence, including installation of a new septic tank with a dispersal field, and was reviewed pursuant to the California Environmental Quality Act (CEQA). The Project has been determined to be Categorically Exempt from the CEQA Guidelines per California Code of Regulations (CCR) § 15301(e) (Existing Facilities) and § 15303 (New Construction or Conversion of Small Structures). The Project proposes to add floor area to an existing single-family residence, consistent with the criteria for exemption of § 15301, and proposes to install a new septic tank, consistent with the criteria for exemption of § 15303. No significant environmental impacts are expected from the development of this project. No exception to this categorical exemption applies as set forth in § 15300.2 of the CEQA Guidelines, including, but not limited to, subsection (c) which relates to unusual circumstances that could have a significant effect on the environment.

Section III. The Planning Commission of the City of Agoura Hills considered the applications at a public hearing held on November 21, 2024, at 6:30 p.m. in the City Council Chambers located at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, means of participation in, and purpose of the aforesaid hearing was duly given and published as required by state law.

Section IV. Evidence, both written and oral, including the staff report and supporting documentation, was duly presented to, and considered by the Planning Commission at the aforesaid public hearing.

Section V. Conditional Use Permit. Pursuant to the Agoura Hills Municipal Code (AHMC) § 9673.2.E and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission makes the following findings for the Conditional Use Permit:

1. That the proposed use is consistent with the intent and purpose of Article IX, the goals and objectives of the General Plan and any applicable specific plan, and the purposes of the district in which the use is located. The Project, as an addition to an existing single-family residence, aligns with the permitted uses of the Open Space-Restricted (OS-R) zoning district as outlined in AHMC § 9483. It also meets the purpose of the OS-R by proposing only a minimal site coverage increase to 4%, well within the 10% maximum allowed. This limited coverage supports the preservation of natural open spaces and existing resources, particularly the creek. The Project is also consistent with the purpose of the Drainageway (D) overlay because the proposed development is sited away and does not obstruct the natural flow of water. The Project is also consistent with the Equestrian (EQ) and Old Agoura (OA) overlays because the lot is still tenable for horses and it does not maximize the allowable floor-area-ratio (FAR) set by the Old Agoura Design Guidelines. The Project further aligns with Goal LU-7 and Policies LU-7.1 and LU-7.2, as the remodel and addition enhance the aesthetics of the existing structure, benefiting both the property's economic value and the residents' quality of life. The remodel and addition are appropriately scaled in relation to the street frontage through features like cross-gable roofing, varied wall planes, recessed upper levels, and carefully selected materials. The Project is also consistent with Goal LU-19, Policies LU-19.1 and LU-19.4 because the Project preserves all on-site oak trees with minimal encroachment into the protected zone of one oak tree. The distance of the new septic field is located as far as possible from the creek bed and the horse-keeping is now designated out of the flood zone. The Project also aligns with Goal NR-1, Policy NR-1.3 as the development maintains the natural topographic character of the site by siting the additions and the septic field away from sensitive geological areas and natural watercourses.

2. That the proposed use is compatible with the surrounding properties, based on the factors set forth in AHMC § 9673.2.E. The proposed addition is intended for continued use as a single-family residence. Other than temporary construction noise, the addition is unlikely to generate additional noise beyond ambient noise levels. Given the large setbacks between homes in the area and the varied topography, noise from the residence is unlikely to affect neighboring properties. The use remains single-family, with no increase in dwelling density, thus it will not lead to additional vehicular or pedestrian traffic. The Project maintains the existing two-car garage and a driveway that accommodates multiple vehicles, ensuring that no additional on-street parking will be needed. The Project complies with all Old Agoura Design Guidelines of the *Architectural Design Standards and Guidelines* (ADS&G), specifically the maximum floor-area-ratio (FAR), designated horse-keeping area, a site design that protects oak trees and the creek, as well as the selected earth-toned colors and wood and stone materials.

3. The purpose and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare based on the factors set forth in AHMC §9673.2.E. The addition to the single-family residence does not obstruct sight lines for entering or exiting the lot, as it is located within the footprint of an existing balcony and in the side yard. The private street is not proposed to be altered and will continue to serve all vehicular traffic necessary for the use and construction. The Project is subject to standard construction conditions and must adhere to best management practices. The distance of the proposed horse-keeping area and new septic field from the creek ensures there will be no waste runoff impacting the local water supply. Furthermore, the additions and installation of a new septic field are not proposed within designated flood zones or steep hillsides such that it would alter the existing site drainage patterns or result in increased erosion. Before Building Permits are issued, the Project must secure approvals from the Los Angeles County Fire Department and renewed approval from the Los Angeles County Environmental Health Services for the septic tank.

4. The proposed use will comply with all applicable provisions of Article IX of the AHMC, and no variances or modifications have been requested. The single-family residential use is a permitted use in the OS-R zoning district. The Project complies with all property line setback requirements, site coverage, and building height requirements. The Project also designates a new 1,500-square-foot horse-keeping area that is accessible and appropriately set back from any human-habitable structures and is, therefore, consistent with the Equestrian (EQ) overlay. The Project is also consistent with the Drainageway (D) overlay because the additions are not sited within the FEMA (Federal Emergency Management Agency) designated flood zones, nor would the Project increase surface water elevations. Therefore, no variances or modifications are necessary for the Project.

5. The proposed use is not in violation of applicable provisions of the AHMC or of federal, state, or local law. The addition to the single-family residence is allowed within the OS-R zoning district and meets all required development standards including building height, setbacks, site coverage, off-street parking, oak tree preservation, and horse-keeping designation. The proposed septic tank and dispersal field has been approved by the Los Angeles County Environmental Health Services and is sited far enough away from the designated FEMA flood zone. The Project and the construction of the Project, is not anticipated to harm any sensitive species on the site, provided all standard construction conditions are followed.

Section VI. Hillside Areas. Pursuant to the AHMC § 9652.15.A, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission makes the following findings for the Conditional Use Permit:

1. The proposed Project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood, mud flow, erosion hazards, or other hazards. The Project is located away from the designated flood

zone and steep hillside area. The septic field is located close to the street and on a flat area of the site. The siting of the septic field was designed and analyzed by a certified Onsite Water Treatment System specialist that studied the feasibility of the new location and was confirmed to be appropriate by the LA County Environmental Health Services Department. The additions are located on the existing building footprint and directly adjacent to the existing building pad such that it avoids steep slopes and natural undisturbed areas that may create slope instability or erosion hazards.

2. The proposed Project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The Project is proposed within the disturbed area of the property and is located below ridgelines. It is designed to avoid significant encroachments and extensive trimming of the existing mature oak trees. The location of the conceptual horse-keeping area is sited on the southeast corner of the lot, adjacent to Chesebro Road, with the new septic tank and dispersal field located immediately west of the horse-keeping area. The site does not have special status species that are typically seen within range of the project due to the disturbances and previous development of the site.

3. The proposed Project can be provided with essential public services and is consistent with the objectives and policies of the General Plan. The Project is situated on a developed site along a privately maintained road, with each owner responsible for upkeep. The existing residence has always received, and will continue to receive, essential public services and utilities, including electricity and water. The Project has also secured approval from the Los Angeles County Environmental Health Services Department for a new septic tank and dispersal field. The development aligns with General Plan Goal S-1, Policy S-1.9, which focuses on safeguarding residents from hazardous flood areas, as the new horse-keeping area and septic field are located outside the flood zone, ensuring that waste from these facilities does not enter the creek.

4. The proposed development will complement the community character and benefit current and future community residents. Numerous homes in the neighborhood have been affected by wildfires, leaving older buildings in need of significant rehabilitation. The Project's design—with elements like stone veneer, board and batten siding, and wood trim—along with a new horse-keeping area, aligns more closely with the community's character than the original development. Additionally, the Project does not propose removing any existing vegetation along the street, which is common throughout the neighborhood. This vegetation helps maintain residents' privacy and reduces the visual impact of buildings within the open space setting.

Section VII. Significant Ecological Areas. Pursuant to the AHMC § 9652.15.B, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission makes the following findings for the Conditional Use Permit:

1. The proposed Project is designed to be highly compatible with the biotic resources present, including the setting aside of appropriate and sufficient undisturbed

areas. The Project is planned on the existing graded pad of the single-family residence, located east of the flood hazard area. While special-status species are present in the region, none were found within the development area due to prior land disturbances. Oak trees within the development site are being preserved, with only minimal encroachment resulting from the addition and septic tank installation. The proposed horse-keeping area lies under oak tree canopies; however, if it is eventually used for horses, impacts on the oak trees are expected to be minimal. Federal guidelines require nesting bird protection, including nesting surveys before construction. As such, the Project is conditioned to protect nesting birds by avoiding construction during peak nesting season and conducting nesting surveys.

2. The proposed Project is designed to maintain water bodies, watercourses, and their tributaries in a natural state. The Project's addition, septic tank, and dispersal field are located at least 70 feet from the creek bank and at least 25 feet from the mapped one-percent-chance flood plain. The site layout was carefully planned with the guidance of the Los Angeles County Regional Water Quality Board and Los Angeles County Environmental Health Services to ensure that all elements are positioned away from watercourses, thereby preventing hazardous runoff into the creek.

3. The proposed Project is designed so that wildlife movement corridors (migratory paths) are left in an undisturbed and natural state. In addition to the adjacent residential uses and the developed property, there is low probability of wildlife movement on or through the developed portion of the site.

4. The proposed Project retains sufficient natural vegetation cover and/or open spaces to buffer critical resource areas from such project. The Project proposes to retain the existing vegetation on the site to ensure the existing structure and its planned additions are visually screened from the street. Additionally, since the development is limited to the east side of the creek and set back substantially, it provides a sufficient buffer from most of the undisturbed land west of the creek, except for the pad of a burnt-out barn.

5. Where necessary, fences or walls are provided to buffer important habitat areas from development. No fences are necessary as the site doesn't have any special status species or habitats due to the existing development. The Project is also an addition that is located on the existing building footprint and graded pad. The septic tank and dispersal field are located below ground such that it allows free-flowing movement of other wildlife.

6. Roads and utilities serving the proposed project are located and designed so as not to conflict with critical resources, habitat areas or migratory paths. The Project does not propose any alterations to the private road. All existing utilities, except for the private sewage facility, will continue servicing the residence. The new private sewage facility or septic tank will be installed underground, adjacent to already graded or disturbed areas of the lot and is set back substantially from the creek and flood hazard area. The Project also does not interfere with any habitat areas or migratory paths

because the existing development and adjacent residential uses have resulted in low wildlife movement.

Section VIII. Site Plan Review. Pursuant to the AHMC § 9677.5, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission makes the following findings for the Site Plan Review:

A. The proposed use is consistent with the objectives and provisions of this article and the purposes of the land use district in which the use is located. The addition to the existing single-family residence, the installation of the new septic tank and dispersal field, and the conceptual horse-keeping area are all allowable uses within the underlying OS-R zone, and the Old Agoura, Drainageway, and Equestrian overlays. They are also designed to be consistent with the specific setback requirements for additions, height requirements for residences, and site coverage. The Project is also consistent with the maximum FAR requirements of the Old Agoura Design Guidelines of the ADS&G, including a roof with varying heights and cross gables, the use stone veneers and wooden accents, a design that aims to preserve all the oak trees and minimize impacts, low site coverage, and a site design that accounts for the natural features of the lot, as described in the preceding findings.

B. The proposed use and the manner in which it will be operated or maintained will not be detrimental to the public health, safety, or general welfare. The Project is limited to an addition to a single-family residence that requires conformance with the building code. The addition is located on the existing building and adjacent graded pad and is not obstructing sight lines required for ingress and egress of the site. The installation of the septic tank and dispersal field are also subject to the requirements of the Los Angeles County Environmental Health Services Department to ensure the siting of the septic field does not produce hazards on and offsite and to ensure the system functions properly. The use remains a single-family residence and will continue to receive the same emergency, waste management, electrical, and water services.

C. The proposed use shall not conflict with the character and design of the buildings and open space in the surrounding area. The Project is consistent with the setback, building height, and site coverage of the OS-R district and is below the maximum allowed FAR of the Old Agoura Design Guidelines. The Project also incorporates natural elements such as wooden accents and stone veneers, and new board and batten siding, which is seen throughout the Old Agoura neighborhood. The immediate vicinity of the Project site contains several estate-sized residences with substantial setbacks from other each other, helping to maintain expansive open space. The Project's additions are only proposed on the building footprint and adjacent to the existing structure and avoids the natural waterway and steep hillsides located on the lot.

D. The proposed use will comply with each of the applicable provisions of this chapter, except for approved variances or modifications. The Project is consistent with

the development standards as stated in Finding C of this section. Therefore, no variances or modifications are requested or required.

E. The proposed use is consistent with the City's General Plan. The Project is consistent with General Plan Goal LU-7, Policies LU-7.1 and LU-7.2, Goal LU-19, Policies LU-19.1 and LU-19.4, and Goal NR-1, Policy NR-1.3 as described in Finding I, section V (Conditional Use Permit). The existing single-family residence and the proposed additions, septic system, and new horse-keeping area preserves the natural setting, and enhances the character, as well as the economic value of the neighborhood.

F. The proposed use preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The Project continues the existing use as a single-family residence with a septic system. The neighborhood is known for expansive open space and its equestrian-friendly environment. As such, the Project designates a horse-keeping area for future use. All oak trees on and off site are preserved with encroachment into only one oak tree.

Section IX. Architectural Review. Pursuant to the AHMC § 9677.7.G, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission makes the following findings for the Architectural Review:

1. The proposed development is consistent with the General Plan, any specific plans, and any design standards adopted by the City Council. The Project is consistent with General Plan Goal LU-7, Policies LU-7.1 and LU-7.2, Goal LU-19, Policies LU-19.1 and LU-19.4, and Goal NR-1, Policy NR-1.3 as described in Finding I, section V (Conditional Use Permit). The Project is also consistent with the Old Agoura Design Guidelines of the ADS&G because the Project is below the maximum FAR allowed, it uses natural materials and earth-toned colors, the structure and the roof are articulated to regulate the massing, the site preserves the ability to have future horse-keeping, and it preserves the natural features of the site including the hillside slopes, the watercourse, and the oak trees.

2. The design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood; and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and that it will not create traffic hazards or congestion. The addition to the existing structure and remodel enhances the value of the neighborhood and the property by making improvements to the buildable site without degrading the surrounding environment. No additional dwelling units are proposed, therefore there will be no traffic impacts associated with the Project.

3. The design of the proposed development is in keeping with the character of the surrounding neighborhood, is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and the General Plan of

the City. The additions to the existing single-family residence is consistent with the surrounding neighborhood because the surrounding uses are also single-family residences on expansive open space lots. The Project does not increase the dwelling density and provides additional private sewage facilities to accommodate the additional floor area and to ensure waste is properly collected. The new septic system and equestrian area is also sited away from the sensitive ecological area, which is west of the creek. The Project meets all setback, building height, site coverage, and hillside requirements. The Project is also consistent with the General Plan as described in Finding 1 of Section V (Conditional Use Permit) of this Resolution.

4. The design of the proposed development would provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors. The Project improves the interior and exterior aesthetics of the building through the new roof structure creating more articulation, use of natural-appearing materials such as stone veneers, wooden trim, and new board and batten siding.

5. The proposed use complies with all applicable requirements of the district in which it is located and all other applicable requirements. The Project is an addition single-family residence with a new designated equestrian area, and new expanded private sewage facility, all of which are consistent uses in the OS-R zoning district, and the EQ overlay. The Project is also consistent with the OA overlay as described in Finding 1 of this section. The setback, building, and site coverage of the OS-R and specific design criteria for properties in the D overlay have all been met by the Project.

6. The overall development of the subject property is designed to ensure the protection of the public health, safety, and general welfare. As described in Finding B of Section VIII (Site Plan Review) of this Resolution, the design of the Project ensures the health and safety of the residents and surrounding residents.

Section X. Oak Tree Permit. Pursuant to the AHMC § 9657.5.C.3, and based upon the evidence presented at the hearing, including the staff report and oral and written testimony, the Planning Commission makes the following findings for the Oak Tree Permit:

a. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property. Excavation for the foundation of the addition would result in the encroachment of 4.3% on oak tree no. 1 and is not likely to require pruning. All trees, including the four trees closest to the area of development, are to remain and will be protected.

b. The removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. No oak trees are being removed or relocated to develop this Project.

c. The removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present location(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive; or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s). The development of the Project is being accomplished without removing or relocating any oak trees on the property. Only one oak tree will be encroached on by the excavation to construct the foundation of the addition and will likely not require any pruning. The Project is adequately conditioned to preserve the oak trees during construction.

Section XI. Based on the aforementioned finding, the Planning Commission hereby approves Conditional Use Permit Case No. CUP-2023-0024, Site Plan/Architectural Review Permit Case No. SPR-2023-0042, and Oak Tree Permit Case No. OAK-2023-0082, subject to Conditions of Approval, attached herein as Exhibit A, with respect to the property described in Section I, hereof.

Section XII. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and this certification to be entered in the Book of Resolution of the Planning Commission of the City.

PASSED, APPROVED, and ADOPTED this 21st day of November 2024, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)

Kate Anderson, Chairperson

ATTEST:

Denice Thomas, Secretary

EXHIBIT A
CONDITIONS OF APPROVAL
(Case No. CUP-2023-0024, SPR-2023-0042, OAK-2023-0082)

PLANNING DIVISION

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of the Planning Commission's action, subject to filing the required forms and related fees with the City.
2. The approval of this permit shall not be effective for any purpose until the Applicant has agreed in writing that they are aware of, and accept, all conditions of the permits issued by the City of Agoura Hills.
3. Except as specifically modified by conditions of approval, the proposed development shall be constructed in substantial conformance with the approved plans and project description. The proposed development shall further comply with all conditions of approval stipulated in this resolution attached hereto. In the event project plans conflict with any condition of approval, the condition shall take precedence.
4. Minor changes to the approved plans or the conditions of approval may be approved by the Community Development Director, provided such changes achieve substantially the same results and the project is still in compliance with the Agoura Hills Municipal Code. Revised plans reflecting the minor changes and additional fees shall be required to be submitted to complete the record. All exterior materials used in this project shall be in conformance with the material samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permits shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a condition of this action that if any condition herein is violated, the permit shall be suspended, and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Agoura Hills Municipal Code and of the specific zoning designation of the subject property must be complied with unless set forth in these conditions or on the approved plans.
8. The Site Plan/Architectural Review permit (SPR-2023-0041) shall become void two years following the date it was approved, unless prior to the expiration of one year, a building permit is issued and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit, or a certificate of occupancy is issued for the structure which was the subject of the permit. Prior to the expiration of the permit, the applicant may request up to two extensions for a period of time not exceeding 12 months, subject to the approval of the Planning Division.

9. No final approval shall be granted for any new building until all conditions of approval have been complied with as determined by the Community Development Director.
10. All outstanding fees owed to the City, if any, shall be paid by the Applicant within thirty (30) days of the approval of this permit.
11. The Applicant and/or owner shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees with determined the time of Building Permit issuance.
12. All exterior lights shall be focused downward and shielded to minimize glare and light spillover onto the adjacent lots.
13. It is the responsibility of the Applicant and/or their representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
14. In the event archaeological resources are encountered during ground-disturbing activities, the City Planning Department shall be notified immediately, and work shall stop within a 100-foot radius until a qualified archaeologist approved by the City Planning Department, and retained and paid for by the Developer/Applicant, has assessed the nature, extent, and potential significance of any remains pursuant to the California Environmental Quality Act (CEQA). In the event such resources are determined to be significant, appropriate actions are to be determined by the archaeologist consistent with CEQA (PRC Section 21083.2) and the City General Plan, in consultation with the City Planning Division.
15. If human remains are unearthed, State Health and Safety Code Section 7050.5 requires that no further disturbances shall occur until the County Coroner has made the necessary findings regarding origin and disposition pursuant to the Public Resources Code Section 5097.98. If human remains are unearthed, the Developer/Contractor shall contact the City Planning Department and County Coroner immediately. If the remains are determined to be of Native American descent, the Coroner has 24 hours to notify the Native American Heritage Commission (NAHC). The NAHC will then identify the person(s) thought to be the Most Likely Descendent (MLD) of the deceased Native American, who will then help determine what course of action should be taken in dealing with the remains. If an archaeologist and/or a Native American representative is needed to assess the remains and determine a course of action, all such fees and expenses shall be the responsibility of the developer/contractor and not the City.
16. I understand that the receipt of the approvals and the rights granted pursuant to such approvals are for my benefit (or that of my principal). Therefore, if the approvals, any conditions attached thereto, or any other City permits issued pursuant to such approvals, are challenged by a third party, I will be responsible for defending against this challenge. I agree to accept this responsibility for defense at the request of the City and also agree to defend and indemnify (with counsel of the City's choosing), and hold the City harmless from any costs, claims, demand, financial loss, penalties,

finances, judgments, or liabilities arising from the approvals, any conditions attached thereto, or any City permits issued pursuant to such approvals, including without limitation, any award or attorney's fees that might result from the third party challenge, excepting only liability arising from the sole negligence, gross negligence, or intentional misconduct of City. For the purpose of this indemnity, the term "City" shall include the City of Agoura Hills, its officers, officials, employees, agents, and representatives. For the purpose of this indemnity, the term "challenge" means any legal or administrative action to dispute, contest, attack, set aside, limit, or modify the approval, project conditions, or any act upon which the approval is based, including, but not limited to, any action alleging a failure to comply with the California Environmental Quality Act or other laws.

