

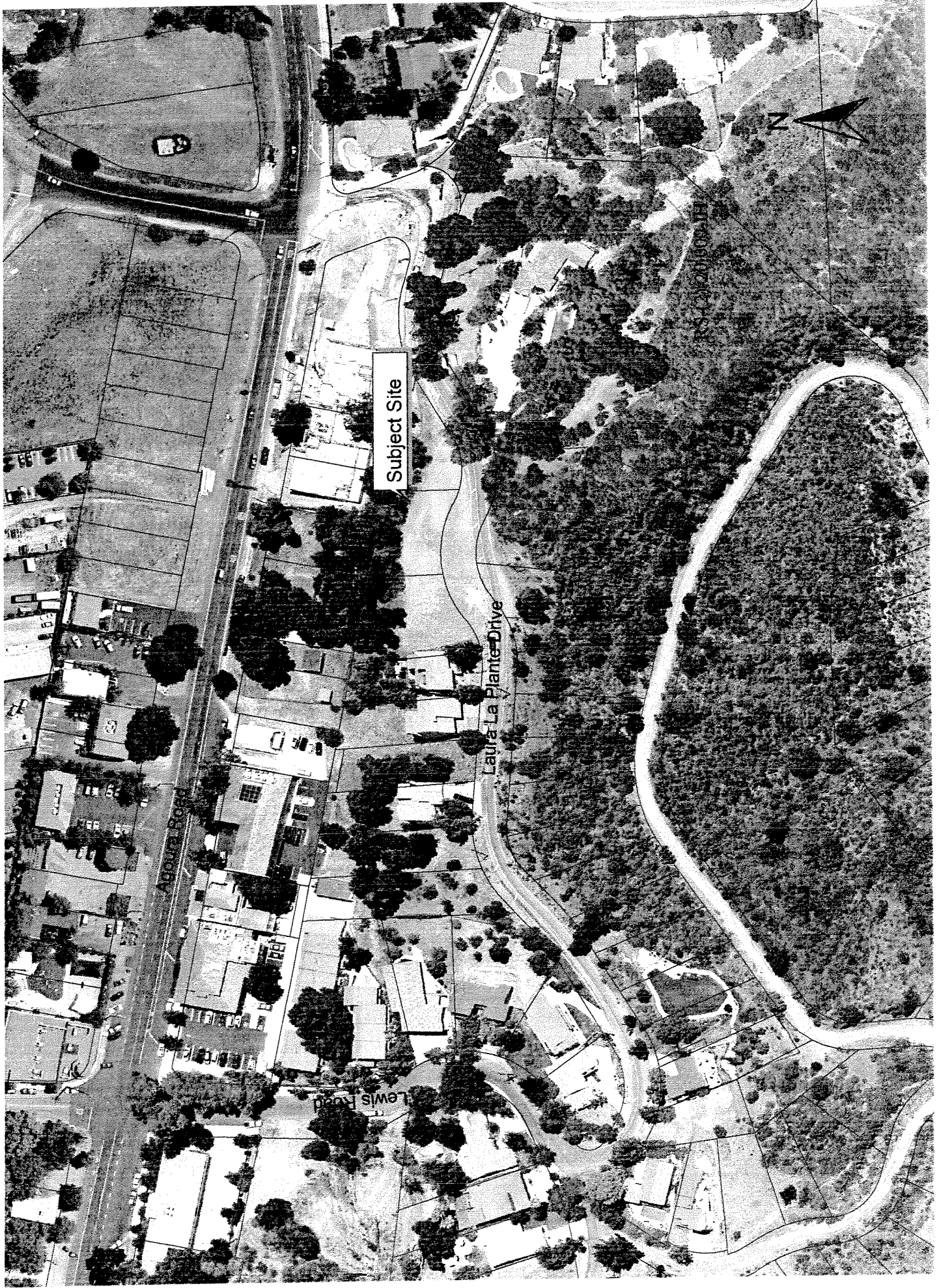


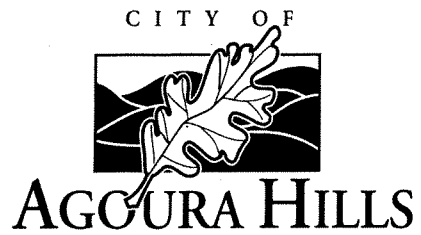
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-013,
VARIANCE REQUEST CASE NO. 06-VAR-006
AND OAK TREE PERMIT NO. 06-OTP-030**

**FOR THE PROPERTY LOCATED AT
28161 LAURA LA PLANTE DRIVE, AGOURA HILLS**

**EXHIBIT A
VICINITY MAP**

**Conditional Use Permit Case No. 06-CUP-013, Oak Tree Permit Case No. 06-OTP-030
and Variance Case No. 06-VAR-006 (A.P.N. 2061-016-053) Roit**





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-013,
VARIANCE REQUEST CASE NO. 06-VAR-006
AND OAK TREE PERMIT NO. 06-OTP-030**

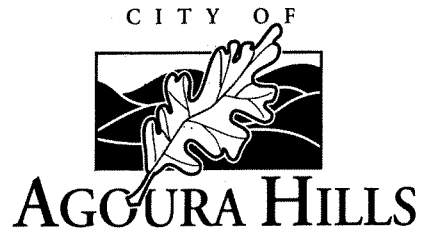
**FOR THE PROPERTY LOCATED AT
28161 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT B

SQUARE FOOTAGE ANALYSIS MAP

SQUARE FOOTAGE ANALYSIS MAP (2061-016-053)





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-013,
VARIANCE REQUEST CASE NO. 06-VAR-006
AND OAK TREE PERMIT NO. 06-OTP-030**

**FOR THE PROPERTY LOCATED AT
28161 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT C

REDUCED PHOTOCOPIES OF PLANS

DATE	
BY	
CHECKED	
APPROVED	

D. DESIGN, INC.
 19562 VENTURA BLVD., #217
 TAYZANA, CA 91356
 PHONE 818-344-4449

LEO ROIT
 28161 LAURA PLANTE DR
 (APN 2061-016-053)
 AGOURA HILLS, CA 91301

SHEET: 060507
 DATE: 1/8/10
 SCALE: 1/8" = 1'-0"

A.01
 SHEET 1 OF 6

BUILDING INFORMATION

Owner: ROIT, LEO
 28161 LAURA LA PLANTE DR.
 AGOURA HILLS, CA 91301

APN: 2061-016-053
 Zone: LA AHR5-2-200
 Lot Size: 8,000 SQ.FT.

Proposed Living Area : 2,124 SQ.FT.
 Proposed Garage Area : 441 SQ.FT.
 Total: 2,565 SQ.FT.

