

**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001  
AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

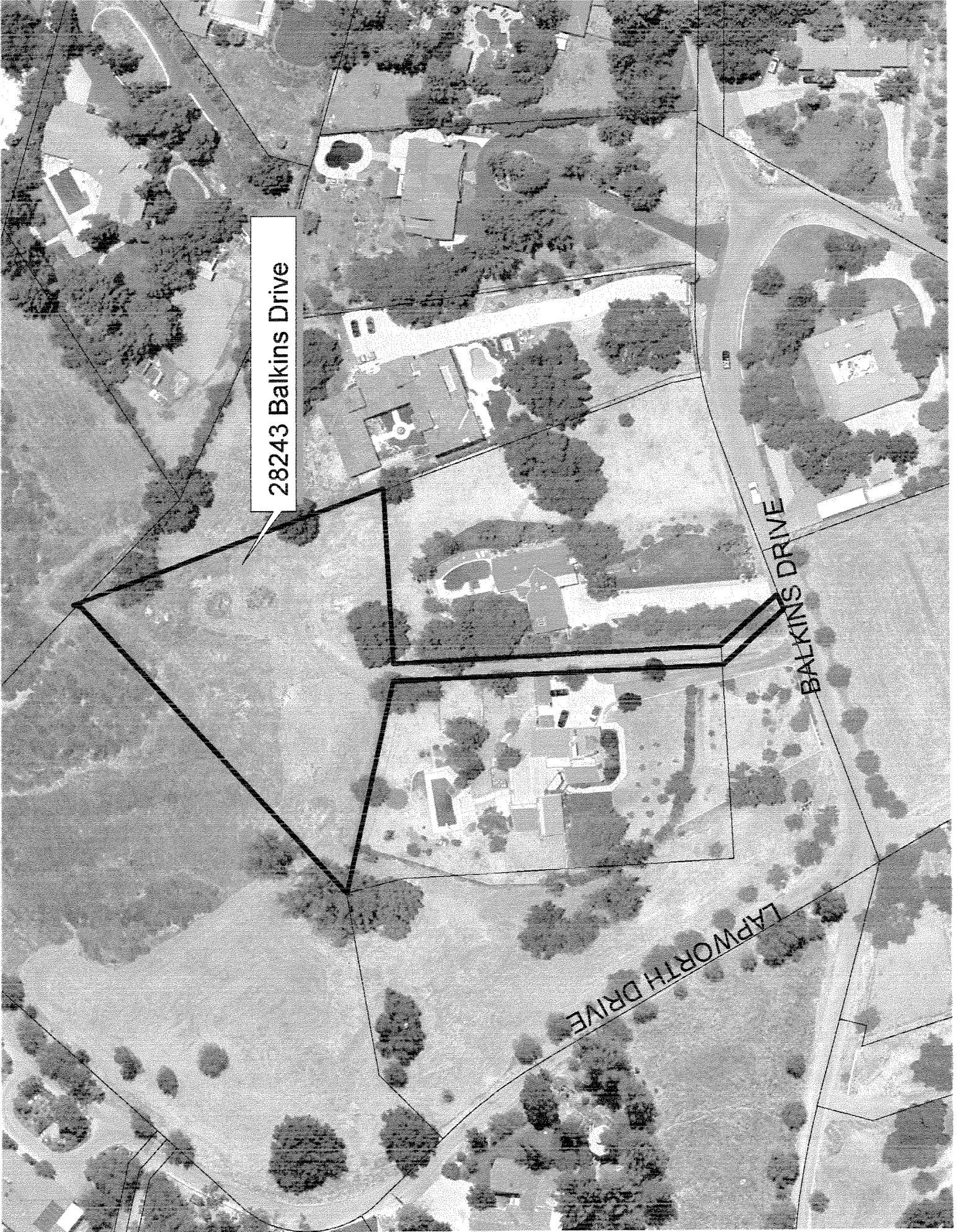
**EXHIBIT A**

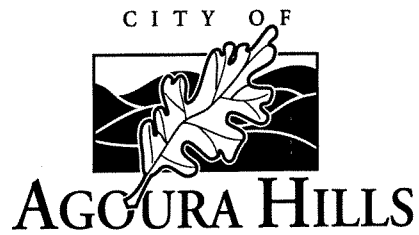
**VICINITY MAP**

28243 Balkins Drive

BALKINS DRIVE

LAPWORTH DRIVE





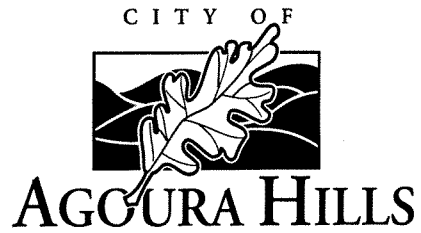
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AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT B**

**SQUARE FOOTAGE ANALYSIS MAP**





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AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT C**

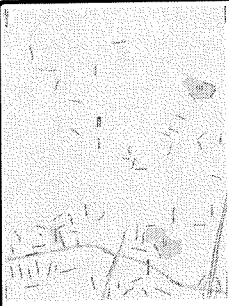
**REDUCED COPIES OF PLANS**

REVISED	BY
APRIL 2005	EA
NOV 2005	EA
JAN 2007	EA
MAR 2007	EA

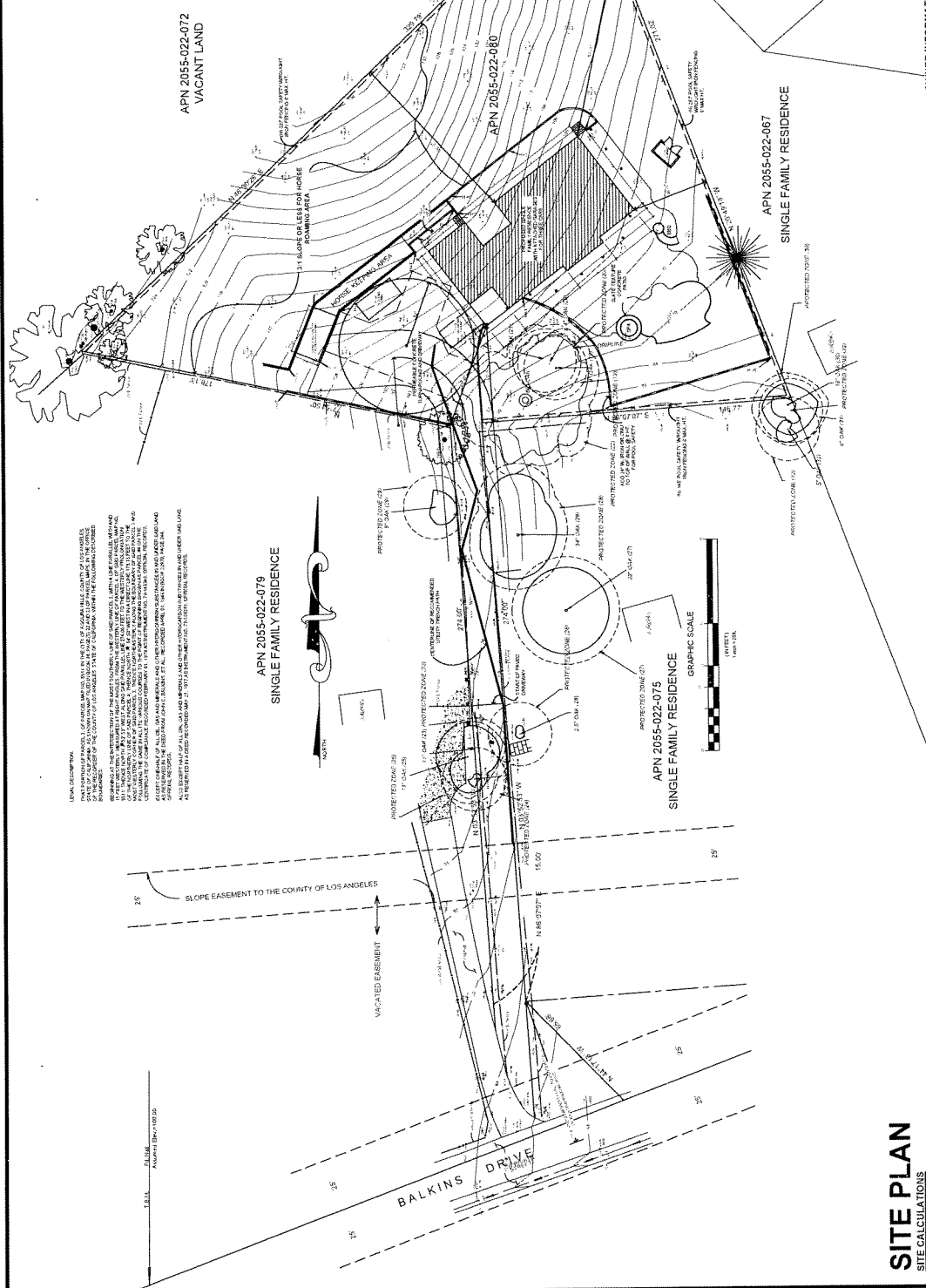
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.I.A.**  
 architect and planning  
 2825 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	DEC 2005
DATE	FEB 06
DATE	04/28/04
DATE	04/28/04