BUILDING AND SAFETY DIVISION

Prior to permit issuance

17. All buildings and structures to be constructed or altered, or any change of use proposed as part of the Project shall be designed and constructed in accordance with all applicable regulations and standards of the City's Building Codes, Fire Code, and any related Building Standards Code in effect; and all other applicable provisions of the AHMC which are adopted and in effect at the time of application for a building permit.
18. All the code requirements for the Very High Fire Hazard Severity Zone (VHFHSZ) per amended Chapter 7A of the governing California Building Code or the amended Section R337 of the governing California Residential Code, Los Angeles County Fire Code, and Agoura Hills Municipal Code shall apply to this Project.
19. Approval from the Planning Division is required prior to submitting applications for building permits with the Building and Safety Division
20. Soils report is required to be submitted for this project for review and shall be a part of the final construction plans.
21. Los Angeles County Fire Department approval will be required prior to the issuance of building permits.
22. Las Virgenes Municipal Water District approval will be required prior to the issuance of building permits.
23. Los Angeles County Environmental Health approval will be required for the septic system prior to the issuance of building permits (if applicable).
24. School fees are required to be paid prior to the issuance of building permits.

During Construction

25. Hours of construction shall be limited to the following: 7:00 AM to 7:00 PM Monday through Saturday, no work on Sundays and Holidays. All construction workers shall be respectful of the surrounding neighborhood and keep non-construction-related noise to a minimum prior to, during, and after permissible construction hours.

26. All staging and storage of construction equipment and materials, including the construction dumpster, shall be on-site only. The Property Owner must obtain written permission from adjacent property owners for any construction staging occurring on adjacent property.
27. Compliance with the following noise standards shall be required at all times:
 - a) No construction equipment shall be operated without an exhaust muffler, and all such equipment shall have mufflers and sound control devices (i.e., intake silencers and noise shrouds) that are no less effective than those provided on the original equipment;
 - b) All construction equipment shall be properly maintained to minimize noise emissions;
 - c) If any construction vehicles are serviced at a location on site, the vehicle(s) shall be setback from any street and other property lines to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors;
 - d) Noise impacts from stationary sources (i.e., mechanical equipment, ventilators, and air conditioning units) shall be minimized by proper selection of equipment and the installation of acoustical shielding as approved by the Director of Community Development or/and the Building Official.
 - e) Stationary source equipment (i.e., compressors) shall be located to maintain the greatest distance from the public right-of-way and Noise Sensitive Receptors.
28. In the event multiple citations are issued in connection with the Project for violations of these Conditions of Approval or other violations of the AHMC, Project construction shall be stopped until such time that it is determined to the satisfaction of the Community Development Director, that causes of such violations have been eliminated or corrected and that the Project will be able to proceed in full compliance with these Conditions of Approval and the AHMC.

Prior to TCO/CO issuance

29. Successfully complete all required inspections as determined by the Building Official.
30. Obtain all approvals and sign-offs from other City Departments/Divisions and outside agencies.

PUBLIC WORKS DEPARTMENT

31. The applicant shall provide a preliminary title report not older than 30 days.
32. Prior to the issuance of a building permit, applicant shall merge parcels identified as APN No. 2055-025-072.

33. Prior to the issuance of a building permit, applicant shall prepare all documents necessary to vacate the existing 10-foot slope easement on the applicant's property.
34. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Director of Public Works for review and approval.
35. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
36. Applicant shall submit a soils/geology report to the Building and Safety Department for review and approval in accordance with Government Code, Section 66434.5.
37. Prior to issuance of a building permit, applicant shall obtain approval from the Los Angeles County Health Department for the on-site wastewater treatment system.
38. Prior to final approval of the building permit, all remaining fees/ deposits required by the Engineering Department shall be paid in full.
39. Upon receiving Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

OAK TREE

Prior to Construction

40. Fencing Plan. Prior to the start of any work or mobilization at the site, a fencing plan shall be prepared in accordance with the City of Agoura Hill's (City's) Oak Tree Preservation Guidelines, Section V, Standards for Performance of Required Work (see Subsection 1.1 on page 1,052). Where encroachment is approved by the City within the tree protection zone (TPZ), protective fencing shall be installed at the limits of encroachment. An oak tree protective fencing plan shall be submitted to the City Oak Tree Consultant for approval, prior to issuance of a grading or building permit and initiation of construction activities. Fence installation shall also be verified by the City Oak Tree Consultant prior to issuance of a grading or building permit. No activities, including grading, excavation, or pruning, may be conducted beyond the protective fencing.
41. Utility Trenching Pathway Plan. To avoid unnecessary damage to the root systems of protected oak trees, the developer will be required to submit a utility trenching pathway plan to the Community Development Department and the City engineer for review and approval before the commencement of the construction phase.

42. The plan shall depict all the following systems: storm drains, subdrains, sewers, easement area drains, gas lines, electrical service and fiberoptics, water mains, irrigation mainlines and laterals, and other underground installations.
43. The plan must include all lateral lines serving the new building. To be completely effective, the plan must include the surveyed locations of all oak trees on the project as well as an accurate plotting of the TPZ within 1 foot.
44. Nesting Bird Surveys. If any work including digging, grading, excavation, or construction is proposed to occur during nesting bird season (from January 1 to September 15), the Applicant shall submit a nesting bird survey performed by a qualified biologist, to the City, 7 days prior to such work. If any bird species protected by the Migratory Bird Treaty Reform Act of 2004 is observed on/in the vicinity of the project site, the project shall be delayed until the conclusion of nesting bird season.

During Construction

45. Noticing. The developer/landowner shall provide their consultant(s) with a 48-hour advance written notice before commencing any authorized work within the TPZ of oak trees. The developer/landowner shall notify the City in writing within 5 days of any changes of their Oak Tree Consultant(s) of record.
46. On-site Documentation. The following information must be located and permanently retained on the construction site at the start of grading operations. The superintendent will be required to call the Community Development Department to request an inspection and to verify that the information is located on site.
 - a. Oak tree report—All present and proposed modifications
 - b. Oak tree location map
 - c. Oak tree fencing plan
 - d. Oak tree permit and all present and future modifications
 - e. Grading plans approved by the City engineer and Oak Tree Consultant
 - f. Stamped set approved by the Community Development Department
 - g. Permit and tract conditions: A copy of the approved permit and tract conditions, and all current and future modifications, approved by the Community Development Department
 - h. Oak tree ordinance
 - i. Oak Tree Preservation Guidelines
 - j. Approved planting and irrigation drawings
47. Standards of Work. All conditions stated in the City Oak Tree Preservation Guidelines, Section V, Standards for Performance of Required Work (pages 1,048–1,057), shall be implemented. All tree avoidance and minimization recommendations within the September 26, 2024, Oak Tree Report shall be implemented. All work

within the TPZ, including grading, excavation, pruning, removal, or work that may otherwise damage a protected oak tree, shall be conducted in a manner consistent with the American National Standards Institute's A300 standards and the International Society of Arboriculture's Best Management Practices.

48. Construction Phase Monitor. All work within the TPZ, including grading, excavation, and pruning, shall be monitored by the Applicant's Oak Tree Consultant. The Applicant's Oak Tree Consultant shall provide recommendations for minimizing and avoiding roots during trenching activities within the TPZ. The Applicant's Oak Tree Consultant shall submit an observation report with their recommendations and mitigation, or remediation, measures at the completion of the observation to the Community Development Department for review.
49. Permitted Work. All work within the TPZ shall occur as described within the September 26, 2024, Oak Tree Report. No additional work within the oak trees' TPZs that is not described in the Oak Tree Report, including grading, excavation, or pruning, shall be permitted without additional City review and written consent.
50. Root Pruning. If any roots less than 2 inches in diameter need to be cut, do not apply any tree/root sealers to the cut. It is best to cut roots with a sharp pruning saw so that cuts are clean (i.e., not jagged). This will allow lateral roots to grow and supplement water/nutrient uptake from the loss of the cut root. All root pruning shall consist of clean cuts at a 45 degree angle with the cut surface facing downward. Rooting hormone may be applied to the cut root, so long as it is applied properly according to the product label. No roots greater than 2 inches in diameter may be cut without additional City review and written consent.
51. Footings. In accordance with the Oak Tree Preservation Guidelines (B, Tree Maintenance and Pruning Operations, 8, Roots [page 1,051]), where structural footings are required, and roots will be impacted, the footings shall be bridged and the roots protected. All such roots shall be covered with a layer of plastic cloth and 2–4 inches of Styrofoam matting prior to pouring the footing. The City Oak Tree Consultant shall be notified within no less than 5 business days to visually inspect implementation of this method prior to backfilling the trench. The trench shall not be backfilled until the City Oak Tree Consultant conducts a visual inspection.
52. Vehicle and Material Storage. No vehicles, equipment, materials, spoil, or other items shall be used or placed within the TPZ of any oak tree at any time except as specifically required to complete the approved work.
53. Grade Change. The grade shall not be lowered or raised around the trunks (i.e., within the TPZ) of any oak tree without prior authorization from the City.
54. Crown Pruning. No branch pruning may occur. If pruning branches of any size is deemed necessary during the duration of the project, such pruning shall be subject to additional City review and shall require written City consent.

Post-construction

55. Final Inspection. Prior to the removal of the protective fencing, the Applicant shall contact the City Oak Tree Consultant to perform a final inspection. The Applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree within 2 weeks of the site inspection.
56. Irrigation and Ground Cover. No irrigation or ground cover shall be installed within the TPZ of any existing oak tree unless specifically approved by the City Oak Tree Consultant and the Community Development Director. Only drought-tolerant plantings that are resistant to avocado root rot (*Phytophthora cinnamomi*) and oak root fungus (*Armillaria mellea*) shall be allowed within the TPZ of oak trees.
57. Herbicide. No herbicide shall be used within 100 feet of the dripline of any oak tree and/or upstream of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
58. Certification. Any unintentional oak tree impacts shall be reported to the City within 48 hours of the incident. The Applicant's Oak Tree Consultant shall submit certification letters for all work completed within the TPZ of an oak tree within 5 working days of the completion of said work. The letter(s) shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.
59. Preservation. All oak trees located on the property, including any that may be planted in the future as mitigation trees, shall be preserved in perpetuity.

SOLID WASTE MANAGEMENT

60. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 65% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Planning Department prior to issuance of a Building Permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
61. The project shall comply with the City's Waste Reduction & Recycling Plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the

disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted to and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

62. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

END

ATTACHMENT 2

Project Plans

PROJECT INFORMATION:

PROPERTY OWNER:
NICOLE PACOURIS
6441 CHESEBRO RD,
AGOURA HILLS, CA 91301
310.780.4177
nicolepac@att.net

TITLE 2 ELEVARY:
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DIAMOND BAR, CA 91765
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alnemhe@gmail.com

STRUCTURAL ENGINEER:
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CHULA VISTA, CA 91910
619.805.6194
gcastro@gsa.com

DESIGNER:
MICHAEL BEHAR BRISON
MBB DESIGN STUDIO
22231 MULHOLLAND HWY
SUITE 114114A
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424.844.4722
info@mbbdesignstudio.com

SURVEYOR:
GIBSON SURVEYING
517 E. WILSON AVE
SUITE 102
GLENEVIEW, CA 91026
323.336.8725
gmorsurveying.com

LEGAL DESCRIPTION:

APN NUMBER 2055-025-072
TRACT NUMBER 800327
LOT AREA 1.88 ACRES /
81,987 SF

SETBACK REQUIREMENTS (OS-R):

SETBACK	MINIMUM	EXISTING	PROPOSED
FRONT	5'-0"	6'-0"	NO CHANGE
REAR	5'-0"	3'-0"	NO CHANGE
SIDE NORTH	2'-0"	6'-0"	NO CHANGE
SIDE SOUTH	2'-0"	3'-0"	NO CHANGE

BUILDING CODE DATA:

ZONING	OS-R-OA-EQ	MAX. ALLOWABLE HEIGHT	35'-0"
OCCUPANCY GROUP	R-3 (U-GARAGE)	EXISTING HEIGHT	33'-7"
CONSTRUCTION TYPE	V-4	PROPOSED HEIGHT	NO CHANGE
NUMBER OF STORIES	3	GENERAL LAND USE	
EXIST. FLOOR AREA	3,650 SF	EXIST. # OF BEDROOMS	4/1
EXIST. # OF BEDROOMS	4/1	NEW # OF BEDROOMS	4/1.5
NEW # OF BEDROOMS	4/1.5	FIRE ZONE	VWFHSZ

AVERAGE SLOPE & OPEN SPACE ANALYSIS:

FOR PROPERTIES ZONED RESIDENTIAL OR OPEN SPACE, A MINIMUM PERCENTAGE OF A PARCEL OF LAND SHALL REMAIN IN OPEN SPACE. THE MINIMUM PERCENTAGE SHALL BE DETERMINED BASED UPON THE FOLLOWING TABLE AS PER AGOURA HILLS MUNICIPAL CODE 9652.13.B

SEE SURVEY AND SLOPE CALCULATION ON SHEET V-1.0. AVERAGE SLOPE = 22.92%

THE MINIMUM PERCENT OF PARCEL TO REMAIN OPEN SPACE (I.E. PERMEABLE) IS 62.5%.

81,987 SF x 0.625 = **51,241.8 SF** SHALL REMAIN OPEN SPACE

CALCULATION:

TOTAL LOT AREA	81,987 SF
TOTAL PERMEABLE/OPEN SPACE	10,750 SF
TOTAL IMPERMEABLE/BLDG. SITE COVERAGE TABLE	81,987 SF - 10,750 SF = 71,237 SF (86.8% OS)

LOT OPEN SPACE REQUIREMENTS

PERCENT SLOPE	MINIMUM PERCENT OF PARCEL TO REMAIN IN OPEN SPACE
10 - 15	22.5
16 - 20	47.5
21 - 25	62.5
26 - 30	77.5
31 - 35	92.5
GREATER THAN 35	97.5

BUILDINGS SITE COVERAGE ANALYSIS PER OS-R: SEE SITE PLAN ON T-1.1

TOTAL LOT AREA	81,987 SF
ALLOWABLE: 10% OF LOT	8,198.7 SF
TOTAL DEVELOPMENT AREA*	6,175.5 SF
TOTAL PROPOSED SITE COVERAGE	3,492 SF / 81,987 SF = 4.26% < 10% (COMPLIANT)

***SEE IMPERMEABLE SURFACE & BLDG. COVERAGE TABLE**

IMPERMEABLE SURFACE/BLDG. SITE COVERAGE					
IMPERMEABLE SURFACE	(I)	(N)	BLDG. SITE COVERAGE	(I)	(N)
SFD (E-N)	1,653 SF	617 SF	SFD FOOTPRINT	1,653 SF	617 SF
GARAGE	458 SF	-	GARAGE	458 SF	-
COVERED PORCH	52 SF	-	COVERED PORCH	52 SF	-
DRIVEWAY	4,414 SF	-	AREA UNDER BALCONY 2A	465 SF	-
FRE PRT	181 SF	-	SHED	124 SF	-
CONCRETE PAD 01	489 SF	-	COOP	122 SF	-
CONCRETE PAD 02	347 SF	-			
POOL DECK	1,819 SF	-			
COOP	122 SF	-			
SHED	124 SF	-			
TOTAL	8,239 SF	617 SF	TOTAL	2,815 SF	617 SF
	3,494 SF			2,492 SF	

SYMBOL LEGEND

	ELEVATION NO.	ELEVATION
	SECTION NO.	SECTION
	DETAIL NO.	DETAIL
	KEYNOTE REFERENCE	
	REVISION NO.	
	ELEVATION ALTITUDE	EA, ELEC.
	SPOT ELEVATION	EQ, EQUIP.
	CHANGE IN ELEVATION	EXT, EXTERIOR
	ALIGN	F.F. FINISHED FLOOR
	BREAK LINE	H.V.A.C. HEATING, VENTILATION & AIR CONDITIONING
	SURFACE FLOW OVER PERVIOUS SURFACE	MAX. MINIMUM MISC. MISCELLANEOUS
	SURFACE FLOW OVER IMPERVIOUS SURFACE	N NEW
	DRAIN PIPE FLOW DIRECTION	N.T.S. NOT TO SCALE
	(E) LOCAL AREA DRAIN	O.C. ON CENTER
	DOWNSPOUT	P.LUMB. PLUMBING
		R REMODEL ROOM
		SIM. SIMILAR
		S.F. SPECS. SPECIFICATIONS
		S.F. STD. SQUARE FEET STANDARDS
		TYP. TYPICAL
		V.I.F. VERIFY IN FIELD

FIRE SPRINKLER REQUIREMENT:

NOT CURRENTLY SPRINKLERED
WHENEVER AN ADDITION TO AN EXISTING ONE FAMILY DWELLING OR ACCESSORY BUILDING INCREASES THE FLOOR AREA BY 50 PERCENT OR MORE OF THE AREA OF THE EXISTING DWELLING OR BUILDING, THE SPRINKLER SYSTEM SHALL BE SUFFICIENT TO COVER THE ENTIRE DWELLING OR BUILDING AND SHALL BE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES.

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA RESIDENTIAL CODE (CIRC)
2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE CITY OF AGOURA HILLS MUNICIPAL CODE (AHMC)

FLOOR AREA RATIO CALCULATIONS: SEE FLOOR AREA DIAGRAMS ON SHEET T-6.0

TABLE 1 AND TABLE 2 BELOW SET FORTH THE RECOMMENDED MAXIMUM SIZE OF A NEW SINGLE FAMILY HOME OR REMODEL OF AN EXISTING SINGLE FAMILY HOME INCLUDING THE GARAGE AND ANY ATTACHED STRUCTURES WITH LESS THAN 50% OPEN LATTICE COVERING.

LOFTS AND MEZZANINES ARE INCLUDED IN THE CALCULATION OF FLOOR AREA. FRACTIONS OF 0.5 OR LARGER SHOULD BE ROUNDED TO THE NEAREST WHOLE NUMBER. FOR PURPOSES OF THESE GUIDELINES, A REMODEL IS DEFINED AS A PROJECT THAT DOES NOT MEET THE THRESHOLD FOR AN ADMINISTRATIVE SITE PLAN REVIEW AS DEFINED IN SECTION 9220.8 OF THE ZONING CODE.

THE MAXIMUM SIZE OF ANY SINGLE FAMILY DWELLING INCLUDING ANY HABITABLE ACCESSORY STRUCTURES, REGARDLESS OF LOT SIZE, SHOULD NOT EXCEED 8,000 SQUARE FEET.