LOT# 2 TRACT# 8793
 Construction Typ: V-N

House footprint: 2,565 sq.ft. = 32%
 Deck: 57 sq.ft. = 0.7%
 Hardscape : 322 sq.ft. = 3.9%
 Landscape : 951 sq.ft. = 11.8%
 Total = 48.4%
 Undisturbed = 51.6%

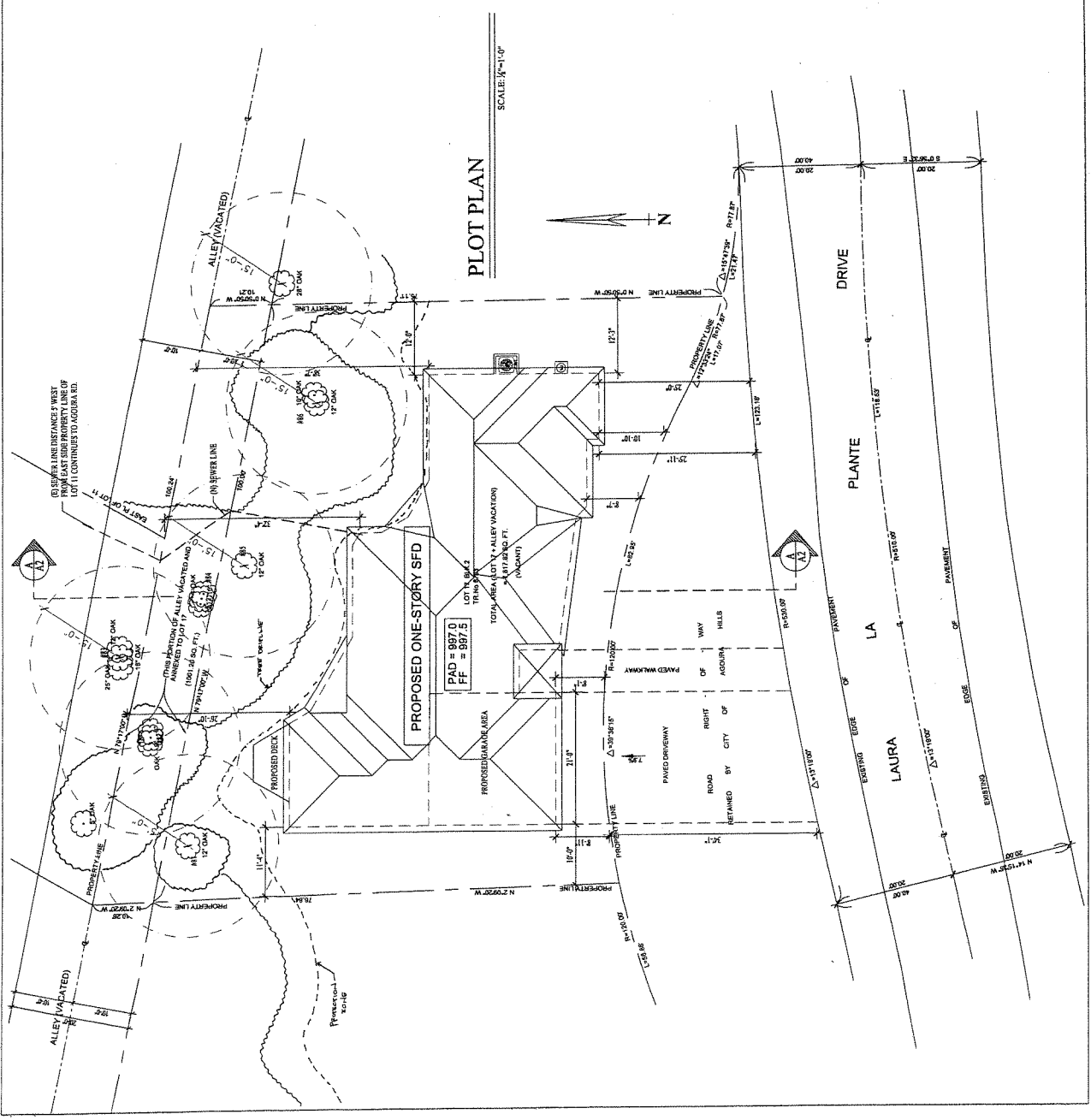
Slope Average:
 1.0 x 1.29 x 100
 S = 8500 = 16.61%

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. THE OWNER, DESIGNER OR ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NO DIMENSIONS ARE PROVIDED. CONSULT WITH OWNER, DESIGNER OR ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

SHEET INDEX

A1COVER SHEET
A2SECTION
A3PROPOSED FLOOR PLAN
A4PROPOSED ROOF PLAN
A5SOUTH/NORTH ELEVATIONS
A6EAST/WEST ELEVATIONS

NOTE:
 1) PROVISIONS WILL HAVE TO BE MADE WITH THE LAS VIRGENES MUNICIPAL WATER DISTRICT FOR WATER SERVICE.
 2) PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AGOURA HILLS COUNTY PERMIT REQUIREMENTS. THE APPLICANT SHALL SUBMIT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO THE CITY ENGINEER.
 3) A WET WEATHER EROSION CONTROL PLAN (WWECP) PREPARED BY CALIFORNIA REGISTERED CIVIL ENGINEER IF CONSTRUCTION ACTIVITIES WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15.
 4) A TRANSPORTATION IMPROVEMENT FEE (TIP) IN THE AMOUNT OF \$2,440 IS DUE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