**VICINITY MAP**



**OWNER INFORMATION**

RAFI AND ORIT SHARON  
 382 ROCKEDGE DRIVE  
 OAK PARK, CA. 91377  
 PHONE: 818.597.9533

**PROJECT INFORMATION**

ASSESSOR'S PARCEL NUMBER: 2055-022-080  
 ZONING: RV-OA  
 NUMBER OF PARKING SPACES REQUIRED: 2 COVERED, 3 COVERED, 2 UNCOVERED  
 NUMBER OF PARKING SPACES PROPOSED: 2, 3, 2

RESIDENCE SQUARE FOOTAGE:  
 PROPOSED FIRST LEVEL: 2,904 SQ. FT.  
 GARAGE: 704 SQ. FT.  
 PROPOSED SECOND LEVEL: 2,056 SQ. FT.  
 5,664 SQ. FT.  
 PROPOSED IMPERMEABLE COVERAGE (INCLUDING PAVED DRIVEWAY AND TURFAROUND): 13,792 SQ. FT.

**LOT COVERAGE ANALYSIS**

FOOTPRINT OF RESIDENCE	2,904 SQ. FT.
FOOTPRINT OF GARAGE	704 SQ. FT.
HARDSCAPE (INCLUDING POOL AND SPA)	4,435 SQ. FT.
AREA OF GRADING TO BE RESTORED TO MATCH NATIVE VEGETATION	938 SQ. FT.
AREA OF GRADING TO BE USED FOR HORSEKEEPING	7,023 SQ. FT.
DEVELOPED AREA TOTAL LOT AREA *	1,202 SQ. FT.
DEVELOPED AREA TOTAL LOT AREA * EXCLUDING DRIVEWAY AND TURFAROUND	17,244 SQ. FT. (48.27% OF 35,772 SQ. FT. = 48%)
DEVELOPED AREA TOTAL LOT AREA * EXCLUDING DRIVEWAY AND TURFAROUND AND DRIVEWAY AND DRIVEWAY	7,569 SQ. FT. = 21%
DEVELOPED AREA TOTAL LOT AREA * EXCLUDING DRIVEWAY AND TURFAROUND AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	17,344 SQ. FT. (48.21% OF 35,772 SQ. FT. = 48%)
DEVELOPED AREA TOTAL LOT AREA * EXCLUDING DRIVEWAY AND TURFAROUND AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	16,211 SQ. FT. (45.32% OF 35,772 SQ. FT. = 45%)

**SITE CALCULATIONS**

GRASS LOT AREA = 49,276 SQ. FT. (1.13 ACRES)  
 NET LOT AREA = 49,276 SQ. FT. (1.13 ACRES)  
 MINIMUM HEIGHT OF STRUCTURE = 10' (AS PER ZONING)  
 AVERAGE GRADE AT REAR SETBACK LINE = 104.00' - 119.00' @ 1:11.75  
 MAX. HT. OF STRUCTURE = AVG. GRADE AT REAR SETBACK LINE + 10'  
 MAX. HT. OF STRUCTURE = 124.75'  
 AVERAGE SLOPE PERCENTAGE CALCULATION:  
 S = 16.1 X 100 / A  
 WHERE I = 4, L = 2807, AND A = 46,276 SQ. FT.  
 S (AVERAGE PERCENT SLOPE) = 23.3%  
 DEVELOPMENT AREA:  
 MINIMUM OF 62.5% OF PARCEL TO REMAIN IN OPEN SPACE IF PERCENT SLOPE IS WITHIN 1:25%  
 62.5% OF PARCEL = 30,798 SQ. FT.  
 18,478 SQ. FT. ALLOWED DEVELOPMENT

LEAD DEVELOPER'S STATEMENT OF WORKS AND RESPONSIBILITIES FOR THE PROJECT AND THE COUNTY OF LOS ANGELES:  
 I, the undersigned, being a duly licensed and qualified professional engineer, do hereby certify that I am the author of the above described site plan and that I am a duly licensed and qualified professional engineer in the State of California.  
 I hereby certify that the above described site plan was prepared by me or under my direct supervision and that I am a duly licensed and qualified professional engineer in the State of California.  
 I hereby certify that the above described site plan was prepared by me or under my direct supervision and that I am a duly licensed and qualified professional engineer in the State of California.  
 I hereby certify that the above described site plan was prepared by me or under my direct supervision and that I am a duly licensed and qualified professional engineer in the State of California.

APN 2055-022-079  
 SINGLE FAMILY RESIDENCE

APN 2055-022-075  
 SINGLE FAMILY RESIDENCE

**SITE PLAN**

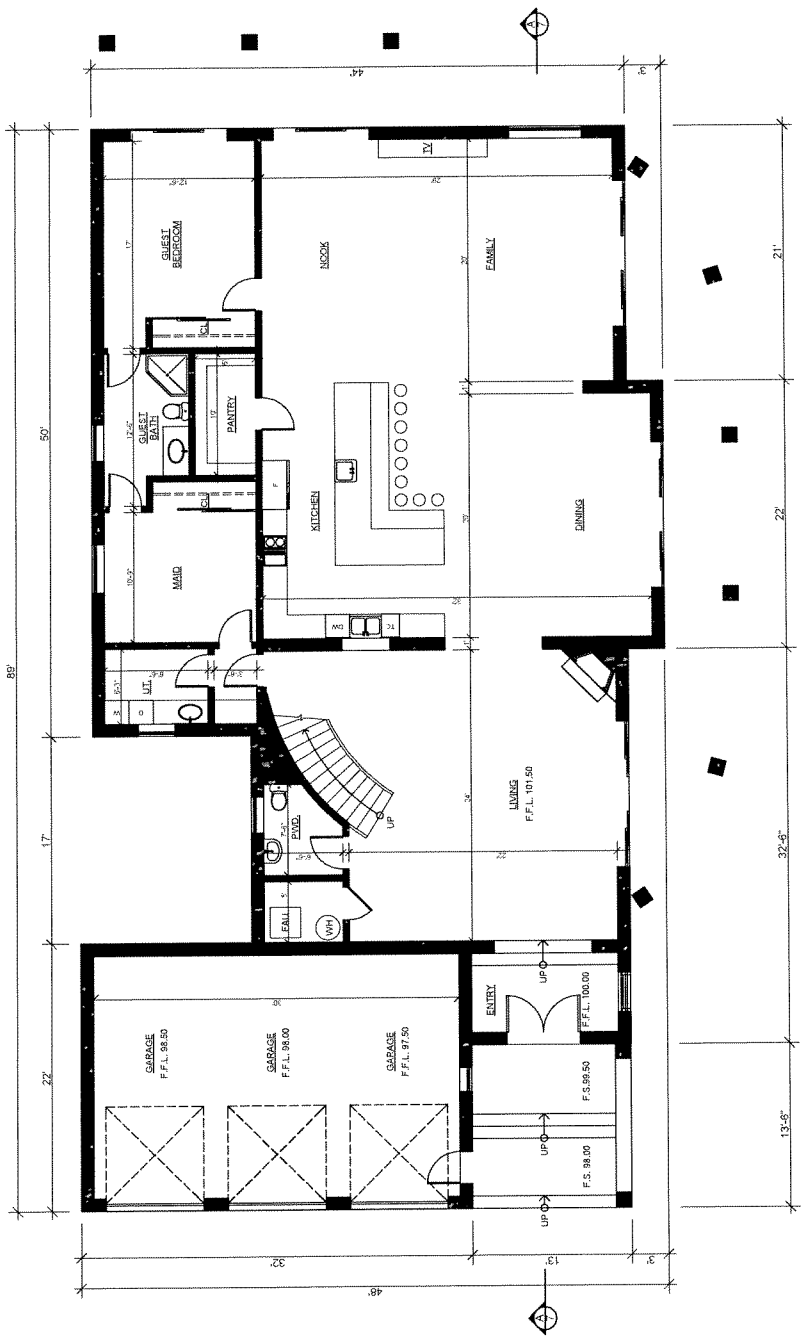
NO.	REVISION
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2	OCT 2006 EA
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PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA 91301

**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

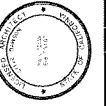
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BY	CLIVE DAWSON
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DATE	AUG 2006
BY	CLIVE DAWSON
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DATE	OCT 2006
BY	CLIVE DAWSON
CHECKED	CLIVE DAWSON

2



FIRST LEVEL 2,904 SQ. FT.  
 GARAGE 704 SQ. FT.