CALCULATION:

FLOOR AREA RATIO (FAR):
8,000 TO 80,000 SF - MAX ALLOWED STRUCTURE SIZE IS EQUAL TO 6,000 SF PLUS 0.03 MULTIPLIED BY LOT AREA OVER 80,000 SF.
6,000 SF + (0.03 x (81,987 SF - 80,001 SF)) = **6,029.6 SF PER FAR** (SEE SLOPE FACTOR CALCS)

LOT SIZE	MAXIMUM ALLOWED STRUCTURE SIZE
10,000 SF OR LESS	6,2 MULTIPLIED BY THE LOT AREA
10,001 TO 20,000 SF	2,000 SF PLUS 0.2 MULTIPLIED BY THE LOT AREA OVER 10,001 SF
20,001 TO 40,000 SF	4,000 SF PLUS 0.1 MULTIPLIED BY THE LOT AREA OVER 20,001 SF
40,001 TO 80,000 SF	5,200 SF PLUS 0.02 MULTIPLIED BY THE LOT AREA OVER 40,001 SF
80,001 TO 80,000 SF	6,000 SF PLUS 0.03 MULTIPLIED BY THE LOT AREA OVER 80,001 SF
80,001 TO 100,000 SF	6,300 SF PLUS 0.03 MULTIPLIED BY THE LOT AREA OVER 80,001 SF
100,001 SF AND ABOVE	6,800 SF PLUS 0.12 MULTIPLIED BY THE LOT AREA OVER 100,001 SF

ABBREVIATIONS:

A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ARCH.	ARCHITECTURAL
ADJ.	ADJACENT
BLDG.	BUILDING
CLG.	CEILING
CL.	CENTER LINE
CL.	CLOSET
CONC.	CONCRETE
CONT.	CONTINUOUS
DET.	DETAIL
DIM.	DIMENSION
DR.	DOOR
DN.	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRICAL
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXT.	EXISTING EXTERIOR
F.F.	FINISHED FLOOR
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING
MAX.	MAXIMUM
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N	NEW
N.T.S.	NOT TO SCALE
NO.#	NUMBER
O.C.	ON CENTER
P.LUMB.	PLUMBING
R	REMODEL
RM.	ROOM
SIM.	SIMILAR
S.F.	SPECIFICATIONS
S.F.	SQUARE FEET
STD.	STANDARDS
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD

SCOPE OF WORK:

- (R) INTERIOR REMODEL - 3,650 SF
- (N) 1ST FLOOR ADDITION - 661 SF
 - (N) FOYER
 - (N) BREAKFAST NOOK, (N) BUTLERS PANTRY
 - (R) KITCHEN W/ EXPANSION
- (R) COVERED ENTRY PORCH - 52 SF
- (N) 2ND FLOOR ADDITION - 470 SF
 - (N) BATH 05, (N) CRAFT ROOM, (N) GYM
- (R) BALCONY 2B W/ (N) ROOF COVER - 84 SF
- (N) UNCOVERED BALCONY 2C ABOVE 1ST FLOOR ADDITION - 394 SF
- (N) 3RD FLOOR ADDITION - 153 SF
 - (N) STORAGE, (N) W/C

FLOOR AREA CALCULATION

	(I)	(N)	TOTAL
1ST FLOOR SFD	1,650 SF	44 SF	617 SF
2ND FLOOR SFD	1,228 SF	-	678 SF
3RD FLOOR SFD	723 SF	-	153 SF
TOTAL	3,601 SF	44 SF	3,645 SF
NON-CONDITIONED			
	(I)	(N)	TOTAL
GARAGE	458 SF	-	EXEMPT
COVERED ENTRY	44 SF	-44 SF	-
COVERED PORCH	52 SF	-	52 SF
GRADE LEVEL DECK 01	1,855 SF	-	EXEMPT
TRELLIS	359 SF	-359 SF	-
PERMEABLE WOOD BALCONY 2A	465 SF	-	EXEMPT
COVERED BALCONY 2B	194 SF	-470 SF	-
UNCOVERED BALCONY 2C	-	394 SF	EXEMPT
TOTAL	1,219 SF	-1,073 SF	0 SF
			148 SF
MAXIMUM ALLOWABLE FLOOR AREA (PER SLOPE FACTOR) = 5,574.8 SF			
5,298 SF < 5,574.8 SF			

SEE FLOOR AREA DIAGRAM ON SHEET T-6.0

SLOPE FACTOR CALCULATIONS: SEE SURVEY AND SLOPE CALCULATION ON SHEET V-1.0

THE FOLLOWING SLOPE FACTOR TABLE WAS DEVELOPED TO ADDRESS HILLSIDE LOTS. THE SLOPE FACTOR TABLE FURTHER REDUCES THE SIZE OF THE HOUSE BASED ON THE SLOPE OF THE PARCEL ONCE THE MAXIMUM SIZE OF THE HOUSE HAS BEEN DETERMINED USING THE FAR TABLE (TABLE 1 ABOVE). THAT NUMBER IS THEN MULTIPLIED BY THE RELATED SLOPE FACTOR AND THE RESULTING NUMBER REPRESENTS THE MAXIMUM SQUARE FOOTAGE ALLOWED TO THE STRUCTURE.

AS AVERAGE LOT SLOPE INCREASES, ALLOWABLE FLOOR AREA IS LOWERED PER TABLE 3 BELOW. FRACTIONS OF 0.5 OR OVER ARE ROUNDED TO THE NEAREST WHOLE NUMBER.

CALCULATION:

SLOPE FACTOR AS RELATED TO AVERAGE SLOPE

22.92% SLOPE = 23% SLOPE = 0.92 SLOPE FACTOR

6,029.6 SF x 0.92 SLOPE FACTOR = **5,547.8 SF OF MAX ALLOWABLE FLOOR AREA**

TABLE 2 - SLOPE FACTOR AS RELATED TO AVERAGE SLOPE

% SLOPE	SLOPE FACTOR	% SLOPE	SLOPE FACTOR
15 OR LESS	1.00	31	0.78
16	0.99	32	0.76
17	0.98	33	0.73
18	0.97	34	0.70
19	0.95	35	0.67
20	0.93	36	0.64
21	0.94	37	0.60
22	0.92	38	0.57
23	0.92	39	0.54
24	0.91	40	0.50
25	0.90	41	0.45
26	0.89	42	0.40
27	0.88	43	0.35
28	0.84	44	0.30
29	0.82	45+	0.25
30	0.80		

IT SHOULD BE NOTED THE ESTABLISHED SQUARE FOOTAGES REPRESENT THE MAXIMUM RECOMMENDED NOT THE MINIMUM RECOMMENDED FAR. THE ESTABLISHED FAR MAY NEED TO BE REDUCED IF SPECIAL CIRCUMSTANCES EXIST OF THE LOT THAT WOULD REDUCE THE ACTUAL BUILDABLE AREA OF THE LOT. THESE SPECIAL CIRCUMSTANCES COULD INCLUDE BUT ARE NOT LIMITED TO FLOOD ZONES AND IRREGULAR SHAPED LOTS.

SHEET LIST

SHEET NUMBER	SHEET NAME
01-GENERAL	
T-0.0	PROJECT DATA
T-1.0	SITE PLAN
T-1.1	PARTIAL SITE PLAN
T-2.0	SITE CONTEXT
T-3.0	GENERAL NOTES
T-4.0	CITY REQUIRED NOTES
T-5.0	ENERGY & FIRE NOTES
T-6.1	RESIDENTIAL MANDATORY MEASURES
T-6.2	RESIDENTIAL MANDATORY MEASURES
T-6.0	FLOOR AREA DIAGRAM
V-1	TOPOGRAPHIC SURVEY & SLOPE BAND ANALYSIS
V-2	SITE SECTIONS
03-ARCHITECTURAL	
A-1.0	1ST FLOOR DEMO PLAN
A-1.1	2ND FLOOR DEMO PLAN
A-1.2	3RD FLOOR DEMO PLAN
A-1.3	PROPOSED 1ST FLOOR PLAN
A-1.4	PROPOSED 2ND FLOOR PLAN
A-1.5	PROPOSED 3RD FLOOR PLAN
A-1.6	ROOF PLAN
A-2.0	NORTH ELEVATION
A-2.1	EAST ELEVATION
A-2.2	SOUTH ELEVATION
A-2.3	WEST ELEVATIONS
A-3.0	BUILDING SECTIONS
A-3.1	BUILDING SECTIONS
A-3.2	BUILDING SECTIONS
A-4.0	SCHEDULES
A-4.1	MFP SCHEDULES
A-5.3	3 STORY SECTIONS
A-5.6	INTERIOR STAIR DETAILS
A-5.7	EXTERIOR STAIR DETAILS
A-5.8	FIRE RATED HARDIE BOARD DETAILS
A-7.0	1ST FLOOR RCP
A-7.1	2ND FLOOR RCP
A-7.2	3RD FLOOR RCP

SHEET LIST

SHEET NUMBER	SHEET NAME
04 - TITLE 24	
T24-1	TITLE 24 FORMS
T24-2	TITLE 24 FORMS
05-STRUCTURAL	
S-0.1	GENERAL NOTES
S-0.2	GENERAL NOTES
S-1.1	FOUNDATION PLAN
S-1.2	SECOND FLOOR FRAMING PLAN
S-1.3	THIRD FLOOR FRAMING PLAN
S-1.4	ROOF FRAMING PLAN
S-2.1	TYPICAL DETAILS
S-2.2	TYPICAL DETAILS
S-2.3	TYPICAL DETAILS
S-2.4	TYPICAL DETAILS
S-2.5	TYPICAL DETAILS
S-2.6	TYPICAL DETAILS
S-2.7	TYPICAL DETAILS
S-2.8	TYPICAL DETAILS
S-2.9	TYPICAL DETAILS
S-2.10	TYPICAL DETAILS

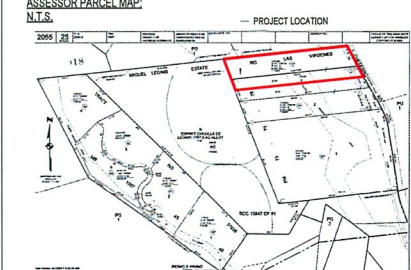


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c 424-444-4722 info@mbbdesignstudio.com www.mbbdesignstudio.com

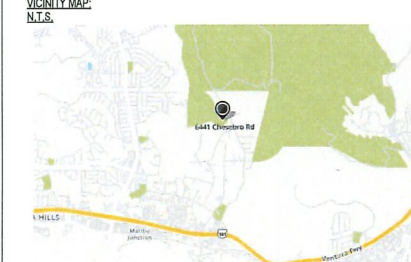
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ASSESSOR PARCEL MAP:

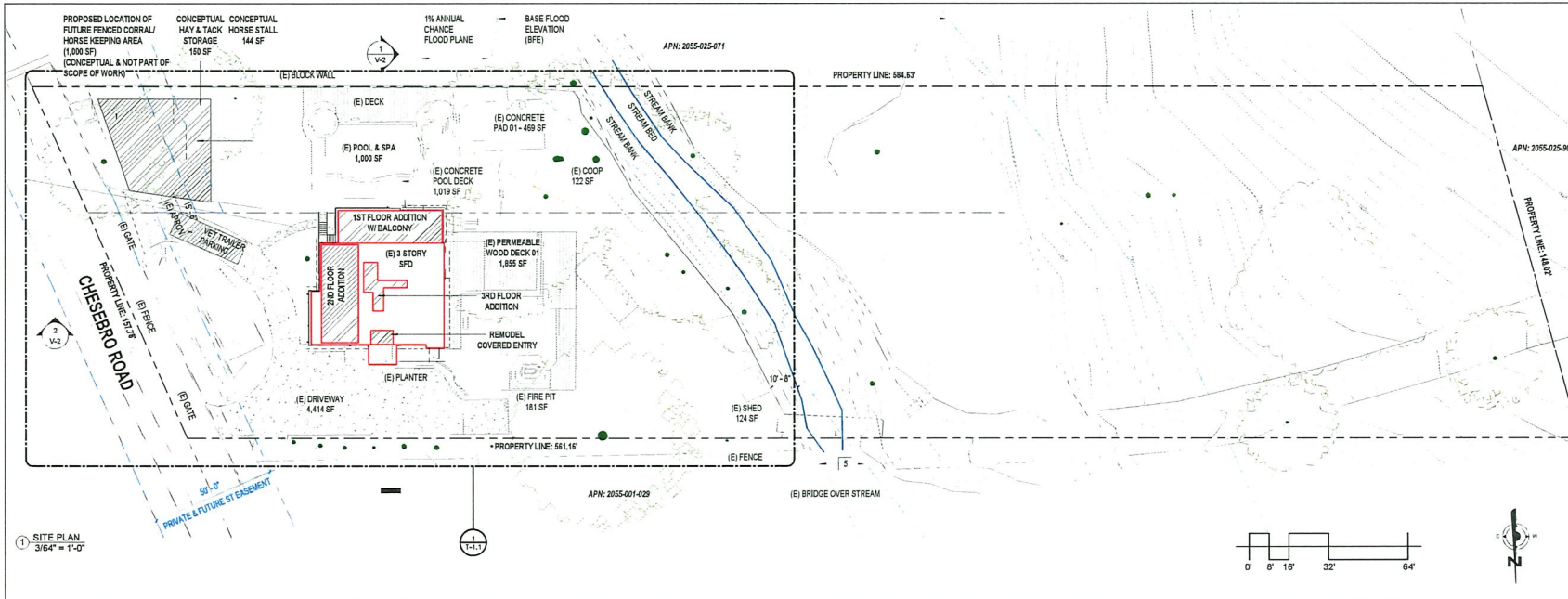


VICINITY MAP:



Revisions Table:

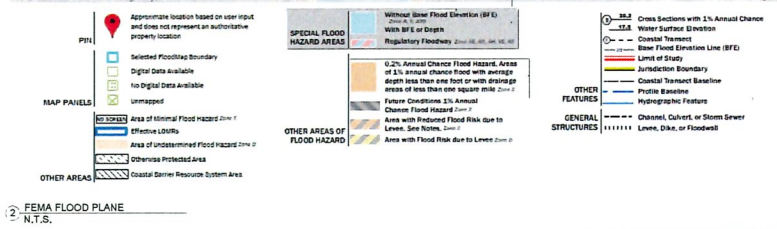
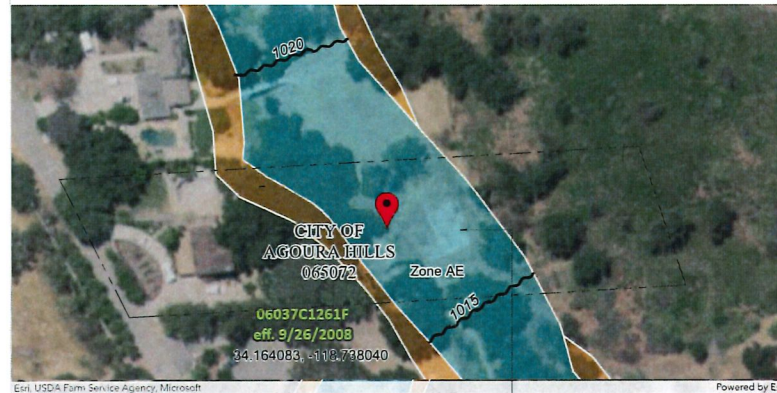
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01	CLP-APPLIC-102011-01	11/02/23
02	CLP-LETTER #1	12/19/23
03	CLP-APPLIC-102011-02	12/19/23
04	CLP-LETTER #2	



1 SITE PLAN
3/16" = 1'-0"

SITE PLAN KEY NOTES:

- 1 NO ANIMALS OR FOAL, EXCEPT DOGS AND CATS KEPT AS DOMESTIC PETS, SHALL BE HOUSE STALLED LOADED, MAINTAINED OR CONTAINED IN A BUILDING OR STRUCTURE WITHIN THIRTY-FIVE (35) FEET OF ANY STREET OR STRUCTURE DESIGNED FOR HUMAN HABITATION. THIS PROVISION EXCLUDES CORRALS.
- 2 ANY FUTURE EQUESTRIAN AREA STRUCTURE(S) WITHIN THE DRAINAGE WAY OR FLOOD PLANE SHALL ADHERE TO AGOURA HILLS MUNICIPAL CODE ARTICLE 10 CHAPTER 5 OVERLAY DISTRICT - PART 2 SECTIONS 9511-9520
- 3 REFER TO AR8-01 AND AR8-02 FOR ALL RELEVANT OAK TREE PLANS
- 4 REFER TO PAGE 05MTS-01 FOR APPROVED REVISIONS AND EXPANSION OF THE CURRENT SEPTIC SYSTEM ON SITE. CONTRACTOR TO COORDINATE THE EXECUTION OF ALL SUCH WORK WITH THE DETAILS AND SPECIFICATION PROVIDED BY THE DEPARTMENT OF PUBLIC HEALTH, AVAILABLE AS A SUPPLEMENTAL APPROVAL DOCUMENT DATED 05-06-2004
- 5 FLOOD PLANES SHOWN AS PER FEMA FLOOD PLANE MAP ON PAGE T-10
- 6 THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED BY CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.



2 FEMA FLOOD PLANE
N.T.S.



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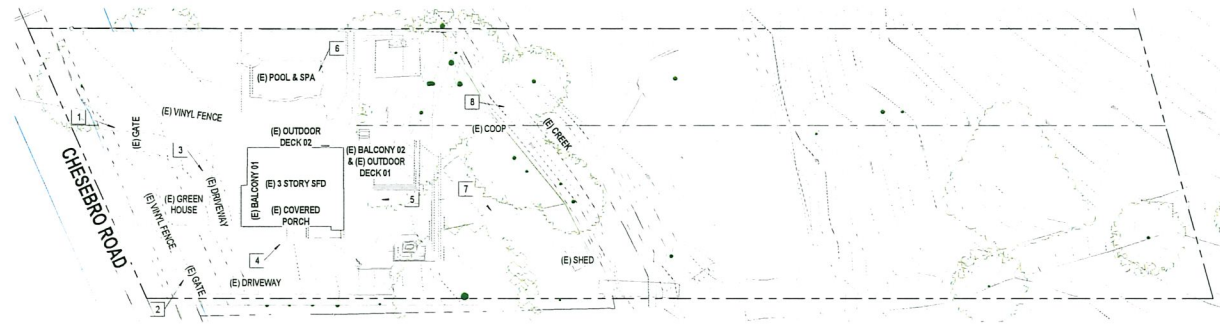
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Architect Seal

REV	DESCRIPTION	DATE
CIP-APRIL-13/2011-01		11/02/11
CIP-LETER #1		12/02/11
CIP-APRIL-13/2011-02		12/02/11
CIP-LETER #2		09/02/14
CIP-APRIL-13/2011-03		06/02/14
CIP-APRIL-13/2011-04		09/02/14

SITE PLAN

SHEET
T-1.0



1 EXISTING SITE PLAN
1" = 30'-0"



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1 VIEW OF EXISTING DRIVEWAY GATE 01



2 VIEW OF EXISTING DRIVEWAY GATE 02



3 VIEW OF EXISTING FRONT SFD FROM DRIVEWAY



4 VIEW OF EXISTING COVERED ENTRY PORCH



5 VIEW OF EXISTING REAR SFD FROM OUTDOOR DECK



6 VIEW OF EXISTING SFD AND POOL AT SIDYARD



7 VIEW OF EXISTING BACKYARD



8 VIEW OF EXISTING CREEK AT BACKYARD

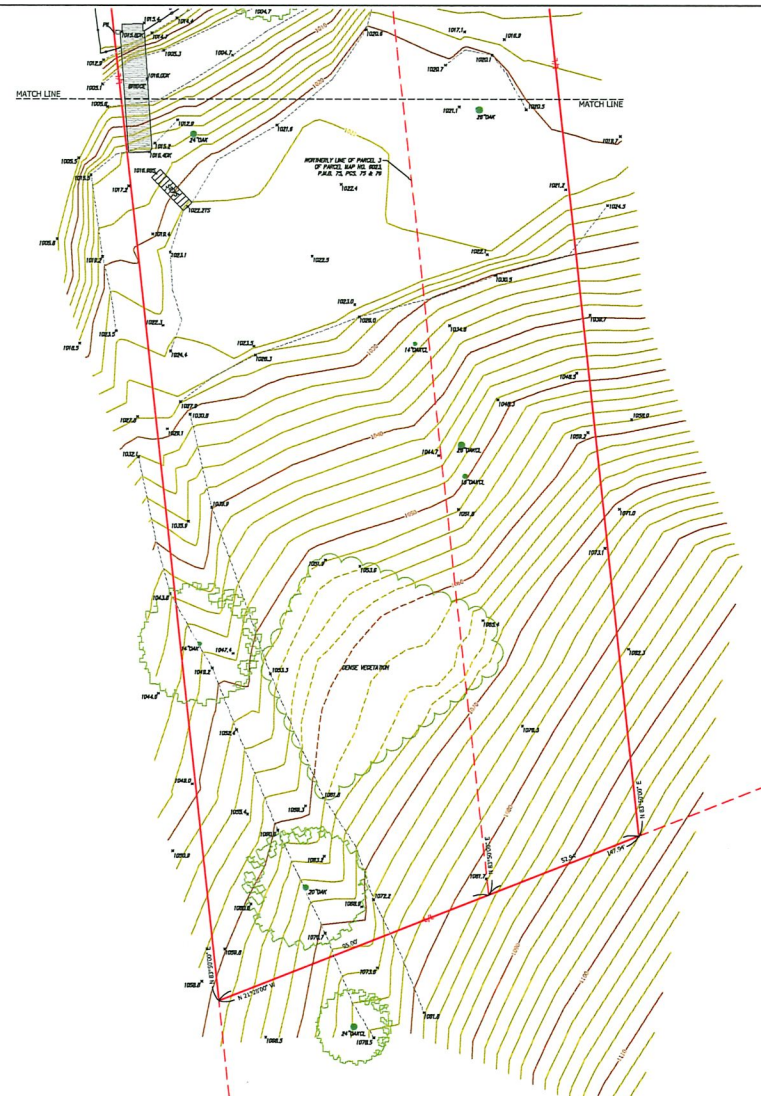
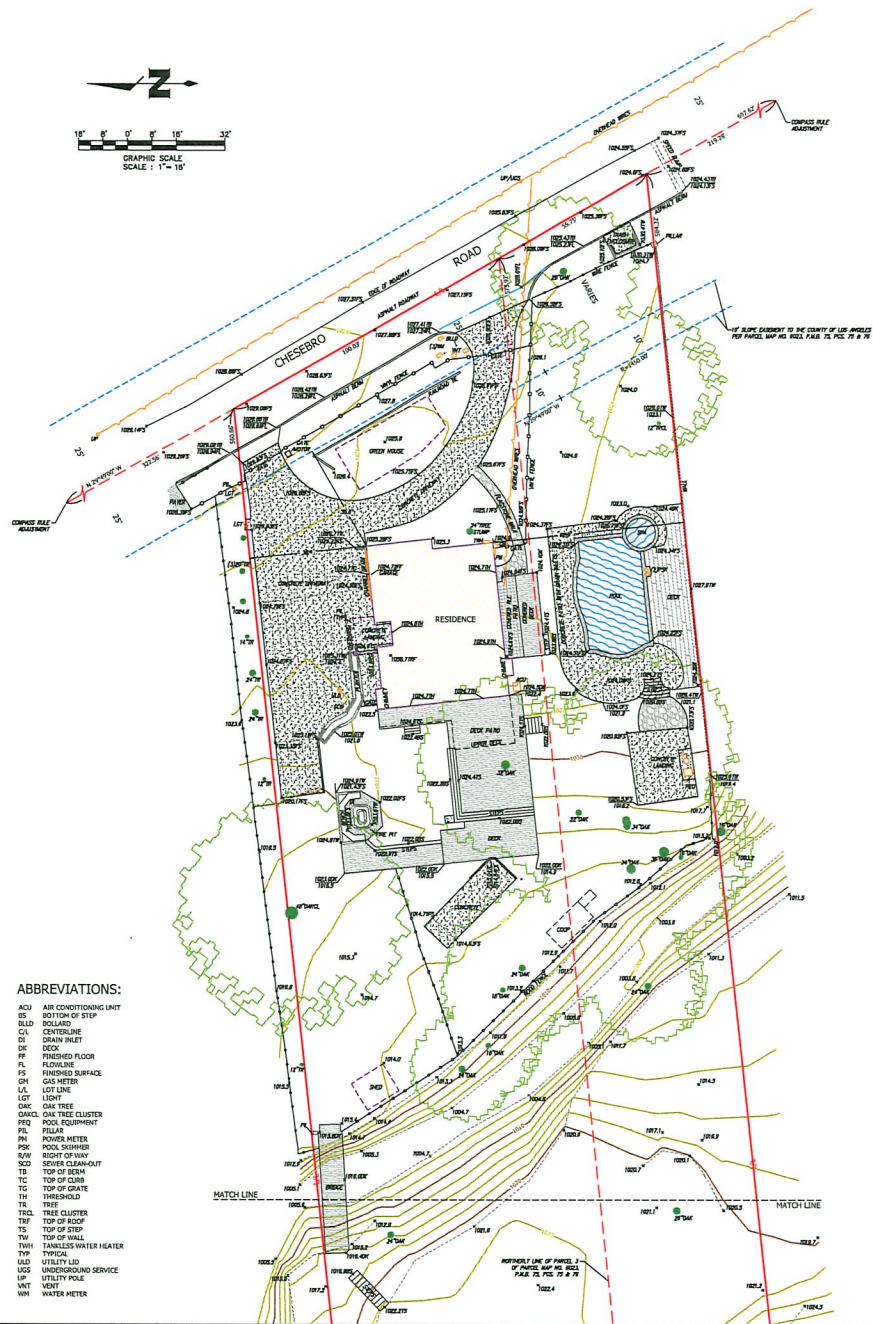
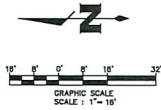
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REV	DESCRIPTION	DATE
CUP	APR/21/2021/01	11/02/21
CFY	LET/EP-01	12/02/21
CUP	APR/21/2021/02	12/16/22
CFY	LET/EP-02	09/02/24
CUP	APR/21/2021/03	09/17/24
CUP	APR/21/2021/04	09/02/24