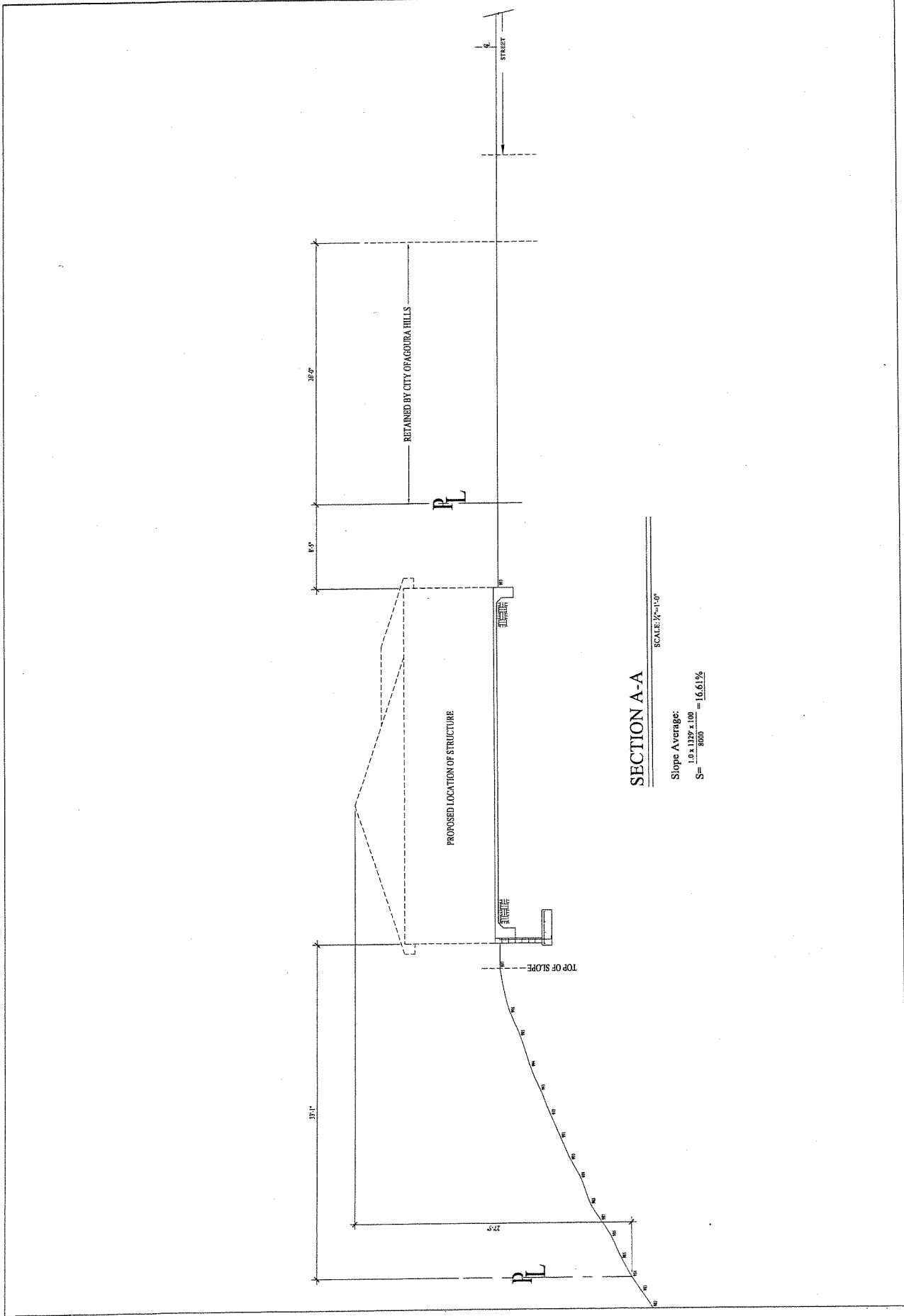


DATE	06/01/07
SCALE	1/4" = 1'-0"
PROJECT	
NO.	
SHEET	

D. DESIGN, INC.
 19562 VENTURA BLVD. #217
 TARZANA, CA 91356
 PHONE 818-344-4449

LEO ROIT
 28161 LAURA PLANTE DR
 AGOURA HILLS, CA 91301
 (APN 2061-016-053)

A.02
 SHEET 2 OF 6

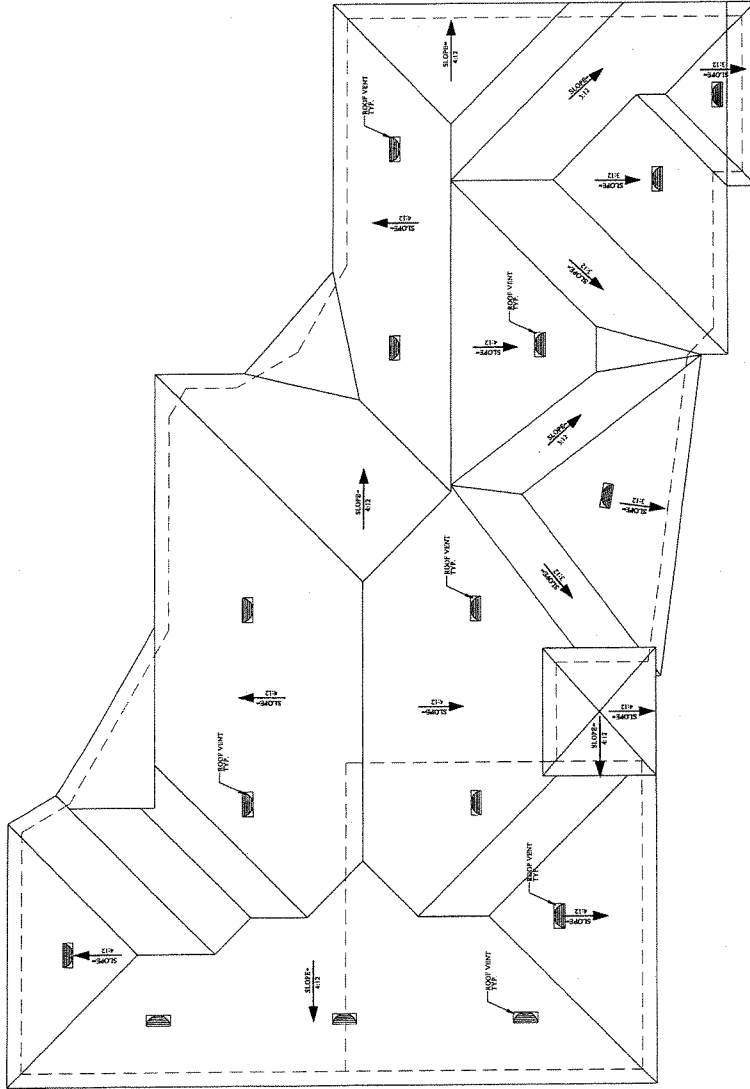


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REV.	
DATE	
BY	
CHECKED	

D. DESIGN, INC.
 19562 VENTURA BLVD. #217
 TARZANA, CA 91356
 PHONE 818-344-4449

LEO ROIT
 28161 LAURA PLANTE DR
 AGOURA HILLS, CA 91301
 (APN 2061-016-053)

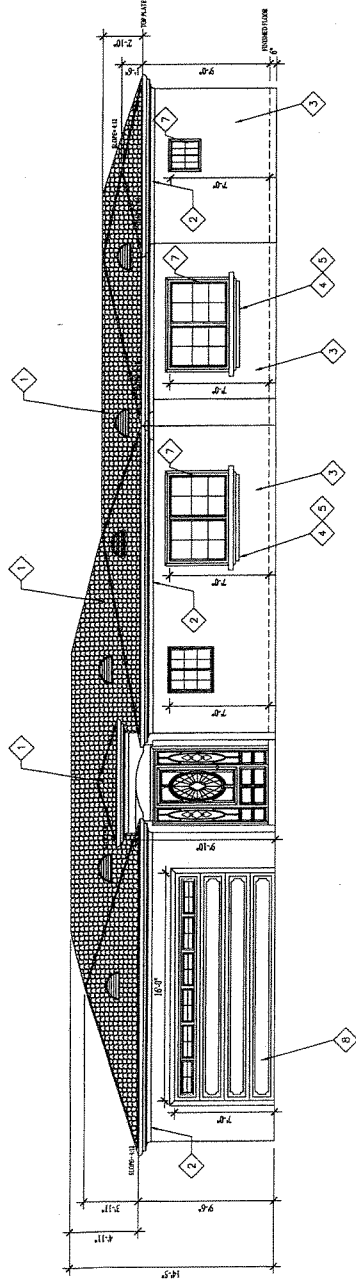
sheet: A.04
 of: 5



ROOF PLAN
 SCALE: 1/4"=1'-0"