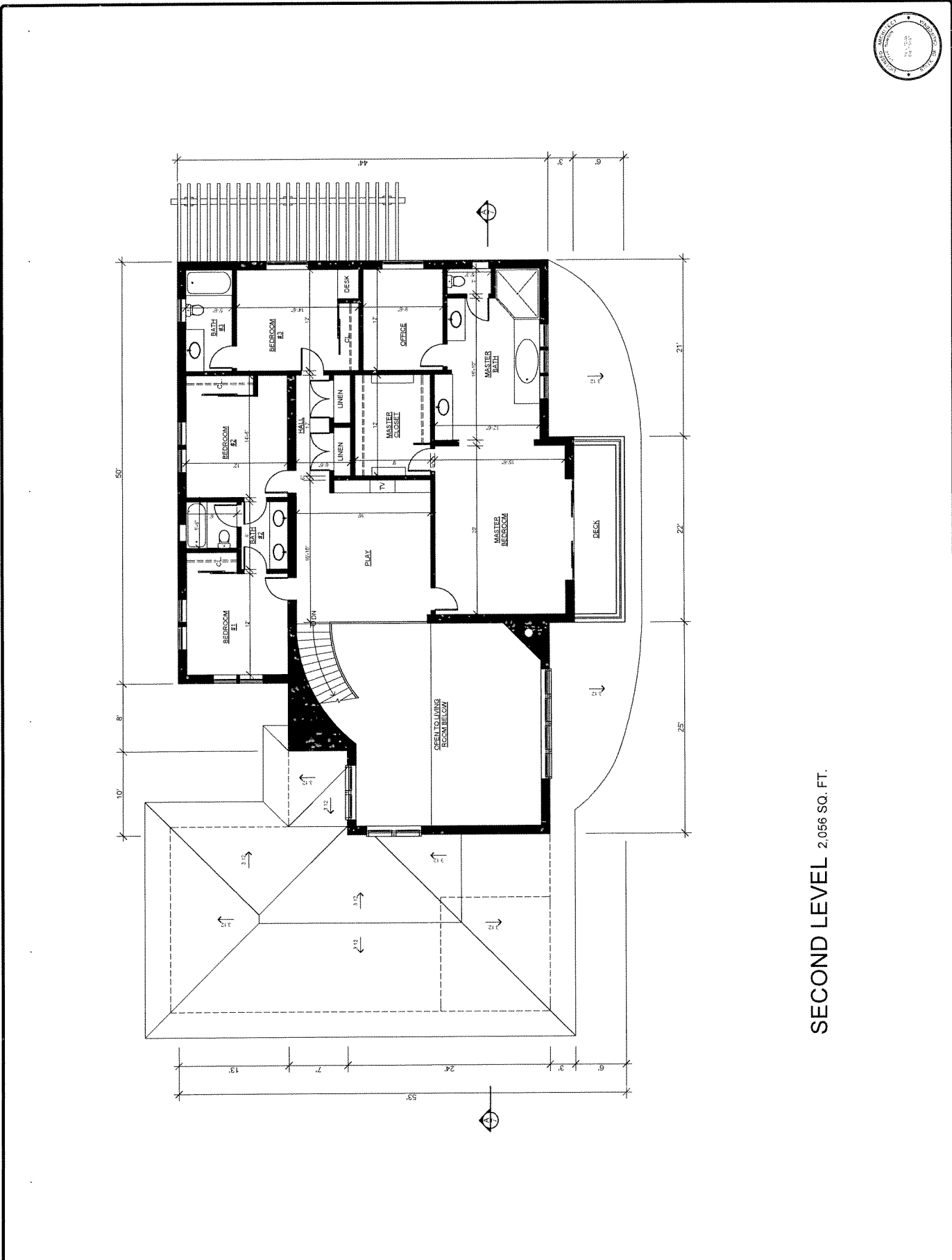
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BY: CLIVE DAWSON  
CHECKED: [Signature]  
DEC 7 2005  
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SHEET

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28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

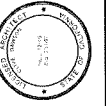
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
RAFI AND ORIT SHARON  
28243 BALKINS DRIVE  
AGOURA HILLS, CA. 91301

REVISION	NO.	DATE	BY
	1	APRIL 2005	EA
	2	OCT 2005	EA



SECOND LEVEL 2,056 SQ. FT.



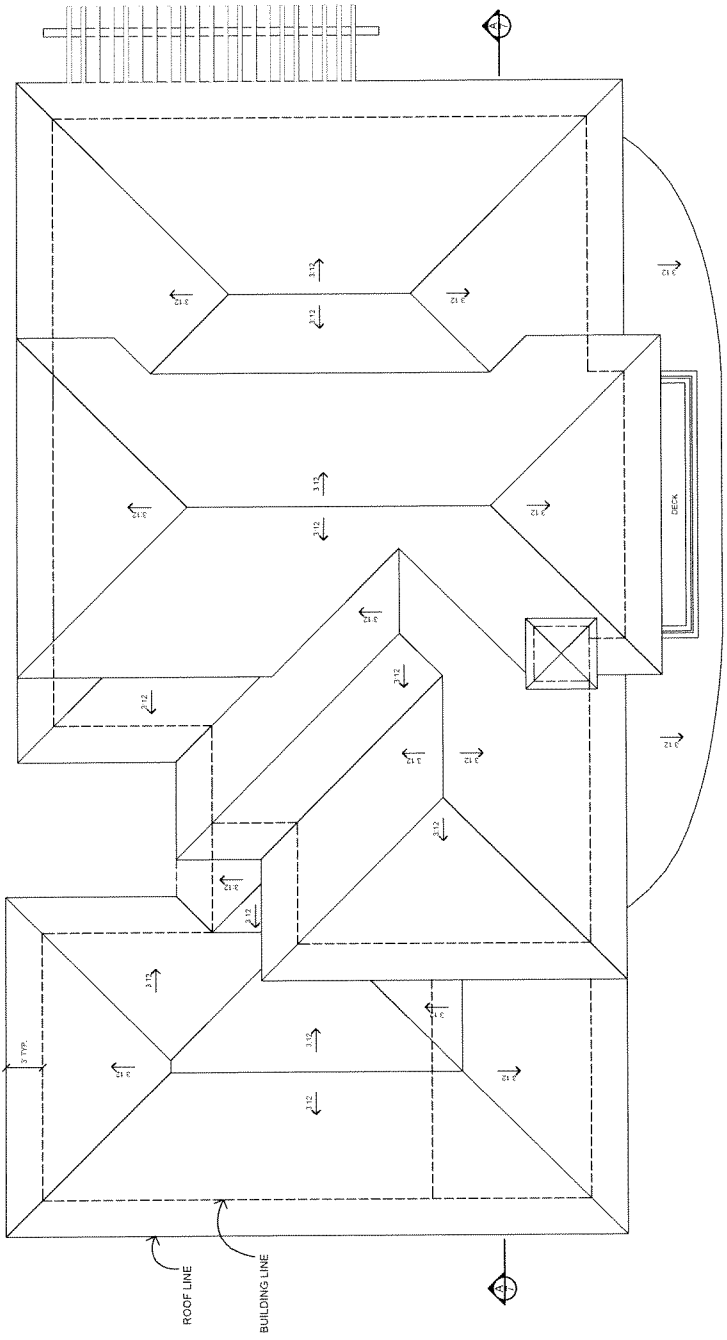


DATE	BY	REVISION
DEC 2005	CLD	CONCEPT
NOV 2006	CLD	DEVELOPMENT
OCT 2006	EA	EA
APRIL 2006	EA	EA

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28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
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28243 BALKINS DRIVE  
AGOURA HILLS, CA. 91301