SITE CONTEXT

SHEET
T-2.0



- ABBREVIATIONS:**
- ACU AIR CONDITIONING UNIT
 - BS BOTTOM OF STEP
 - BOLL BOLLARD
 - CL CENTERLINE
 - DI DRAIN INLET
 - DR DRAIN
 - FF FINISHED FLOOR
 - FL FLOORLINE
 - FS FINISHED SURFACE
 - GH GAS METER
 - LAL LOT LINE
 - LI LIGHT
 - OK OK
 - OKL OAK TREE CLUSTER
 - PEL POOL EQUIPMENT
 - PI PILLAR
 - PM POWER METER
 - PSK POOL SKIMMER
 - ROW RIGHT OF WAY
 - SCD SEWER CLEAN-OUT
 - TB TOP OF BENCH
 - TC TOP OF CURB
 - TG TOP OF GRATE
 - TH THRESHOLD
 - TR TREE
 - TRCL TREE CLUSTER
 - TRF TOP OF ROOF
 - TS TOP OF STEP
 - TYP TYPICAL
 - TWH TANKLESS WATER HEATER
 - UTP UTILITY TYPICAL
 - ULD UTILITY LID
 - USG UNDERGROUND SERVICE
 - UP UTILITY POLE
 - VNT VENT
 - WM WATER METER

CALCULATIONS:

$S = \frac{H}{L} = \frac{0.6522922}{2.924} = 22.92\%$
 $L = 2.924$
 $H = 0.6522922$
 $A = 1.751$
 $S = 22.92\%$

Average Slope = 22.92%

BENCH MARK:
 I.M. NO. D79962 1410 1988 LOS ANGELES COUNTY PUBLIC WORKS
 I & T B ANGLE POINT N4Y COR CONIC DRAIN 19' N4D FAIRVIEW PL & 47' W4D CL CHESEBRO RD
 ELEVATION = 995.955 FEET

NOTE:
 1. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS WERE NOT PLOTTED, IF ANY



GROSS-SITE AREA:
 81,708 SQ.FT.
 NET-SITE AREA:
 76,413 SQ.FT.

PREPARED BY:
GMON Surveying, Inc.
 Greater Geomatics, P.L.C. 91895
 517 E Wilson Avenue, Ste. 102, Glendale CA 91206
 OFFICE: (818) 247-7717
 gmonsurveying.com

PREPARED FOR:
Nicole Radoumis
 (310) 760-4177

TOPOGRAPHY SURVEY
 Portion of the Rancho Las Virgenes, shown Marked 515.656 acres on Survey of Balfors Tract, Record of Survey, BK. 9, Pgs. 20, 8 & Partition of Parcel 3, Parcel Map No. 6023, 2 M.B. 75, Pgs. 75 & 76
 6441 Chesebro Road
 Agoura Hills, CA 91301

DATE	BY	REVISION NOTES
10/20/2023	LD	100% FINAL PLAN

JOB NO. 23-2776
 SCALE: 1" = 16'
 DATE: OCT 2023
 DRAFTED: LB

SHEET NO.
1
 OF 1 SHEET

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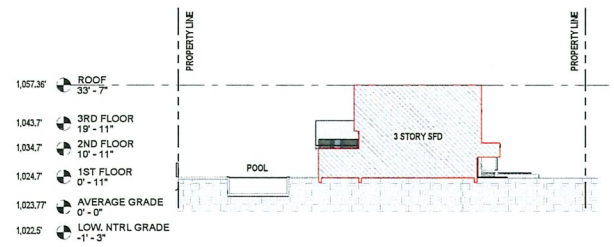
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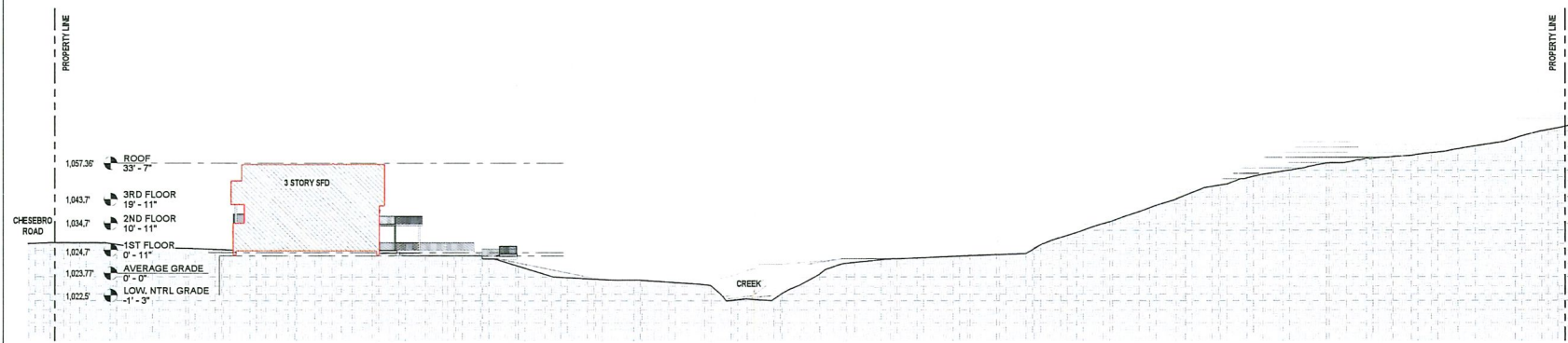
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CFR	LETTER 01	12/01/23
CUP	APPLICATION 02	12/14/23
CFR	LETTER 02	01/01/24
CUP	APPLICATION 03	02/27/24
CUP	APPLICATION 04	04/01/24

SITE SECTIONS

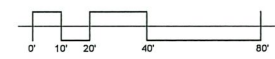
SHEET
V-2



1 SITE CROSS SECTION
1" = 20'-0"



2 SITE LONG SECTION
1" = 20'-0"



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Architects Seal

REV	DESCRIPTION	DATE
01P	APPLICATED 01	11/20/23
02P	LETTER 01	11/20/23
03P	APPLICATED 02	12/14/23
04P	LETTER 02	1/16/24
05P	APPLICATED 03	06/20/24
06P	APPLICATED 04	08/05/24

APPROVED PH ON-SITE
WATER TREATMENT SYSTEM
SITE PLAN

SHEET
OSWTS-01

6441 CHESEBRO ROAD, AGOURA HILLS, CA 91301

PROJECT- (N) 3 Bedroom Addition to (E) 4 Bedroom House

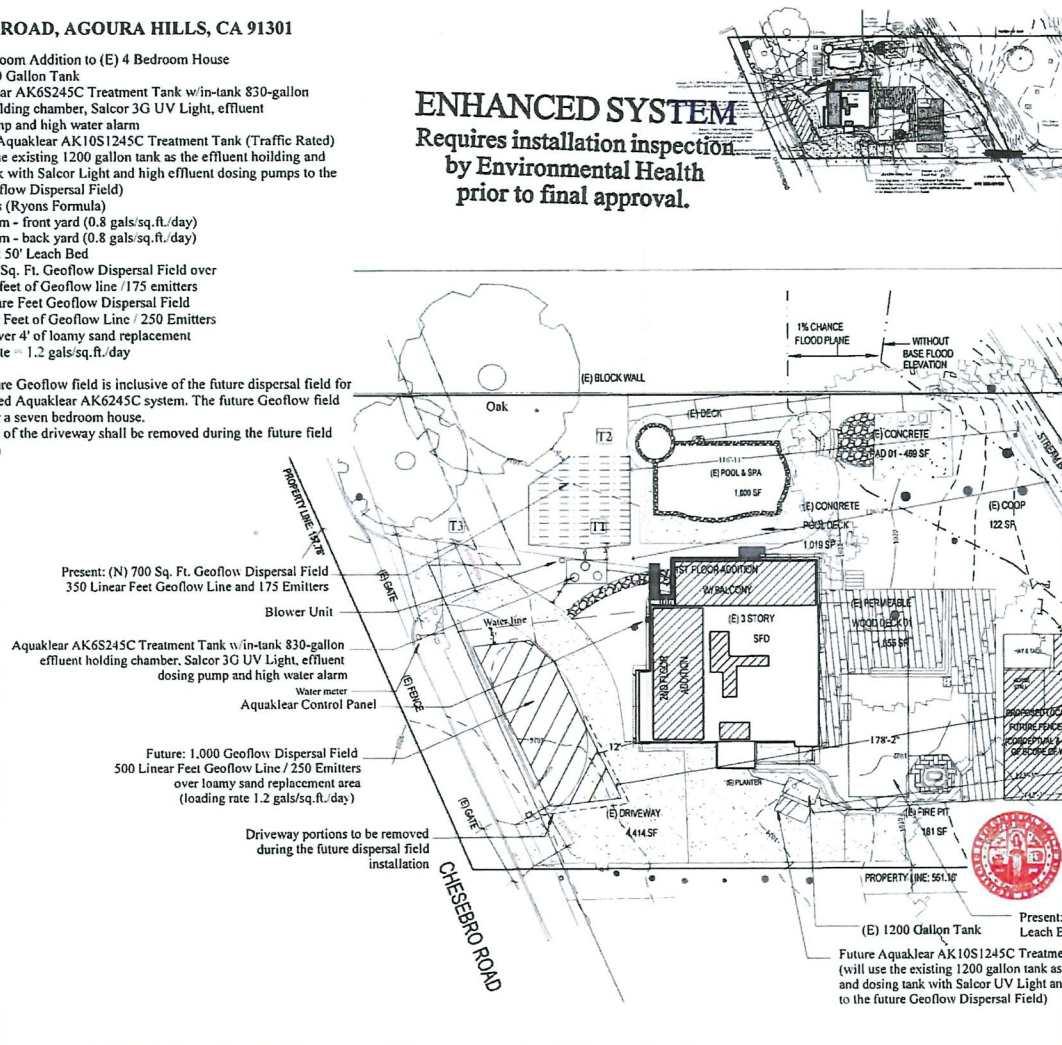
- TANKS-**
- (E) 1200 Gallon Tank
 - Aquaklear AK6S245C Treatment Tank w/in-tank 830-gallon effluent holding chamber, Salcor 3G UV Light, effluent dosing pump and high water alarm
 - Future Aquaklear AK10S1245C Treatment Tank (Traffic Rated) (will use the existing 1200 gallon tank as the effluent holding and dosing tank with Salcor Light and high effluent dosing pumps to the future Geoflow Dispersal Field)

- PERC. RATE-** 10 Minutes (Ryons Formula)
Sandy Loam - front yard (0.8 gals/sq.ft./day)
Sandy Loam - back yard (0.8 gals/sq.ft./day)

- PRESENT -** 1. (E) 18' x 50' Leach Bed
2. (N) 700 Sq. Ft. Geoflow Dispersal Field over 350 linear feet of Geoflow line /175 emitters

- FUTURE-** 1,000 Square Feet Geoflow Dispersal Field
500 Linear Feet of Geoflow Line / 250 Emitters
Installed over 4' of loamy sand replacement
Loading rate = 1.2 gals/sq.ft./day

- NOTES-**
- The future Geoflow field is inclusive of the future dispersal field for the proposed Aquaklear AK6245C system. The future Geoflow field is sized for a seven bedroom house.
 - Portions of the driveway shall be removed during the future field installation



ENHANCED SYSTEM
Requires installation inspection
by Environmental Health
prior to final approval.

SR0372130
APN 2055 025 072

Address: 6441 Chesebro Rd, Agoura Hills 91301

Bedrooms: 7 bedroom/bedroom equivalents

Septic Tank: 1200 gallon (present-Main) Aquaklear AK6S245C w/ UV (present-Addition) Aquaklear AK10S245C + 1200 gallon holding tank-traffic rated (future)

Present: 18' X 50' drainfield
700 sq ft GeoFlow dispersal field

Future: 1000 sq ft GeoFlow dispersal field

Perc Rate: unknown (current conventional system)
10 MPI (Aquaklear AK6S245C)
0.8 gal/sq ft/day (present)
1.2 gal/sq ft/day (future)

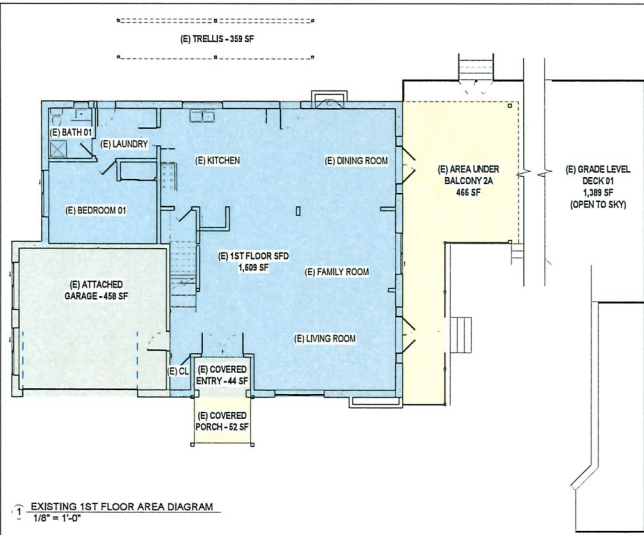
Loading Rate: 1.2 gal/sq ft/day (future)

Groundwater: 11' (not observed)

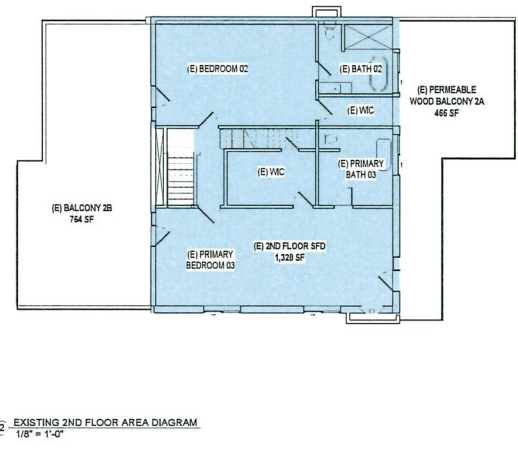
The Department of Public Health, Division of Environmental Health, has reviewed this project and determined that the proposed Onsite Wastewater Treatment System (OWTS) is feasible and meets the minimum requirements for the proposed project. This approval is for the addition of 4 bedrooms to an existing 3 bedroom Single Family Dwelling (SFD) and the installation of an additional OWTS to account for the increased bedroom count. This approval is contingent upon the following:

- Maintain all necessary setback per Table H-101.8 of the LA County Plumbing Code.
- The septic tank shall have 24" risers and covers to grade over each compartment.
- A service agreement with a qualified provider is to be maintained throughout the life of the system.
- A certified copy of the required Covenant & Agreement, signed, notarized, and recorded by the Los Angeles County Recorder's Office.
- In the event the future expansion area needs to be installed, portions of the driveway shall be removed to accommodate the installation.
- Contact the Health Department prior to backfilling the tank.
- This approval does not imply that all structures on the property are approved.
- Approval as a result of any inspection shall not be construed to be an approval of a violation of the provisions of Code or of other laws.
- Any deviation of this sewage disposal plot plan without prior Health Department approval shall nullify and void this approval.

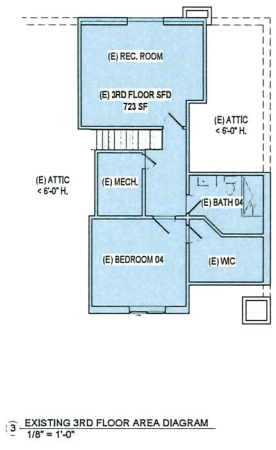
MARANDA 3/6/2024
Los Angeles County Department of Public Health
THIS APPROVAL IS VALID FOR ONE YEAR
* this plot plan was modified from the original Health Dept approval dated 5/6/2024 to account for the relocation of the future expansion area. The approval expiration date shall remain the same as the original approval.



