



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: January 4, 2007

APPLICANT: Laura La Plante, LLC
18850 Ventura Boulevard, Suite 130
Tarzana, CA 91356

TO: Planning Commission

CASE NOS.: 05-CUP-002, 05-OTP-015 & 05-VAR-003

LOCATION: West of 28207 Laura La Plante Drive
(A.P.N. 2061-016-063 & 072)

REQUEST: Request for approval of a Conditional Use Permit to construct a 3,400 square-foot residence and a 580 square-foot, free-standing, three-car garage; a request for an Oak Tree Permit to remove 20 oak trees and encroach within the protected zone of 3 oak trees for the proposed construction; and a request for a Variance from Zoning Ordinance Sections 9605.8 and 9606.2.A. to build a patio in the front yard and reduce the required front yard setback from 25 to 19 feet; and to construct retaining walls in excess of 3.5 feet in height in the front yard area.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15303

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 05-CUP-002, Variance Request Case No. 05-VAR-003 and Oak Tree Permit Case No. 05-OTP-015, subject to conditions, based on the findings of the attached Draft Resolutions.

ZONING DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS – Residential Single-Family

PROJECT BACKGROUND AND DESCRIPTION

The applicant is requesting approval of a Conditional Use Permit to construct a 3,400 square-foot, two-story, single-family residence with a 580 square-foot, free-standing garage, an 80 square-foot front patio cover and 1,000 square-foot rear deck. A Conditional Use Permit is required for proposed developments on lots exceeding a 10% average slope. In this instance, the average slope of the property is 42.7%. The applicant is also requesting approval of an Oak Tree Permit to remove 20 on-site oak trees and encroach into the protected zone of 3 on-site oak trees for the proposed construction.

The subject parcel is located on the north side of Laura La Plante Drive, immediately west of the existing single-family residence located at 28207 Laura La Plante Drive in the Residential Single-Family (RS) and the Indian Hills Design Overlay zones. The vacant lot is 16,175 square feet in size. The proposed single-family residence is a permitted use in the RS zone and will meet the rear and side yard standards, and is within the maximum permitted building height for hillside lots. The applicant is applying for a Variance to deviate from the minimum 25-foot front yard setback to provide 19-foot of setback between the front property line and the front elevation of the house due to the encroachment of a proposed patio cover. The Variance request also includes retaining walls with a height in excess of 3.5 feet in the front yard area. An analysis of the Variance Request is provided below for the Planning Commission's review. The following are the proposed development data pertaining to the project:

Development Standards	Existing	Proposed	Allowed/ Required
1. Lot Size	16,175 sq.ft.	Same	20,000 sq.ft. min.
2. Lot Width	99 ft.	Same	90 ft. min.
3. Lot Depth	198 ft.	Same	100 ft. min.
4. Building Size			Per Lot Coverage
a. House:	None	3,400 sq.ft.	
b. Garage:	None	580 sq.ft.	
c. Front patio:	None	80 sq.ft.	
d. Rear deck:	None	1,000 sq.ft.	
5. Building Height	None	35 ft. from finished grade	15 ft. above front property line 35 ft. max.
6. Lot Coverage			35% max.
a. House	None	17.5%	
b. Garage	None	3.8%	
c. Hardscape	None	28.1%	

7. Undisturbed Open Space %	100%	49%	92.5% min. (based on average slope of the lot)
8. Building Setbacks			
a. Front:	None	19 ft.	25 ft. min.
b. Rear:	None	50 ft	25 ft. min.
c. Sides:	None		
East		24 ft.	22 ft. min.
West		15 ft.	combined
8. Oak Trees			
Removal:	27	20 on-site	N/A
Encroached:	None	3 on-site	

STAFF ANALYSIS

A. Site Plan

To develop on two adjoining lots, the applicant applied for a lot merger to combine a 7,524.11 lot and an 8,650.95 square-foot lot. In doing so, the merger created a 16,175 square-foot parcel which resulted in a parcel size that would be closer to the minimum lot size established for the zone of 20,000 square feet. As a result, the applicant is able to provide side yard setbacks in excess of the minimum requirements of the RS zone. The eastern side yard setback is proposed to be 24 feet and the western side yard setback is proposed to be 15 feet (side yards of 10 feet and 12 feet are required). The larger east side yard is adjacent to a developed parcel with a residence that was built at 5 feet from the property line. In addition, the new residence is proposed to be built 7.5' below the street elevation as calculated from the ridge of the roof, whereas the existing residences are constructed above the street elevation. The proposed location of the new residence was dictated by a lack of flat surface area along Laura La Plante Drive where the access is typically taken. Creating vehicular and pedestrian access would have caused a greater import of soil and the need for tall skirting walls. The applicant chose instead to provide vehicular access from the lower rear property line from an existing private alley and provide pedestrian access from Laura La Plante Drive to the house.

As a result, the difference in height impacts privacy issues differently than if the structures had been leveled. It is estimated that the second story windows of the house to the east will be above the applicant's proposed roof line, and the neighboring first floor windows would be approximately in line with the second story windows looking to higher level of the new residence. The impact would not be related to the loss of privacy as much as it would be related to loss of the view onto an open space.

With regard to the proposed rear yard setback, the residence would be 50 feet at the closest point to the rear property line and the garage 25 feet from the furthest rear property line. For the most part, other above-ground structures such as decks and staircases would be built within the buildable area of the lot.

The front yard setback is where the encroachment will occur. The applicant is proposing a patio cover over the entry which is located 19 feet from the front property line. Patio covers as dictated by the Zoning Ordinance are not permitted in the front yard area. Consequently, a Variance is required. The request is to encroach into the front yard by an average of 6 feet from the required 25 feet. The footprint of the residence would not encroach the front yard however.

The second Variance request applies to retaining walls that are proposed to be constructed in the front yard. The Zoning Ordinance restricts the height of walls in a front yard to 3.5 feet whether these walls are used as garden walls above ground or as retaining walls below the average grade. Despite the fact that the walls are necessary to provide a transition from the street to the house they are located in the front yard and consequently must adhere to the height restriction of 3.5 feet as specified by Section 9606.2.A. The proposed walls are required to retain the hill and protect the structure below and provide stairs to access the entry. The walls would not be visible from Laura La Plante Drive but probably partially visible from a vantage point to the north as they would be screened by the residence. The walls will be partially, screened with landscaping.

The Planning Commission has discretion regarding the required undisturbed area required for development of a residence on a hillside lot, provided four criteria can be met. This hillside lot has an average slope of 42.7% and, as such, the development should be designed to retain 92.5% of the lot as undisturbed open space. Although the lot is larger than nearby lots, 2.5% maximum coverage would reduce the development pad and hardscape improvements to approximately about 404 square feet. As proposed, 51% of the lot would remain undisturbed, which is a typical ratio for the neighborhood. The lot coverage, which accounts for the structures erected above ground, remains however, lower than the 35% maximum allowable in the RS zone with 28% of the parcel. Since the lot subdivision predates the City zoning requirements, many in-fill lots in the Indian Hills area are subject to development standards that would hinder reasonable development.

A survey of the 39 closest residences revealed house sizes varying from 1,216 to 3,069 square feet. The average size of the residences is 2,032 square feet and with the approved projects, the average increased to 2,096 square feet. Lot sizes varied from 3,720 to 22,314 square feet. The average lot size was 8,089 square feet and with approved projects, it increased to 8,121 square feet. The most recent Planning Commission approvals are listed in the attached table. The floor area ratio between the size of the built living space and of the parcel is approximately 0.25 (0.27 including the approved projects). Overall, the floor area ratio requested by the applicant (0.21) appears to be within the limits of the existing residences in the immediate vicinity.

B. Architectural Design

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence design has a more

contemporary design than other existing structures in the area but the two-story design, prevalent in the neighborhood, was selected to minimize the grading. The Architectural Review Panel (ARP) has recommended approval of the design. The applicant has chosen a smooth stucco coating and an off-white color both for the walls and trims. The aluminum clad windows will also be in a similar color. The hip roofs will be clad with a gray, slate-like light concrete tile. The applicant also proposes ornate, wrought handrail, gates and low rail at the base of the window. The same colors and materials will be used for the detached garage. The garage will serve as balcony with hand rail which will be leveled with ascending slope. All retaining walls will be stuccoed, capped and painted to match the residence. Pedestrian access is provided from Laura La Plante Drive and vehicular access from the rear alley.

C. Oak Tree Review

The applicant was required to submit an Oak Tree Report as 27 oak trees were identified on the lot. Four (4) of the trees are Coast Live Oak (*Quercus agrifolia*) and twenty-three (23) are Scrub Oak (*Quercus berberidifolia*). The current proposal would have significant negative impacts on twenty (20) of the oak trees. These trees would be considered removals under the Agoura Hills Oak Tree Preservation Guidelines Section 9657.5. Three trees would have less than twenty-five percent (25%) encroachment within the protected zone and four trees would have no encroachment. The proposed project would require the removal of seventy-four percent (74%) of the oak trees and sixty-nine percent (69%) of the canopy cover on the site based on most current grading plans. The constraints have to do with the topographic slope of the property and the unusual number of oak trees typically found on the parcel. The owner has attempted to design the structure around the trees but could not avoid the impacts based on the proposed development. The project is conditioned to provide a fee to mitigate the loss of the on-site resource in lieu of providing the replacement trees on site. The \$72,520 in-lieu fee would be applied to preserving and enhancing oak habitats elsewhere in the City. The City Oak Tree Consultant, Kay Greeley, has considered the impacts and provides recommendations about the removal and the encroachment and has submitted conditions. The suggested Conditions of Approval are attached to this report.

Hillside properties must be landscaped for slope stability purposes. Once the soil is exposed and new slopes are created, landscaping should be reintroduced. The slopes will need to be planted with a plant material acceptable to the City Landscape Consultant and the irrigation system reviewed in order to eliminate possible impacts to on-site and off-site structures. A conceptual Landscape Plan has been submitted which will have to be reviewed by the City Landscape Consultant and approved by the Director of Planning prior to Building Permit issuance. A Fuel Modification Plan will also have to be provided for coordination with the landscape palette proposal.

D. Engineering

The profile of the lot is such that no flat surface exists along the front property line where the road joins the property line. The steepest area of the lot is found within the first 30 feet as measured from the front property line with 60% slope and the lot descends

progressively from 40 to 20% slope at the rear property line where vehicular access is taken. Since the front property line is below the elevation of the road, a system of retaining walls is required. The applicant proposes a 2:1 fill slope supported by four retaining walls equally spaced between the property line and a flat pad where an entry to the residence is proposed. A walkway and stair case is provided for pedestrian access from the street at the southwest corner of the lot as well as around the perimeter of the structure. The applicant has estimated 400 cubic yards of cut and 900 cubic yards of fill. Such quantities require the review of a Grading Plan along with hydrology and geotechnical studies. The lot elevations are between 595-foot and 521-foot elevation (74 feet differential). The project proposes the above floor to be built at a finished elevation of 572 feet whereas the existing grade average elevation is 565 feet and 562 feet for the lower floor, whereas the existing grade average elevation is 555 feet. The garage is located 50 feet away from the residence, and 25 feet from the rear property line at a relative elevation of 526 feet. The walls of the house and garage are built as retaining walls. Retaining walls are also used for stair cases.

Most of Indian Hills' properties are connected to the public sewer system. The applicant has attempted to get in contact with the property owner of the condominium building below to obtain a sewer easement in order to be able to connect to a main line located on Lewis Road. Such a solution would avoid a sewer pumping system if the sewer line were to connect to the main on Laura La Plante Drive. Since this option is not available, the applicant will be conditioned to undertake the improvements on the Laura La Plante Drive side.

Other than a five-foot wide pedestrian access all around the residence, the Fire Department has not requested additional improvements on the site.

The City's Geotechnical Consultant has reviewed the geotechnical report prepared by Grover Hollingsworth and Associates for this project and recommends that the project be approved at this planning review stage. The applicant will be required to address grading plan corrections prior to grading permit issuance. The letter of approval, dated August 7, 2006 is attached to this report.

G. Environmental Review

The City Environmental Consultant has reviewed the proposed project and finds that the single-family residence is Categorically Exempt from the California Environmental Quality Act, in accordance with Section 15303 and is not subject to a Mitigated Negative Declaration or Environmental Impact Report.

E. Variance Request

The applicant is requesting a Variance from the Zoning Ordinance Section 9607.1 to allow a reduced front yard setback for the proposed project and retaining walls exceeding the maximum height in a front yard area per Section 9606.A.

In order for the Planning Commission to grant approval of the Variance, each of the following five (5) findings must be made pursuant to Section 9676.2.E. of the Zoning Ordinance:

1. Required Finding:

Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in the vicinity and under identical zoning classification. The RS zone requires a 25-foot front yard setback from the structure to the back of the easement boundary. In a typical situation, parcels have sufficient space to provide setbacks which would accommodate a car length. In this case, the parcel descends steeply from the right-of-way boundary and requires the building footprint to be as close as possible to the base of the slope. This design minimizes import of soil to create a flat pad. The house will be completely below the street elevation preserving the line-of-sight to the eastbound traffic. The applicant proposes to locate the garage in the rear of the parcel where an alley exists to provide vehicular access to the lot. The Variance request is for encroachment of the patio cover into the front yard. Patio covers can encroach into other yard areas but are not allowed in the front yard. The applicant proposes to build the patio cover to add architectural interest to the south elevation and to provide protection to the entry from the element. The patio cover will not limit the use of the front yard area. The footprint of the living space, however, meets the required front yard setback and exceeds it by 1 and 2.5 feet. The topography of the lot requires use of relatively short walls in the front yard which are required for pedestrian safety. Although these walls exceed the height prescribed for a front yard (3.5 feet), they are necessary to provide access to the front door and all around the structure. These walls will not be visible from Laura La Plante Drive as they are below grade. The walls will be concealed by landscaping in order to blend into the natural hillside landscaping as viewed from a distant vantage point to the north. The highest wall proposed (6 feet high) does not exceed the maximum allowable retaining wall height that can be built in the buildable area of the lot.

2. Required Finding:

The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The project would be built below the street level, thereby eliminating the impact of the encroachment on the right-of-way and on adjacent parcels. The Variance request would not constitute a special privilege over other properties where the footprint encroachment in the front yard area is commonly found. A very limited number of alternatives are available to property owners to protect life and property from failing slopes. Retaining walls are used to retain soil to provide for reasonable access to the residence.

3. Required Finding:

The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The footprint of the house does not encroach into the front yard area. The patio cover encompasses a surface area of 80 square feet and its length represents 1/3 of the length of the front elevation. The patio cover and front elevation of the house will be completely screened by the descending front yard and is necessary for access to the front entry. The proposed walls are located in the front yard and are required to be of a maximum height of 3.5 feet, whether the walls are above or below the average grade. Since the front yard, by definition, fronts Laura La Plante Drive and the front yard is the steepest area of the parcel, a system of retaining walls is required. The 6-foot height allows for a reduced number of walls. In addition, the proposed new manufactured slope cannot exceed 25 feet in height. By using four, 6-foot high retaining walls, the applicant is able to comply with the requirement and minimize the grading.