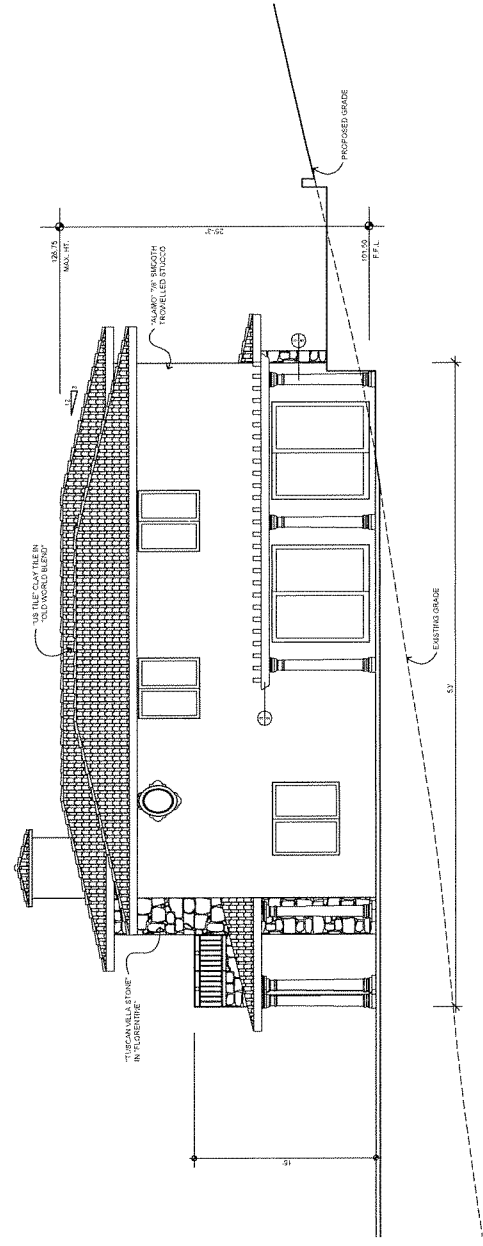
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2	OCT 2006	EA	EA
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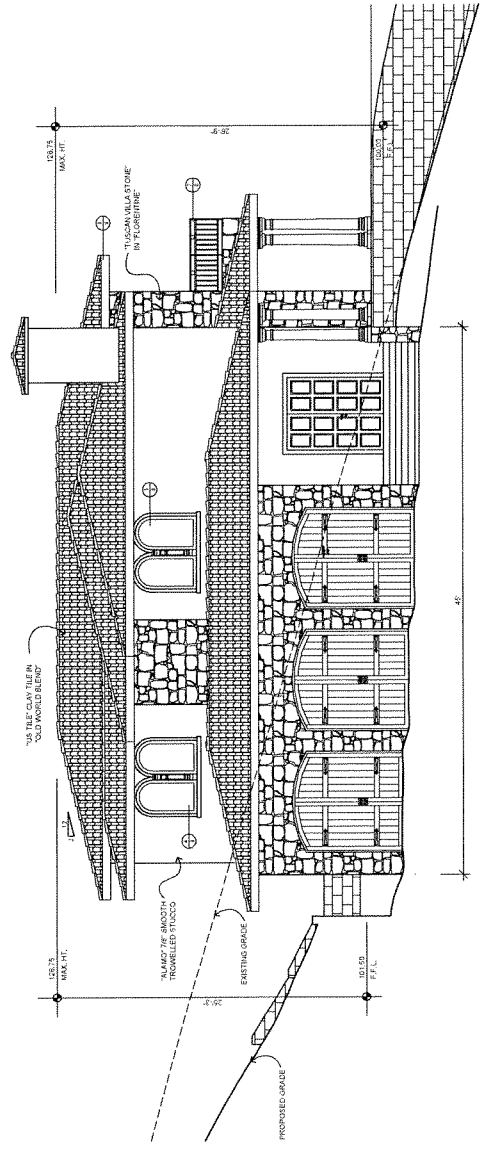
ROOF PLAN



# EAST ELEVATION



# WEST ELEVATION



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 28243 BALKINS DRIVE  
 AGOURA HILLS, CA 91301

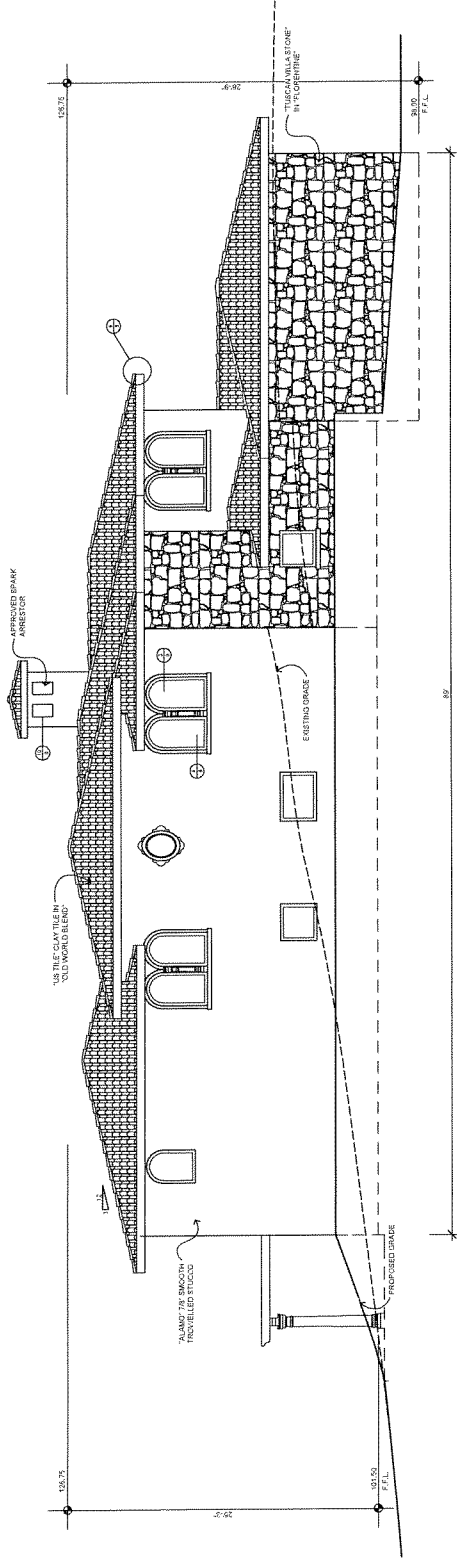
REVISIONS	DATE	BY
	APRIL 2006	EA
	OCT 2008	EA

REVISIONS	#	DATE	BY
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	2	OCT 2006	EA

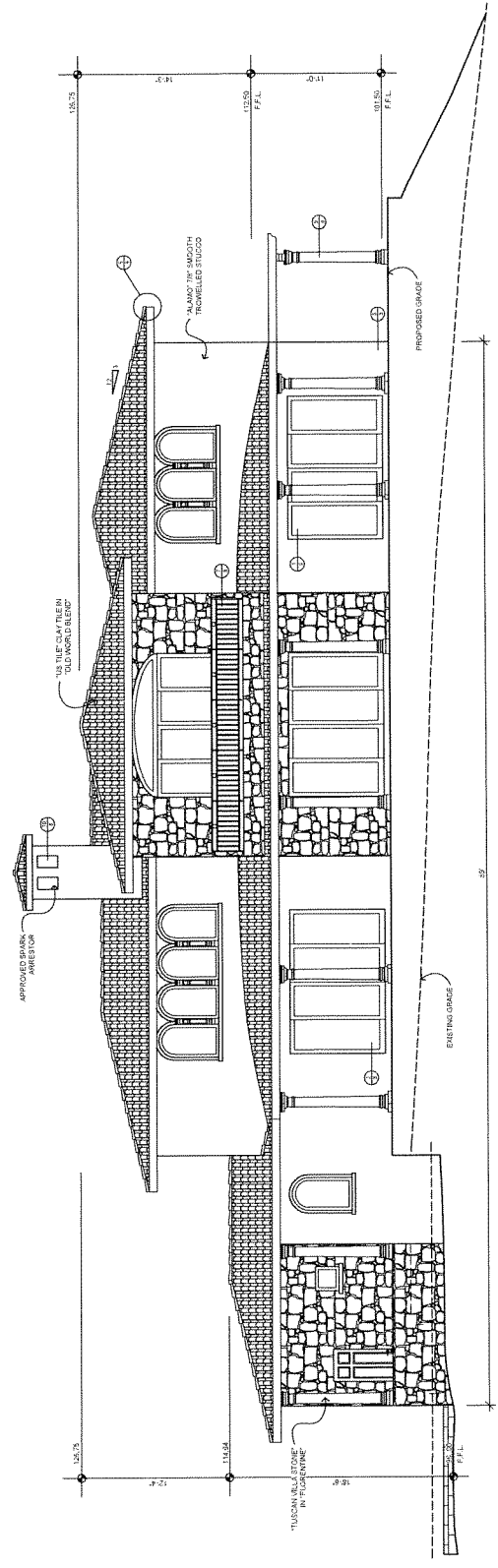
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA 91301

**CLIVE DAWSON A.I.A.**  
 Architecture and Planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	2/1/07
PROJECT	28243 BALKINS DRIVE
DATE	1/4/07
PROJECT	28243 BALKINS DRIVE
DATE	1/4/07
PROJECT	28243 BALKINS DRIVE