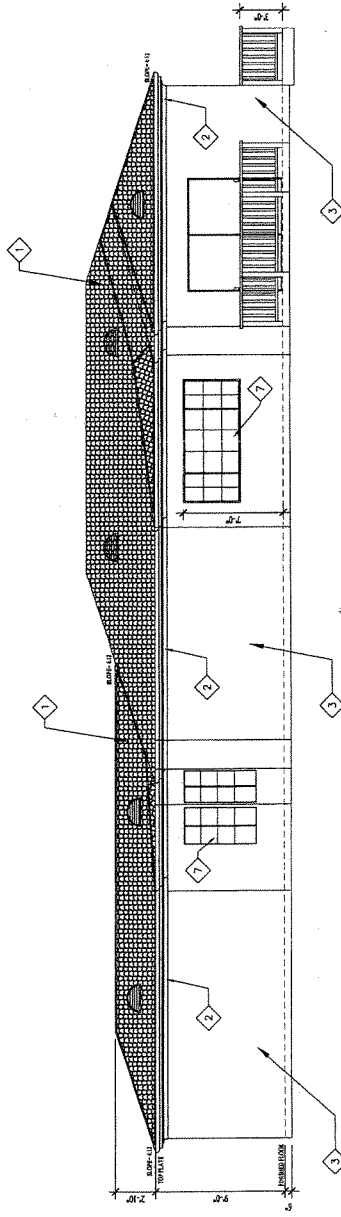
EXTERIOR FINISHES &
COLOR SCHEDULE

- 1. GLAZE, "A" EAGLE ROOFING, #1, MORADO BLEND (TERRAZZO, SURROUND BLEND)
- 2. WOOD SIDING #1 WITH WOOD GRAIN PAINT, #1, SWISS COFFEE
- 3. WALL STUCCO, #2
- 4. PRE-CAST CONCRETE DOOR/WINDOW SURROUND, MESQUITE COLOR #3 MFG
- 5. WOOD FRONT DOOR, TRANSLUCENT FRAME
- 6. VINYL WINDOWS, PANELED W/ 1" GLAZING AND DIVIDED GLASS LINES WITH SWISS EDWARDS PAINT, COLOR #2014 "BAJA WHITE"
- 7. RAISED VINYL PANEL ROLL UP GARAGE DOORS WITH SWISS EDWARDS PAINT COLOR #2014 "BAJA WHITE"
- 8. FINISH MESQUITE COLOR AS MFG



SOUTH(FRONT) ELEVATION

SCALE: 1/4"=1'



NORTH(REAR) ELEVATION

SCALE: 1/4"=1'

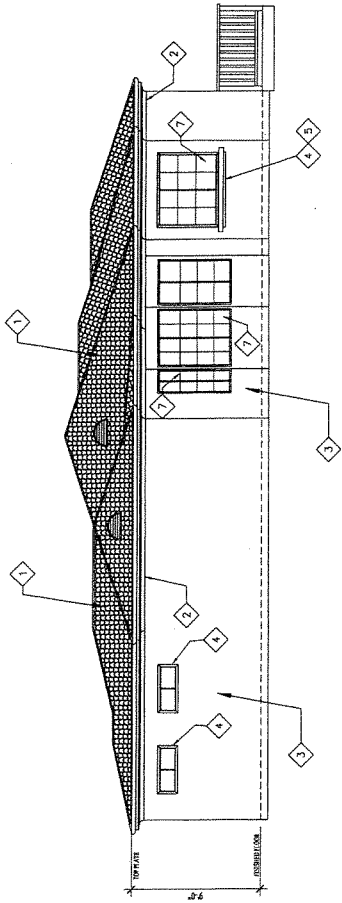
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DATE	06/05/07
SCALE	1/4"=1'-0"
DRAWN	
CHECK	
DATE	
SCALE	

D. DESIGN, INC.
19562 VENTURA BLVD. #217
TARZANA, CA 91356
PHONE 818-344-4449

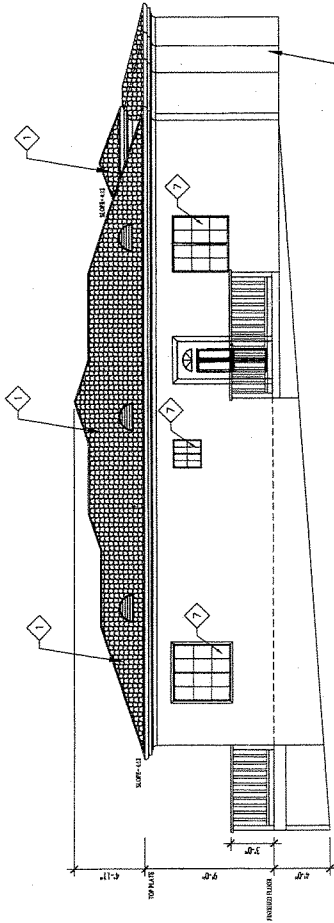
EXTERIOR FINISHES & COLOR SCHEDULE

1. BASE AT EAGLE ROOSTING (E), MORADO BLEND (BERROGATA, BURGUNDY BLEND)
2. WOOD PAINTED WITH DUNN EDWARDS PAINT COLOR #A903, SWISS COFFEE
3. WALL FINISHES:
X - BT BOYD (BASE 200)
4. PRE-CAST CONCRETE DOOR/WINDOW SURROUND: MESQUITE COLOR AS MFG
5. PRE-CAST CONCRETE WINDOW SILL WITH LIGHT SAND FINISH MESQUITE COLOR AS MFG
6. WOOD FRONT DOOR, TRANSLUM FRAME FINISH WITH DUNN EDWARDS PAINT COLOR #A903, SWISS COFFEE
7. WOOD WINDOW FRAMES / GLAZING AND DIVIDED GLASS UNITS WITH DUNN EDWARDS PAINT COLOR #A903, SWISS COFFEE
8. RAISED VINYL PANEL ROLL UP GARAGE DOORS WITH DUNN EDWARDS PAINT COLOR #E60384, SNOW FLAKE LRV .60



EAST(RIGHT) ELEVATION

SCALE: 1/4"=1'



WEST(LEFT) ELEVATION

SCALE: 1/4"=1'

A.06

SHEET 6 OF 6

LEO ROIT
28161 LAURA PLANTE DR
(APN 2061-016-053)
AGOURA HILLS, CA 91301

PLANTING NOTES

1. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
2. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
3. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
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6. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
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9. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
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11. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
12. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
13. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
14. PLANTING TO BE INSTALLED TO MATCH EXISTING PLANTING TO MAINTAIN LANDSCAPE APPEARANCE AND TO PROVIDE VISUAL SCREENING FROM ADJACENT PROPERTIES.
15. ALL TREES TO HAVE 40% CANOPY.