4. Required Finding:

The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The encroachment of the patio cover is an aesthetic improvement of the structure and provides protection from the weather to the front door. Since the entire structure is below the street, no impact is expected on adjacent residences. The applicant is proposing a retaining wall system that will reinforce the northern side of the one-way street which is more susceptible to erosion. The retaining walls are intended to preserve the safety of pedestrians both owners and visitors.

5. Required Finding:

The granting of the Variance will be consistent with the character of the surrounding area. If placed closer to the center of the property, the patio structure would become more prominent to surrounding properties. The walls merely provide additional safety. The walls will not be visible to the neighboring structures as they are built below grade on the Laura La Plante Drive street side. From a northern vantage point, it is anticipated that most of the walls will not be seen as they are screened by the residence. Space has been provided to install landscaping which will provide an opportunity to grow vine for additional screening.

RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 05-CUP-002 and Oak Tree Permit

Case No. 05-OTP-015 and Variance Request Case No. 05-VAR-003, subject to Conditions, based on the findings of the attached Draft Resolutions.

ATTACHMENTS

- Draft Resolution for Conditional Use Permit and Oak Tree Permit
- Conditions of Approval for Conditional Use Permit and Oak Tree Permit
- Draft Resolution for Variance Request
- Conditions of Approval for Variance Request
- Exhibit A: Applicant's Burden of Proof
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Square Footage Analysis Map and Table
- Exhibit D: City Oak Tree Consultant Memorandum
- Exhibit E: Geodynamics Letter of Recommendation
- Exhibit F: Environmental Determination
- Exhibit G: Reduced Copies of the Architectural and Grading Plans
- Exhibit H: Photographs of color and material board

CASE PLANNER: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 05-CUP-002 AND OAK
TREE PERMIT CASE NO. 05-OTP-015

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Laura La Plante, LLC with respect to the real property located on the 28221 Laura La Plante Drive, Assessor's Parcel Numbers 2061-016-063 and 072, requesting the approval of a Conditional Use Permit Case No. 05-CUP-002 to allow the development of a 3,400 square-foot, two-story single-family residence and a 580 square-foot, attached three-car garage and the approval of an Oak Tree Permit Case No. 05-OTP-015 to remove 20 oak trees and to encroach in the protected zone of 3 other oak trees. A public hearing was duly held on January 4, 2007, at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid public hearing.

Section 3. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

- A. The proposed use as conditioned, is consistent with the objectives of this article and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family (RS) zone and the Indian Hills Design Overlay District, which provides general design standards for residential developments. All minimum development standards have been met with regard to lot coverage, rear yard building setbacks, height and architectural guidelines.
- B. The proposed use as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed building style of architecture and building materials, which include stucco and concrete tiles, are compatible with the neighborhood and meet the requirements of the Indian Hills Design Overlay District. This in-fill lot is compatible with the average size of the developed residential lots in the Indian Hills area.
- C. The proposed use and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare. The distance provided between the on and off-site structures would be between 28 and 90 feet. The project will be served by the public sewer system and the improvements will be built per the Building Code requirements. Geological,

geotechnical, drainage studies and landscape plans have been provided and approved by the City Consultants.

- D. The proposed use as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance, except for approved variances. The project complies with the rear and side yard setback distances, the maximum height requirement, the lot coverage and on-site parking and access.
- E. The proposed use as conditioned, will maintain the diversity of the community by its terraced design and architectural details. The design is enhanced by wrought iron fencing and hand rail and finished with earth tone colors. The hardscape includes concrete and wood surfaces. The proposed house on the lot will not impact view-sheds of these properties.
- F. The proposed use as conditioned, is consistent with the goals, objectives and policies of the General Plan Community Design Element. The single-family residence will serve an understandable and efficient relationship between its purpose and the properties within the RS zone.
- G. The in-fill development is detached from any valuable open space resource. The lot has an unusually large cluster of 27 oak trees and despite the removal of the on-site resource, the proposed mitigation measures satisfy the Oak Tree Preservation Ordinance and the City's Oak Tree/Landscape Consultant's requirements.

Section 4. The project is a request for one, single-family residence and is exempt from the California Environmental Quality Act (CEQA), per Section 15303 and does not require adoption of an environmental impact report or negative declaration.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 05-CUP-002 and Oak Tree Permit Case No. 05-OTP-015, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 4th day of January, 2007 by the following vote to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL (Case Nos. 05-CUP-002 & 05-OTP-015)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plans; Floor Plans, Roof Plan, and Grading Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. Unless this permit is used within two (2) years from the date of City approval, Case No. 05-CUP-002 and 05-OTP-015 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
8. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
9. The applicant shall install a dual water system if recommended by the Las Virgenes Municipal Water District.
10. No occupancy shall be granted for any building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
11. All utilities existing and proposed shall be placed underground. If over-head utilities 66KV or larger exist on or about the subject property, the applicant shall file an agreement to join any Assessment District subsequently created to underground said lines.

12. The applicant shall comply with all applicable Public Health Statutes, Ordinances, and Regulations related to the disposal of sewage.
13. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
14. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. Plans for the required system shall be approved by the Fire Department prior to the issuance of Building Permits for the residence.
15. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
16. Prior to issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
17. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. At this time, the required school impact fee is \$2.63 per square foot.
18. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.3877 per square foot of new floor area.
19. The applicant shall pay the General Plan Update Recovery. fee of \$0.00141 per \$1 of building valuation (\$1.41/\$1000).
20. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

ENGINEERING CONDITIONS

General:

21. All improvement plans, including, but not limited to, street, grading/drainage, sewer, storm drain, and striping/signage plans, for the entire project must be submitted as one package. This package must also include all supporting studies. All improvement plan sheets shall be 24" x 36" and must have the City's standard signature blocks and be legibly drawn to ensure proper reproduction and adequate record keeping. All lettering on plans shall be a minimum of 80 CL (.08 inch) in

size to ensure proper reproduction and microfilming. All original plans shall be drawn in ink. All plans shall be prepared and signed by a California State Registered Civil Engineer.

22. For construction within public right-of-way, an encroachment permit is required in accordance with Agoura Hills Municipal Code. All required applicable fees, securities, and insurance must be posted prior to issuance of the encroachment permit.
23. A soils report shall be prepared and submitted in accordance with the Agoura Hills Guidelines for geotechnical/geological reports.
24. The applicant shall obtain and pay all costs of acquiring any off-site real property and/or easements required in connection with this project prior to issuance of a grading permit.
25. All Record Drawings ("As-Built" drawings) and supporting documentation shall be submitted to the Engineering Division prior to issuance of the final Certificate of occupancy.
26. All block walls and retaining walls shall be limited to six feet in height.
27. A title report is required to be submitted with the project plans. The plans shall show all proposed and existing easements.
28. Prior to issuance of grading permit, applicant shall submit cost estimates of public improvements to the City Engineer for approval, signed and stamped by State Licensed Civil Engineer.
29. The developer/owner shall pay all applicable fees and deposits prior to issuances of the grading permit, building permit, and certificate of occupancy.

Grading:

30. All grading shall conform to City's Grading Ordinance, Chapter 33 of the Uniform Building Code, as modified. Cut and fill slopes shall be limited to 25 feet in height.
31. A site paving/drainage/grading plan shall be submitted for review and acceptance by the City Engineer. The plans, among other details, shall show proposed utilities, existing and proposed easements, stormwater facilities. The grading plan shall be accompanied by a Soils Report prepared in accordance with the Agoura Hills Guidelines for geotechnical/geological reports.
32. Prior to the issuance of a grading permit the following must be satisfied; the grading plan has been reviewed and accepted by the City Engineer, the applicable plan check, inspection and permit fees have been paid and the grading security has been posted.

33. Prior to approval of foundation by Building & Safety Department, applicant shall submit a grading report as outlined in Section 3304.20 of the City's Municipal Code. Report information shall include, but is not limited to, building pad and grade certifications. All certifications must be signed and stamped by State-licensed professionals.
34. For any grading operations conducted between October 1 and April 15 of each year, the applicant shall submit a wet weather erosion control plan for review and acceptance by the City Engineer.

Drainage:

35. Prior to issuance of a grading permit, the applicant shall submit a drainage study prepared by a California State Registered Civil Engineer for the review and acceptance by the City Engineer. Hydraulic design shall conform to the current Hydraulic Design Manual of the Los Angeles County Department of Public Works (LACDPW).
36. Prior to issuance of a grading permit, the applicant shall prepare a Standard Urban Stormwater Mitigation Plan (SUSMP), as outlined in the Development Planning Model Program for Stormwater Management within the County of Los Angeles, subject to approval by the City Engineer. The plan will demonstrate treatment of the first $\frac{3}{4}$ " of rainfall, as required by the Model Program.
37. A Best Management Practice (BMP) Covenant and Deed Restriction shall be prepared and recorded with the Los Angeles County Recorder's Office by the applicant prior to issuance of a Certificate of Occupancy.
38. Drainage improvements on private property shall be continually maintained, repaired and replaced by the property owner(s).

Traffic and Roadway:

39. The applicant shall provide for identified street improvements along the project frontage of Laura La Plante Drive. Street improvements shall include pavement, curb, gutter, slope and landscaping. The street improvement plan shall be prepared by a State Registered Civil Engineer and shall be reviewed and approved by the City Engineer.
40. Based upon the Site Plan and the City of Agoura Hills Municipal Code, the project's Traffic Impact Fee (TIF) will be approximately \$2,440.

Utilities:

41. Water facilities shall be designed and constructed by the applicant in accordance with the standards of Las Virgenes Municipal Water District (LVMWD).

42. Sewer forced main shall be designed and constructed by the applicant in accordance with the standards of Las Virgenes Municipal Water District (LVMWD).
43. The applicant shall provide evidence that all sewer and water connection fees have been paid prior to issuance of a building permit.
44. The applicant shall submit evidence from the Los Angeles County Fire Department for approval of location and spacing of fire hydrants prior to issuance of a building permit.

GEOTECHNICAL CONDITONS

45. Prior to the issuance of a Grading Permit, the applicant shall comply with all of GeoDynamics, Inc. (the City of Agoura Hills' Geotechnical Consultant) Conditions of Approval provided in a letter dated August 7, 2006.

LANDSCAPE/OAK TREE CONDITIONS

Oak Trees:

46. The applicant is permitted to remove Oak Trees Numbers 1, 8, and 10-27 as required to construct the project as approved. Mitigation for the removal of twenty (20) trees for a total of two hundred and twenty inches (220") of trunk diameter shall be in the form of an in-lieu fee paid into the City Oak Tree Mitigation Fund due to the determination that there is not suitable planting space for onsite mitigation. The fee shall be equivalent to the appraised value of the trees calculated in accordance with the most current edition of the Guide for Landscape Plant Appraisal as published by the International Society of Arboriculture. This fee is estimated at \$72,520.00. The fee shall be collected prior to issuance of a Grading Permit.
47. Paving within the protected zone of the oak trees shall be limited to a pervious surface, to be reviewed and approved by the City Oak Tree Consultant.
48. The applicant is permitted to encroach upon Oak Trees #2 to construct the proposed garage wall footing, a concrete v-ditch and a concrete patio structure.
49. The applicant is permitted to prune Oak Tree #7 for building and fire clearance per the oak tree addendum dated November 17, 2006.
50. The applicant is permitted to encroach into the protected zone of Oak Tree #9 to construct the wood deck around the structure.
51. All other oak trees not approved for removal or encroachment shall be preserved in place with no direct impacts.
52. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or at the approved work limits, in

- accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
53. The applicant shall provide a minimum of forty-eight (48) hours notice to the City Oak Tree Consultant prior to the start of any approved work within the protected zone of an oak tree.
 54. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
 55. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
 56. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
 57. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
 58. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
 59. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
 60. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
 61. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping:

62. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans for review by the City Landscape Consultant and approval by the Director of Planning and Community Development, with the following requirements:

- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
63. The Planting Plan shall indicate the botanical name and size of each plant.
64. Plant symbols shall depict the size of the plants at maturity.
65. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
66. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
67. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
68. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- a. Design and static pressures
 - b. Point of connection

- c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
69. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
 70. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
 71. Native, drought resistant plants and jute mesh shall be provided on the graded slopes.
 72. The landscape plans shall utilize plant material consistent with the requirements for Zone 4 of the LA County Forestry and Fire Protection Fuel Modification Guidelines.
 73. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
 74. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

75. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
76. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After

completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

77. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

78. All proposed retaining walls and garden walls shall not exceed 6 feet in height and shall consist of split-faced block or other decorative materials subject to review and approval by the Director of Planning and Community Development.
79. The paving of the driveway shall consist of stamped and colored concrete or pavers subject to the review and approval of the Director of Planning and Community Development.
80. Vehicle routes and access to the property for construction purposes shall be subject to review and approval by the City Engineer.
81. Construction activity shall occur only within the hours of 7:00 a.m. and 7:00 p.m. Monday through Saturday per Section 4100 of the Municipal Code. No construction shall occur on Sundays or Holidays.
82. No temporary living is permitted on the property unless approved by a Temporary Use Permit. A Temporary Use Permit may be issued upon issuance of Building Permits.
83. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
84. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
85. The applicant shall provide a minimum setback of 25 feet between the structure used to house vehicles and the rear of the property line.

END

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING VARIANCE NO. 05-VAR-003

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Laura La Plante, LLC with respect to the real property located on the 28221 Laura La Plante Drive, Assessor's Parcel Numbers 2061-016-063 and 072, requesting the approval of a Variance from Zoning Ordinance Sections 9605.8 and 9606.2.A. to build a patio cover in the front yard reducing the required setback from 25 to 19 feet; and to construct retaining walls in excess of 3.5 feet in height in the front yard area. The request for the Variance was filed in conjunction with an application for a Conditional Use Permit (Case No. 05-CUP-002) for the development of a 3,400 square-foot, two-story single-family residence, a 580 square-foot, attached garage and an 80 square-foot patio cover on a 16,175 square-foot lot. A public hearing was duly held on January 4, 2007, at 6:30 p.m. in the Council Chambers at City Hall, 30001 Ladyface Court, Agoura Hills, California; and that notice of time, date and place and purpose of the aforesaid was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearings.

Section III. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance regarding the variance requests described in Section I, that:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives the property of privileges enjoyed by other property owners in the vicinity and under identical zoning classification. The RS zone requires a 25-foot front yard setback from the structure to the back of the easement boundary. In a typical situation, parcels have sufficient space to provide setbacks which would accommodate a car length. In this case, the parcel descends steeply from the right-of-way boundary and requires the building footprint to be as close as possible to the base of the slope. This design minimizes import of soil to create a flat pad. The house will be completely below the street elevation preserving the line-of-sight to the eastbound traffic. The applicant proposes to locate the garage in the rear of the parcel where an alley exists to provide vehicular access to the lot. The Variance request is for encroachment of the patio cover into the front yard. Patio covers can encroach into other yard areas but are not allowed in the front yard. The applicant proposes to build the patio cover to add architectural interest to the south elevation and to provide protection to the entry from the element. The patio cover will not limit the use of the front yard area. The footprint of the living space, however, meets the required front yard setback and exceeds it by 1 and 2.5 feet. The topography of the lot requires use of relatively short walls in the front yard which are required for

pedestrian safety. Although these walls exceed the height prescribed for a front yard (3.5 feet), they are necessary to provide access to the front door and all around the structure. These walls will not be visible from Laura La Plante Drive as they are below grade. The walls will be concealed by landscaping in order to blend into the natural hillside landscaping as viewed from a distant vantage point to the north. The highest wall proposed (6 feet high) does not exceed the maximum allowable retaining wall height that can be built in the buildable area of the lot.