NORTH ELEVATION



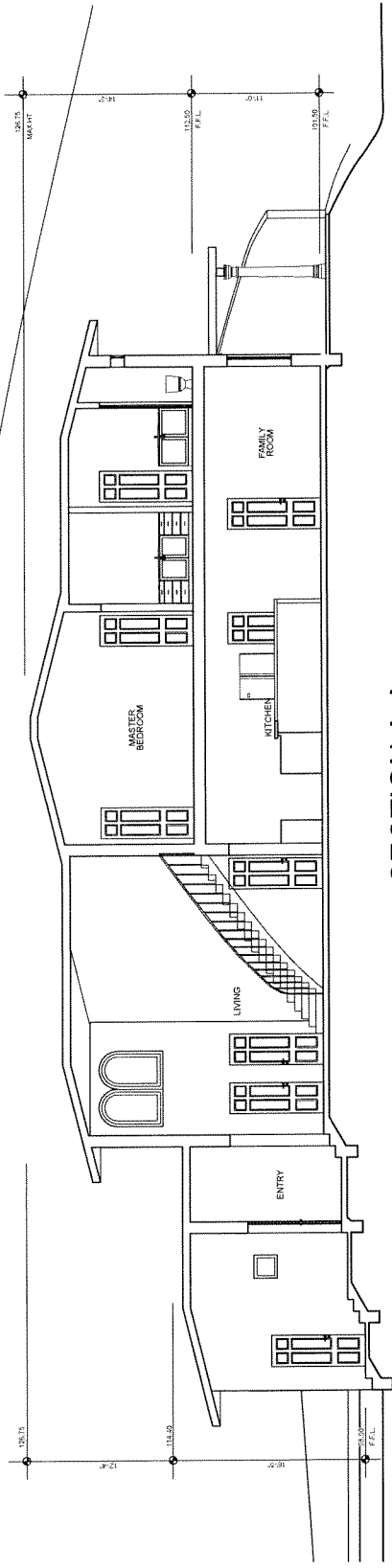
SOUTH ELEVATION

REVISED	BY	DATE
APRIL 2005	EA	
OCT 2005	EA	

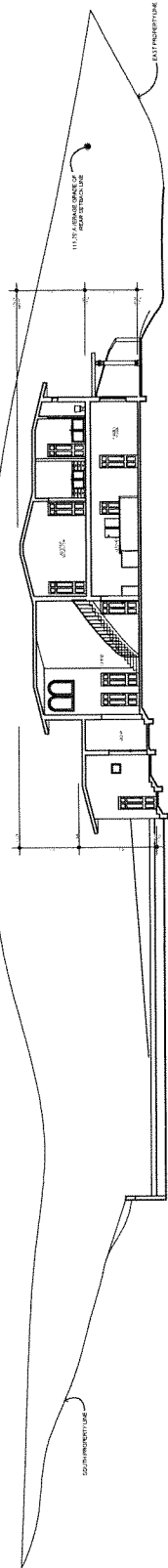
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
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 AGOURA HILLS, CA. 91301

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NO. 7
DATE
PROJECT
DEC 2005
1/4" = 1'-0"
0328304
SHEET



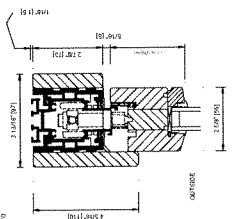
SECTION A-A



SECTION A-A THROUGH ENTIRE SITE  
 SCALE 1" = 10'-0"

NanaWall WD66

INWARD OPENING SECTION DETAIL HEAD JAMB WD66S

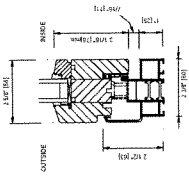


**1** SLIDING DOOR HEAD (TYP. IN-SWING)

SCALE 3/4\" = 1'-0"

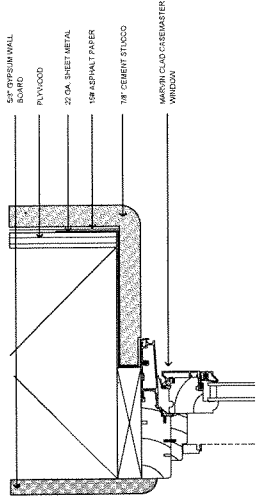
NanaWall WD66

INWARD OPENING SECTION DETAIL RAKED SILL WD66S



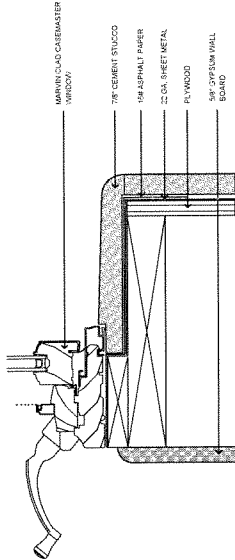
**2** SLIDING DOOR SILL (TYP. IN-SWING)

SCALE 3/4\" = 1'-0"



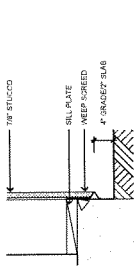
**3** WINDOW HEAD (TYP.)

SCALE 3/4\" = 1'-0"



**4** WINDOW SILL (TYP.)

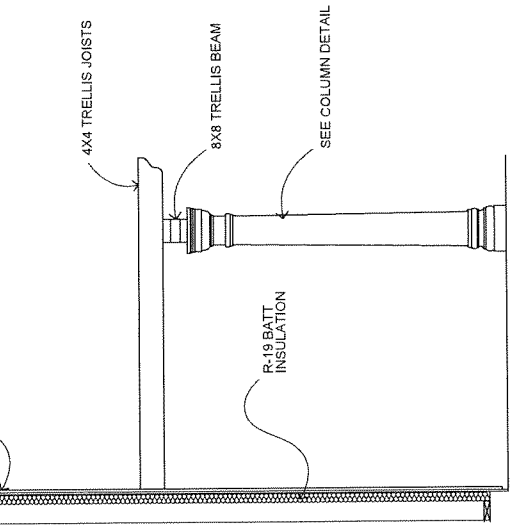
SCALE 3/4\" = 1'-0"



**5** WEEP SCREED (TYP.)

SCALE 1/2\" = 1'-0"

ALAMO 7/8\" SMOOTH TROWELLED STUCCO 1 HOUR FIRE RATING



**8** TRELLIS

SCALE 3/4\" = 1'-0"

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
RAFI AND ORTI SHARON  
2843 BALKINS DRIVE  
AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.I.A.**  
architect and planning  
2825 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE: OCT. 2005  
DRAWN: E.A.  
CHECKED: M.F.  
DESIGNED: J.P.  
SCALE: AS SHOWN  
DATE: OCT. 2005

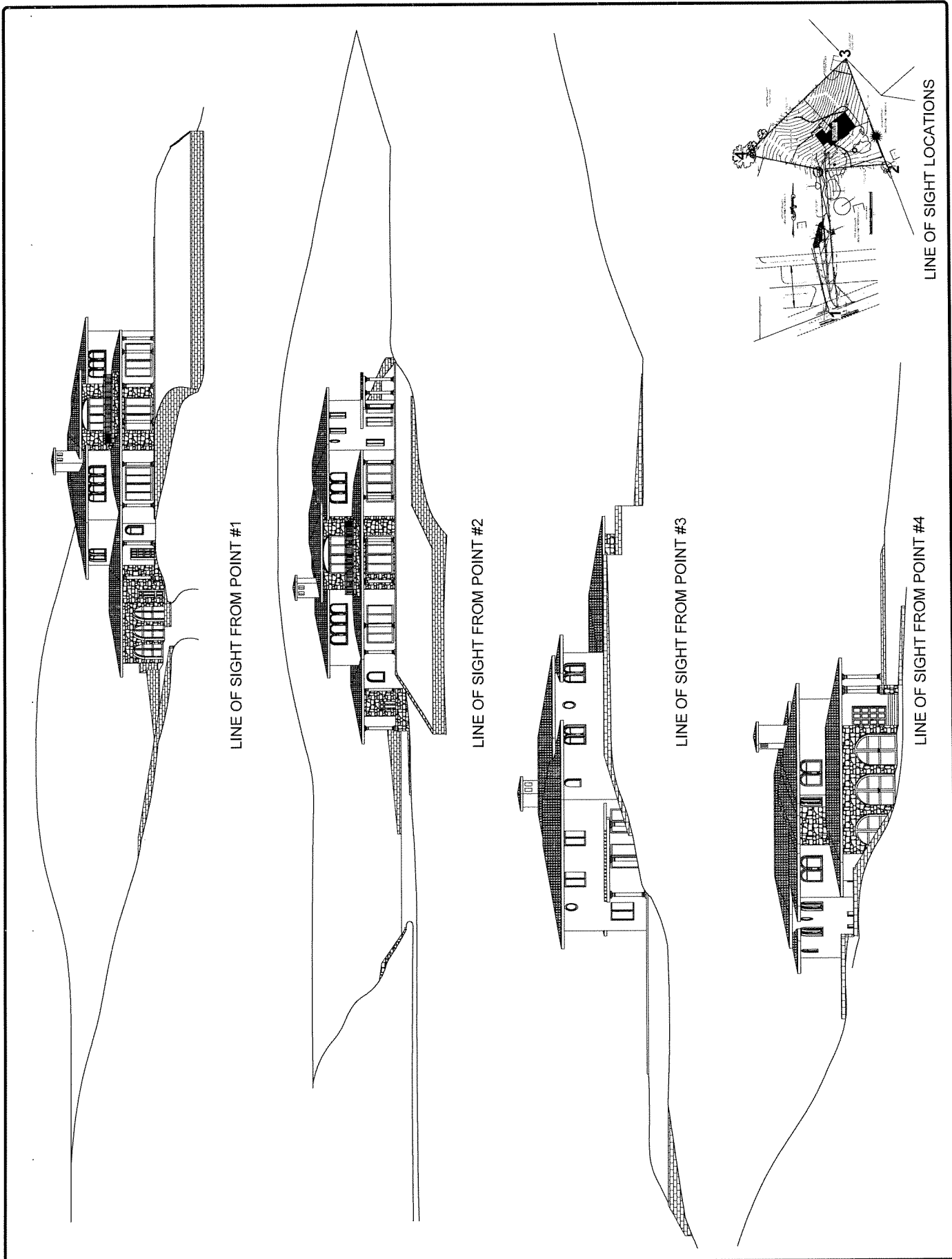
8

NO.	DATE	BY
1	MAY 2005	EA
2	OCT 2006	EA

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

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 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