LIGHTING NOTES

1. LIGHTING TO BE INSTALLED TO PROVIDE AMBIENT LIGHTING TO THE ENTIRE PROPERTY.
2. LIGHTING TO BE INSTALLED TO PROVIDE AMBIENT LIGHTING TO THE ENTIRE PROPERTY.
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15. LIGHTING TO BE INSTALLED TO PROVIDE AMBIENT LIGHTING TO THE ENTIRE PROPERTY.

DRAINAGE NOTES

1. DRAINAGE TO BE INSTALLED TO PROVIDE PROPER DRAINAGE TO THE ENTIRE PROPERTY.
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14. DRAINAGE TO BE INSTALLED TO PROVIDE PROPER DRAINAGE TO THE ENTIRE PROPERTY.
15. DRAINAGE TO BE INSTALLED TO PROVIDE PROPER DRAINAGE TO THE ENTIRE PROPERTY.

LEGEND	LEGEND	SIZE	QUANTITY
	PALMIS LANCEA	24" BOX	2
	AMERICAN SHRUB	24" BOX	4
	ABRUTIUS MENZIESII	5 GAL.	18
	SALVIA LEUCOPHYLLA	5 GAL.	13
	CISTUS CRISPUS	5 GAL.	6
	ZAUSCHNERIA CALIFORNICA	5 GAL.	22
	LEGUSTRUM JAPONICA	15 GAL.	1
	WAX LEAF PRIVET		
	FRAGARIA CHILOENSIS		
	ORNAMENTAL STRAWBERRY		
	MELICA IMPERATORIA		
	TURF		
	HYDROSEED		

GENERAL LEGEND

(1) 1" = 1' - 0"

(2) 1" = 1' - 0"

(3) 1" = 1' - 0"

(4) 1" = 1' - 0"

(5) 1" = 1' - 0"

(6) 1" = 1' - 0"

(7) 1" = 1' - 0"

(8) 1" = 1' - 0"

(9) 1" = 1' - 0"

(10) 1" = 1' - 0"

(11) 1" = 1' - 0"

(12) 1" = 1' - 0"

(13) 1" = 1' - 0"

(14) 1" = 1' - 0"

(15) 1" = 1' - 0"

LIGHTING LEGEND

(1) 1" = 1' - 0"

(2) 1" = 1' - 0"

(3) 1" = 1' - 0"

(4) 1" = 1' - 0"

(5) 1" = 1' - 0"

(6) 1" = 1' - 0"

(7) 1" = 1' - 0"

(8) 1" = 1' - 0"

(9) 1" = 1' - 0"

(10) 1" = 1' - 0"

(11) 1" = 1' - 0"

(12) 1" = 1' - 0"

(13) 1" = 1' - 0"

(14) 1" = 1' - 0"

(15) 1" = 1' - 0"

LEGEND

(1) 1" = 1' - 0"

(2) 1" = 1' - 0"

(3) 1" = 1' - 0"

(4) 1" = 1' - 0"

(5) 1" = 1' - 0"

(6) 1" = 1' - 0"

(7) 1" = 1' - 0"

(8) 1" = 1' - 0"

(9) 1" = 1' - 0"

(10) 1" = 1' - 0"

(11) 1" = 1' - 0"

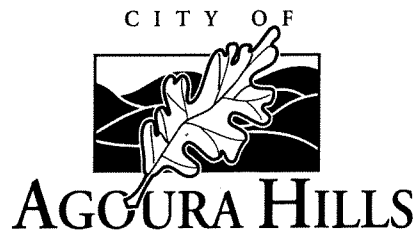
(12) 1" = 1' - 0"

(13) 1" = 1' - 0"

(14) 1" = 1' - 0"

(15) 1" = 1' - 0"





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-013,
VARIANCE REQUEST CASE NO. 06-VAR-006
AND OAK TREE PERMIT NO. 06-OTP-030**

**FOR THE PROPERTY LOCATED AT
28161 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT D

ENVIRONMENTAL DETERMINATION

Notice of Exemption

To: [] Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

[] County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Roit Single Family Residence (Case #06-CUP-013; 06-VAR-006; 06-OTP-030)

Project Location-Specific: Laura La Plante Drive, Lot 7 (APN 2061-016-053)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project consists of the construction of a 2,172 square foot, one story, single family dwelling unit with an attached 432 square foot, two-car garage on a hillside lot. The variance request is for front yard setback reduction. A conditional use permit is required given the steep slopes of the lots.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Leo Roit

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3.
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of a single family residence. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 5/31/07

Title: Senior Planner



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-013,
VARIANCE REQUEST CASE NO. 06-VAR-006
AND OAK TREE PERMIT NO. 06-OTP-030**

**FOR THE PROPERTY LOCATED AT
28161 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT E

**GEODYNAMICS, INC.'S
LETTER OF RECOMMENDATION**

Date: March 12, 2007
GDI #: 06.00103.0149**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Renee Madrigal

Project Location: Lot 17, Laura La Plante Drive, Agoura Hills, California.

Planning Case #: 86-CUP-013; 06-VAR-006; 06-OTP-030 (Roit)

Building & Safety #: None

Geotechnical Report: Brian A. Robinson & Associates, Inc. (2006), "Geotechnical Supplemental Letter for Laura La Plante Drive, Lot 17, Agoura Hills, California," J.O. 03442, dated December 21, 2006.

Brian A. Robinson & Associates, Inc. (2006), "Geotechnical investigation for Laura La Plante Drive, Lot 17, Agoura Hills, California," J.O. 03442, dated April 27, 2006.

Plans: Kartez Engineering, inc., "Grading & Drainage Plan, Sheets C-1 and C-2), Scale: 1"=8', undated.

D. design Inc., (2006), "Architectural Plans, Sheets A.01 through A.05", Scale: 1"=8', dated October 16, 2006.

Previous Reviews: November 17, 2006

FINDINGS

Planning/Feasibility Issues

 Acceptable as Presented Response Required

Geotechnical Report

 Acceptable as Presented Response Required**REMARKS**

Brian Robinson & Associates, Inc. (BAR; consultant) provided "Geotechnical Supplemental Letter" for the proposed development at Lot 17, Laura La Plante Drive, City of Agoura Hills, California. The letter includes responses to the geotechnical review letter by the City of Agoura Hills dated November 17, 2006. The proposed development includes the construction of a one-story, single-family residence.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case No. 86-CUP-013; 06-VAR-006; 06-OTP-030 (Roit) from a geotechnical perspective. The consultant, however, should respond to the following report review comments prior to Building Plan Check approval. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Report Review Comments

1. The minimal structural data plotted by the consultant indicate that local joint sets intersect to form wedges inclined out of slope at about 30 degrees. The consultant should incorporate this data in the analysis of Cross Section A-A' as appropriate, and in an evaluation of appropriate foundation setback distances.