- B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone. The project would be built below the street level, thereby eliminating the impact of the encroachment on the right-of-way and on adjacent parcels. The Variance request would not constitute a special privilege over other properties where the footprint encroachment in the front yard area is commonly found. A very limited number of alternatives are available to property owners to protect life and property from failing slopes. Retaining walls are used to retain soil to provide for reasonable access to the residence.
- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The footprint of the house does not encroach into the front yard area. The patio cover encompasses a surface area of 84 square feet and its length represents 1/3 of the length of the front elevation. The patio cover and front elevation of the house will be completely screened by the descending front yard and is necessary for access to the front entry. The proposed walls are located in the front yard and are required to be of a maximum height of 3.5 feet, whether the walls are above or below the average grade. Since the front yard, by definition, fronts Laura La Plante Drive and the front yard is the steepest area of the parcel, a system of retaining walls is required. The 6-foot height allows for a reduced number of walls. In addition, the proposed new manufactured slope cannot exceed 25 feet in height. By using four, 6-foot high retaining walls, the applicant is able to comply with the requirement and minimize the grading.
- D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The encroachment of the patio cover is an aesthetic improvement of the structure and provides protection from the weather to the front door. Since the entire structure is below the street, no impact is expected on adjacent residences. The applicant is proposing a retaining wall system that will reinforce the northern side of the one-way street which is more susceptible to erosion. The retaining walls are intended to preserve the safety of pedestrians both owners and visitors.
- E. The granting of the Variance will be consistent with the character of the surrounding area. If placed closer to the center of the property, the patio structure would become more prominent to surrounding properties. The walls merely

provide additional safety. The walls will not be visible to the neighboring structures as they are built below grade on the Laura La Plante Drive street side. From a northern vantage point, it is anticipated that most of the walls will not be seen as they are screened by the residence. Space has been provided to install landscaping which will provide an opportunity to grow vine for additional screening.

Section IV. Based on the aforementioned findings in Section III the Planning Commission hereby approves Variance Case No. 05-VAR-003.

PASSED, APPROVED, and ADOPTED on this 4th day of January, 2007 by the following vote to wit:

AYES:
NOES:
ABSTAIN:
ABSENT:

Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL (Case No. 05-VAR-003)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits (Site Plan; Elevation Plans; Floor Plans, Roof Plan, and Grading Plan) approved on January 4th, 2007.
4. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. 05-VAR-003 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Variance Case No. 05-VAR-003 is valid only in conjunction with Conditional Use Permit Case No. 05-CUP-002 and Oak Tree Permit Case No. 05-OTP-015 and the approved Conditions of approval therein.

END



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

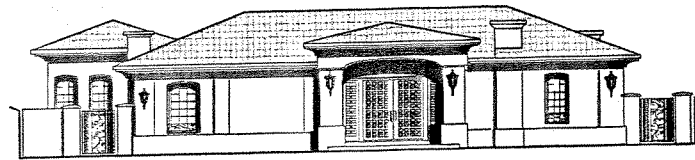
EXHIBIT A

APPLICANT'S BURDEN OF PROOF

The Oak Hill Crest

LAURA LA PLANTE, AGOURA HILLS

05-VAR-003



APN# 2061-016-063/072

PROJECT DESCRIPTION

The projected residence is approximately 3,400 SF and is specifically designed to preserve and accommodate the existing vegetation - particularly the oak trees, so abundant on this lot

The future residence is sitting on approximately 2,500 S.R of land not including the garage level. The entry is from Laura La Plate via a staircase that overcomes

the drop of 15 feet from the street, Next to the stairway there is a parking pad, fully inserted in me property line, The set back of the house is dictated by the back side oak tees. The style of the house is a traditional with modern elements. The arched windows bring a classic feel to the style. The exterior has smooth stucco finish, The deck is concrete and so is the front entry court The front will include stamped concrete and hardscape/landscape features like stone "lawn" patches with rock arrangements and shallow planters for perennial color spots.

Due to the fact that the oak trees do not like too much water nor can handle anything built close to the root system, no hardscape has been planned for this part of the property. The entire entertainment area for the family will be conducted on the deck, especially designed for that purpose. The house is surrounded by a five feet walk way and has access from all four comers by foot.

The house is on two main levels. The upper level is the bedroom level containing a master bedroom suite with walk in closet, fireplace, own foyer (for privacy) and large master bath with whirlpool and magnificent view from the balcony, Across the master bedroom suite are two bedrooms with its own mil baths. One features a balcony - the other- a fireplace, All ceilings of this level are 10 f. high.

A formal staircase takes the resident to the lower level, which consists of a large living room with high ceilings, a formal dining area, large kitchen with breakfast nook, pantry and laundry, wine cellar. The family room has a fireplace and is adjacent to me living room separated by French doors. From the family room there is a third bedroom with its own bathroom, which may be used as a study or a media room. The ceilings of the kitchen, the family room are 12f, the study

-10 f high - me living room ceiling is vaulted and vanes from 14 f to 19 f. A large French door opens the view to a terrace, that features water fall grass pads and its own landscaping with plants. Hidden from the immediate view is a n outdoor Jacuzzi with a view of the mountains. The lower level of the deck features aquatic elements - water mirror with waterfall and built in spa. Adjacent to the lower deck is a pool bar .

The garage level consists of three-car garage, a driveway and a roof terrace.

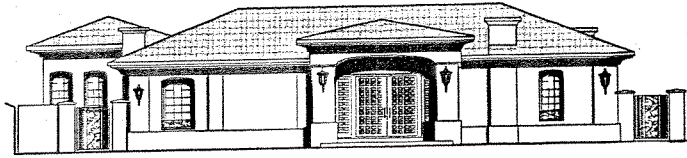
The residence is designed specifically to fit the local landscape, to preserve and accommodate as much as possible all existing vegetation, while providing the potential residents of Agoura Hills a comfortable and modern lifestyle.

Tsvetana Yvanova,

Project Designer

The Oak Hill Crest

05-VAR-003



APN# 2061-016-063/072

Description for Variance Applications

SET BACK VARIANCE

The residence is to be positioned on a slope, which is over 35%. In order to accommodate a comfortable modern residence, suitable for the next 80-100 years, it must be nine feet closer to the city property. On the S-E side of the property. The residence is designed to follow the natural slope and avoid the "cliff hanger effect".

OPEN SPACE COVERAGE VARIANCE

The residence is to be positioned on a slope, which is over 35%. The square footage of the residence is selected for the same reasons as the set back variance – to achieve a modern domicile for decades to come. The increased amount of the deck space is dictated by the steep slope, which does not allow the residents to have an outdoor life, so important for California. The decks will be constructed in such a manner as to protect and not intervene with the root system of any existing trees.

OAK TREE REMOVAL VARIANCE

As we have stated, the residence is designed to preserve as much as possible all existing vegetation. Upon the review and the recommendation of the arborist, some of the shrub oaks are old and in very bad condition, due to the lack of care. We will need to remove (move) two sets of shrub oak, to make space for the deck. We will make sure that we plant new ones wherever possible outside the property. We will make sure that not only the oak trees will be preserved – but some of the non protected species, currently residing on the South –West side of the property.

Sign: Tsvetana Yvanova
Designer/Owner

A handwritten signature in black ink, appearing to read 'Tsvetana Yvanova', written over a horizontal line.

05-VAR-003

VARIANCES
BURDEN OF PROOF FORM

In addition to the information required in the application, the applicant shall substantiate, in writing, the following required findings of fact to the satisfaction of the Director. Please provide detailed answers and use additional sheets of paper, as necessary.

1. That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification;
2. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated;
3. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance;
4. That the granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity; and
5. That the granting of the Variance will be consistent with the character of the surrounding area.

A1) THE SQUARE FOOTAGE OF THE PROPOSED SINGLE FAMILY RESIDENCE IS SIMILAR TO NEIGHBOURING PROPERTIES THEREFORE THE ZONING ORDINANCE WOULD BE DISCRIMINATORY TO PROPERTY OWNER. ALSO DEKS ARE NEEDED TO CREATE EXTERNAL.

A2) FOR THE REASON AS ABOVE THIS COULD NEVER BE CONSIDERED A SPECIAL PRIVILEGE. } LIVING SPACE

A3) STRICT INTERPRETATION OF THE ZONING ORDINANCE WOULD MAKE THIS PARCEL OF LAND UNBUILDABLE

A4) GRANTING THIS VARIANCE WILL NOT HAVE ANY IMPACT ON PUBLIC HEALTH, SAFETY, WELFARE AND IMPROVE THE VALUE OF ADJACENT PROPERTIES

A5) THE GRANTING OF THE SQUARE FOOTAGE WILL MAKE THE PROPERTY CONSISTANT WITH THE SURROUNDING AREA

05-VAR-003

VARIANCES
BURDEN OF PROOF FORM

In addition to the information required in the application, the applicant shall substantiate, in writing, the following required findings of fact to the satisfaction of the Director. Please provide detailed answers and use additional sheets of paper, as necessary.

1. That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification;
2. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated;
3. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance;
4. That the granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity; and
5. That the granting of the Variance will be consistent with the character of the surrounding area.

B-1 SET BACK - IN ORDER TO HAVE THE IMPROVEMENTS PARALLEL TO THE SIDE LOT LINES AND ENJOY A MORE CONGENIAL FITTING OF THE HOUSE ON THE PROPERTY IT IS DESIRABLE TO HAVE A 14 FT SET BACK ON THE SE CORNER WHICH IS ALMOST INVISIBLE DUE TO THE STEEP SLOPE AT THAT POINT.

B-2) THERE ARE MANY PROPERTIES IN THE VICINITY THAT HAVE LESS THAN 25' SETBACK AND THEREFORE THIS WOULD NOT BE A SPECIAL PRIVILEGE

B-3) STRICT INTERPRETATION OF THE ZONING ORDINANCE WOULD MAKE IT IMPOSSIBLE TO BUILD BETWEEN THE RETAINING WALLS TO THE SOUTH AND OAK TREES TO THE NORTH.

B4) THE SETBACK WILL NOT AFFECT THE PUBLIC HEALTH SAFETY OR WELFARE OR HAVE A NEGATIVE IMPACT ON AESTHETIC VALUES IN THE VICINITY.

B5) ALMOST ALL PROPERTIES ON LAURA LA PLANTE AND SMITH RD HAVE LESS THAN 25 FT SETBACK AND THEREFORE THIS PROPERTY WILL BE CONSISTENT WITH THE CHARACTER OF SURROUNDING AREA.

05-VAR-003

VARIANCES
BURDEN OF PROOF FORM

In addition to the information required in the application, the applicant shall substantiate, in writing, the following required findings of fact to the satisfaction of the Director. Please provide detailed answers and use additional sheets of paper, as necessary.

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2. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated;
3. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance;
4. That the granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity; and
5. That the granting of the Variance will be consistent with the character of the surrounding area.

C-1) THE TREES SHOWN ON THE OAK TREE REPORT WOULD INDICATE THAT STRICT ADHERANCE WOULD MAKE THE PROPERTY UNBUILDABLE THE PLANS HAVE TAKEN INTO CONSIDERATION THE LOCATION OF TREES AND THEIR CONDITION. ONLY A FEW VERY OLD SHRUB OAKS NEED TO BE REMOVED AND APPLICANT WILL REPLACE SAME IN A BETTER LOCATION ON THE PROPERTY.

C-2) APPLICANT PRESUMES THAT BECAUSE THE AREA IS FULL OF SHRUB OAKS, OTHER PROPERTY OWNERS HAD TO REMOVE SOME SHRUB OAKS IN ORDER TO BUILD A SINGLE FAMILY RESIDENCE.

C-3) ANSWER OR STATEMENT IN C-1 APPLIES HERE TOO!

C-4) BECAUSE THE LANDSCAPING WILL BE IMPROVED AND NEW OAKS PLANTED THE AESTHETIC VALUE WILL ACTUALLY BE ENHANCED.

C-5) THE STATEMENT IN C-2 APPLIES HERE TOO!

SUPPLEMENTAL QUESTIONNAIRE FOR
HILLSIDE AREAS

05-CUP-002
05-VAR-003
05-OTP-015
05-LLA-003

Provide a detailed response to each of the following questions:

1. That the proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood, mud flow, or erosion hazards, in that: *THE*

STREET IS BEING IMPROVED IN FRONT OF PROPERTY
ENHANCING THE SAFETY OF COMMUNITY RESIDENTS.
SLOPE IS DETERMINED TO BE IN VERY STABLE GEO-
LOGICAL CONDITION AND MOST EXISTING TREES WILL
REMAIN.

2. That the proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area, in that:

IT IS BUILDING A HOUSE THAT CONTOURS WITH
THE SLOPE AND AVOIDS THE NEED TO REMOVE
MAJOR TREES. IT IS BUILT IN THE OPEN AREA

3. That the proposed project can be provided with essential public services and is consistent with the objectives and policies of the General Plan; in that:

ALL PUBLIC SERVICES, ELECTRIC, WATER, SEWER
AND GAS ARE AVAILABLE.

3. That the proposed development will complement the community character and benefit current and future community residents; in that:

IT PROVIDES AN UPGRADE FROM EXISTING HOMES
THEREBY CONTRIBUTING TO PROPERTY VALUES IN
THE COMMUNITY.