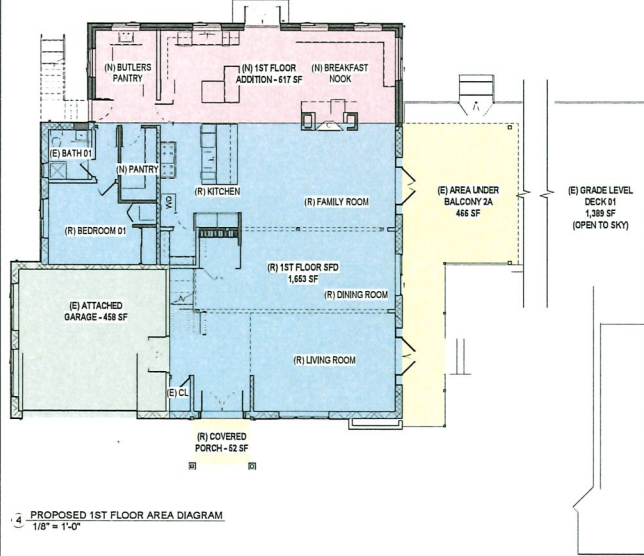
1 EXISTING 1ST FLOOR AREA DIAGRAM
1/8" = 1'-0"



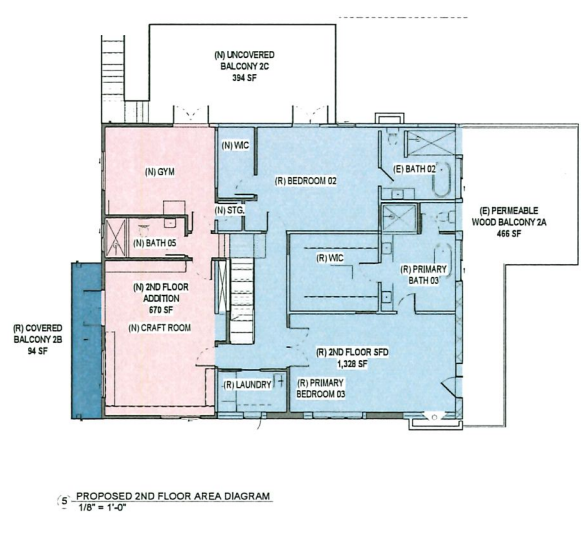
2 EXISTING 2ND FLOOR AREA DIAGRAM
1/8" = 1'-0"



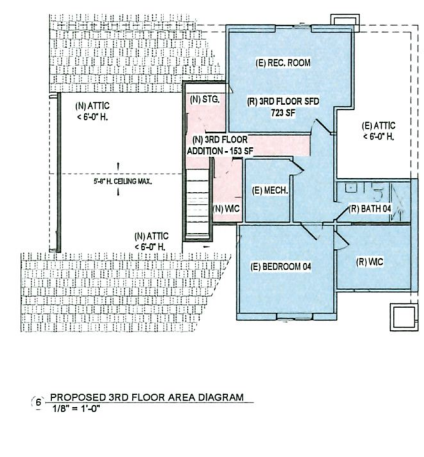
3 EXISTING 3RD FLOOR AREA DIAGRAM
1/8" = 1'-0"



4 PROPOSED 1ST FLOOR AREA DIAGRAM
1/8" = 1'-0"



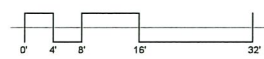
5 PROPOSED 2ND FLOOR AREA DIAGRAM
1/8" = 1'-0"



6 PROPOSED 3RD FLOOR AREA DIAGRAM
1/8" = 1'-0"

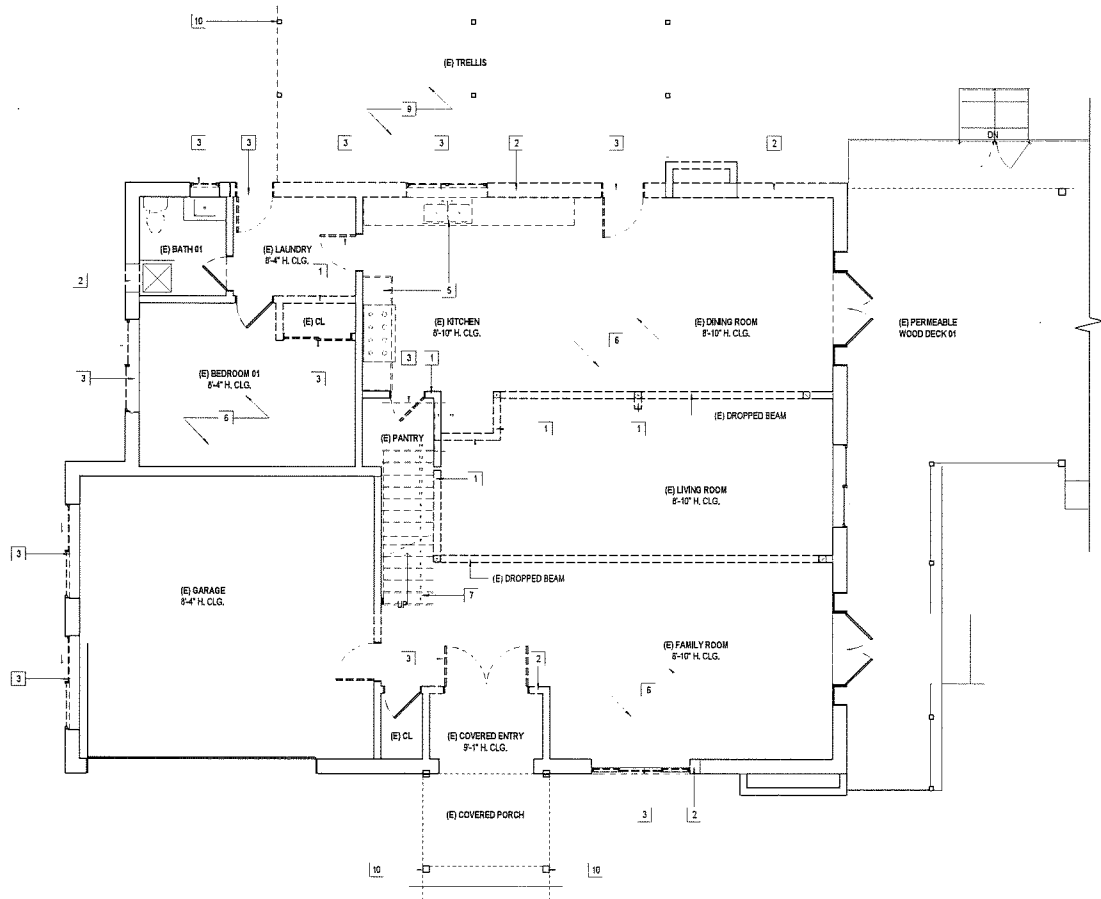
FLOOR AREA LEGEND:

- EXISTING / REMODELED FLOOR AREA
- NEW FLOOR AREA
- EXISTING NON-CONDITIONED COVERED AREA WITH WALLS
- NEW NON-CONDITIONED COVERED AREA
- EXISTING EXTERIOR NON-CONDITIONED COVERED AREA



REV	DESCRIPTION	DATE
01	CLP APPLICATION 01	11/02/23
02	GEN LETTER 01	12/02/23
03	CLP APPLICATION 02	12/14/23
04	GEN LETTER 02	01/02/24
05	CLP APPLICATION 03	02/07/24
06	CLP APPLICATION 04	03/07/24

FLOOR AREA DIAGRAM



DEMOLITION LEGEND:

- EXISTING WALL TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

DEMOLITION PLAN KEY NOTES:

- 1] DEMOLISH EXISTING STUD WALLS
- 2] DEMOLISH EXISTING CONCRETE WALLS
- 3] DEMOLISH EXISTING WINDOW, DOOR, AND FRAME
- 4] DEMOLISH EXISTING SINK, COUNTERTOP, SHOWER, TUB, TOILET
- 5] DEMOLISH EXISTING KITCHEN
- 6] DEMOLISH EXISTING FINISH FLOOR
- 7] DEMOLISH EXISTING STAIR
- 8] DEMOLISH EXISTING ROOF
- 9] DEMOLISH EXISTING TRELLIS
- 10] DEMOLISH EXISTING COLUMNS



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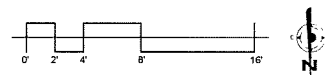
Architect's Seal

REV.	DESCRIPTION	DATE
01P	CONCEPTUAL	11/03/22
02P	CONCEPTUAL	10/03/22
03P	CONCEPTUAL	12/14/22
04P	CONCEPTUAL	09/05/24
05P	CONCEPTUAL	06/12/24
06P	CONCEPTUAL	05/02/24

1ST FLOOR DEMO PLAN

SHEET
A-1.0

1] EXISTING / DEMO 1ST FLOOR PLAN
 1/4" = 1'-0"



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6441 CHESEBRO ROAD
AGOURA HILLS, CA 91301





Access Code

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02	02H LECTER 01	10/20/23
03	CLP ARCHITECTURE 02	10/24/23
04	02H LECTER 02	09/05/24
05	CLP ARCHITECTURE 03	09/21/24
06	CLP ARCHITECTURE 04	09/25/24

2ND FLOOR DEMO PLAN

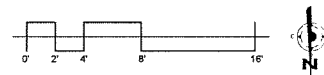
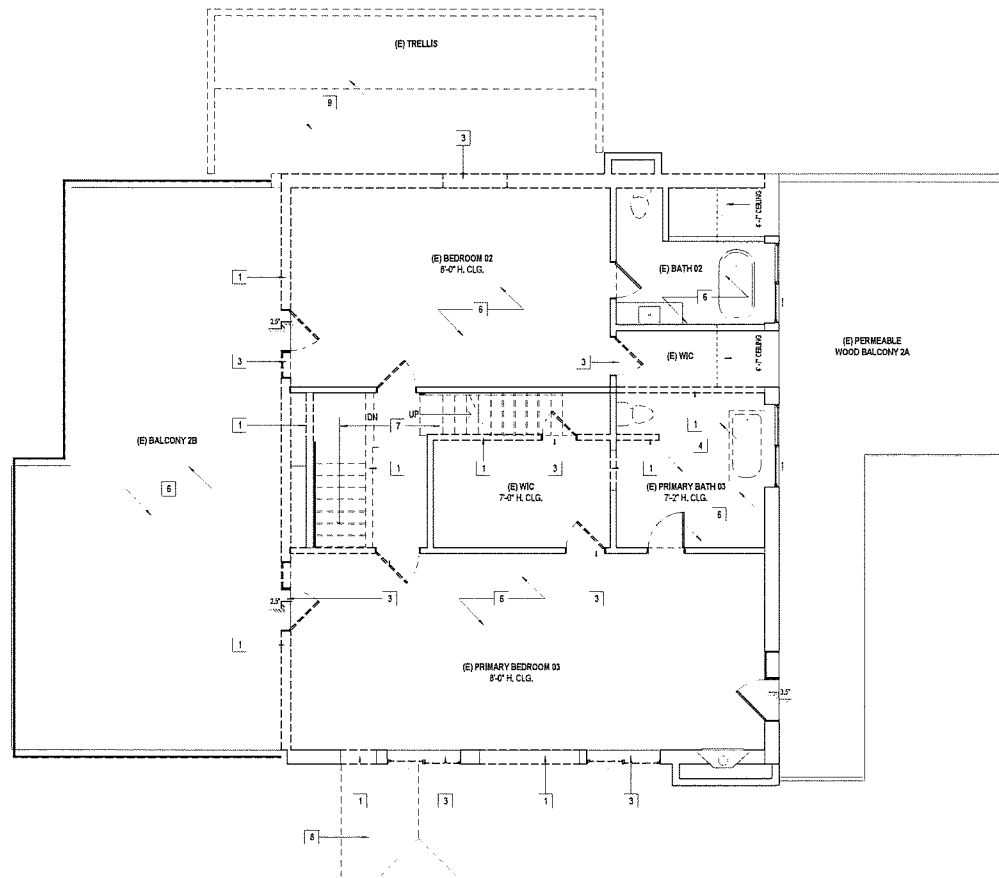
SHEET
A-1.1

DEMOLITION LEGEND:

-  EXISTING WALL TO REMAIN
-  EXISTING TO BE DEMOLISHED
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED

DEMOLITION PLAN KEY NOTES:

- 1] DEMOLISH EXISTING STUD WALLS
- 2] DEMOLISH EXISTING CONCRETE WALLS
- 3] DEMOLISH EXISTING WINDOW, DOOR, AND FRAME
- 4] DEMOLISH EXISTING SINK, COUNTERTOP, SHOWER, TUB, TOILET
- 5] DEMOLISH EXISTING KITCHEN
- 6] DEMOLISH EXISTING FINISH FLOOR
- 7] DEMOLISH EXISTING STAIR
- 8] DEMOLISH EXISTING ROOF
- 9] DEMOLISH EXISTING TRELLIS
- 10] DEMOLISH EXISTING COLUMNS



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Architect's Seal

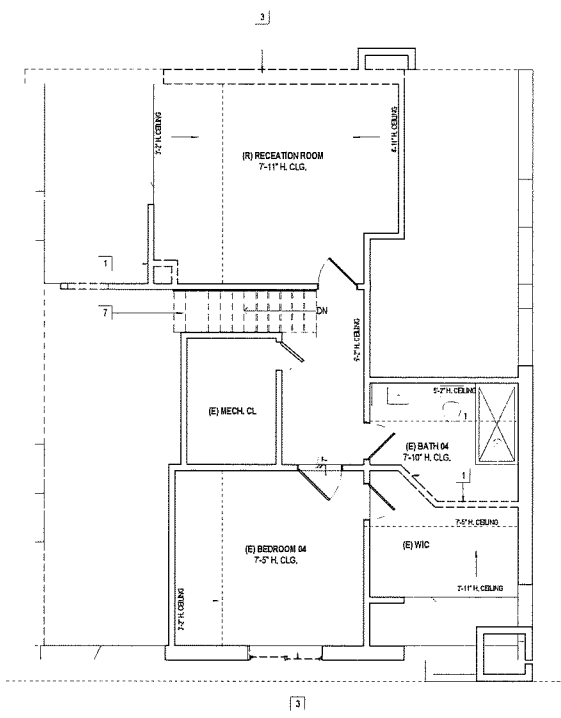
REV	DESCRIPTION	DATE
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02	GEN LETTER-01	10/2023
03	CLP ARCH-RENO-02	12/14/23
04	GEN LETTER-02	01/2024
05	CLP ARCH-RENO-03	04/2024
06	CLP ARCH-RENO-04	04/2024

3RD FLOOR DEMO PLAN

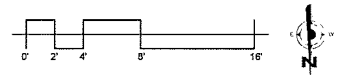
SHEET
A-1.2

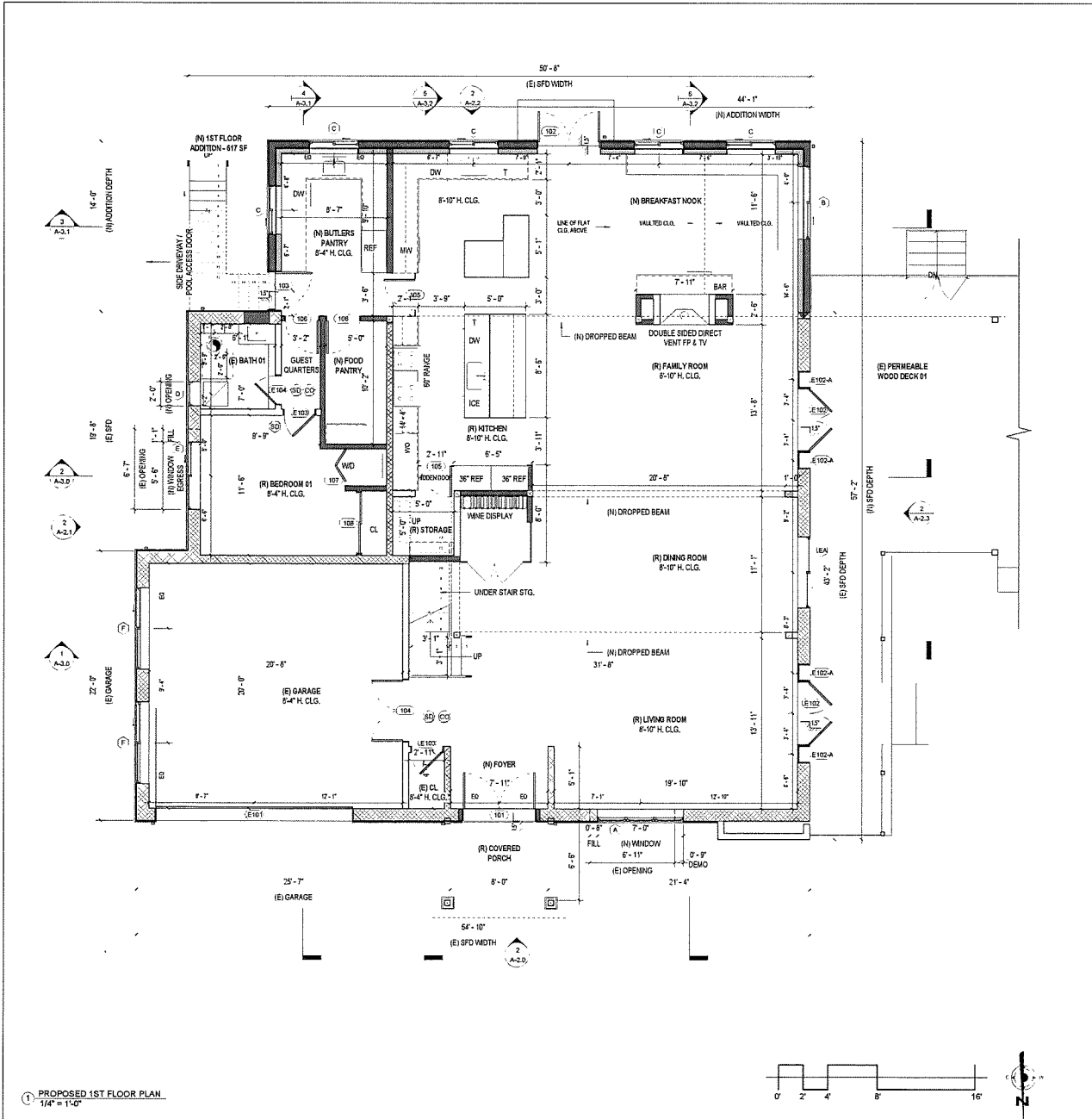
- DEMOLITION LEGEND:**
-  EXISTING WALL TO REMAIN
 -  EXISTING TO BE DEMOLISHED
 -  EXISTING DOOR TO REMAIN
 -  EXISTING DOOR TO BE REMOVED

- DEMOLITION PLAN KEY NOTES:**
- 1] DEMOLISH EXISTING STUD WALLS
 - 2] DEMOLISH EXISTING CONCRETE WALLS
 - 3] DEMOLISH EXISTING WINDOW, DOOR, AND FRAME
 - 4] DEMOLISH EXISTING SINK, COUNTERTOP, SHOWER, TUB, TOILET
 - 5] DEMOLISH EXISTING KITCHEN
 - 6] DEMOLISH EXISTING FINISH FLOOR
 - 7] DEMOLISH EXISTING STAIR
 - 8] DEMOLISH EXISTING ROOF
 - 9] DEMOLISH EXISTING TRELLIS
 - 10] DEMOLISH EXISTING COLUMNS



1] EXISTING / DEMO 3RD FLOOR PLAN
1/4" = 1'-0"





- ARCHITECTURAL LEGEND:**
- EXISTING WALL TO REMAIN
 - - - EXISTING WALL TO BE DEMOLISHED
 - DENOTES LINE OF FLOOR/ROOF ABOVE
 - NEW FULL HEIGHT WALL
 - NEW FULL HEIGHT WOOD FRAME WALL W/ LARGER 2X OR FURRING
 - 1 HR FIRE RATED WALL SEE DETAIL #4 ON SHEET A-5.1
 - (E) CONCRETE WALL TO REMAIN
 - (E) DOOR TO REMAIN
 - NEW DOOR
 - WINDOW TAG
 - DOOR TAG
 - SMOKE DETECTOR & CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (CBC 310.9) SMOKE ALARMS SHALL BE TESTED & MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURE MARKED ON THE UNIT. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH 10 YEAR BATTERY AND HAVE A SILENCE FEATURE. BATTERY CARBON MONOXIDE ALARM IS PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE.
 - EXHAUST FANS SEC. 4.506.1
 - MECHANICAL ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY READILY ACCESSIBLE HUMIDISTAT OR WHOLE VENTILATION SYSTEM. A MECHANICAL VENTILATION OF 50-CFM CONTINUOUS VENTILATION ARE PROVIDED

- CONSTRUCTION PLAN KEY NOTES:**
- 1 SMOKE DETECTORS SHALL BE OF 120V WITH BATTERY BACK-UP. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (CBC 310.9)
 - 2 ALL WINDOWS WITHIN 2' OF DOOR SHALL BE OF TEMPERED GLASS.
 - 3 VENTILATION REQUIREMENTS:
 - A. VENTILATION REQUIREMENTS: A. ALL HABITABLE ROOMS, EXCEPT BATHROOMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS @ 1/20 FLOOR AREA OF THE ROOM, OR 5 S.F. MIN.
 - B. ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS @ 1/20 THE FLOOR AREA OF THE ROOM, OR 1-1/2 S.F. MINIMUM. (WHEN NATURAL VENTILATION IS SUBSTITUTED WITH MECHANICAL VENTILATION, MECHANICAL VENTILATION SHALL PROVIDE 5 AIR CHANGES PER HOUR)
 - 4 SHOWER & TUB ENCLOSURES SHALL BE OF TEMPERED GLASS (CBC 2406.4) WINDOWS AT SHOWERS & TUBS SHALL BE OF TEMPERED GLASS, 5' LESS THAN 8' ABOVE A STANDING SURFACE AND DRAIN INLET (CBC 2406.4)
 - 5 PROVIDE 72" HIGH NON-ABSORBENT FINISH @ SHOWER WALLS (CBC 807.1.3)
 - 6 LIGHT REQUIREMENTS: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRY ROOM REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/10 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MINIMUM, WHICHEVER IS GREATER. (CBC 1203.3)
 - 7 A. BATHROOM EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. B. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (A.506.1)
 - 8 BATHROOM EXHAUST FAN: 50 CFM MIN. EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF THE BUILDING COMPLYING WITH THE 2013 TITLE 24 AND ASHRAE 62.2 STANDARDS. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL AS REQUIRED BY ENERGY BUILDING STANDARD AND COMPLY WITH CRC R303.3
 - 9 ALL INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED (R303.7)
 - 10 WASHER & DRYER REQUIREMENTS: VENT DRYER TO OUTSIDE THROUGH EXTERIOR WALL OR ROOF (FLASH ROOF AS REQ'D). PROVIDE PAN & DRAIN AT WASHER AREA. DRYER VENT @ MIN. 14" MAX. W/ TWO 90° BENDS FOR METAL DUCT; 8" MAX. FLEX DUCT CONNECTOR
 - 11 ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING TYPE VALVE.
 - 12 ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK, THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS PCS08.2
 - 13 ANY WALLS SEPARATING THE DWELLING FROM THE GARAGE SHALL HAVE 1/2" GYP/SUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE. CEILING SEPARATION THE DWELLING FOR THE GARAGE SHALL HAVE MIN OF 5/8" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE.
 - TAPE AND STAGGET JOINTS FROM FLOOR TO ROOF SHEATHING
 - ALL WALLS SUPPORTING 2ND FLOOR OVER GARAGE CEILING AND WALL OF FLOOR ABOVE CONT. TO ROOF SHEATHING
 - 14 OPENING THROUGH THE WALLS SEPARATING THE DWELLING FROM THE GARAGE SHALL HAVE SELF LATCHING, TIGHT FITTING SOLID WOOD, 1-3/8" THICK DOOR OR A 20 MIN FIRE RATED DOOR
 - 15 HEIGHT OF NEW FLOOR TO MATCH EXISTING
 - 16 NEW GAS FIREPLACE INSERT, SEE SHEET A-5.1
 - 17 GARAGE FLOOR SHALL BE OF NON-COMBUSTIBLE MATERIAL & SLOPE TO FACILITATE THE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY
 - 18 KITCHEN LOCAL EXHAUST VENTILATION DUCTED TO OUTSIDE AIR THROUGH WALL/CEILING/ROOF WITH MAX SOUND RATING OF SOME @ 100CFM