2. Slope to structure setbacks should be in accordance with the City of Agoura Hills building codes. Any deviation from the City's code requirements for setback should be evaluated on a case by case basis. As part of the evaluation process, representative cross sections that depict existing and proposed grade, geologic/geotechnical contacts and stratigraphy, geologic structural data, required and proposed setback distances from the slope to the edge of footings should be provided. Slope stability analyses on critical cross sections that incorporate the anticipated foundation loads in the analyses may be required.

Note: In responding to this comment, the consultant indicates that a proposed building footprint was not provided to their firm, and that they presume that the designer will follow code setback requirements. At issue is the fact that the foundation setback requirements provided to the designer by the consultant on Page 13 of the report dated April 27, 2006 are not consistent with City of Agoura Hills building codes. The consultant should provide minimum foundation setback recommendations consistent with local codes. The consultant should further evaluate the potential for wedge failures and determine whether more restrictive foundation setback criteria might be appropriate. Specific recommendations should be provided to address the foundations at the locations proposed.

3. The consultant should provide retaining wall recommendations.

Note: The consultant responds to this comment by indicating that retaining walls are not proposed. The current plan indicates very clearly that retaining walls are proposed on the descending slope and extending to heights of about five feet. As requested previously, the consultant should provide retaining wall recommendations.

4. The consultant should prepare a report that specifically addresses the proposed development plans when they become available. Additional geotechnical recommendations should be provided as necessary. (**Note:** In order to avoid unnecessary rounds of review, it might be appropriate to provide a response to this review letter only when development plans become available).

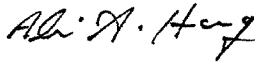
Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading plans: *"The existing well should be verified to have been abandoned in accordance with City/County standards as well as any other applicable jurisdictions prior to fill placement over the well location."*
4. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
5. The following note must appear on the grading and foundation plans: *"All cut-slopes should be mapped during grading. Stabilization measures should be applied where future cuts expose adversely oriented joint surfaces or intersections of joint surfaces."*
6. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
7. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
8. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
9. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.

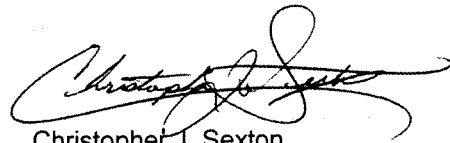
10. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
11. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,
GeoDynamics, Inc.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/06)