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT B

VICINITY/ZONING MAP

**Conditional Use Permit Case No. 05-CUP-002
Variance Request Case No. 05-VAR-003 and
Oak Tree Permit Case No. 05-OTP-015
(A.P.Ns. 2061-016-063 & 72)**

Vicinity/Zoning Map





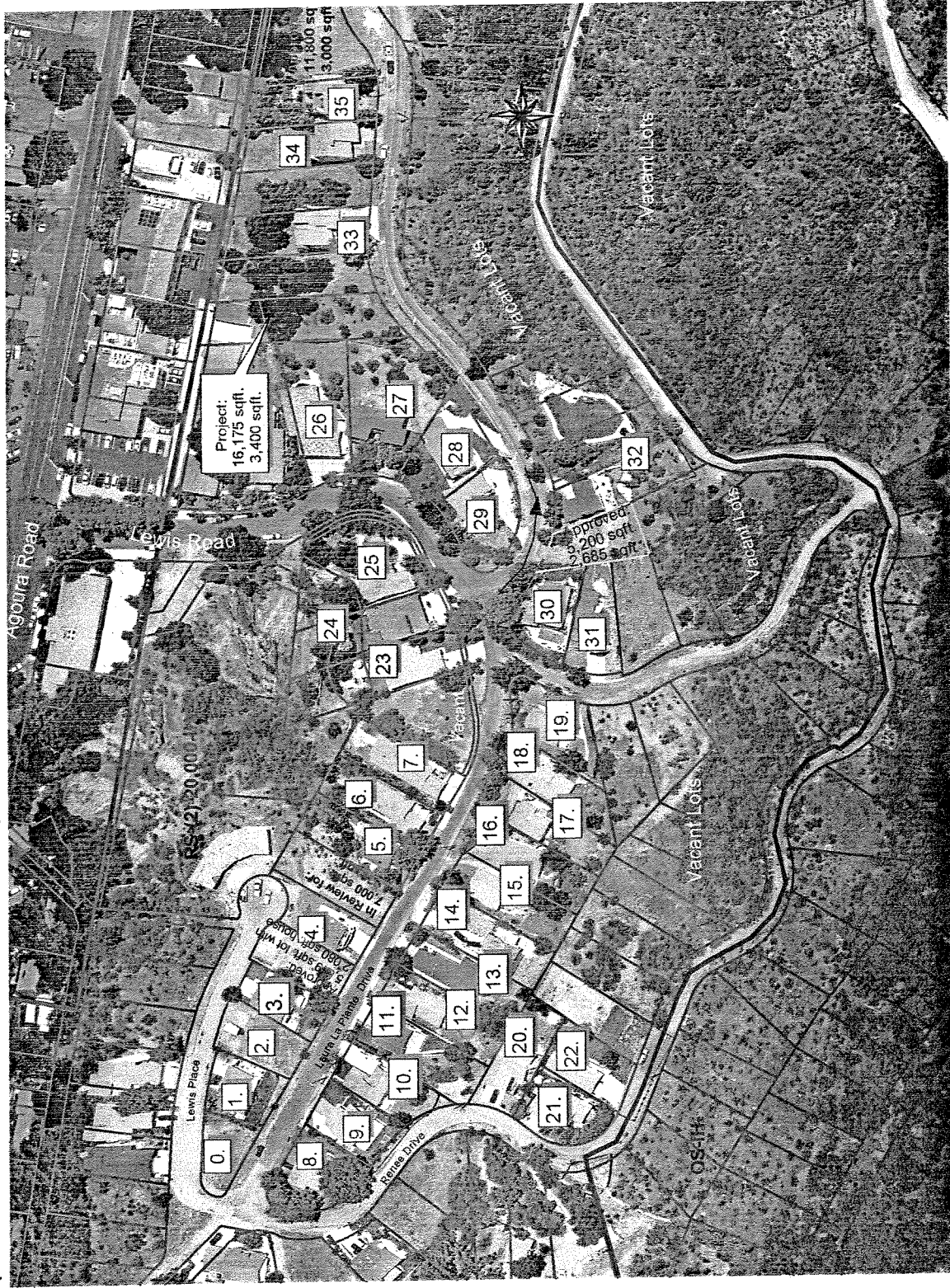
**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
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AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT C

SQUARE FOOTAGE ANALYSIS MAP AND TABLE

**Conditional Use Permit Case No. 05-CUP-002
Variance Request Case No. 05-VAR-003 and 05-OTP-015
(A.P.Ns. 2061-016-063 & 72)**



200 0 200 400 Feet

Conditional Use Permit Case No. 05-CUP-002
 Oak Tree Permit Case No. 05-OTP-015
 Variance Case No. 05-VAR-003
 (206-022-063 & 072)
 Square Footage Analysis

LEGEND						
ID	APN	Street Name	Land Sqft.	Living Sqft.	Year Built	
Project Site: 206-016-063 & 072						
		Laura La Plante	16,175	3,400	n/a	
0	Built	Lewis	3,720	1,597	2004	
1	Built	Lewis	5,449	2,252	1989	
2	Built	Lewis	5,423	2,019	2002	
3	Built	Lewis	5,260	1,796	1990	
4	Built	Laura La Plante	5,793	1,804	1993	
5	Built	Laura La Plante	7,000	1,542	1978	
6	Built	Laura La Plante	7,000	1,216	1978	
7	Built	Laura La Plante	7,000	1,880	1978	
8	Built	Laura La Plante	7,820	1,740	1978	
9	Built	Laura La Plante	6,590	1,839	1978	
10	Built	Laura La Plante	6,880	1,777	1985	
11	Built	Laura La Plante	7,970	1,374	1979	
12	Built	Laura La Plante	7,500	1,216	1978	
13	Built	Laura La Plante	7,500	1,536	1980	
14	Built	Laura La Plante	7,500	1,786	1981	
15	Built	Laura La Plante	7,500	1,374	1978	
16	Built	Laura La Plante	7,500	1,418	1978	
17	Built	Laura La Plante	6,743	1,977	1979	
18	Built	Laura La Plante	6,900	1,418	1978	

Table Summary:
 With project/built: House Average: 2,032
 With project/built/approved: House Average: 2,096
 With project/built: Lot Average: 8,089
 With project/built/approved: Lot Average: 8,121

LEGEND						
ID	APN	Street Name	Land Sqft.	Living Sqft.	Year Built	
19	Built	Laura La Plante	7,684	1,374	1979	
20	Built	Rence	6,656	2,314	1982	
21	Built	Rence	6,216	2,274	1982	
22	Built	Rence	6,046	2,041	1982	
23	Built	Laura La Plante	7,500	2,475	1989	
24	Built	Laura La Plante	9,470	2,970	1979	
25	Built	Laura La Plante	14,900	1,789	1987	
26	Built	Lewis	10,341	2,498	1988	
27	Built	Lewis	15,303	1,835	1986	
28	Built	Lewis	8,110	2,447	1979	
29	Built	Lewis	7,802	2,236	1979	
30	Built	Laura La Plante	6,370	3,008	1980	
31	Built	Canyon Way	6,226	2,735	1988	
32	Built	Laura La Plante	22,314	3,369	1980/2006	
33	Built	Laura La Plante	8,298	2,372	1979	
34	Built	Laura La Plante	8,058	2,365	1979	
35	Built	Laura La Plante	7,700	2,137	1979	
On Map	Approved	Lewis	5,618	2,080	2005	
On Map	Approved	Laura La Plante	11,800	3,000	2005	
On Map	Approved	Laura La Plante	5,202	2,685	2006	
On Map	Approved	Canyon Way	6,824	2,968	In Plan Check	

FAR: 0.25
 FAR: 0.26



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT D

**CITY LANDSCAPE/OAK TREE CONSULTANT
MEMORANDUM**

Memo

To: Valerie Darbouze, City of Agoura Hills
From: Kay Greeley, Landscape and Oak Tree Consultant
Date: 12/21/06
Re: 05-CUP-002/05-VAR-003/05-OTP-015 – Yvanova, Tvetsana

As requested, I developed recommended conditions of approval for the subject entitlement request. These conditions are based on the plans and documents submitted by the applicant as listed below:

- Grading Plan, as prepared by CC&R Incorporated submitted on October 11, 2006
- Oak Tree Addendum No. 3 prepared by Tree Life Concern, Inc. dated November 17, 2006.

Oak Trees

The Oak Tree Report addresses a total of twenty-seven (27) oak trees. Four (4) of the trees are Coast Live Oak (*Quercus agrifolia*) and twenty-three (23) are Scrub Oak (*Quercus berberidifolia*). The current proposal would have significant negative impacts on twenty (20) oak trees. These trees would be considered removals under the Agoura Hills Oak Tree Preservation Guidelines Section 9657.5. Three trees would have less than twenty-five percent (25%) encroachment within the protected zone and four trees would have no encroachment. The proposed project would require the removal of seventy-four percent (74%) of the oak trees and sixty-nine percent (69%) of the canopy cover on the site based on most current grading plans. Please refer to the attached oak tree impact analysis for further information.

As you know, the preferred mitigation measure for oak tree removals is replanting of nursery-grown oak trees on the same site. In this case, there is not sufficient space to plant any oak trees. In situations such as this, we have established alternative mitigation of an in-lieu fee payment to be placed into the City oak tree mitigation fund.

Therefore, I recommend the following conditions of approval for the project:

Oak Trees

- a. The applicant is permitted to remove Oak Trees Numbers 1, 8, and 10-27 as required to construct the project as approved. Mitigation for the removal of twenty (20) trees for a total of two hundred and twenty inches (220") of trunk diameter shall be in the form of an in-lieu fee paid into the City Oak Tree Mitigation Fund

due to the determination that there is not suitable planting space for onsite mitigation. The fee shall be equivalent to the appraised value of the trees calculated in accordance with the most current edition of the Guide for Landscape Plant Appraisal as published by the International Society of Arboriculture. This fee is estimated at \$72,520.00

2. Paving within the protected zone of the oak trees shall be limited to a pervious surface, to be reviewed and approved by the City Oak Tree Consultant.
3. The applicant is permitted to encroach upon Oak Trees #2 to construct the proposed garage wall footing, a concrete v-ditch and a concrete patio structure.
4. The applicant is permitted to prune Oak Tree #7 for building and fire clearance per the oak tree addendum dated November 17, 2006.
5. The applicant is permitted to encroach on the protected zone of Oak Tree #9 to construct the wood deck around the structure.
6. All other oak trees shall be preserved in place with no direct impacts.
7. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
8. The applicant shall provide a minimum of forty-eight (48) hours notice to the City Oak Tree Consultant prior to the start of any approved work within the protected zone of an oak tree.
9. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
10. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
11. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
12. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
13. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.

14. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
15. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
16. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

Since the project includes extensive grading on slopes, landscaping will be required for slope stabilization. Recommended conditions of approval are as follows:

17. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas

- Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
18. The Planting Plan shall indicate the botanical name and size of each plant.
19. Plant symbols shall depict the size of the plants at maturity.
20. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
21. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
22. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
23. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
24. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
25. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
- Site Plan
 - Elevations
 - Grading Plan

- Conditions Of Approval
26. Native, drought resistant plants and jute mesh shall be provided on the graded slopes.
 27. The landscape plans shall utilize plant material consistent with the requirements for Zone 4 of the LA County Forestry and Fire Protection Fuel Modification Guidelines.
 28. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
 29. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

Please advise if you have any questions at this time.

YVANOVA OAK TREE IMPACT ANALYSIS

Tree #	Trunk Diameter (inches)						Protected Zone	Impact			Total Impact			Health	Comments	
	Trunk 1	Trunk 2	Trunk 3	Trunk 4	Trunk 5	Trunk 6		Total	None	Remove	Encroach	Inches	Canopy			%
1	11	10	9	9			39	1,685	X			39	1,685	100%	A	38% impacted
2	22						22	2,030		X		0	434	21%	A	
3	5						5	723			X	0	0	0%	E	
4	6						6	798	X			0	0	0%	B	
5	7.5	4.5					12	873	X			0	0	0%	B	
6	4	4					8	741	X			0	0	0%	D	
7	6	5	5	5			21	785			X	0	188	24%	B	
8	5	5					10	771		X		10	771	100%	B	34% impacted
9	6						6	741			X	0	113	15%	C	
10	4	3					7	707		X		7	707	100%	B	42% impacted
11	5						5	730		X		5	730	100%	B	49% impacted
12	3.5	3.5					7	773		X		7	773	100%	C	46% impacted
13	6.5	5					11.5	816		X		12	816	100%	B	Within footprint
14	6	6	6	6	6	5.5	35.5	1,128		X		36	331	29%	B	29% impacted
15	5.5	5					10.5	773		X		11	773	100%	B	Within footprint
16	7						7	847		X		7	847	100%	B	Within footprint
17	6	5	5	5	4		25	749		X		25	749	100%	B	Within footprint
18	6	4					10	782		X		10	782	100%	B	Within footprint
19	7	6	6	6	5		30	881		X		30	881	100%	B	Within footprint
20	5	4	3				12	758		X		12	758	100%	B	Within footprint
21	5						5	707		X		5	707	100%	C	Within footprint
22	6						6	770		X		6	770	100%	B	Within footprint
23	4						4	707		X		4	707	100%	D	Within footprint
24	4						4	715		X		4	715	100%	D	Within footprint
25	14						14	1,134		X		14	1,134	100%	A	35% impacted
26	13						13	885		X		13	885	100%	A	49% impacted
27	3.5						3.5	707		X		4	707	100%	A	Within footprint
Totals	173						300	22,031	4	20	3	220	15,278	69%		



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT E

**CITY GEOLOGICAL/GEOTECHNICAL CONSULTANT
MEMORANDUM**

Date: August 7, 2006
GDI #: 05.00104.0130

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Valerie Darbouze
Project Location: 28211 Laura La Plante Drive, Agoura Hills, California.
Planning Case No.: 05-CUP-002/05-VAR-003/05-LLA-003/05-OTP-015 (Tsvetana Yvanova)
Building & Safety No.: None
Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2006b), "Additional Response to Geotechnical Review III, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated April 18, 2006.
Grover Hollingsworth and Associates, Inc. (2006a), "Additional Response to Geotechnical Review II, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated January 23, 2006.
Grover Hollingsworth and Associates, Inc. (2005b), "Additional Response to Geotechnical Review, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated December 28, 2005.
Grover Hollingsworth and Associates, Inc. (2005a), "Response to Geotechnical Review Sheet, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated October 26, 2005.
Grover Hollingsworth and Associates, Inc. (2004c), "Geologic and Soils Engineering Update and Plan Review, Proposed Residence, Garage Guesthouse, Pool and Retaining Walls, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated November 24, 2004.
Grover Hollingsworth and Associates, Inc. (2004b), "Additional Recommendations, Proposed Pool, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated October 7, 2004.
Grover Hollingsworth and Associates, Inc. (2004a), "Geologic and Soils Engineering Exploration, Proposed Residence and Retaining Walls, APN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated June 8, 2004.
Plans: M & G Civil Engineering & Land Surveying (2004), "Preliminary Grading and Drainage Plan," dated October 8, 2004, 10-scale.
Architectural Design Concepts (2004), "Architectural Plans, The Oak Hill Crest Residence, 28221 Laura La Plante Drive," dated September 25, 2004.
Previous Reviews: April 29, 2005, May 20, 2005, December 29, 2005 and February 17, 2006.

Findings

Geotechnical Report

- Acceptable as presented with the following conditions.
 Response Required

Remarks

Grover Hollingsworth and Associates, Inc. (GHA; consultant) provided a response to the review letter dated February 17, 2006 regarding the proposed single-family residence, detached garage and guesthouse, swimming pool, and retaining walls. The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented, provided the conditions outlined below are complied with prior to issuing a building permit. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Condition of Approval

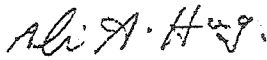
1. The structural engineer for the project should provide a letter indicating that retaining walls are designed for all applicable lateral surcharge pressures per the recommendations of the geotechnical consultant in the referenced reports.

Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following notes must appear on the grading and foundation plans:
 - *Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils. If the expansion index is greater than 20, foundation and slab plans should be revised accordingly.*
 - *Retaining walls should be backfilled with granular non-expansive soils.*
4. The following note must appear on the grading and foundation plans that states: "Excavations shall be made in compliance with CAL/OSHA Regulations."
5. The following note must appear on the foundation plans that states: "All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."
6. Foundation setback distances from ascending and descending slopes shall be in accordance with Section 1806.5 of the City of Agoura Hills Building Code, or the requirements of the Project Geotechnical Consultant's recommendations, whichever are more stringent. The required minimum foundation setback distances shall be clearly shown on the foundation plans, as applicable.
7. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
8. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
9. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
10. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

Please submit two (2) copies of the written response to the review comments above to GeoDynamics, Inc. and one (1) copy to the City case planner. If you have any questions regarding this review letter, please contact GeoDynamics, Inc. at (805) 496-1222.