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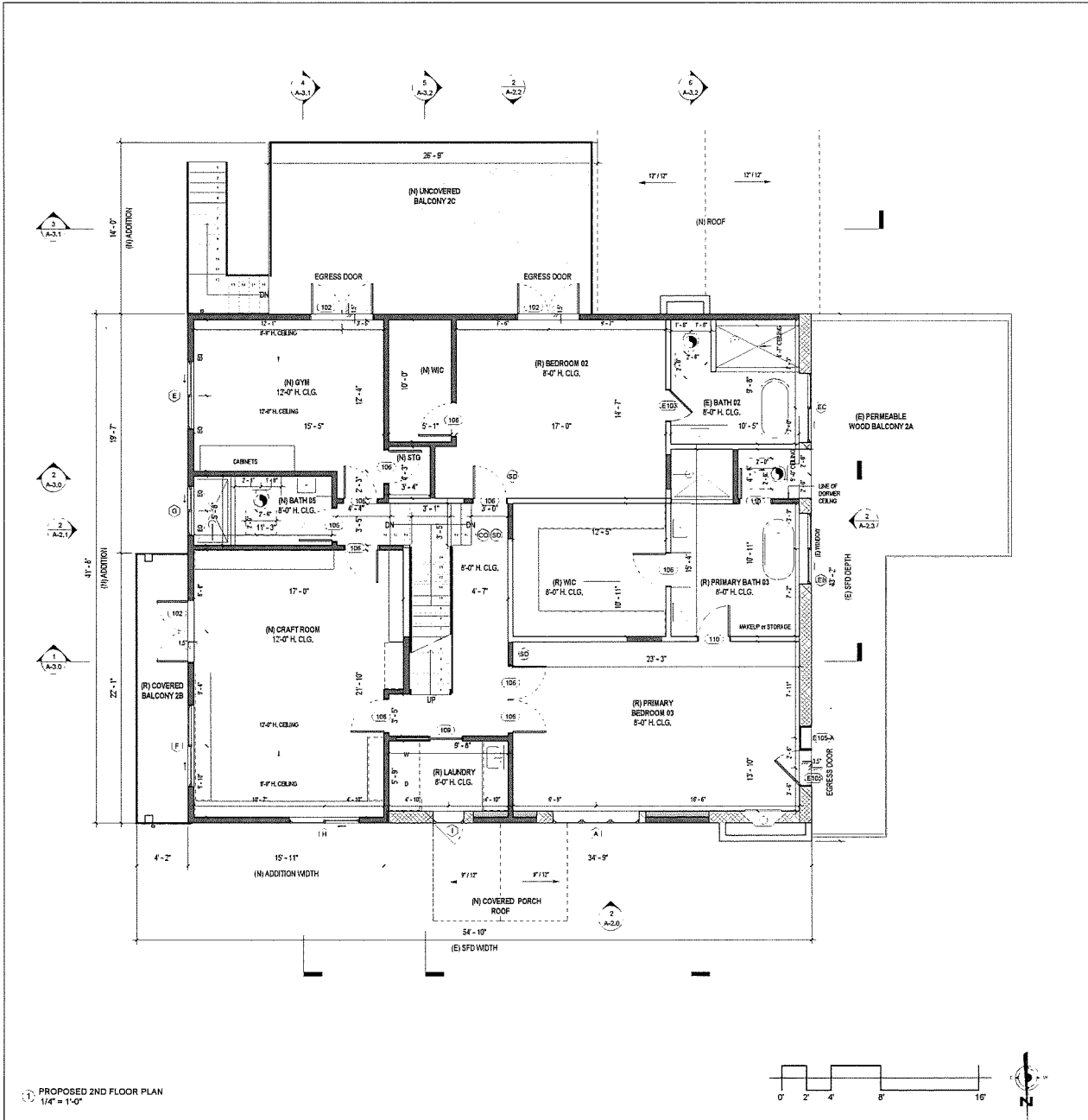
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Architect Seal

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01	CIP APPROVAL	11/03/21
02	CIP LETTER #1	11/03/21
03	CIP APPROVAL #2	11/03/21
04	CIP LETTER #2	09/01/24
05	CIP APPROVAL #3	09/01/24
06	CIP APPROVAL #4	09/01/24

PROPOSED 1ST FLOOR PLAN

DHEET
A-1.3



ARCHITECTURAL LEGEND:

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE DEMOLISHED
- DENOTES LINE OF FLOOR/ROOF ABOVE
- NEW FULL HEIGHT WALL
- NEW FULL HEIGHT WOOD FRAME WALL W/ LARGER 2X OR FURRING
- 1 HR FIRE RATED WALL SEE DETAIL #4 ON SHEET A-5.1
- (E) CONCRETE WALL TO REMAIN
- (E) DOOR TO REMAIN
- NEW DOOR
- (N) WINDOW TAG
- (D) DOOR TAG
- (S) SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- (E) EXHAUST FAN SEC. 4.506.1

CONSTRUCTION PLAN KEY NOTES:

- 1 SMOKE DETECTORS SHALL BE OF 120V WITH BATTERY BACK-UP. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (CBC 310.9)
- 2 ALL WINDOWS WITHIN 24" OF DOOR SHALL BE OF TEMPERED GLASS.
- 3 VENTILATION REQUIREMENTS:
 - A. VENTILATION REQUIREMENTS: A. ALL HABITABLE ROOMS, EXCEPT BATHROOMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/20 FLOOR AREA OF THE ROOM, OR 5 S.F. MIN.
 - B. ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/20 THE FLOOR AREA OF THE ROOM, OR 1-1/2 S.F. MINIMUM. WHEN NATURAL VENTILATION IS SUBSTITUTED WITH MECHANICAL VENTILATION, MECHANICAL VENTILATION SHALL PROVIDE 5 AIR CHANGES PER HOUR.
- 4 SHOWER & TUB ENCLOSURES SHALL BE OF TEMPERED GLASS (CBC 2406.4). WINDOWS AT SHOWERS & TUBS SHALL BE OF TEMPERED GLASS, IF LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. (CBC 2406.4)
- 5 PROVIDE 72" HIGH NON-ABSORBENT FINISH @ SHOWER WALLS (CBC 807.1.3)
- 6 LIGHT REQUIREMENTS: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRY ROOM REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/10 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MINIMUM, WHICHEVER IS GREATER. (CBC 102.2)
- 7 A. BATHROOM EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. B. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. (4.506.1)
- 8 BATHROOM EXHAUST FAN: 50 CFM MIN. EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF THE BUILDING COMPLYING WITH THE 2013 TITLE 24 AND ASHRAE 62.2 STANDARDS. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL, AS REQUIRED BY ENERGY BUILDING STANDARD AND COMPLY WITH CRC R303.3
- 9 ALL INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED (R303.1)
- 10 WASHER & DRYER REQUIREMENTS: VENT DRYER TO OUTSIDE THROUGH EXTERIOR WALL OR ROOF (FLASH ROOF AS REQ'D); PROVIDE FAN & DRAIN AT WASHER AREA. DRYER VENT 4" MIN. 14" MAX. W/ TWO 90° BENDS FOR METAL DUCT; 6" MAX. FOR FLEX DUCT CONNECTOR
- 11 ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING TYPE VALVE.
- 12 ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS PCS08.2
- 13 ANY WALLS SEPARATION THE DWELLING FROM THE GARAGE SHALL HAVE: MIN OF 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE, CEILING SEPARATION THE DWELLING FROM THE GARAGE SHALL HAVE MIN OF 5/8" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE. -TAPE AND STAGGER JOINTS FROM FLOOR TO ROOF SHEATHING -ALL WALLS SUPPORTING 2ND FLOOR OVER GARAGE CEILING AND WALL OF FLOOR ABOVE CONT. TO ROOF SHEATHING
- 14 OPENING THROUGH THE WALLS SEPARATING THE DWELLING FROM THE GARAGE SHALL HAVE SELF LATCHING, TIGHT FITTING SOLID WOOD, 1-3/8" THICK DOOR OR A 20 MIN FIRE RATED DOOR
- 15 HEIGHT OF NEW FLOOR TO MATCH EXISTING
- 16 NEW GAS FIREPLACE INSERT. SEE SHEET A-5.1
- 17 GARAGE FLOOR SHALL BE OF NON-COMBUSTIBLE MATERIAL & SLOPE TO FACILITATE THE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY
- 18 KITCHEN LOCAL EXHAUST VENTILATION DUCTED TO OUTSIDE AIR THROUGH WALL/CEILING/ROOF WITH MAX SOUND RATING OF SONE @ 100CFM



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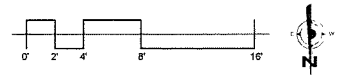
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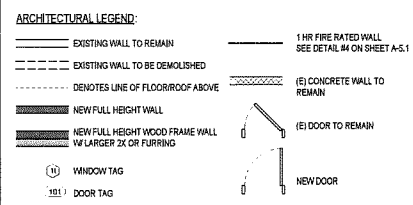
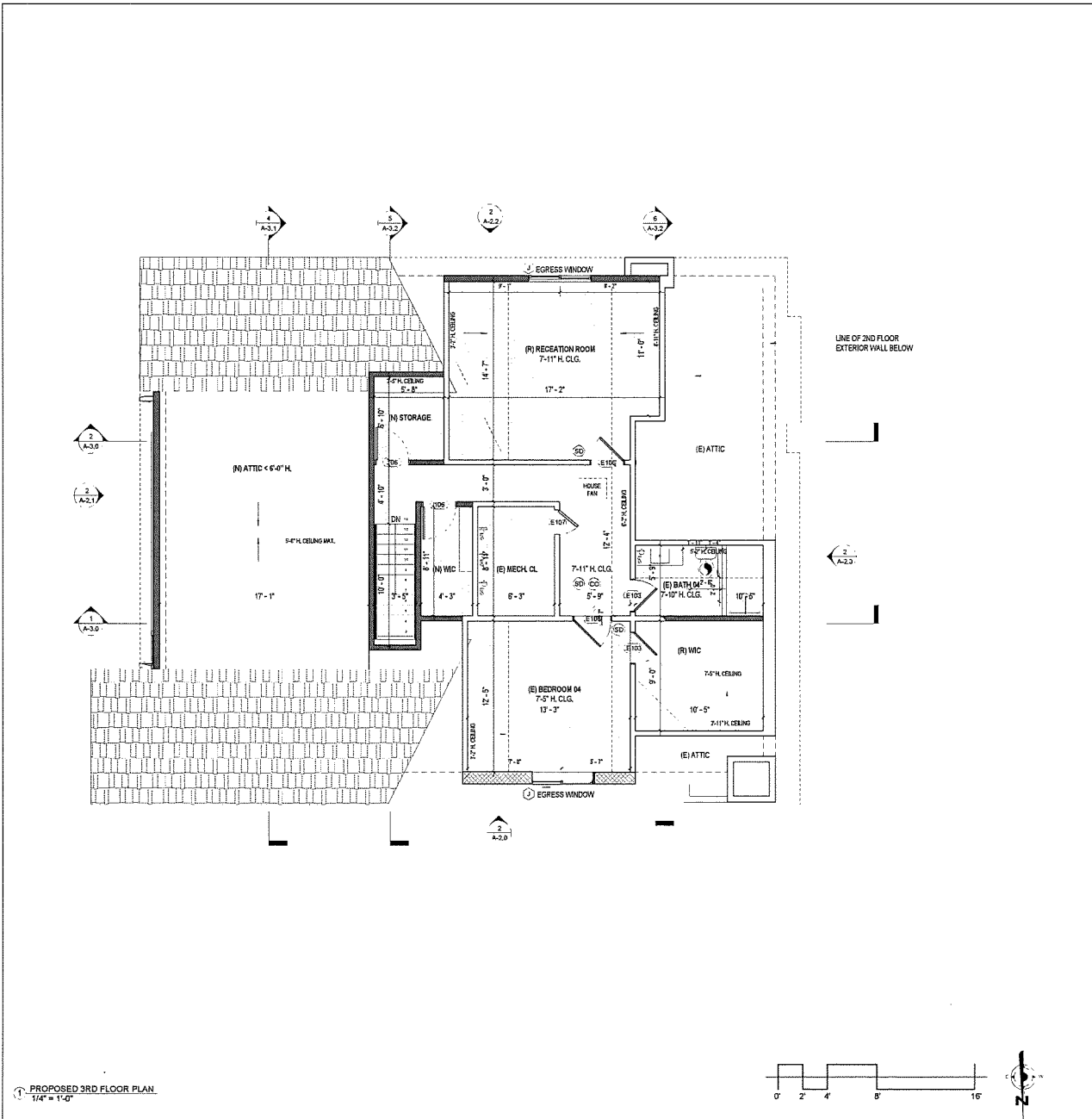
REV.	DESCRIPTION	DATE
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02	CIP LECTED 01	11/20/23
03	CIP APPROX. INTERIOR 02	11/20/23
04	CIP LECTED 03	11/20/23
05	CIP APPROX. INTERIOR 03	11/20/23
06	CIP APPROX. INTERIOR 04	11/20/23

PROPOSED 2ND FLOOR PLAN

SHEET
A-1.4

PROPOSED 2ND FLOOR PLAN
 14'-0" = 1'-0"





CONSTRUCTION PLAN KEY NOTES:

- 1 SMOKE DETECTORS SHALL BE OF 120V WITH BATTERY BACKUP. LOCATE SMOKE DETECTORS IN BEDROOMS, AND HALLWAYS OR ADJACENT ROOMS LEADING TO BEDROOMS (CBC 310.9)
- 2 ALL WINDOWS WITHIN 24" OF DOOR SHALL BE OF TEMPERED GLASS.
- 3 VENTILATION REQUIREMENTS:
 - A. VENTILATION REQUIREMENTS: A. ALL HABITABLE ROOMS, EXCEPT BATHROOMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/20 FLOOR AREA OF THE ROOM, OR 5 S.F. MIN.
 - B. ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/20 THE FLOOR AREA OF THE ROOM, OR 1-1/2 S.F. MINIMUM. (WHEN NATURAL VENTILATION IS SUBSTITUTED WITH MECHANICAL VENTILATION, MECHANICAL VENTILATION SHALL PROVIDE 5 AIR CHANGES PER HOUR.
- 4 SHOWER & TUB ENCLOSURES SHALL BE OF TEMPERED GLASS (CBC 2406.4). WINDOWS AT SHOWERS & TUBS SHALL BE OF TEMPERED GLASS, IF LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET (CBC 2406.4)
- 5 PROVIDE 72" HIGH NON-ABSORBENT FINISH @ SHOWER WALLS (CBC 807.1.3)
- 6 LIGHT REQUIREMENTS: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRY ROOM REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/10 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MINIMUM, WHICHEVER IS GREATER. (CBC 1203.3)
- 7 A. BATHROOM EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
B. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL (A.905.1)
- 8 BATHROOM EXHAUST FAN: 50 CFM MIN. EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF THE BUILDING COMPLYING WITH THE 2013 TITLE 24 AND ASHRAE 62.2 STANDARDS. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL, AS REQUIRED BY ENERGY BUILDING STANDARD AND COMPLY WITH CRC R303.3
- 9 ALL INTERIOR AND EXTERIOR STAIRS SHALL BE ILLUMINATED (R302.7)
- 10 WASHER & DRYER REQUIREMENTS: VENT DRYER TO OUTSIDE THROUGH EXTERIOR WALL OR ROOF (FLASH ROOF AS REQD). PROVIDE PAN & DRAIN AT WASHER AREA. DRYER VENT 4" MIN. 1/4" MAX. W/ TWO 90° BENDS FOR METAL DUCT. IF MAX. FOR FLEX DUCT CONNECTOR
- 11 ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING TYPE VALVE.
- 12 ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 IN. ABOVE THE CONTROLS PCSD8.2
- 13 ANY WALLS SEPARATION THE DWELLING FROM THE GARAGE SHALL HAVE MIN OF 1/2" GYP/ROCK BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE. CEILING SEPARATION THE DWELLING FOR THE GARAGE SHALL HAVE MIN OF 5/8" GYP/ROCK BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE.
-TAPE AND STAGGER JOINTS FROM FLOOR TO ROOF SHEATHING
-ALL WALLS SUPPORTING 2ND FLOOR OVER GARAGE CEILING AND WALL OF FLOOR ABOVE CONT. TO ROOF SHEATHING
- 14 OPENING THROUGH THE WALLS SEPARATING THE DWELLING FROM THE GARAGE SHALL HAVE SELF LATCHING, TIGHT FITTING SOLID WOOD, 1-3/8" THICK DOOR OR A 20 MIN FIRE RATED DOOR
- 15 HEIGHT OF NEW FLOOR TO MATCH EXISTING
- 16 NEW GAS FIREPLACE INSERT. SEE SHEET A-5.1
- 17 GARAGE FLOOR SHALL BE OF NON-COMBUSTIBLE MATERIAL & SLOPE TO FACILITATE THE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY
- 18 KITCHEN LOCAL EXHAUST VENTILATION DUCTED TO OUTSIDE AIR THROUGH WALL/CEILING/ROOF WITH MAX SOUND RATING OF SOME @ 100CFM



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02	CLP ARCHITECTURE 02	10/20/20
03	CLP ARCHITECTURE 03	10/20/20
04	CLP ARCHITECTURE 04	10/20/20
05	CLP ARCHITECTURE 05	10/20/20
06	CLP ARCHITECTURE 06	10/20/20

PROPOSED 3RD FLOOR PLAN

SHEET
A-1.5

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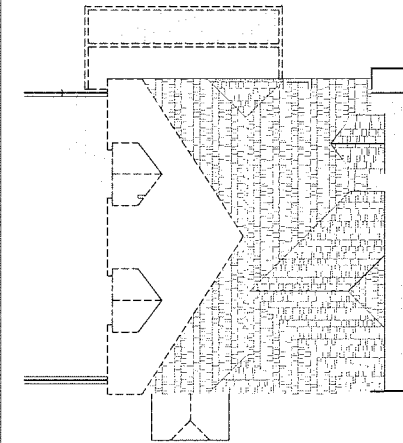
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ROOF PLAN