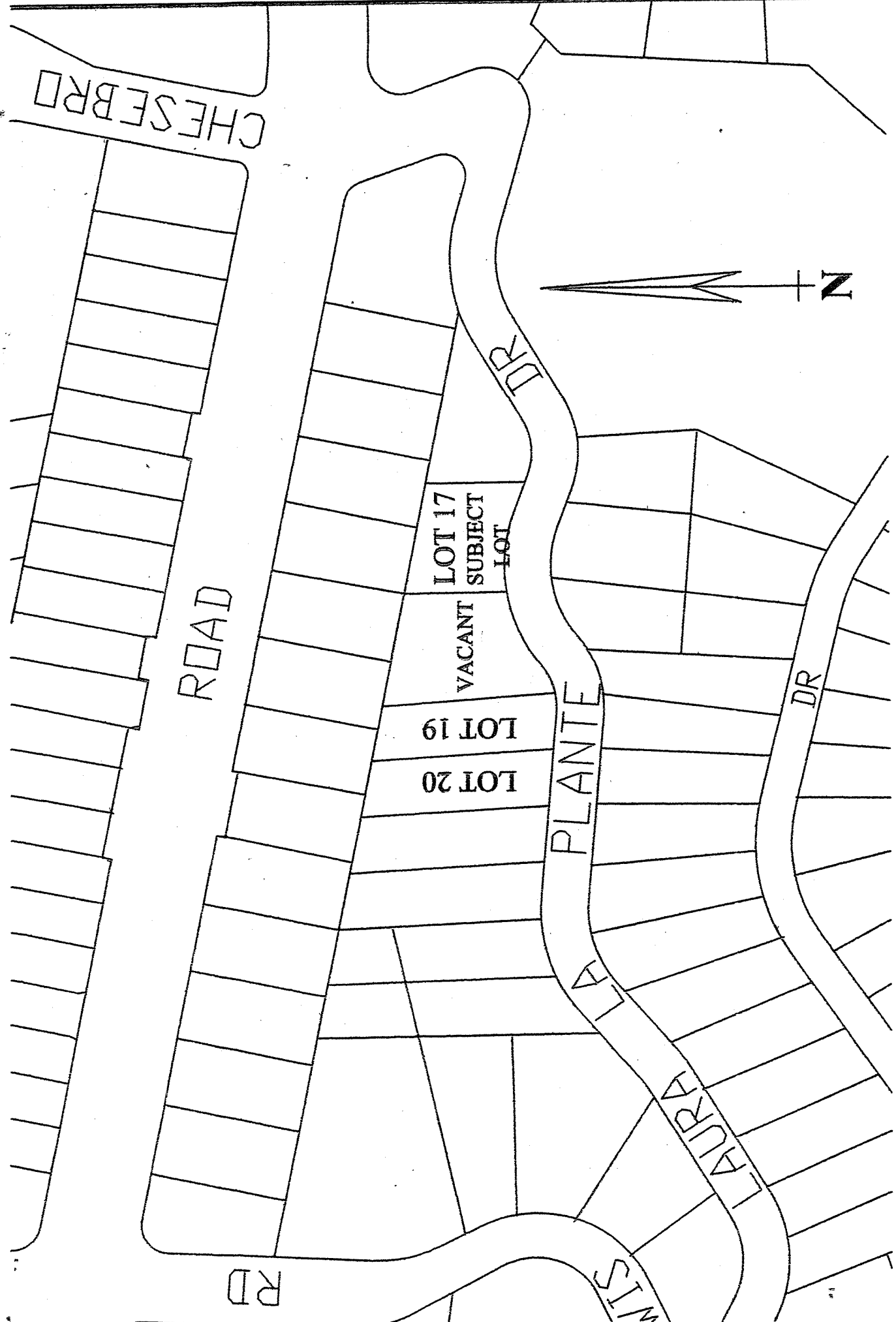


**CONDITIONAL USE PERMIT CASE NO. 06-CUP-013,
VARIANCE REQUEST CASE NO. 06-VAR-006
AND OAK TREE PERMIT NO. 06-OTP-030**

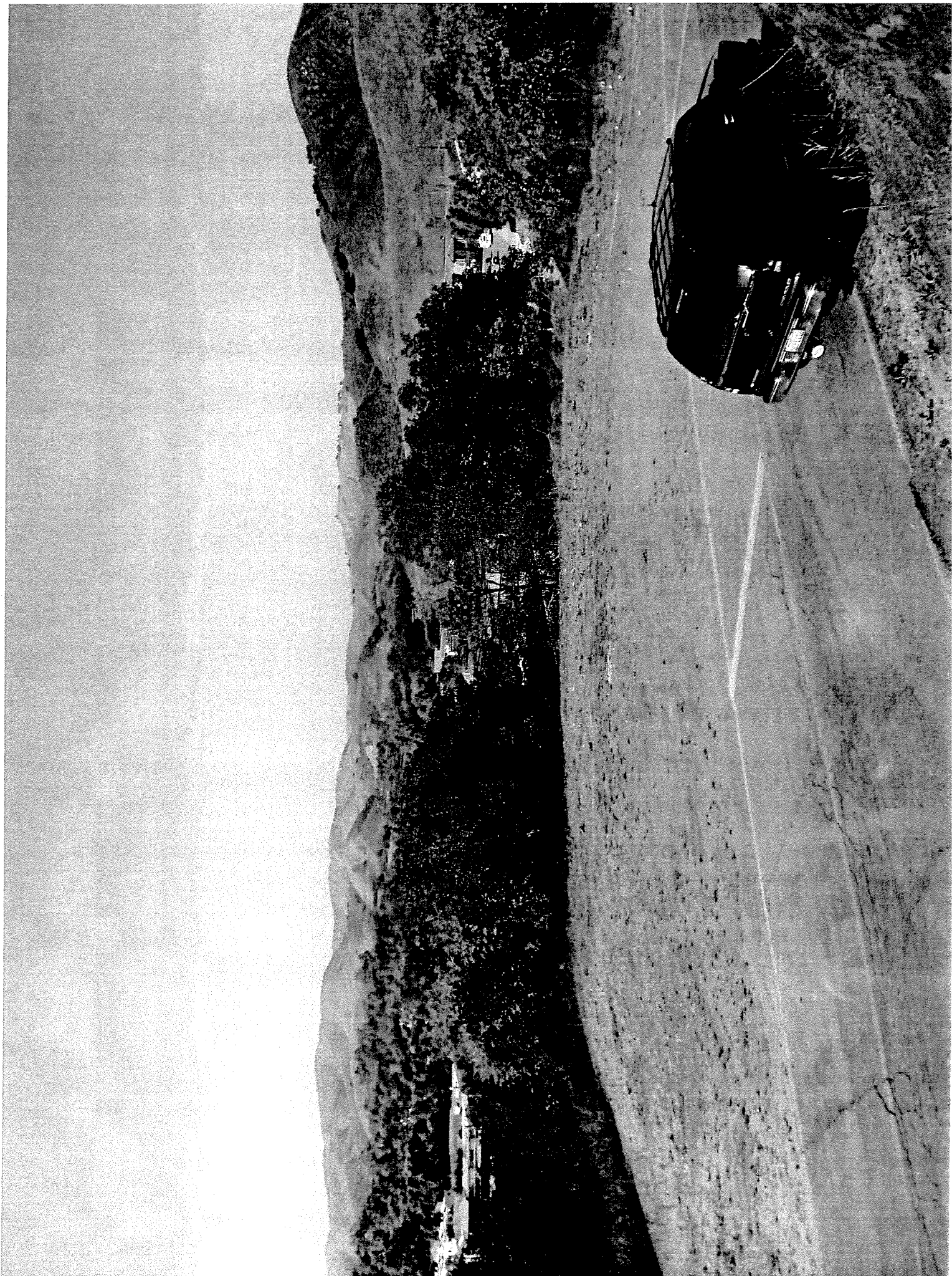
**FOR THE PROPERTY LOCATED AT
28161 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT F