Respectfully Submitted,
GEODYNAMICS, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Gordon D. Stolla
Engineering Geologic Reviewer
CEG 2346, Exp. 03/31/08)



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT F

ENVIRONMENTAL DETERMINATION

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Yvanova Single Family Residence (Case #06-CUP-002; 05-OTP-015; 05-VAR-003)

Project Location-Specific: West of 28207 Laura La Plante Drive (APN 2061-016-063 and -072)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project consists of the construction of a 3,400 square-foot two-story residence and a 580 square-foot free standing garage on a 16,175 square-foot lot. The request is for a Conditional Use Permit (due to steep slopes – nearly 43%), a Variance (to build a patio in the front yard and for retaining walls in excess of 3.5 feet), and an Oak Tree Permit for the removal of oak trees and encroachment into the protected zone of additional oak trees onsite.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Laura La Plante LLC

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
 Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
 Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
 Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
 Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
 No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of one single family residence and garage. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area. There would be some removal of oak trees and encroachment into the protected zone of oak trees, but this is not considered a significant impact.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 12/28/06

Title: Senior Planner



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT G

**REDUCED COPIES
OF
THE ARCHITECTURAL AND GRADING PLANS**

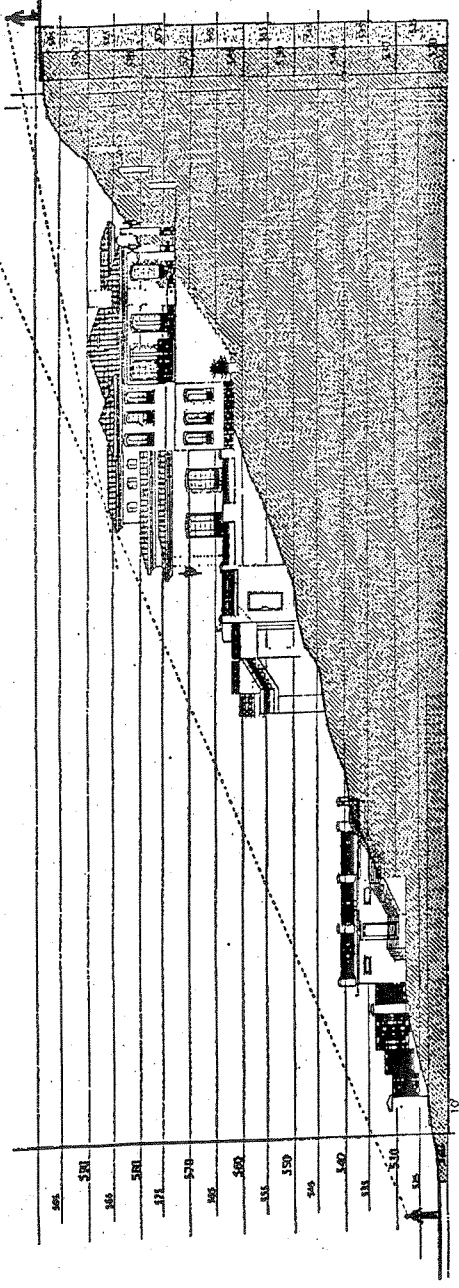
HILL SLOPE SECTIONS



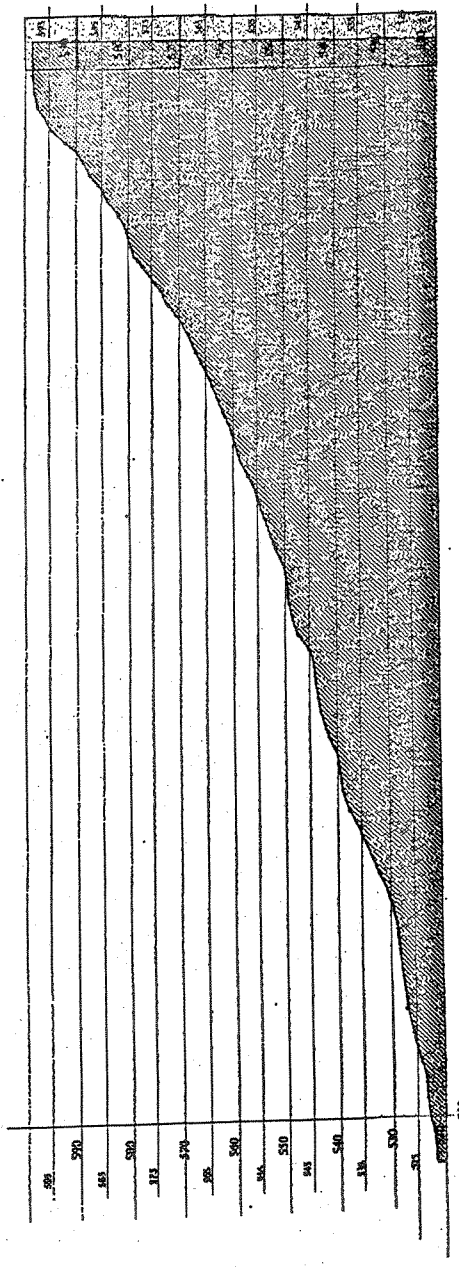
ARCHITECTURAL DESIGN CONCEPTS
 4220 SAN FELIX DRIVE
 WOODLAND HILLS, CA 91364
 TEL. (818) 709-1399

THE OAK HILL CREST
 28 221 LAURE LA PLANTE DRIVE
 AGOURA HILLS, CA 91301

Check by: _____
 DATE: 5/2/94



LINE OF SIGHT



17

14. 1/2" = 1'-0"
 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"
 1/32" = 1'-0"
 1/64" = 1'-0"

THE OAK HILL CREST
 282 221 Laurel La Plante Drive
 Agoura Hills, CA 91301

ARCHITECTURAL DESIGN CONCERNS
 5200 San Fernando Drive
 Woodland Hills, CA 91364
 TEL. 818.399.3399

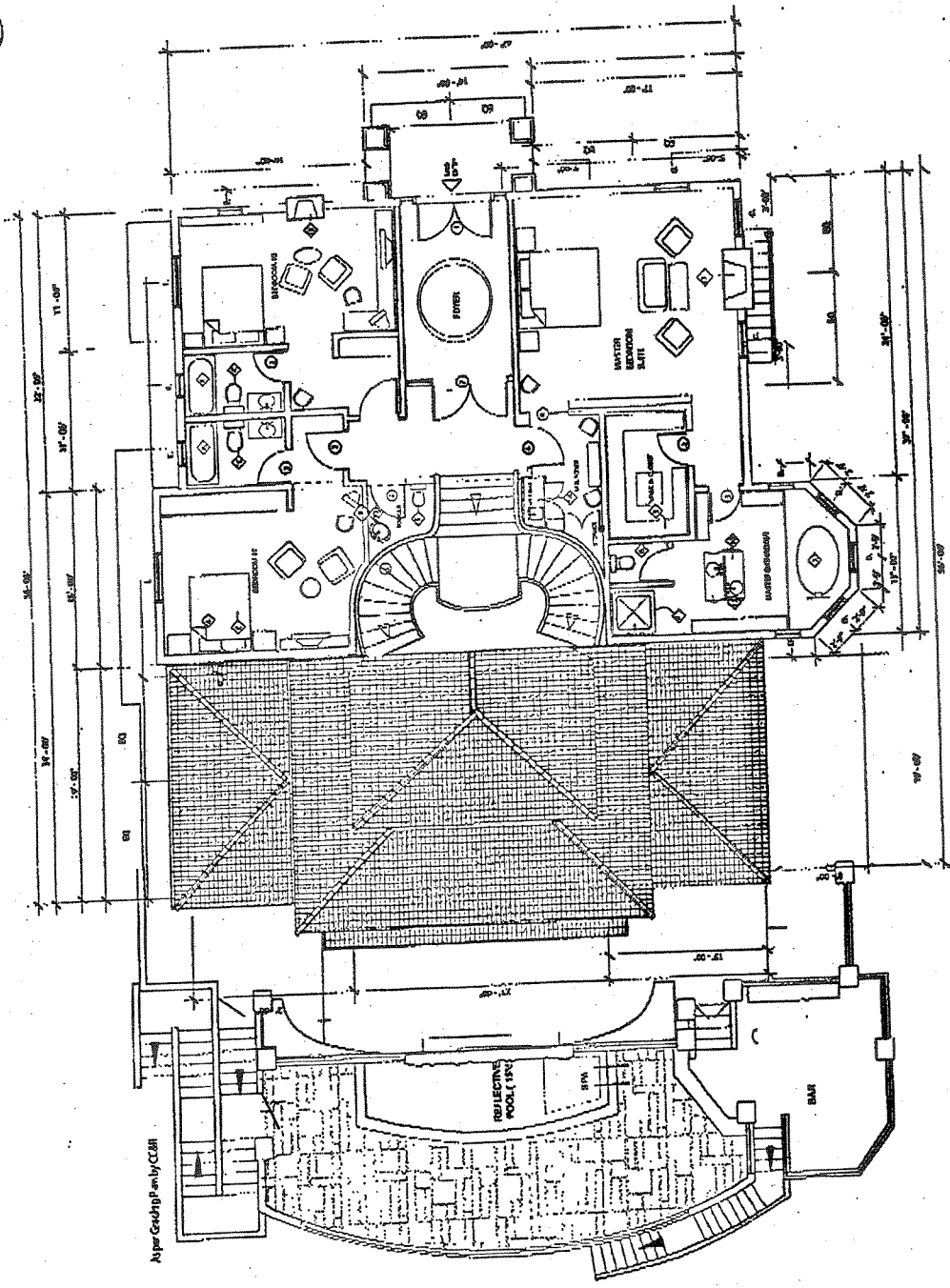


UPPER LEVEL PLAN

A-4

4-4-03 04 19

- 1. 1st FLOOR
- 2. 2nd FLOOR
- 3. 3rd FLOOR
- 4. 4th FLOOR
- 5. 5th FLOOR
- 6. 6th FLOOR
- 7. 7th FLOOR
- 8. 8th FLOOR
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- 96. 96th FLOOR
- 97. 97th FLOOR
- 98. 98th FLOOR
- 99. 99th FLOOR
- 100. 100th FLOOR



Upper Level Plan by CDM

LOWER LEVEL PLAN



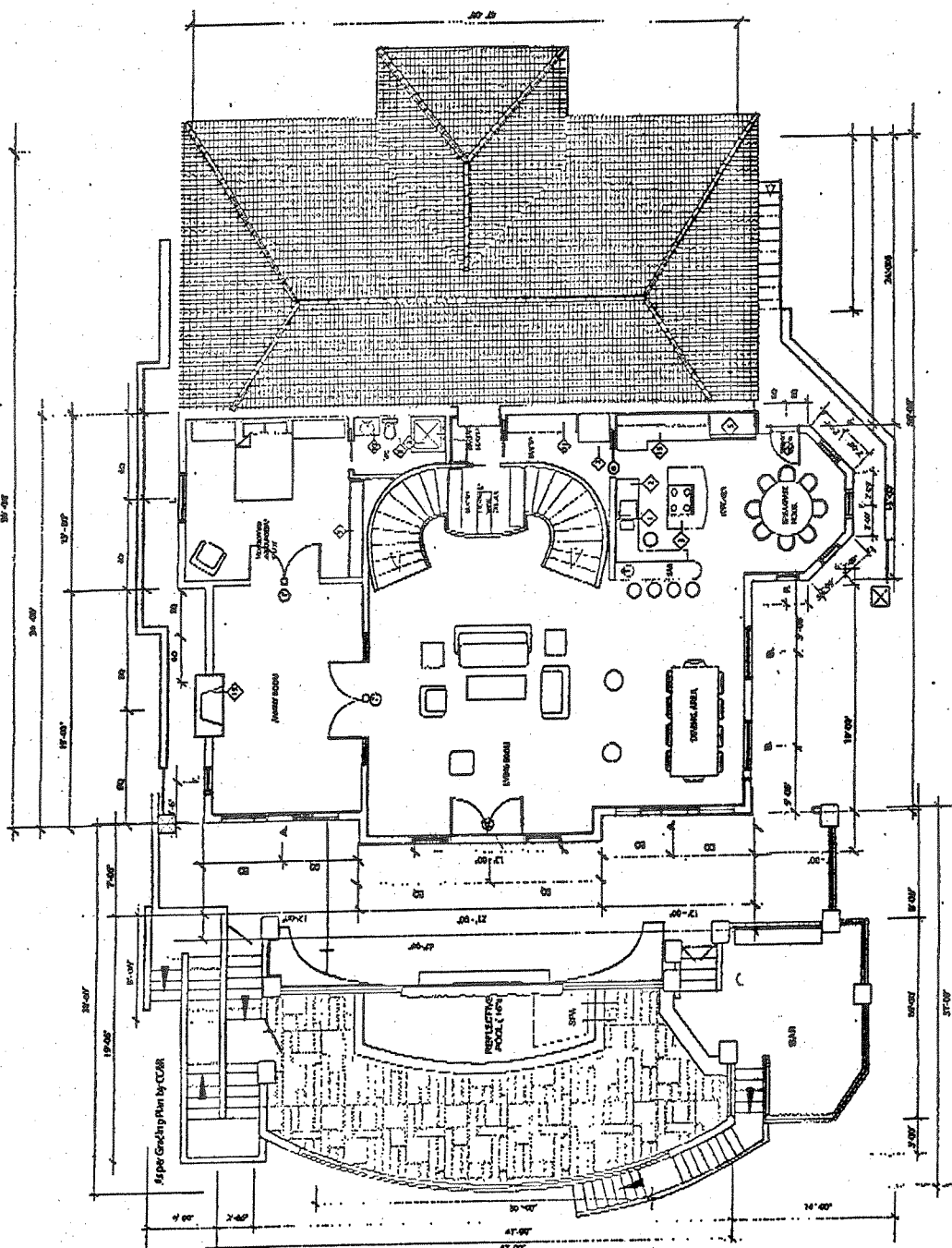
ARCHITECTURAL DESIGN CONCERNS
 5220 San Francisco Drive
 Woodland Hills, CA 91364
 Tel. 818.209.1199

THE OAK HILL CREST
 28 221 Laura La Plante Drive
 Agoura Hills, CA 91301

Check list:

10/25/2000

- 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE
- 2. ALL DIMENSIONS TO CENTERLINE UNLESS NOTED OTHERWISE
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002/25/00

Quantity:

THE OAK HILL REST
282 221 Laura La Plante Drive
Agoura Hills, CA 91301

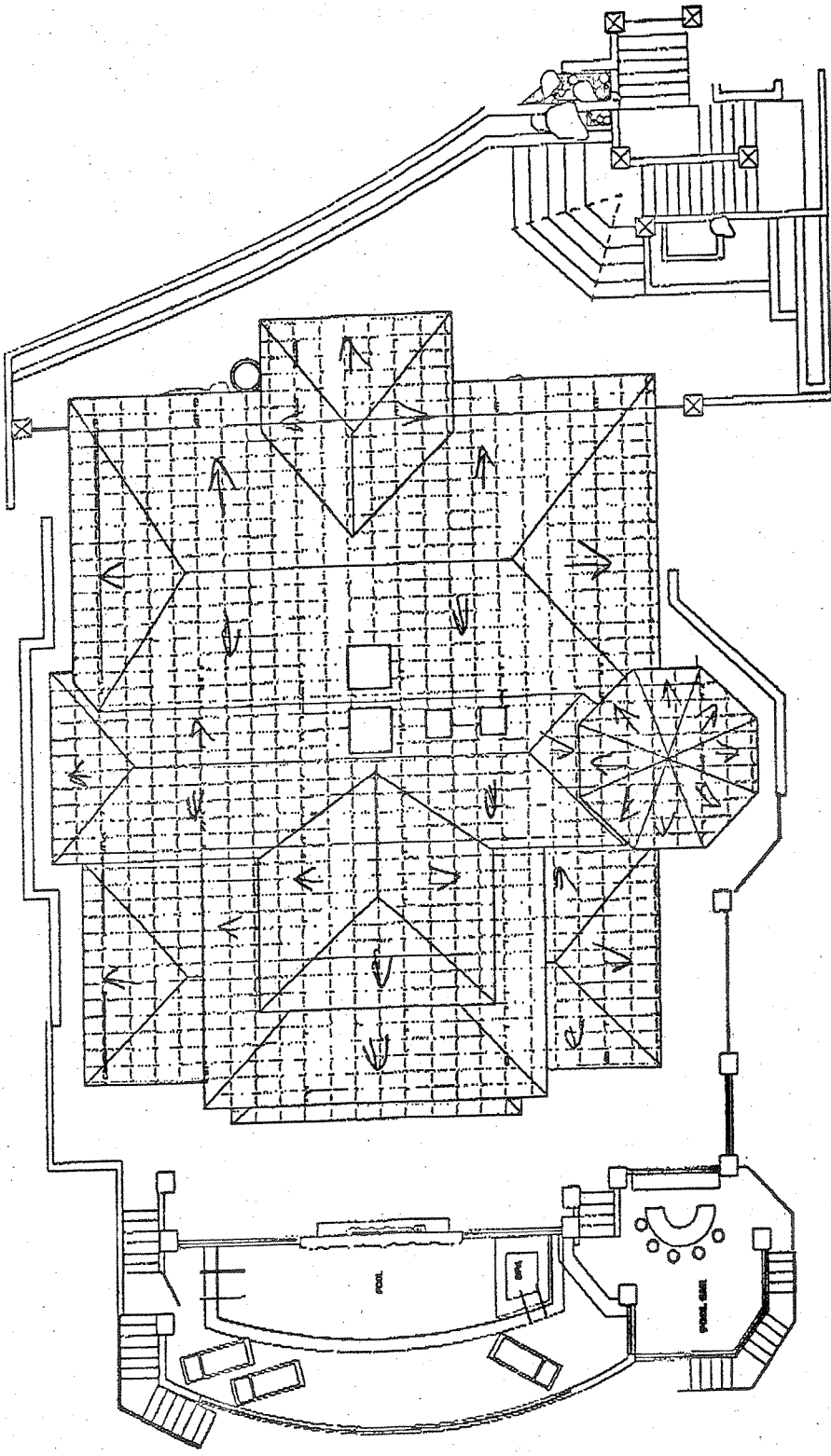
ARCHITECTURAL DESIGN CONCEPTS
5220 Santa Monica Drive
Woodland Hills, CA 91364
Tel. 818.709.3399



ROOF PLAN

A-6

44 of 113



ELEVATIONS

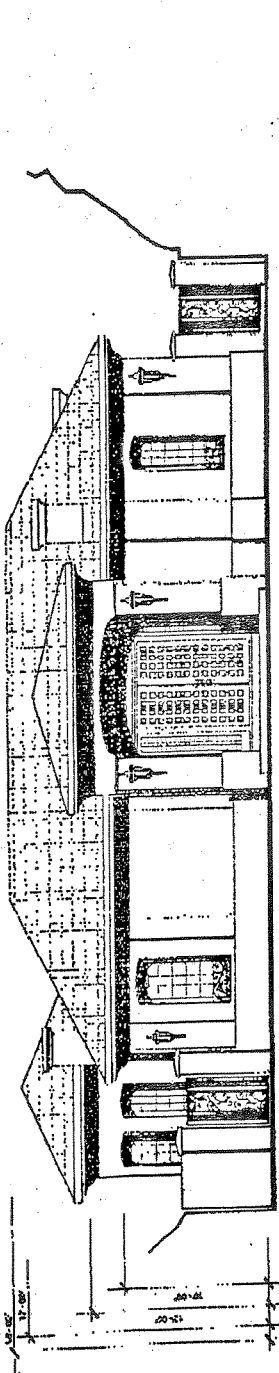


Architectural Design Concepts
5220 San Feliciano Drive
Woodland Hills, CA 91364
Tel. 1.818.999.3399

THE OAK HILL CREST
28 221 Laura La Plante Drive
Agoura Hills, CA 91301

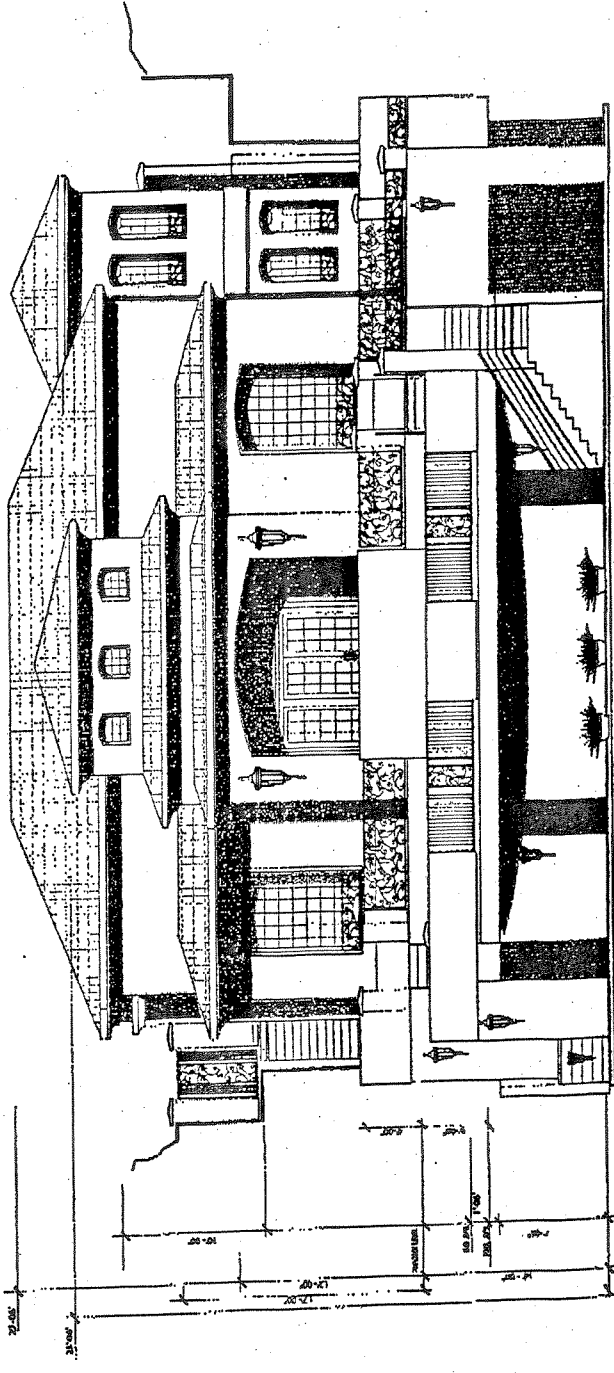
Checked by:

09/21/2004



SOUTH ELEVATION

Scale 1/8"=1'



NORTH ELEVATION

Scale 1/8"=1'

11/01/2006

1/4" = 1'-0"

THE OAK HILL CREST
282 221 LARK LA PLAZA DRIVE
AGUAY FORT, CA 91301

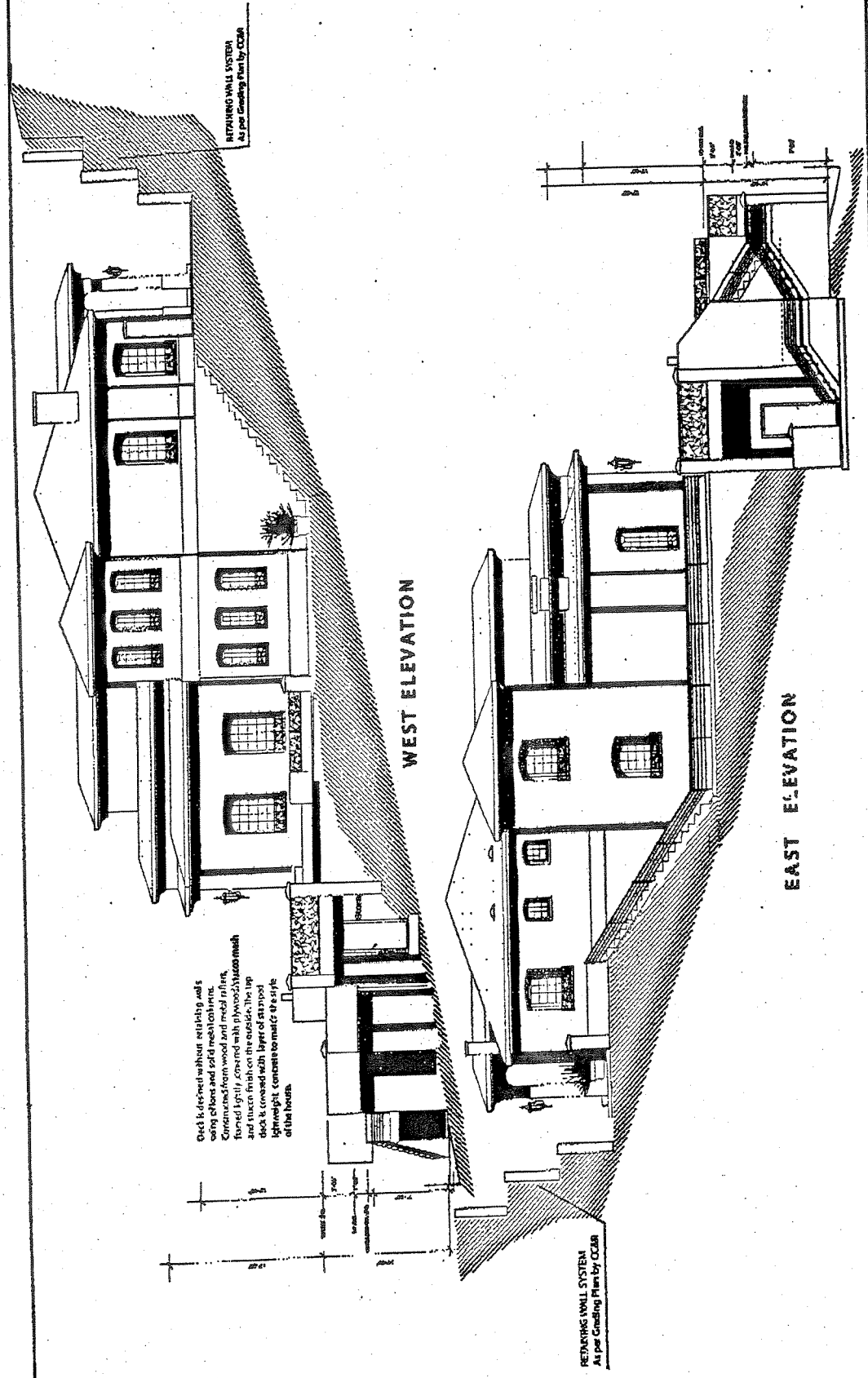
ARCHITECTURAL DESIGN CONCEPTS
2229 SAN FELICIANO DRIVE
WOODBRIDGE, CA 91364
TEL: 949.999.8399



ELEVATIONS

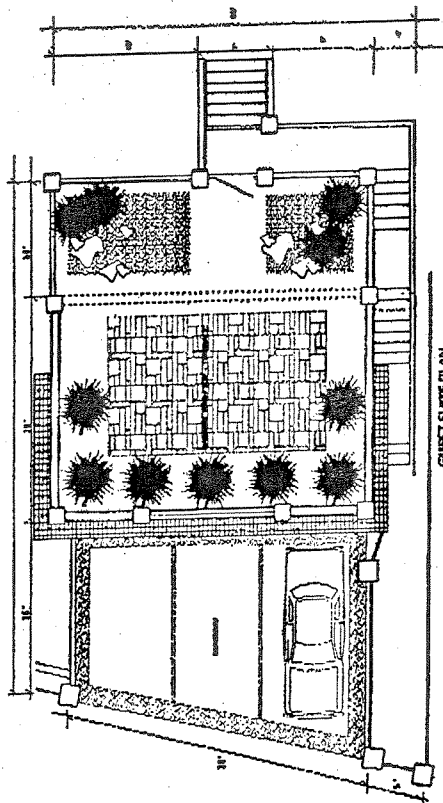
A-9

A-9 WALL 1/12

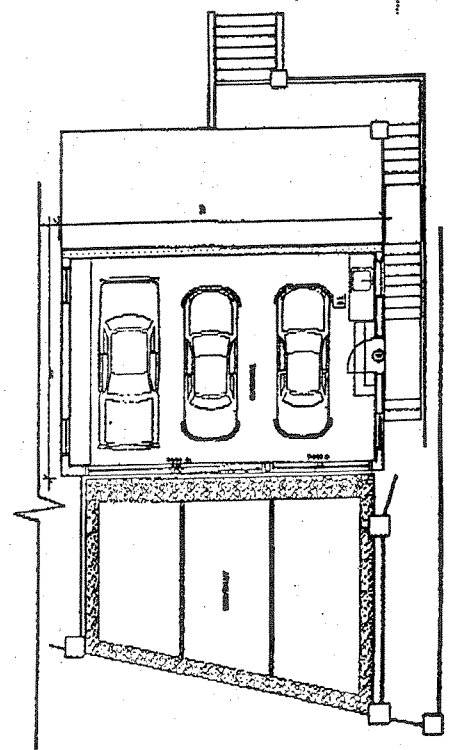


Deck to be raised without existing walls being removed and solid metal frame. Covered with wood and metal railing. Formed lightly covered with plywood, 1/2" x 6" mesh and screen finish on the outside. The top deck is covered with layer of stamped lightweight concrete to match the style of the house.