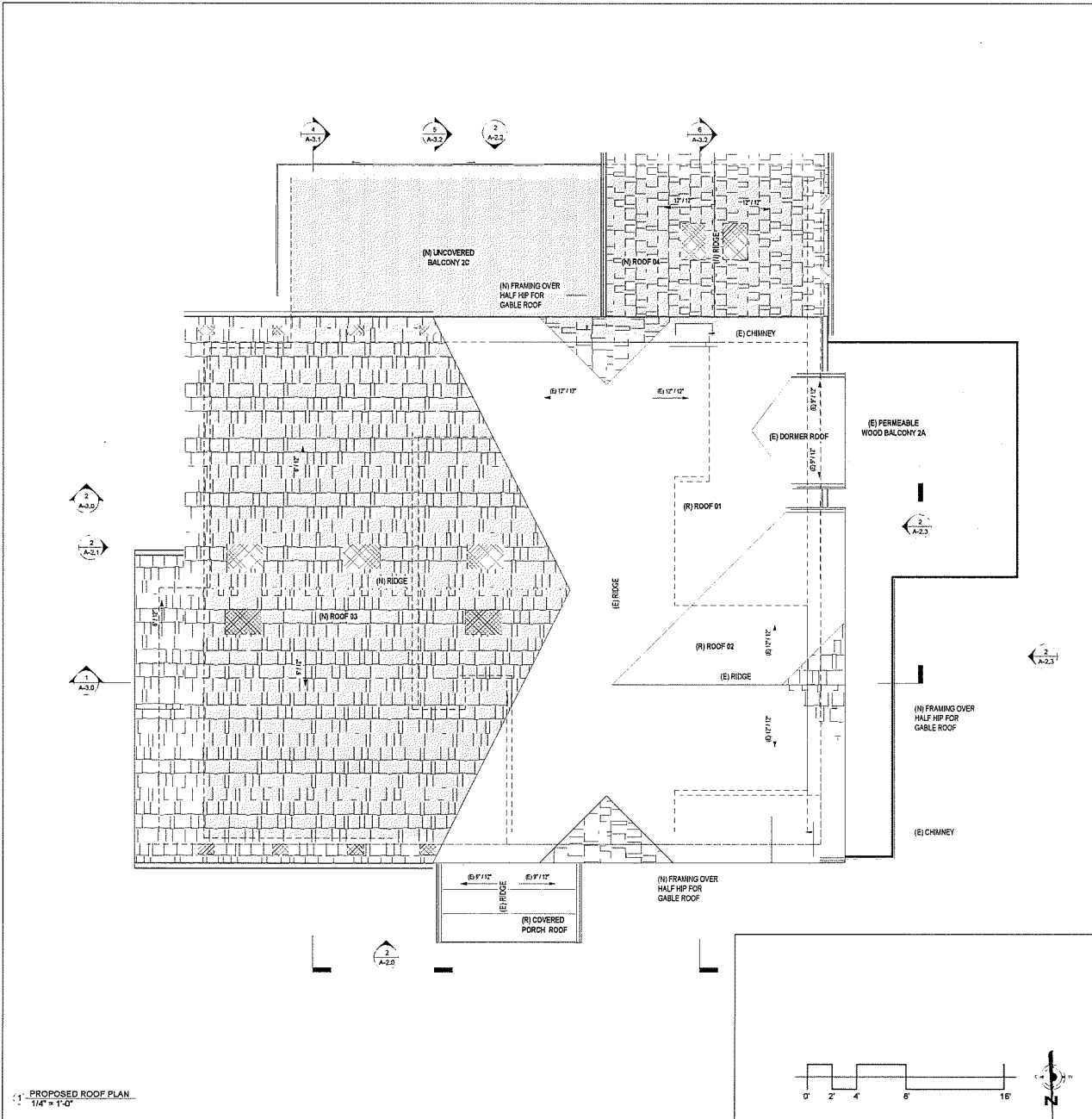
SHEET
A-1.6

ROOF PLAN KEY NOTES:

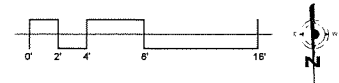
- (N) ROOF (CLASS A MIN). ROOF SHEATHING SHALL BE AS PER STRUCTURAL. ROOFING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS AND IN COMPLIANCE WITH LOCAL CODES. REFER TO DETAILS AND CONSTRUCTION SPECIFICATIONS.
- (N) DECK COVERING BY DEK-OTEX WEATHERWARE AND TOPOCAT. ICC-ES ESR-1757. SEE SPECIFICATION ON SHEET A-8.0
- ALL ROOF MATERIALS AND UNDERLAYMENT SHALL COMPLY WITH CRC SECTIONS R904, R905
- FLASH ALL ROOF TO ROOF AND VALLEYS WITH 26 GA. GI SHEET METAL SEAL. ALL JOINTS FOR WEATHER TIGHT FINISH. PROVIDE CHEMRY COUNTER FLASHING AND SADDLE FLASHING.
- ALL ROOFING TILES SHALL BE APPLIED WITH A MIN. 2 FASTENERS PER TILE OR A MIN. OF 1 FASTENER PER TILE FOR INTERLOCKING LUGGED TILES.
- EXTEND RAFTERS @ OVERHANG AS PER ROOF PLAN. PROVIDE NEW FASCIA BOARD.
- PROVIDE 26 GA. MINIMUM GALVANIZED IRON FLASHING AT ALL ROOF BREAKS, TYPICAL U.N.G. ALL GUTTERS, DOWNSPOUTS, SCUPPERS, VENTS, FLASHINGS, AND THEIR REQUIRED CONNECTORS AND FASTENERS SHALL BE GALVANIZED IRON.
- PROVIDE 5" ALUMINUM GUTTER AND 4" DOWNSPOUTS AS REQUIRED. CONDUCT ALL ROOF WATER AWAY FROM BUILDING. ALL ROOF WATER SHALL BE CONDUCTED TO THE STREET BY GRAVITY.
- ROOF CRICKETS SHALL BE PROVIDED AS PER PLAN AND WHERE REQUIRED TO PROPERLY DIVERTE THE ROOF WATER TO DRAINAGE AREAS. CRICKETS SHALL BE SLOPED 1" PER FOOT MINIMUM AND SHALL BE CONSTRUCTED WITH 1/2" PLYWOOD CDX (CM) WITH ALL NECESSARY SUPPORTS AND BLOCKING INDICATED ON THE PLAN OR OTHERWISE REQUIRED.

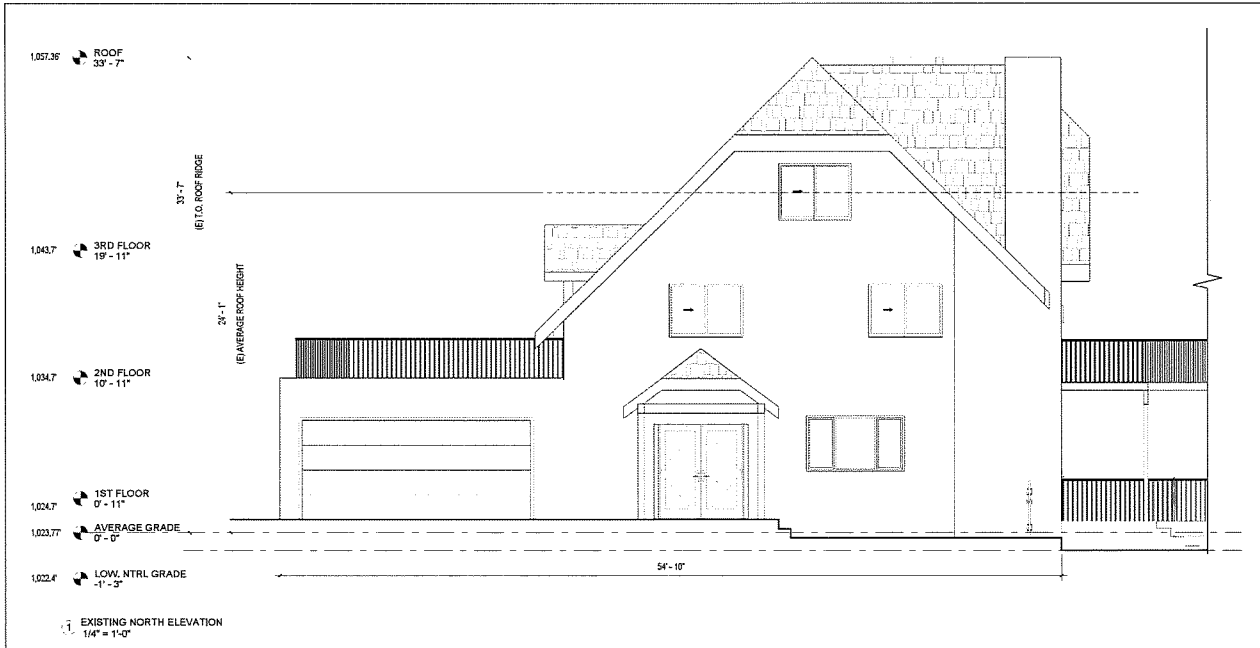


EXISTING / DEMO ROOF PLAN
1/8" = 1'-0"



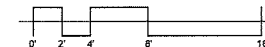
PROPOSED ROOF PLAN
1/4" = 1'-0"





ELEVATION KEY NOTES:

- 1 (N) EXTERIOR STUD WALL WITH BOARD & BATTEN PANELS BY HARDIEBOARD. COLOR TO BE PAINTED MEDIUM GREY
- 2 (N) BOARD & BATTEN PANELS BY HARDIEBOARD OVER (E) EXTERIOR WALL. COLOR TO BE PAINTED MEDIUM GREY
- 3 (N) EXTERIOR STUD WALL WITH STONE VENEER ASHLAR PATTERN SIDING, GRAY AND TAN LIMESTONE BROKEN INTO RECTANGULAR SHAPES, COLOR TO BE 'GLEN ROSE'
- 4 (N) STONE VENEER ASHLAR PATTERN SIDING OVER (E) EXTERIOR WALL. GRAY AND TAN LIMESTONE BROKEN INTO RECTANGULAR SHAPES. COLOR TO BE 'GLEN ROSE'
- 5 (N) CLASS 'A' ASPHALT COMPOSITION SHINGLES COOL ROOF BY OWENS CORNING, ICC-ES AC 438, COLOR TO BE 'ESTATE GRAY'
- 6 (E) ROOF FRAMING / STRUCTURE TO REMAIN. REPLACE (E) SHINGLES WITH (N) CLASS 'A' ASPHALT COMPOSITION SHINGLES COOL ROOF BY OWENS CORNING, ICC-ES AC438, COLOR TO BE 'ESTATE GRAY'
- 7 (N) CLASS 'A' STANDING SEAM METAL ROOF BY PETERSEN ALUMINUM CORPORATION, ICC-ES ESR 4173, COLOR TO BE 'GRAPHITE'
- 8 (N) WINDOW, SEE SCHEDULE ON SHEET A-4.0
- 9 (N) DOOR, SEE SCHEDULE ON SHEET A-4.0
- 10 (N) ROOF DOWNSPOUT TO TERMINATE ALL ROOF WATER TO STREET BY GRAVITY
- 11 (N) EXTERIOR STEEL WALL MOUNT LIGHT "TRINITY", POWDER COAT BLACK BY ST. JAMES LIGHTING. SEE RENDERINGS ON SHEET A-8.0
- 12 (N) FASCIA TO BE WOOD. COLOR TO BE 'IRON ORE' BY SHERWIN WILLIAMS
- 13 (N) FAUX RAFTER TAILS TO BE WOOD. COLOR TO BE REDWOOD STAIN
- 14 (N) ROOF TRIMS TO BE METAL. COLOR TO BE 'IRON ORE' BY SHERWIN WILLIAMS
- 15 (N) STEEL RAILING, COLOR TO BE FLAT TOP BLACK POWDER COATED
- 16 (E) 1ST FLOOR DECK WOOD RAILINGS TO REMAIN. COLOR TO BE THEIR NATURAL WOOD COLOR
- 17 (N) OUTDOOR STAIR TO BE AN OPEN STINGER STAIR



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03P	CLP-ARCH-10201142	12/14/23
04P	CPN-LETERP-02	09/02/24
05P	CLP-ARCH-10201143	09/02/24
06P	CLP-ARCH-10201144	09/02/24

NORTH ELEVATION

SHEET
A-2.0

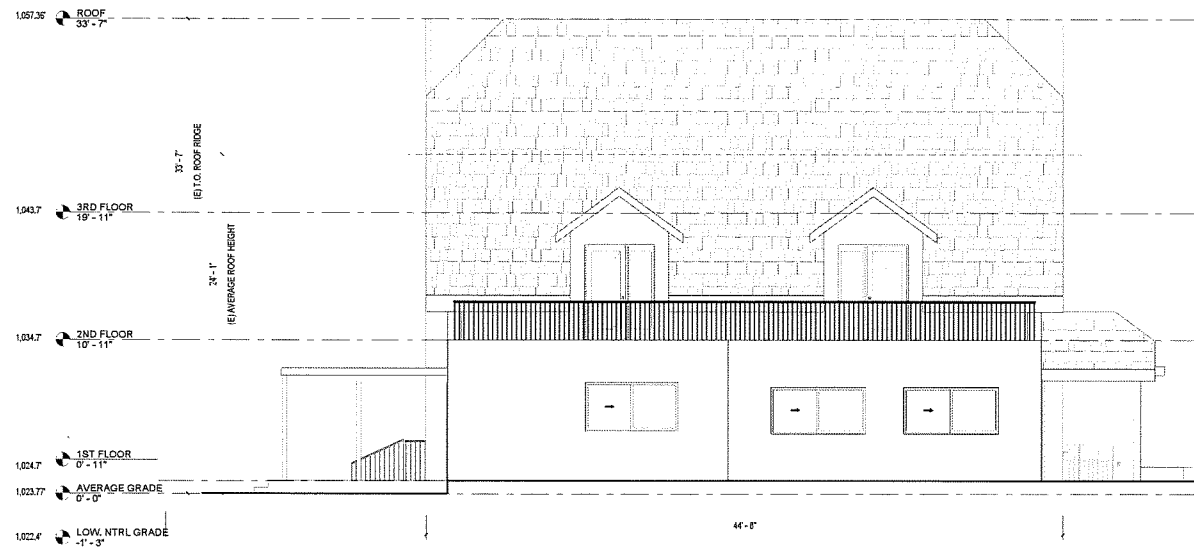
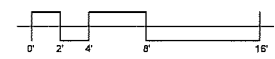
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03	CLP APPROVAL 02	12/04/20
04	GEN LETTER 02	09/07/24
05	CLP APPROVAL 03	06/20/24
06	CLP APPROVAL 04	05/07/24

EAST ELEVATION

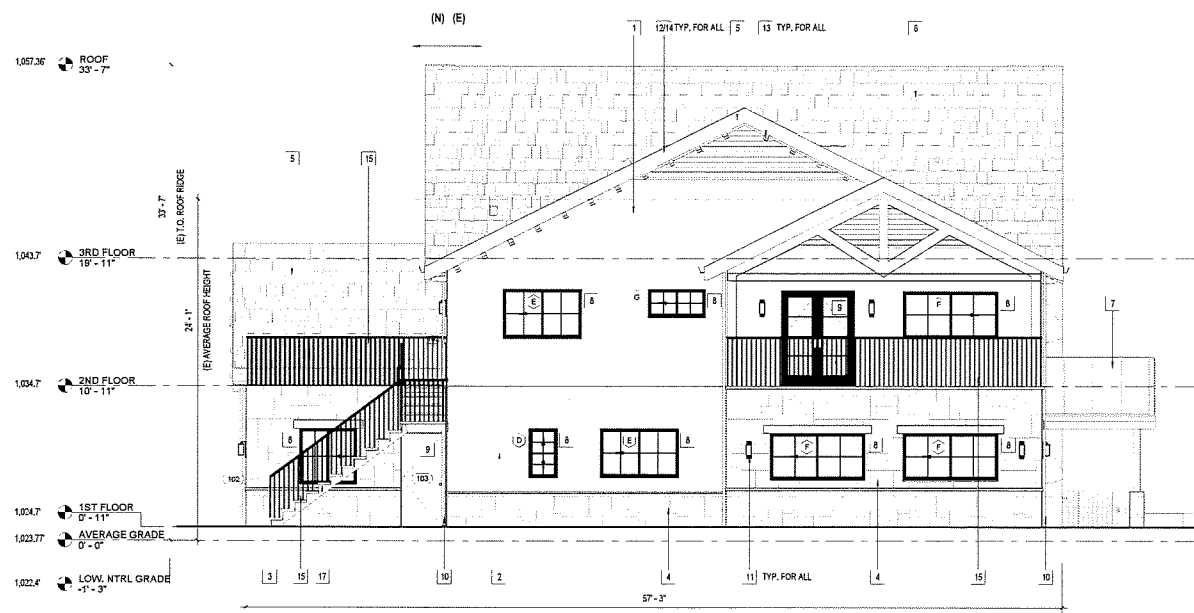
SHEET
A-2.1

ELEVATION KEY NOTES:

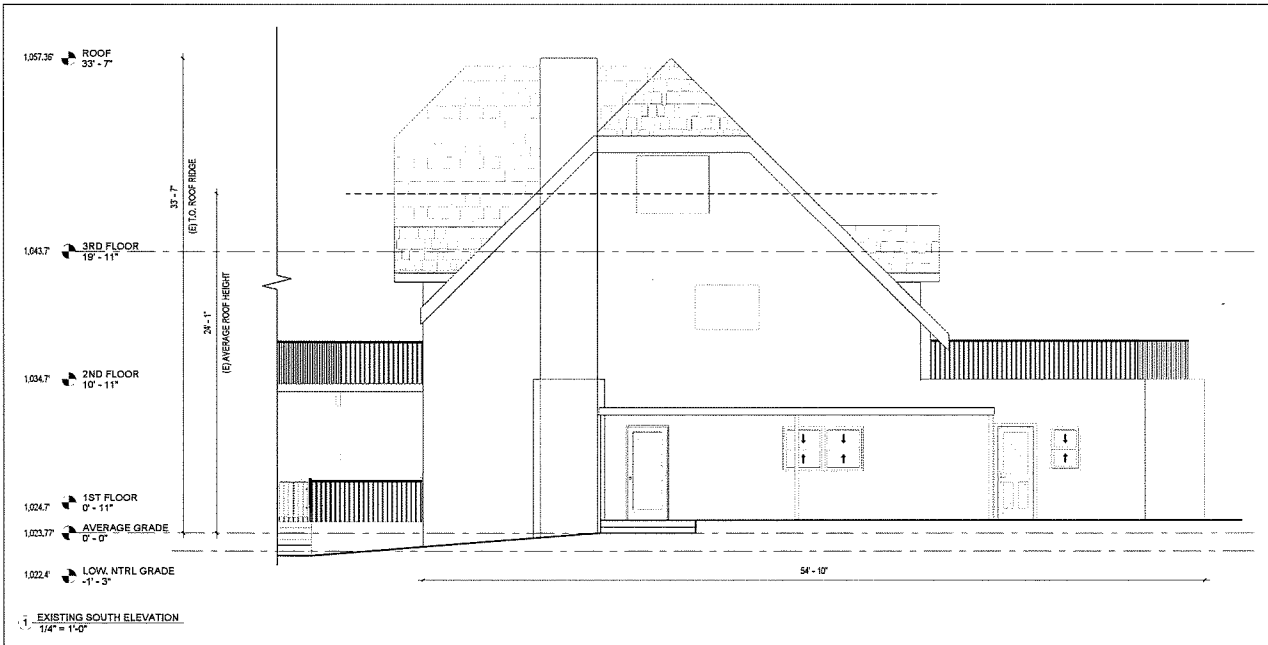
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- 9 (N) DOOR, SEE SCHEDULE ON SHEET A-4.0
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- 11 (N) EXTERIOR STEEL WALL MOUNT LIGHT "TRINITY", POWDER COAT BLACK BY ST. JAMES LIGHTING, SEE RENDERINGS ON SHEET A-9.0
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- 15 (N) STEEL RAILING, COLOR TO BE FLAT TOP BLACK POWDER COATED
- 16 (E) 1ST FLOOR DECK WOOD RAILINGS TO REMAIN, COLOR TO BE THEIR NATURAL WOOD COLOR
- 17 (N) OUTDOOR STAIR TO BE AN OPEN STINGER STAIR



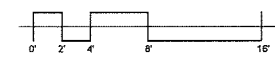
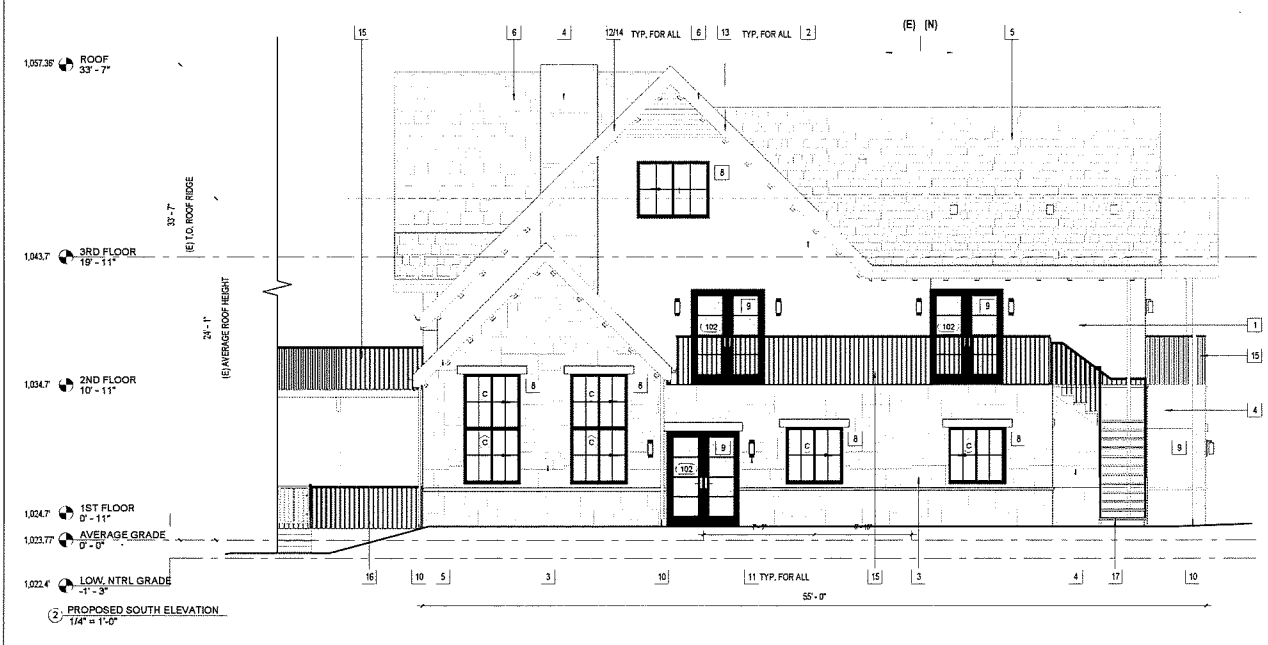
(1) EXISTING EAST ELEVATION
1/4" = 1'-0"