NO.	DATE	BY
1	MAY 2005	EA
2	OCT 2006	EA



LINE OF SIGHT FROM POINT #1

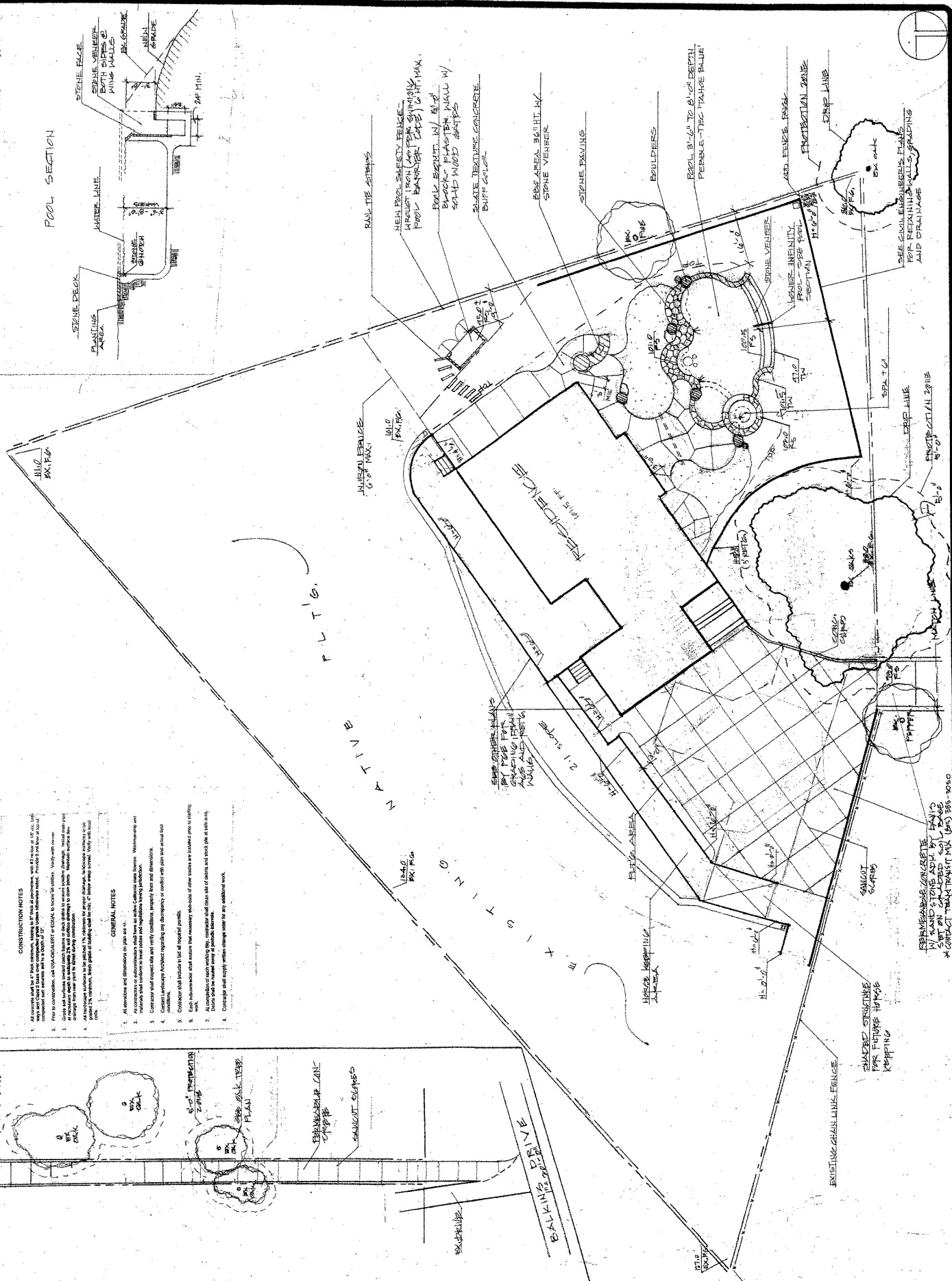
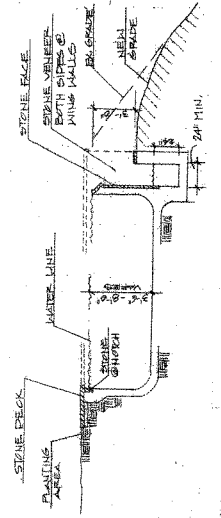
LINE OF SIGHT FROM POINT #2

LINE OF SIGHT FROM POINT #3

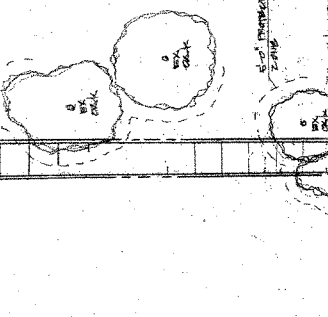
LINE OF SIGHT FROM POINT #4

LINE OF SIGHT LOCATIONS

POOL SECTION



- CONSTRUCTION NOTES**
1. All materials shall be of the highest quality, unless otherwise noted. All materials shall be approved by the local health department. All materials shall be installed in accordance with the manufacturer's instructions.
  2. Stone veneer shall be installed in accordance with the manufacturer's instructions. Stone veneer shall be installed on a concrete base.
  3. Concrete shall be finished with a smooth surface. Concrete shall be finished with a smooth surface. Concrete shall be finished with a smooth surface.
  4. All materials shall be installed in accordance with the manufacturer's instructions. All materials shall be installed in accordance with the manufacturer's instructions.
- GENERAL NOTES**
1. All dimensions and dimensions to plan are in feet.
  2. All dimensions and dimensions to plan are in feet.
  3. All dimensions and dimensions to plan are in feet.
  4. All dimensions and dimensions to plan are in feet.
  5. All dimensions and dimensions to plan are in feet.
  6. All dimensions and dimensions to plan are in feet.
  7. All dimensions and dimensions to plan are in feet.
  8. All dimensions and dimensions to plan are in feet.



CONSTRUCTION PLAN



PLANT LIST

SPECIAL	BOTANICAL NAME	COMMON NAME	QUANTITY
TREES	PLEA EUROPAEA	OLIVE	3-24" BOX
	QUERCUS AGRIFOLIA	COAST LIVE OAKS	1-24" BOX
SHRUBS			
C	SEBASTIAE SENECIO	CALIFORNIA LILAC	48-5 GAL.
X	HEMEROCALLIS HYBRIDA	FOX GLOVE (LARGER)	48-5 GAL.
X	HEMEROCALLIS HYBRIDA	FOX GLOVE (SMALL)	17-5 GAL.
X	TRICHOCLIMA LYNNI	COAST TROPIC PLANT	24-5 GAL.
X	TRICHOCLIMA LYNNI	STARS	24-5 GAL.
R	ROSA CALIFORNICA	CALIF. ROSE	12-5 GAL.