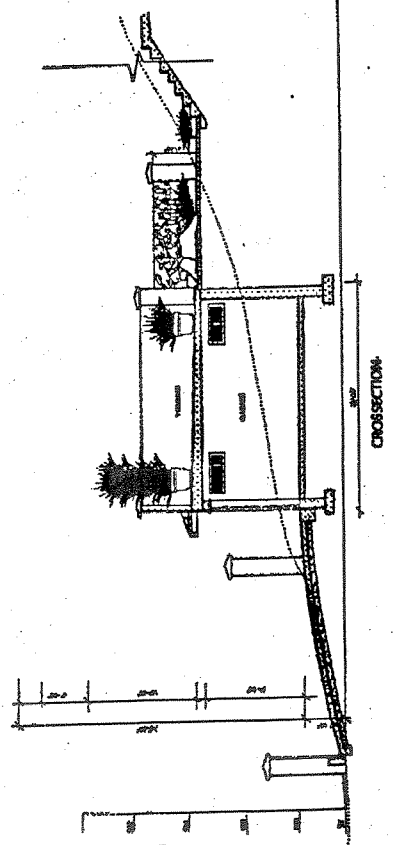
RETAINING WALL SYSTEM
As per Grading Plan by CCMR



GUEST SUITE PLAN



GARAGE PLAN



CROSSSECTION

A-13

GUEST HOUSE ELEVATIONS

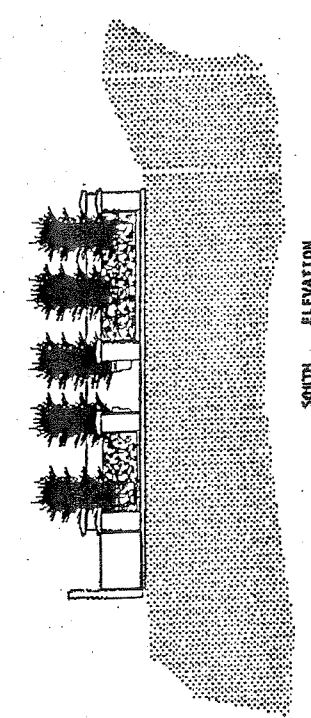


Architectural Design Concepts
2234 San Antonio Drive
Woodbridge, N.J. 07095
908.271.0033

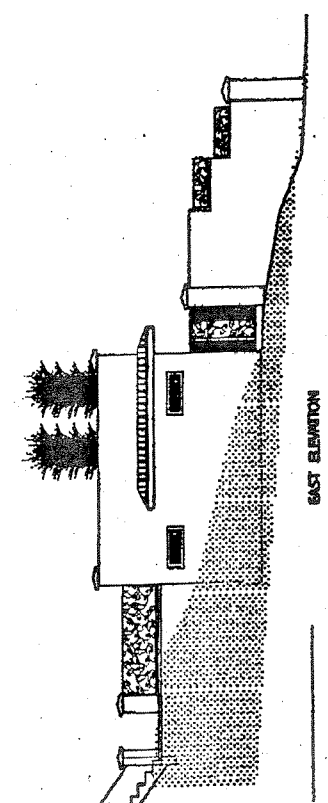
THE OAK HILL CREST
282 221 Laurel La Monte Drive
Agoura Hills, CA 91301

Check by

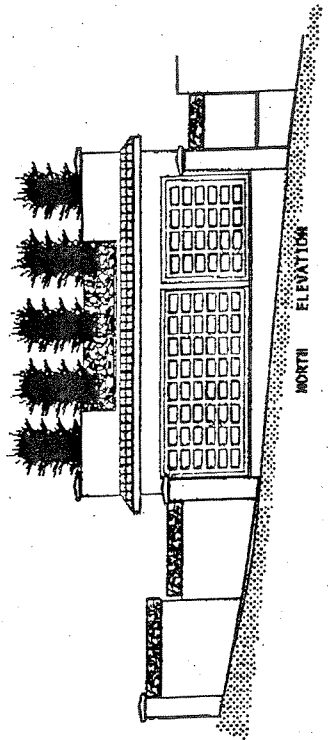
DATE



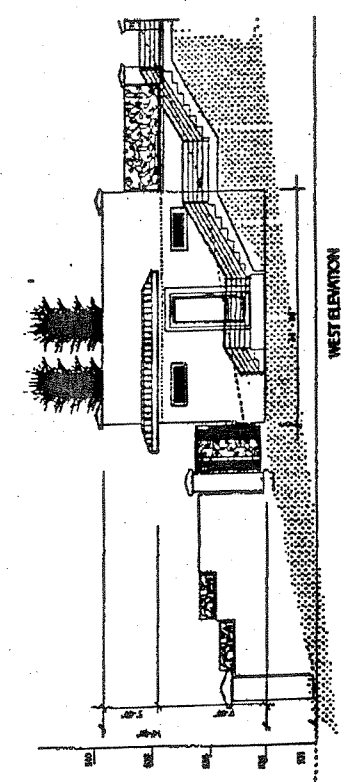
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

4-11-04-13

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE ADOBE HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL ADJACENT CITY PROPERTY OWNERS.
- ALL EXISTING AND PROPOSED GRADING SHALL BE APPROVED BY THE CITY. ALL EXISTING AND PROPOSED GRADING SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. THE CITY ENGINEER SHALL REVIEW AND APPROVE ALL GRADING PLANS AND SPECIFICATIONS. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE GRADING AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE GRADING OR A GUARANTEE OF THE ACCURACY OF THE GRADING INFORMATION PROVIDED TO THE CITY ENGINEER.
- THE GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
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PUBLIC UTILITIES / SERVICES

- WATER:**
 - ADJACENT MUNICIPAL WATER DISTRICT
 - CALIFORNIA WATER SERVICE
 - (916) 884-1115
- ELECTRICAL:**
 - SOUTHERN CALIFORNIA Edison
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176
- TELEPHONE:**
 - WEST ATLANTIC
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176
- GAS:**
 - SOUTHERN CALIFORNIA GAS
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176
- SEWER:**
 - CITY ENGINEER
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176
- CABLE:**
 - AT&T
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176
- CABLE:**
 - CHARTER COMMUNICATIONS
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176
- CABLE:**
 - CALIFORNIA
 - 1000 GARDEN AVENUE
 - THIRDMAN OAKS, CA 91318
 - (909) 964-9176



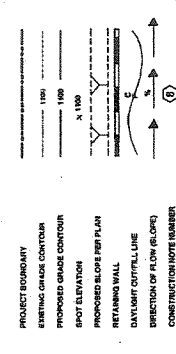
INSPECTION NOTES

- THE PERMITS OF HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT THE FOLLOWING STAGES OF WORK.
- ALL CONSTRUCTION ACTIVITY SHALL BE STOPPED TO THE HOURS OF THE JOB FOR INSPECTION. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OWNED PROPERTY.
- INSPECTION NOTES SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
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ABBREVIATIONS

- AC - ARMALITE CONCRETE
- BF - BOTTOM OF FOOTING
- CG - CENTERLINE
- CF - CURB FACE
- CO - CLEAN OUT
- CS - CENTERLINE
- DA - DAYLIGHT
- DT - TOP OF DRIVE
- FD - FINE FINISH FLOOR
- FF - FINE FINISH FLOOR
- FL - FLOOR SURFACE
- FM - FINISH MASONRY
- FW - WATER VALVE
- HW - HATCH/CLAMP
- HW - HATCH
- HW - HATCH

LEGEND AND SYMBOLS



STORMWATER POLLUTION NOTES

- A RETAINING WALL SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
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OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (916) 977-7965, TO OBTAIN PROJECT SPECIFIC OAK TREE NOTES.

LIST OF GEOTECHNICAL REPORTS FOR THIS PROJECT

- GROVER HOLLINGSWORTH (2008) 4-18-2008
- GROVER HOLLINGSWORTH (2008) 1-23-2006
- GROVER HOLLINGSWORTH (2008) 12-28-2005
- GROVER HOLLINGSWORTH (2008) 11-24-2004
- GROVER HOLLINGSWORTH (2008) 10-7-2004
- GROVER HOLLINGSWORTH (2008) 8-11-2004

ADDITIONAL NOTES

- Tests shall be performed prior to pouring footing and slab to determine the expansion index of the supporting soil.
- If the expansion index is greater than 20, foundation and slab plans should be revised accordingly.
- Retaining walls should be built with greater non-expansive soils.
- Excavations shall be made in compliance with CAL/OSHA Regulations.
- Final grading, retaining, parking, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
- An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant shall include the locations of all utility lines, retaining walls, and foundations. Geologic conditions reported during grading must be depicted on an as-built map.

OWNER

NAME: [Redacted]
 ADDRESS: 2004 Camp Street, Woodland Hills, CA 91364-8149
 REPRESENTATIVE: [Redacted]
 TELEPHONE: 818-359-1000

CIVIL ENGINEER

NAME: [Redacted]
 ADDRESS: 143 TRINIDAD CANYON RD., SUITE 100, WESTLAKE VILLAGE, CA 91391
 REPRESENTATIVE: E. J. KUI
 TELEPHONE: 918-389-8841

GEOTECHNICAL ENGINEER

NAME: [Redacted]
 ADDRESS: 2129 VIA CALAVAS, SUITE 207, WESTLAKE VILLAGE, CA 91391
 REPRESENTATIVE: JOE HOLLINGSWORTH
 TELEPHONE: 918-389-1044

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY GRADING PLAN
2A	SECTION DRAWINGS
3	PRELIMINARY SEWER & WATER PLAN
4	ESTIMATED EARTHWORK QUANTITIES

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT	... CF	ESTIMATED IMPORT	... CF
ESTIMATED FILL	... CF	ESTIMATED EXPORT	... CF

BENCHMARK

DESCRIPTION	BM 10	ELEVATION	50.05	SURVEY DATE	1993
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RECORD DRAWING STATEMENT

WHEREAS, THE CITY ENGINEER HAS REVIEWED THE RECORD DRAWING AND HAS DETERMINED THAT THE RECORD DRAWING IS IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS, AND THAT THE RECORD DRAWING IS A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN ON THE RECORD DRAWING, AND THAT THE RECORD DRAWING IS A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN ON THE RECORD DRAWING, AND THAT THE RECORD DRAWING IS A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN ON THE RECORD DRAWING.

SOILS APPROVAL

THIS PROJECT HAS BEEN REVIEWED BY THE CITY ENGINEER AND FOUND TO BE IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS AND STANDARDS, AND THAT THE PROJECT IS A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN ON THE RECORD DRAWING, AND THAT THE PROJECT IS A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN ON THE RECORD DRAWING, AND THAT THE PROJECT IS A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN ON THE RECORD DRAWING.

CITY OF ADOBE HILLS APPROVAL

APPROVED BY: [Redacted]
 DATE: _____
 TITLE: _____
 CITY ENGINEER

VICINITY MAP



COVER SHEET

05-CUP-002/05-14R-003/05-11A-003/05-07P-015
 2021 LAUREL LA PLUMBE DRIVE SHEET 1 OF 4
 PROJECT NO. _____

LEGEND AND SYMBOLS

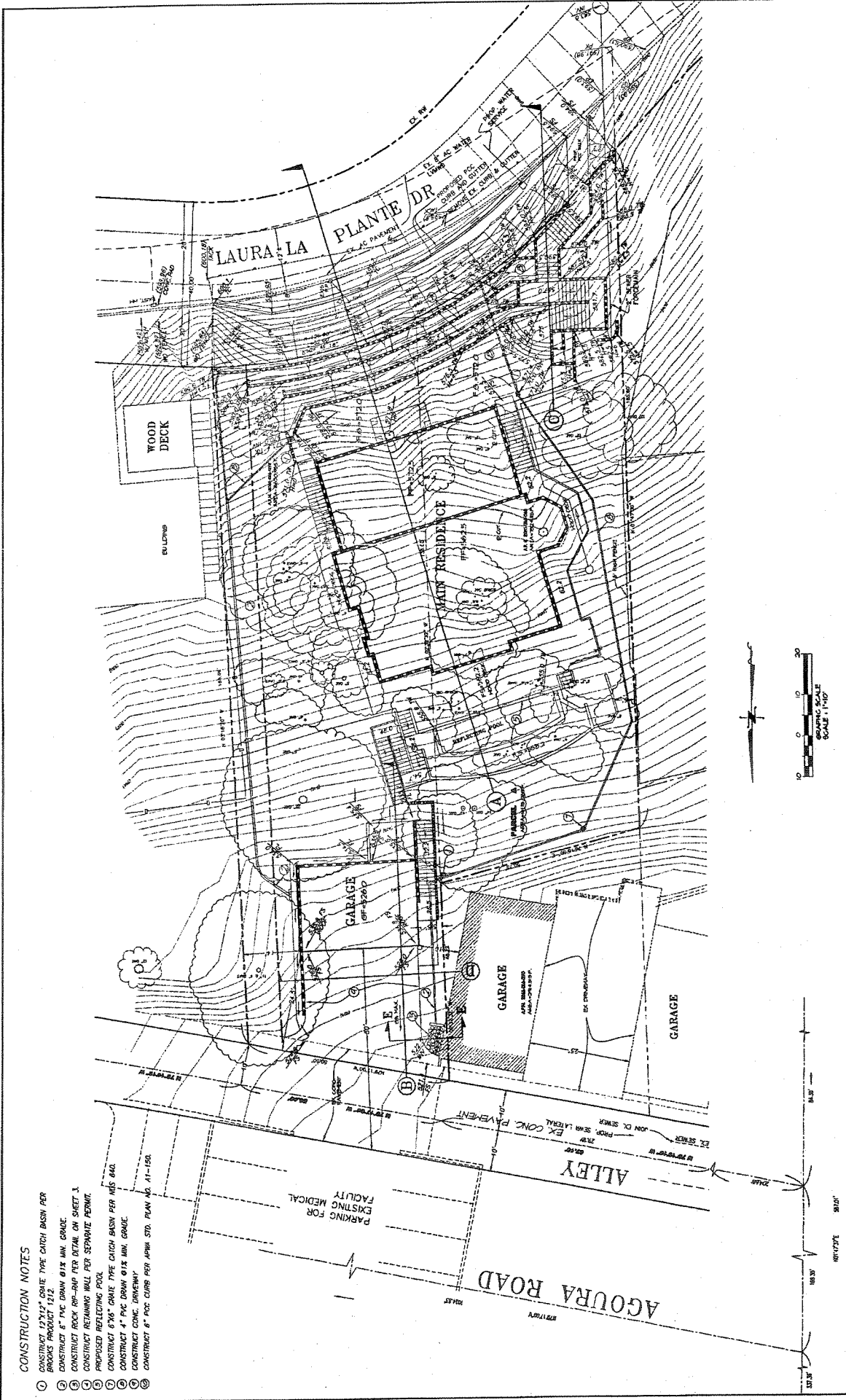


ADDITIONAL NOTES

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- Retaining walls should be built with greater non-expansive soils.
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- An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant shall include the locations of all utility lines, retaining walls, and foundations. Geologic conditions reported during grading must be depicted on an as-built map.

CONSTRUCTION NOTES

- ① CONSTRUCT 12"X12" CONCRETE TYPE CATCH BASIN PER DETAIL ON SHEET 1.
- ② CONSTRUCT 6" PVC DRAIN 612 MIN. GRADE.
- ③ CONSTRUCT ROCK 80-100 PER DETAIL ON SHEET 1.
- ④ CONSTRUCT RETAINING WALL PER SEPARATE PERMIT.
- ⑤ PROPOSED REFLECTING POOL.
- ⑥ CONSTRUCT 6"X6" CONCRETE TYPE CATCH BASIN PER MS 640.
- ⑦ CONSTRUCT 4" PVC DRAIN 612 MIN. GRADE.
- ⑧ CONSTRUCT CONC. DRIVEWAY.
- ⑨ CONSTRUCT 6" PCC CURB PER ASPH. STD. PLAN NO. A1-150.