(2) PROPOSED EAST ELEVATION
1/4" = 1'-0"



- ELEVATION KEY NOTES:**
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 - 9 (N) DOOR. SEE SCHEDULE ON SHEET A-4.0
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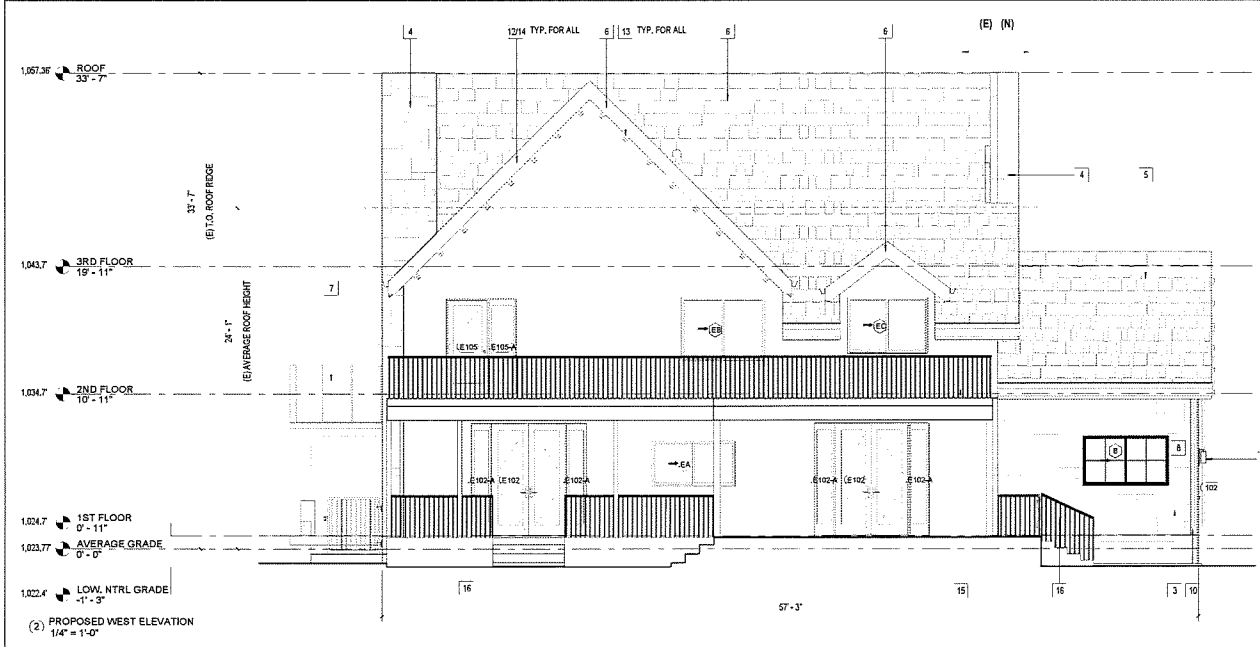
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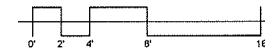
SOUTH ELEVATION

SHEET
A-2.2



ELEVATION KEY NOTES:

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- 2 (N) BOARD & BATTEN PANELS BY HARDBOARD OVER (E) EXTERIOR WALL, COLOR TO BE PAINTED MEDIUM GREY
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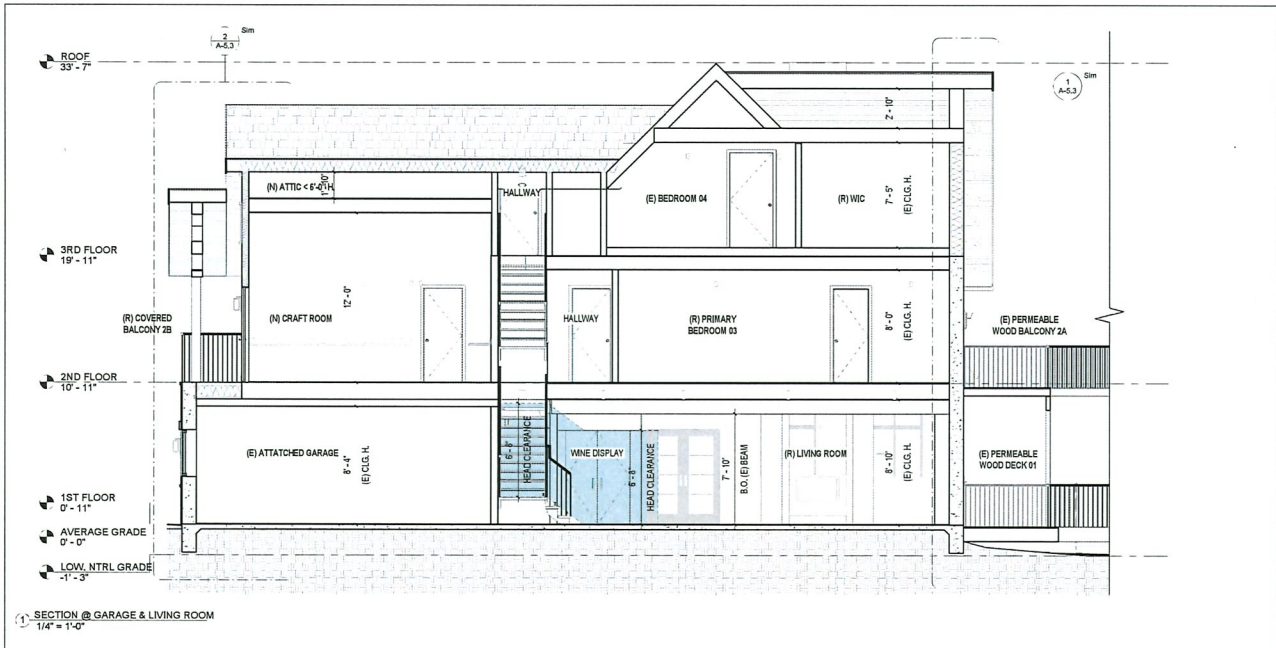
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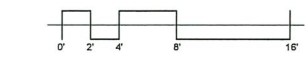
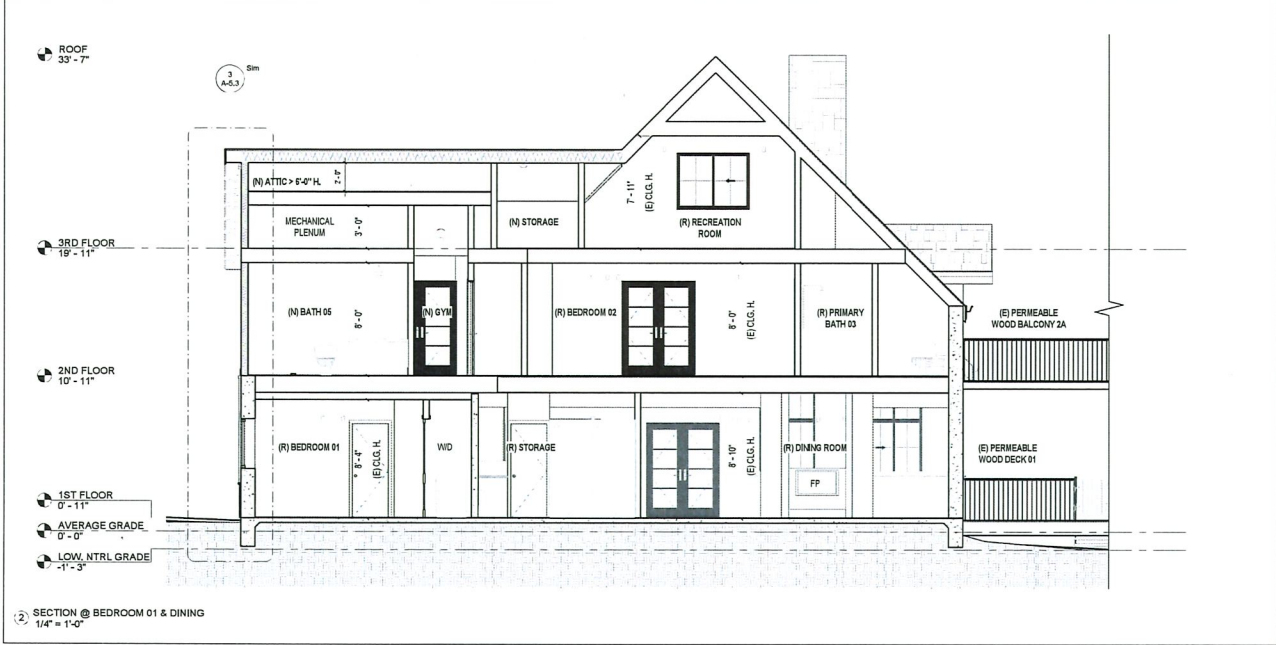
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03P	APPRECIATION 02	12/14/23
04P	LETTER 02	03/01/24
05P	APPRECIATION 03	06/20/24
06P	APPRECIATION 04	07/02/24

WEST ELEVATIONS

SHEET
A-2.3



- SECTION KEY NOTES:**
- (N) STUD WALL WITH EXTERIOR WALL STUCCO FINISH ON METAL LATH OVER 15# FELT. COLOR TO MATCH EXISTING
 - (N) ROOF CLASS A ASPHALT COMPOSITION SHINGLES COOL ROOF BY OWENS CORNING, ICES AC 438 (SEE PRODUCT SHEETS A-6.0), COLOR TO MATCH EXISTING ROOF
 - (E) SHINGLE ROOF TO REMAIN
 - (N) WINDOW, SEE SCHEDULE ON SHEET A-4.0
 - (N) DOOR, SEE SCHEDULE ON SHEET A-4.0
 - (N) ROOF DOWNSPOUT TO TERMINATE ALL ROOF WATER TO STREET BY GRAVITY



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04	GEN LETTER 02	01/02/24
05	CLP APPROVED 03	06/27/24
06	CLP APPROVED 04	08/02/24

BUILDING SECTIONS

SHEET
A-3.0

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AGOURA HILLS, CA 91301

Architect Seal

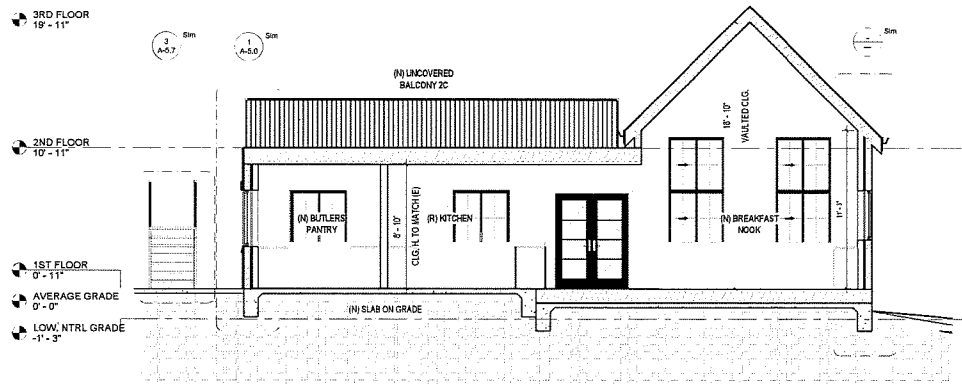
REV	DESCRIPTION	DATE
01	CLP #RFG1-VIS101-01	10/20/23
02	CLP #LETTER-F1	10/20/23
03	CLP #RFG1-VIS101-12	10/24/23
04	CLP #LETTER-F2	09/26/24
05	CLP #RFG1-VIS101-13	09/26/24
06	CLP #RFG1-VIS101-14	09/26/24

BUILDING SECTIONS

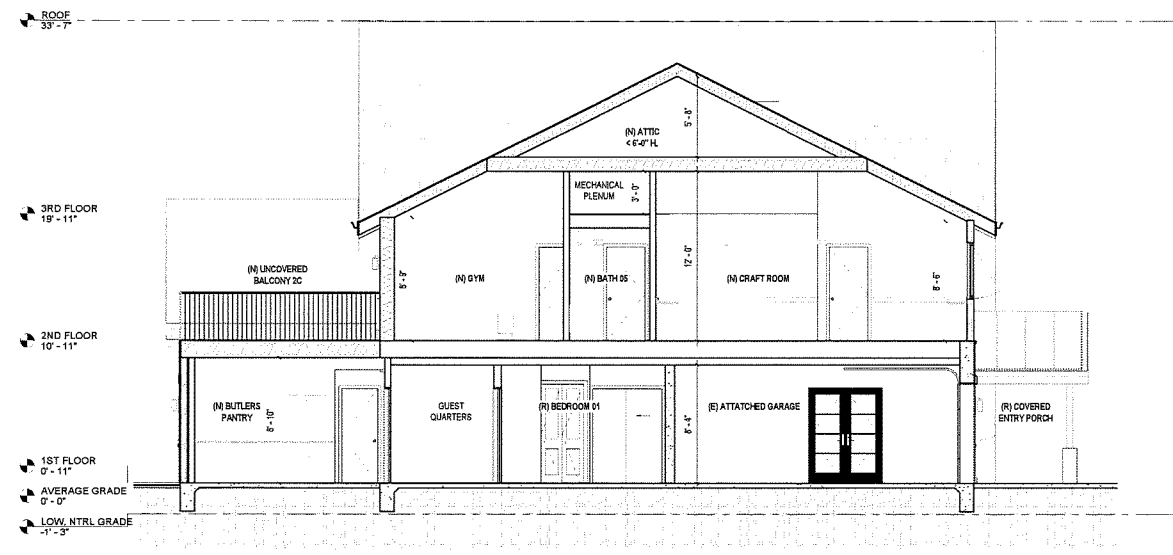
SHEET
A-3.1

SECTION KEY NOTES:

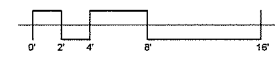
- 1 (N) STUD WALL WITH EXTERIOR WALL STUCCO FINISH ON METAL LATH OVER 1/2" FELT, COLOR TO MATCH EXISTING
- 2 (N) ROOF: CLASS A ASPHALT COMPOSITION SHINGLES COOL ROOF BY OWENS CORNING, ICES-AC 438 (SEE PRODUCT SHEETS A-6.0), COLOR TO MATCH EXISTING ROOF
- 3 (E) SHINGLE ROOF TO REMAIN
- 4 (N) WINDOW, SEE SCHEDULE ON SHEET A-4.0
- 5 (N) DOOR, SEE SCHEDULE ON SHEET A-4.0
- 6 (N) ROOF DOWNSPOUT TO TERMINATE ALL ROOF WATER TO STREET BY GRAVITY



3 SECTION @ PANTRY & KITCHEN
1/4" = 1'-0"



4 SECTION @ GYM & CRAFT ROOM
1/4" = 1'-0"





1 PROPOSED NORTH VIEW



2 PROPOSED SOUTH VIEW



4 SOUTH ELEVATION - RENDER VIEW
1/4" = 1'-0"



3 PROPOSED EAST VIEW

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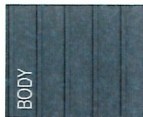
REMODEL & ADDITION@
6441 CHESEBRO ROAD
AGOURA HILLS, CA 91301

Architect Seal

MATERIALS LEGEND:



1 STONE VENEER ASHLAR PATTERN - Color "GLEN ROSE" - Gray and Tan limestone broken into rectangular shapes



2 BOARD & BATTEN - Painted Medium Grey by Hardboard



3 PAINTED TRIM - Color "IRON ORE" BY Sherwin Williams



4A ROOF SHINGLES - Color "ESTATE GRAY" BY Owens Corning



4B STANDING SEAM METAL ROOF - Color "GRAPHITE"



5 REDWOOD STAIN



6 MULTIPLE PANE WINDOWS WOOD LINTELS



7 FLAT TOP BLACK POWDER COATED STEEL RAILING



8 STEEL WALL MOUNT LIGHT "TRINITY" POWDER COAT BLACK BY St. James Lighting

REV	DESCRIPTION	DATE
CIP	APPALC-KY001-01	1/16/2023
01Y	LETTER #1	1/16/2023
CIP	APPALC-KY001-02	1/16/2023
01Y	LETTER #2	1/16/2023
CIP	APPALC-KY001-03	1/16/2023
CIP	APPALC-KY001-04	1/16/2023

RENDERINGS

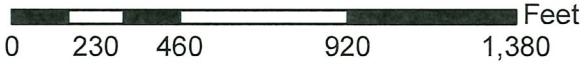
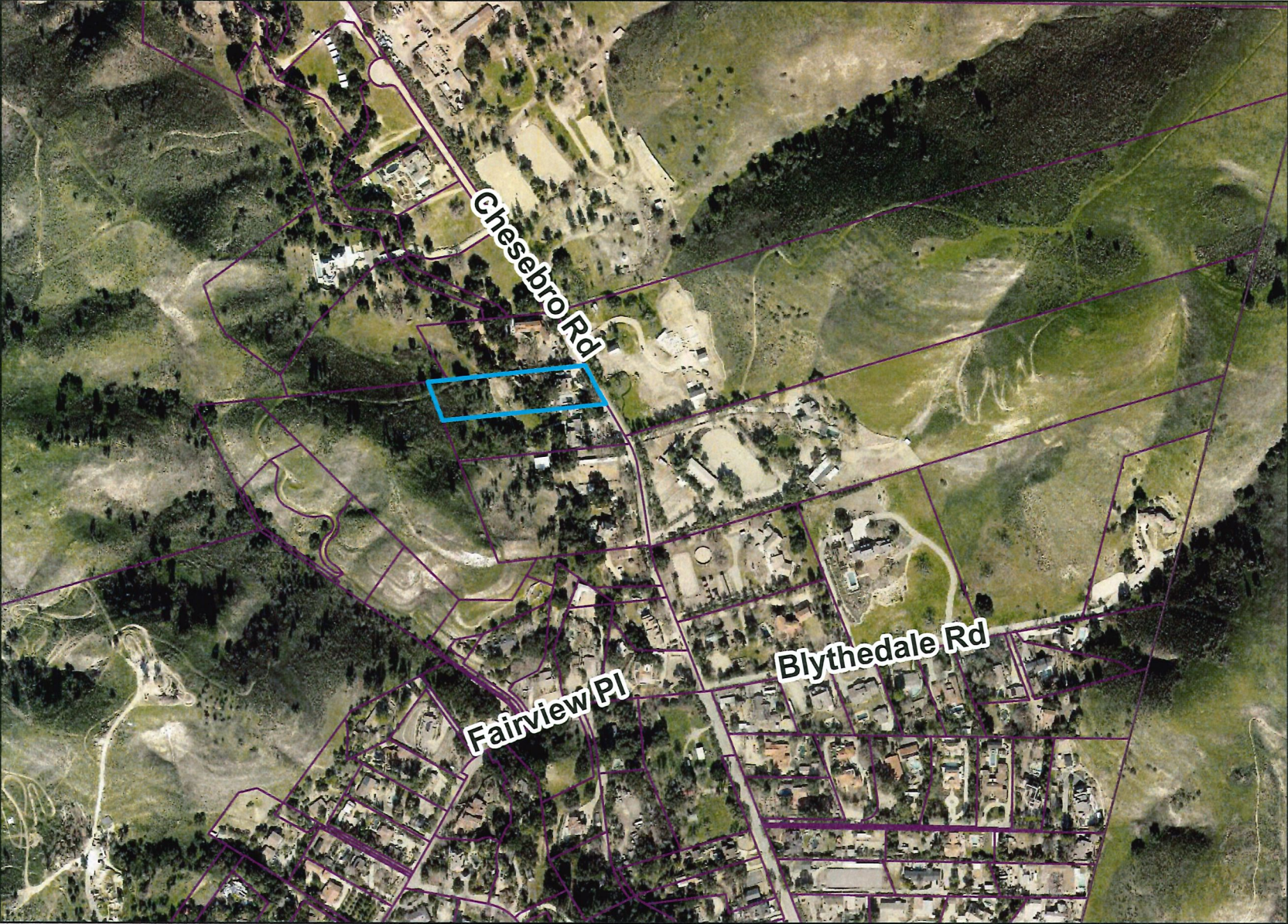
SHEET
A-9.0

ATTACHMENT 3

Vicinity Map

Vicinity Map

6441 Chesebro Rd



ATTACHMENT 4

Site Photos

Site Photos – Taken on Nov. 11, 2023



East Elevation (Front)



South Elevation (Side)



West Elevation (Rear)



South Elevation (Side)