**LANDSCAPE SPECIFICATIONS**

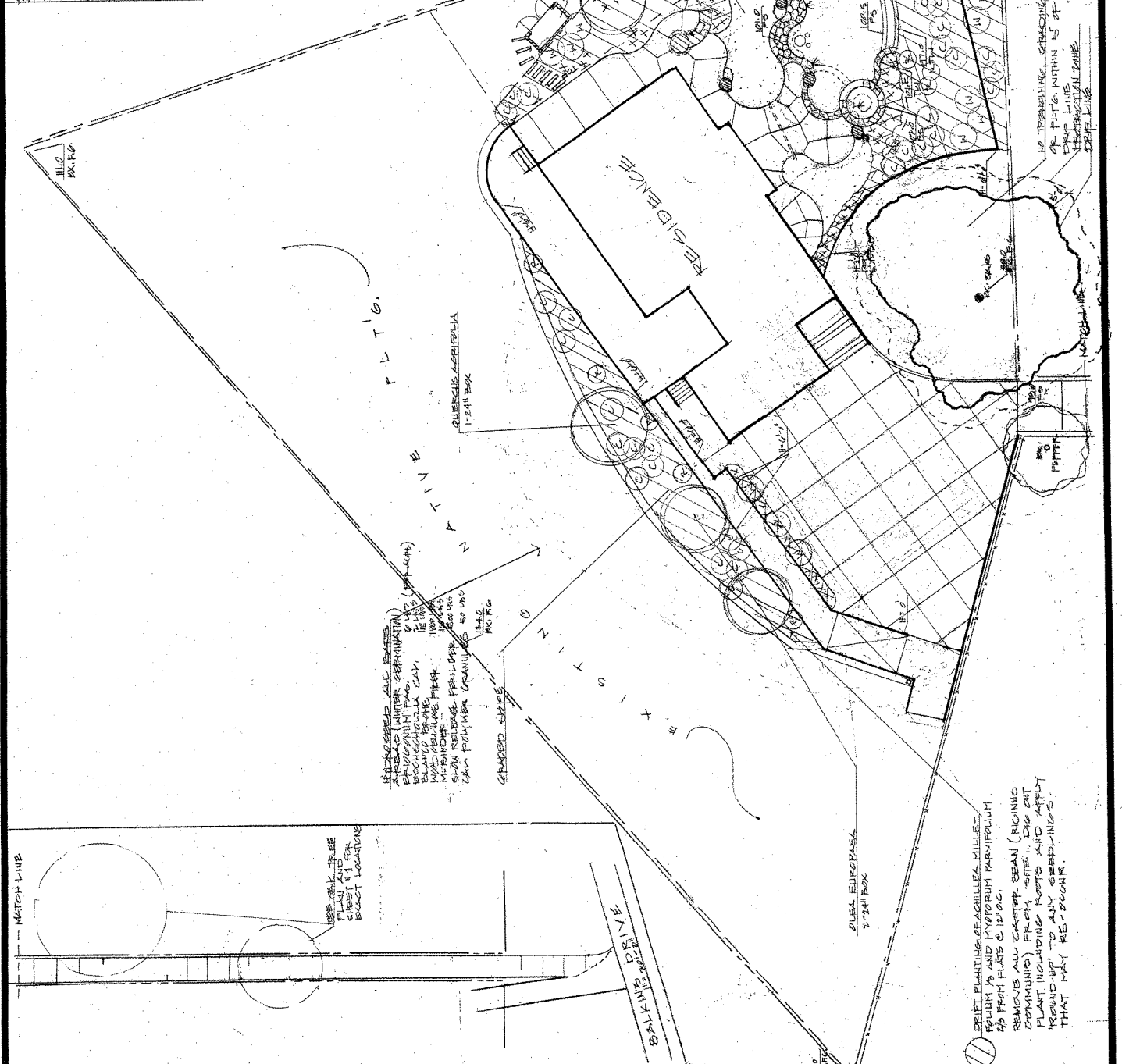
All plants, with the exception of annuals, shall be guaranteed for one year as to survival and health. The minimum guarantee shall be for the first year. The contractor shall be held responsible for the quality of all plants. The contractor shall be held responsible for the quality of all plants. The contractor shall be held responsible for the quality of all plants.

Plant list is for construction only. Any quantities with asterisks (\*) shall be procured by the contractor. The contractor shall be held responsible for the quality of all plants. The contractor shall be held responsible for the quality of all plants.

The Landscape Commission shall review all areas graded to within five feet of a final 1% slope. All areas shall be graded to within five feet of a final 1% slope. All areas shall be graded to within five feet of a final 1% slope.

Planting shall be done in accordance with the following specifications:

- Planting shall be done in accordance with the following specifications:
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- Planting shall be done in accordance with the following specifications:

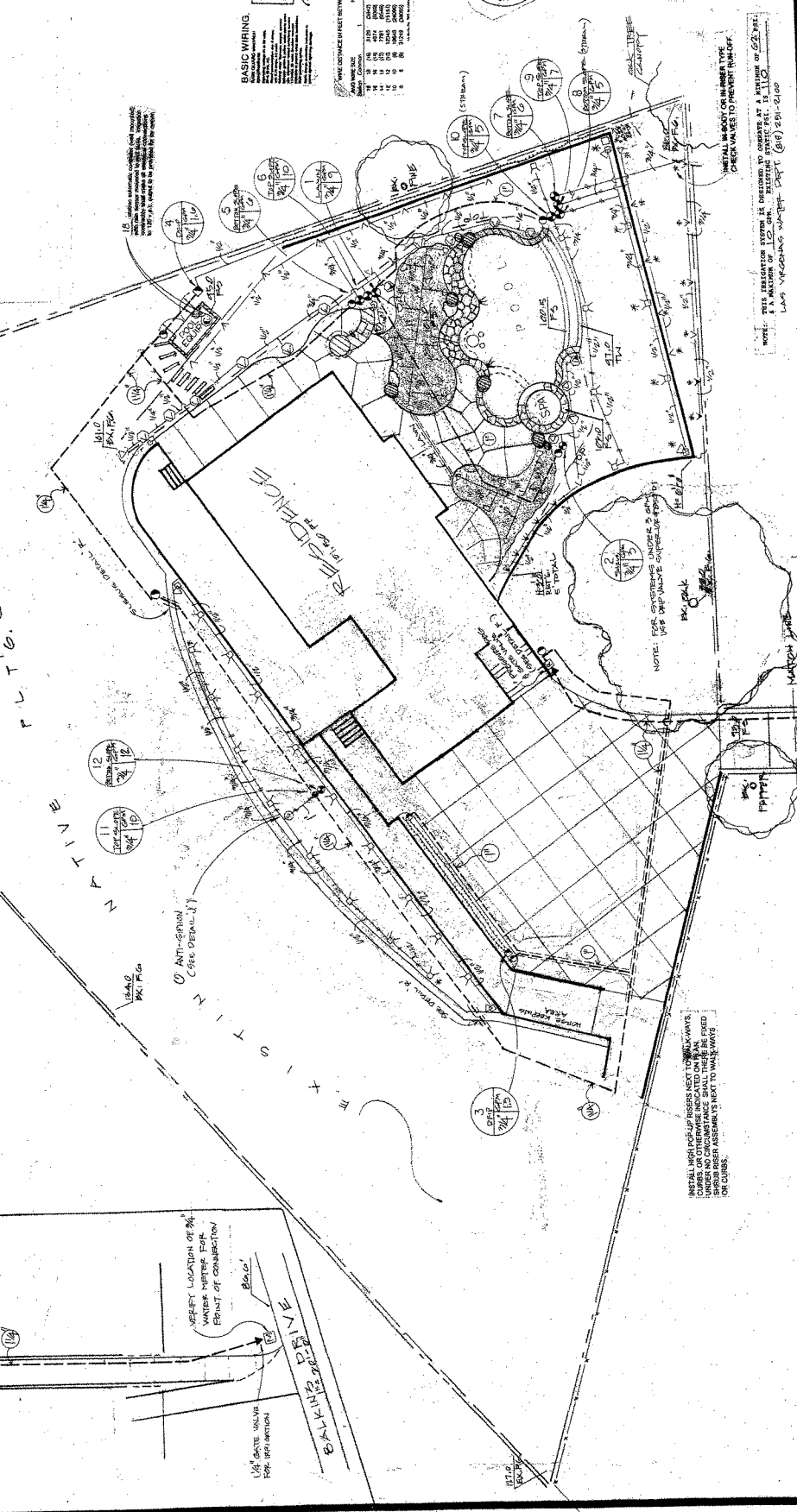


FRUIT PLANTING: AQUILEGIA MILLE-FOLIUM AND MYRTILUS PARVIFOLIUM 45 FEET FROM PLANTING LINE. REMOVE ALL CASTER BEAN (RICINO COMMUNE) FROM SITE. DIG OUT PLANT INCLUDING ROOTS AND APPLY ROUND-UP TO ANY SEEDLINGS THAT MAY RE-ROOT.