**PHOTOGRAPHS OF SITE AND
SURROUNDINGS**

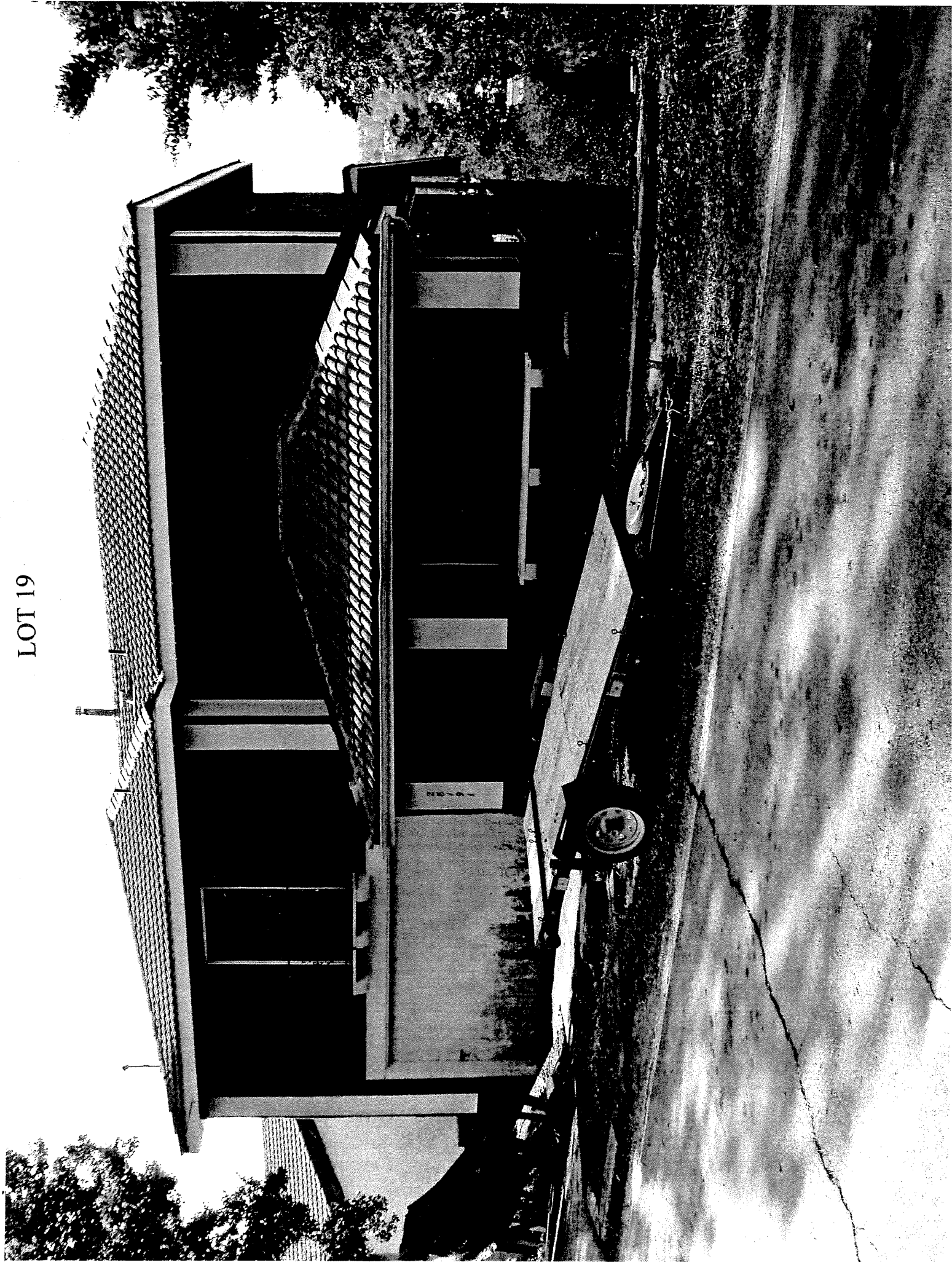


VICINITY MAP

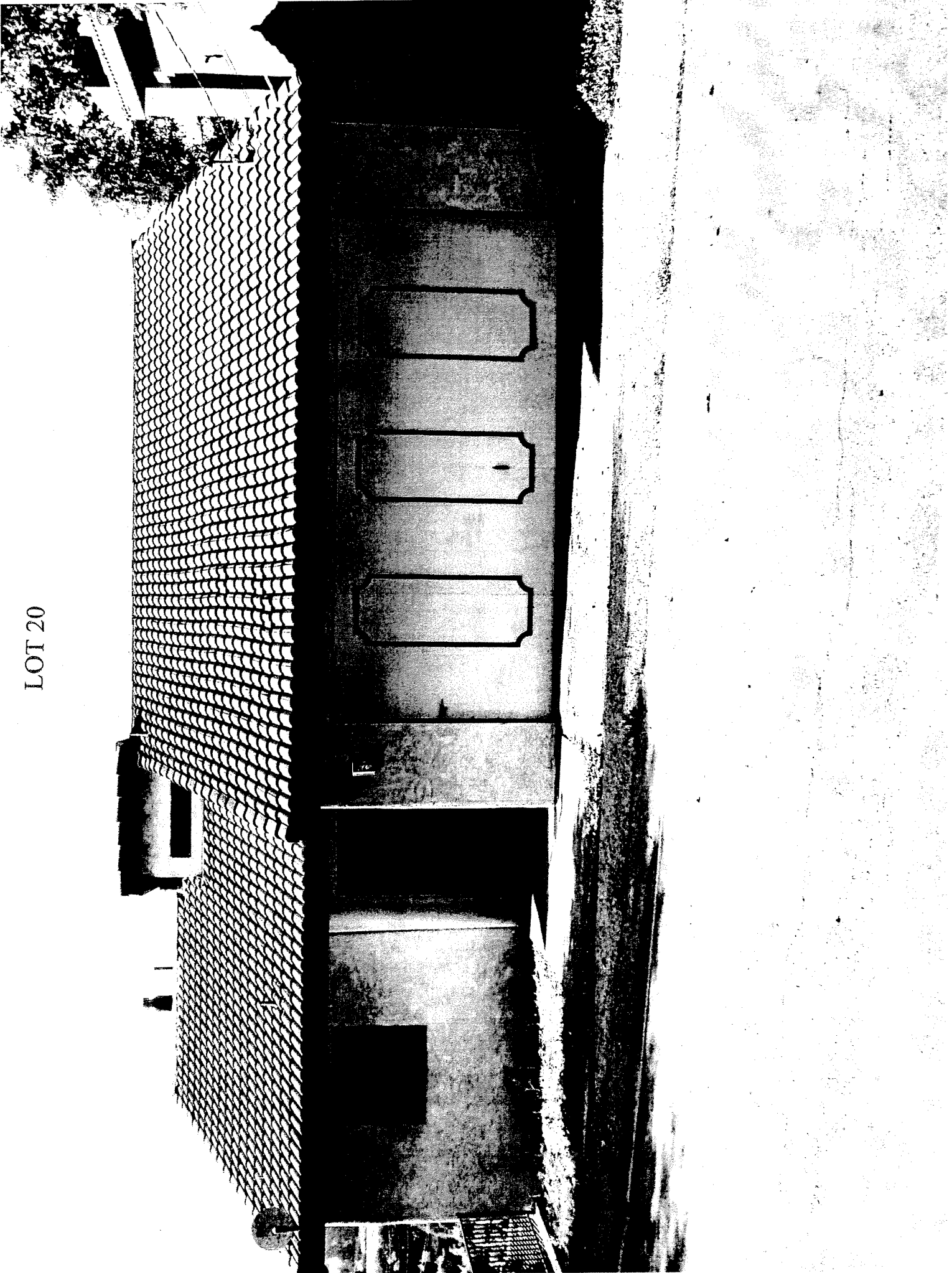




LOT 19



LOT 20





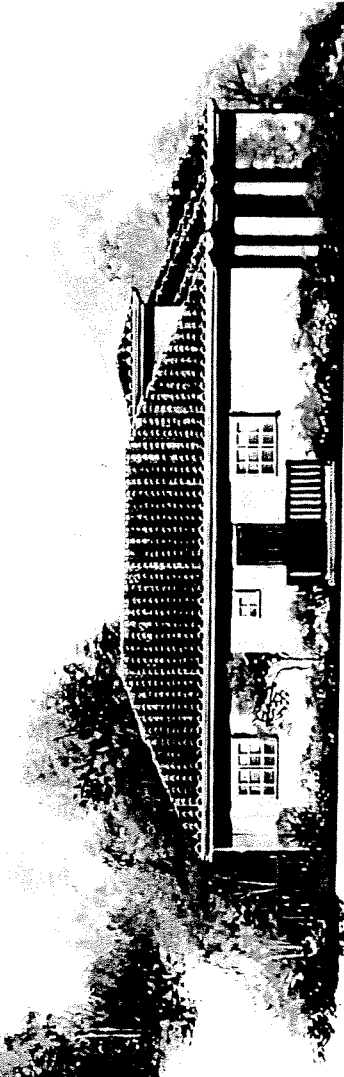
SOUTH (FRONT) ELEVATION
S. 011. 11. 15



EAST (RIGHT) ELEVATION
S. 011. 11. 15



NORTH (REAR) ELEVATION
S. 011. 11. 15



WEST (LEFT) ELEVATION
S. 011. 11. 15

LEO ROIT RESIDENCE
LAUREL HILLS DRIVE
AGOURA HILLS, CALIFORNIA

ARCHITECTURAL DESIGN & DESIGN, INC.