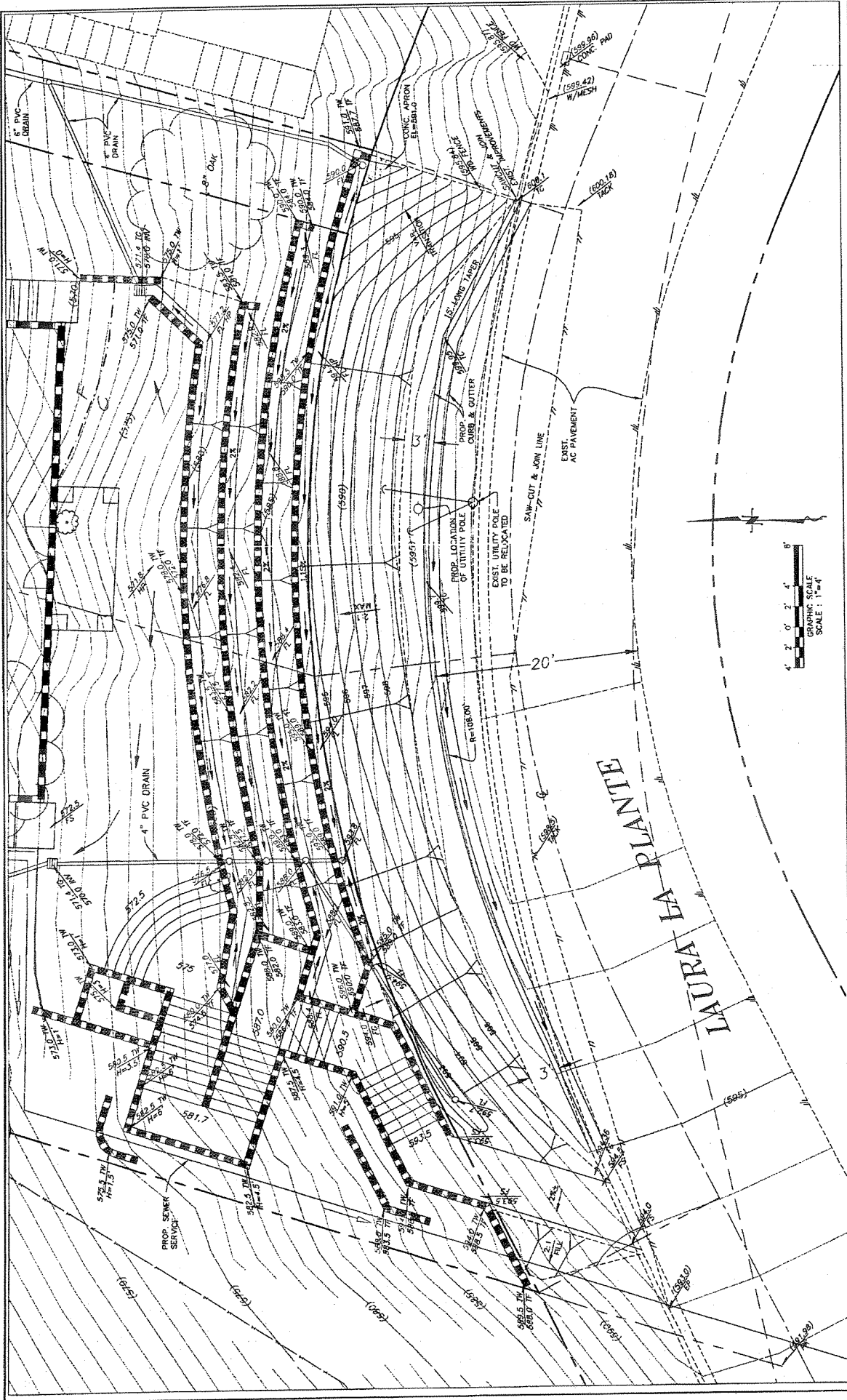


PRELIMINARY GRADING PLAN
2821 LAURE LA PLANTE DRIVE
PROJECT NO. _____
SHEET 2 OF 4
CITY OF AGOURA HILLS, CA

DATE: _____
REVIEWED BY: _____
DATE: _____
CITY ENGINEER: _____
DATE: _____

NO.	DESCRIPTION OF CHANGE	DATE	BY

PREPARED BY: **ACOURA HILLS**
1417 Thrush Canyon Road
Woodlands Village, CA 91367
Phone: (818) 340-1928
Fax: (818) 340-1929



PRELIMINARY GRADING PLAN

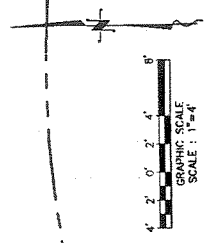
2821 LAURE LA PLANTE DRIVE
 PROJECT NO. _____ SHEET 2A OF 4

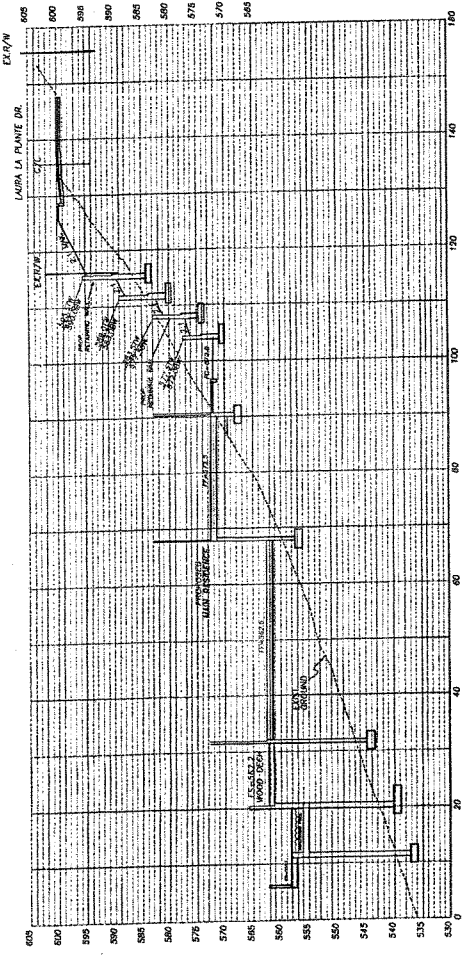


CITY OF ASTORIA, OREGON APPROVAL
 REVIEWED BY: _____ DATE: _____
 CITY ENGINEER

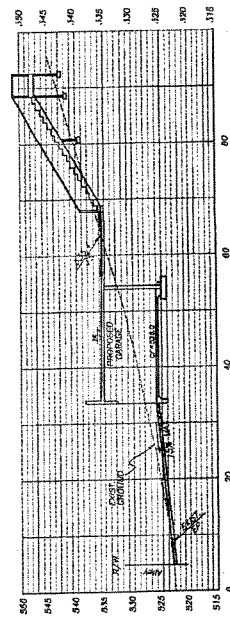
DESIGNED BY: _____ DATE: _____
 PROJECT ENGINEER

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

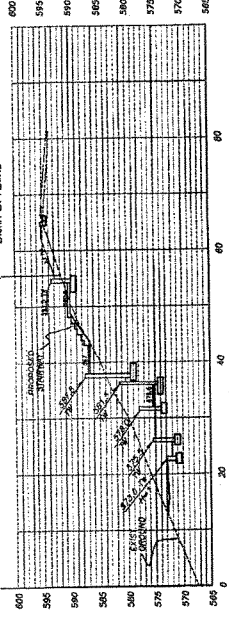




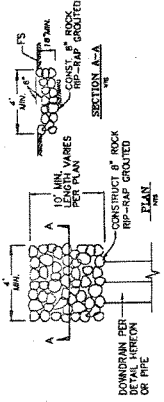
SECTION A
H Scale: 1"=10'
V Scale: 1"=10'



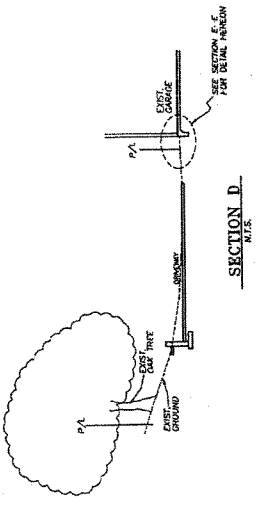
SECTION B
H Scale: 1"=10'
V Scale: 1"=10'



SECTION C
H Scale: 1"=10'
V Scale: 1"=10'



SECTION E-E
ROCK RIP-RAP DETAIL



SECTION D
ROCK RIP-RAP DETAIL

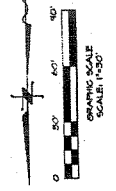
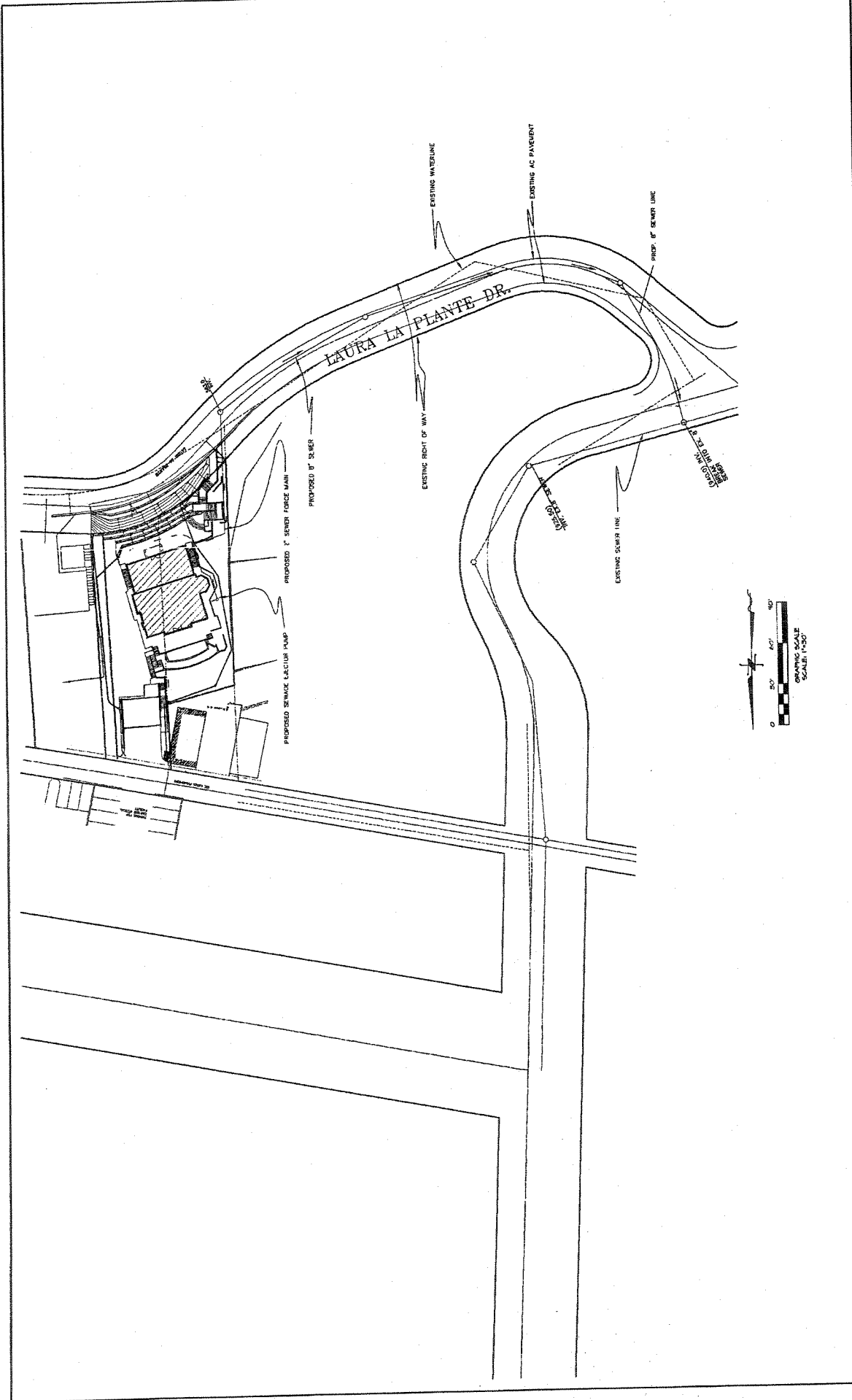
REV	BY	DATE	DESCRIPTION OF CHANGE

PREPARED BY: **CELP** Inc.
 141 Tenth Street East
 Waukegan, IL 60087
 Phone: 815/996-1978
 Fax: 815/996-1971

PROJECT ENGINEER: _____ DATE: _____
 REVIEWER: _____ DATE: _____
 CITY OF ADOPTIVE RESOLUTION APPROVAL: _____
 CITY OF ADOPTIVE RESOLUTION: _____ DATE: _____
 DRAWN BY: _____ DATE: _____
 CHECKED BY: _____ DATE: _____

PRELIMINARY GRADING PLAN
 PROJECT: LAURE LA PLANTE DRIVE
 SHEET: 2 OF 4
 DRAWING NO. _____
 PROJECT NO. _____
 DATE: _____
 CITY OF ADOPTIVE RESOLUTION NO. _____





PRELIMINARY SEWER PLAN
 2821 LAUREL LA PLANTE DRIVE
 PROJECT NO. _____ SHEET 4 OF 4
 CITY OF AGOURA HILLS, INC.



CITY OF AGOURA HILLS APPROVAL	DATE	DATE	DATE
REVIEWED BY	DATE	DATE	DATE
CITY ENGINEER	CITY ENGINEER	CITY ENGINEER	CITY ENGINEER

PREPARED BY: **CEC**
 141 Tibbitts Canyon Road
 Agoura Hills, CA 91301
 Phone: (805) 484-1000
 Fax: (805) 484-1001

NO.	DESCRIPTION OF CHANGE	DATE	BY



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

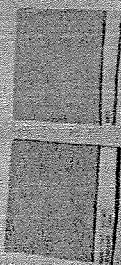
**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT H

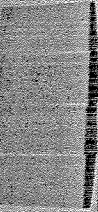
**PHOTOGRAPHS OF THE
COLOR AND MATERIAL BOARD**

The Oak Hill Crest

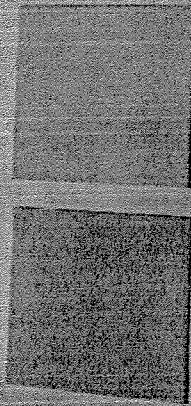
STUCCO COLORS



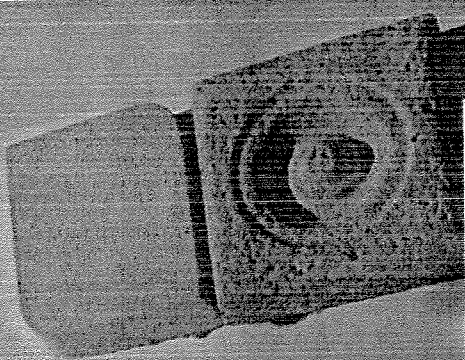
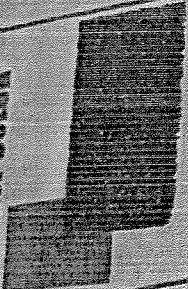
STUCCO TEXTURE



STAMPED CONCRETE COLOR & TEXTURE



ROOF COLOR



12.28.2006

CONDITIONAL USE PERMIT CASE NO. 05-CUP-002
OAK TREE PERMIT CASE NO. 05-OTP-015
VARIANCE REQUEST CASE NO. 05-VAR-003