**WATERING SCHEDULE**

WATERING SCHEDULE	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)	WATERING RATE (GAL./MIN.)
1. 1/2" (1.5')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
2. 2" (2.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
3. 3" (3.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
4. 4" (4.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
5. 5" (5.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
6. 6" (6.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
7. 7" (7.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
8. 8" (8.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
9. 9" (9.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
10. 10" (10.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
11. 11" (11.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57
12. 12" (12.0')	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57	0.57

1. COVERED TUBE OF ALL WALKWAYS SHALL BE INSTALLED UNDER ALL WALKWAYS AND SHALL BE INSTALLED UNDER ALL WALKWAYS AND SHALL BE INSTALLED UNDER ALL WALKWAYS.
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11. COVERED TUBE OF ALL WALKWAYS SHALL BE INSTALLED UNDER ALL WALKWAYS AND SHALL BE INSTALLED UNDER ALL WALKWAYS.
12. COVERED TUBE OF ALL WALKWAYS SHALL BE INSTALLED UNDER ALL WALKWAYS AND SHALL BE INSTALLED UNDER ALL WALKWAYS.



MATCH LINE

VERIFY LOCATION OF VALVE WHERE NEEDED FOR FRONT OF CONNECTION

1/2" GATE VALVE FOR OPERATION

BANKS DRIVE

INSTALL HIGH-PROFILE RISERS NEXT TO WALKWAYS. CURBS AND CONCRETE SHALL BE INSTALLED AFTER RISERS ARE ASSEMBLED. RISERS SHALL BE INSTALLED NEXT TO WALKWAYS OR CURBS.

NOTE: USE APPROVED UNDERGROUND VALVES. USE APPROVED UNDERGROUND VALVES.

CHECK VALUES TO PREVENT RUNOFF.

NOTE: THIS IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT A FLOW RATE OF 2.5 GPM PER WALKWAY OF 1.0' DIA. INSISTENT FLOW RATE SHALL BE 2.5 GPM PER WALKWAY OF 1.0' DIA. (SEE SPECIFICATIONS SHEET 05-10)



**WALKWAY COVERED TUBE CONTROLLED AND VALVE**

WALKWAY NO.	WALKWAY DIA.	WALKWAY LENGTH	WALKWAY AREA	WALKWAY PERIMETER	WALKWAY VOLUME	WALKWAY WEIGHT	WALKWAY COST
1	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
2	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
3	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
4	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
5	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
6	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
7	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
8	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
9	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
10	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
11	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785
12	1.0'	10.0'	0.785	31.4'	0.785	0.785	0.785



### GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 17 OF THE AGOURA HILLS MUNICIPAL CODE.
- FOR ANY TYPE OF CONSTRUCTION, THE GRADE SHALL BE ADJUSTED TO THE CITY STAFF.
- ALL EXISTING MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CIVIL PLAN OR CONTAINED IN THE CONSULTANT'S SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPROVAL OF THE CITY ENGINEER IN THE WORK WHICH SHALL BE SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVED PLANS AND A SOILS ENGINEER TO ASSURE COMPLIANCE WITH THE SPECIFICATIONS AND NOTES.
- REPORTS REQUIRED:
  - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER AND SOILS ENGINEER THAT ALL ROUGH GRADING HAS BEEN COMPLETED FOR THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT, CIVIL ENGINEER, AND SOILS ENGINEER. THIS REPORT SHALL INCLUDE THE FOLLOWING:
    - STATE THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED AND THE FINAL GRADING AND DRAINAGE SYSTEMS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
    - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER AND SOILS ENGINEER AND SHALL INCLUDE THE FOLLOWING INFORMATION:
      - STATEMENT OF WORK AND SCOPE OF WORK.
      - DESCRIPTION OF THE PROJECT AND LOCATION.
      - DATE OF FIELD OBSERVATION AND TESTING.
      - LOCATION OF ALL GRADING AND DRAINAGE FACILITIES.
      - RESULTS OF ALL TESTING AND ANALYSIS.
      - IDENTIFICATION OF ALL PROBLEMS AND RECOMMENDATIONS FOR CORRECTIVE ACTION.
      - SOILS ENGINEER'S COMMENTS AND SIGNATURE.
      - SOILS ENGINEER'S LICENSE NUMBER AND EXPIRATION DATE.
      - DATE OF REPORT.
      - LOCATION OF ALL GRADING AND DRAINAGE FACILITIES.
      - AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS AND STRUCTURES.
    - TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD TESTS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDANTLY.
    - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
    - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
    - ALL CONSTRUCTION ACTIVITY SHALL BE CONTINUED TO THE HOUR OF 7:00 AM TO 6:00 PM, MONDAY THROUGH FRIDAY. NO CONSTRUCTION SHALL BE PERMITTED ON COMMERCE OBSERVED HOLIDAYS.

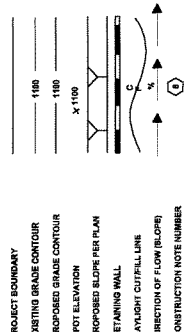
### INSPECTION NOTES

THE PERMITS ON THIS PROJECT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK:

### ABBREVIATIONS

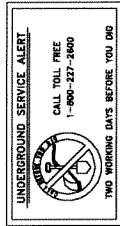
- AC - ASPHALTIC CONCRETE
- BC - BOTTOM OF FOOTING
- CB - CATCH BASIN
- CG - CENTERLINE
- CL - CHAIN LINE
- CS - CURB
- CU - CURB LIFECHECK
- DB - DRAINAGE BASIN
- ED - EDGE OF DRIVEWAY
- EP - EDGE OF PAVEMENT
- FG - FINISHED GRADE
- FI - FIRE HYDRANT
- FW - FINISH SURFACE
- HC - HSP - HANDICAP RAMP
- HW - HATCH
- INV - INVERT
- MS - MASONRY
- NTS - NOT TO SCALE
- PL - PROPERTY LINE
- PS - PROPANE SERVICE
- SE - SETBACK LINE
- SDM - STORM DRAIN MANHOLE
- SW - SEWER MANHOLE
- SWM - SEWER MAINLINE
- TS - TOP OF BASIN
- TS - TOP OF CURB
- TS - TOP OF FOOTING
- TS - TOP OF GRADE
- TR - TRAP
- TR - TRAP
- TY - TYPICAL
- WM - WATER METER
- WV - WATER VALVE
- WH - WHITE VALE

### LEGEND AND SYMBOLS



### PUBLIC UTILITIES / SERVICES

- WATER:**  
LAS VEGASAS MUNICIPAL WATER DISTRICT  
422 LAS VEGASAS ROAD  
CALABASSA, CA 91302  
(916) 284-4170
- ELECTRICAL:**  
SOUTHERN CALIFORNIA Edison  
THOUSAND OAKS, CA 91381  
(818) 484-3181
- TELEPHONE:**  
SBC (PAC BELL)  
VAN NUYS, CA 91411  
(818) 376-4889
- GAS:**  
SOUTHERN CALIFORNIA GAS  
440 DANDALE AVENUE  
VAN NUYS, CA 91411  
(818) 791-3224
- SEWER:**  
SEWER MAINTENANCE DIVISION  
CITY OF AGOURA HILLS, CA 91301  
(818) 380-2388
- CABLE:**  
ADSL/DSL  
INSULLARY PARK, CA 91330  
(818) 375-5213
- CABLE:**  
CHARTER COMMUNICATIONS  
3080 CROCKERBERRY ROAD  
VAN NUYS, CA 91411  
(818) 484-2010
- CALTRANS:**  
3888 REBECCA BOULEVARD  
VAN NUYS, CA 91411  
(818) 388-1428

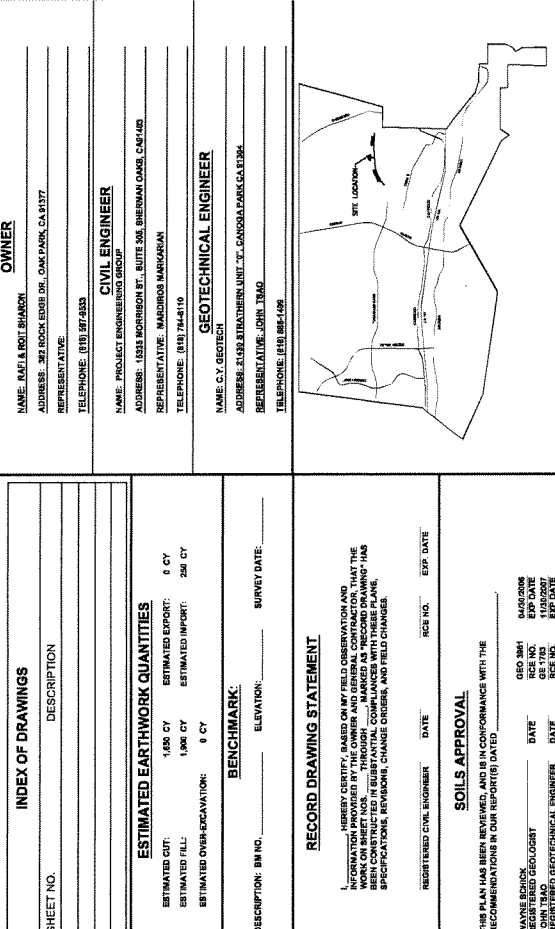
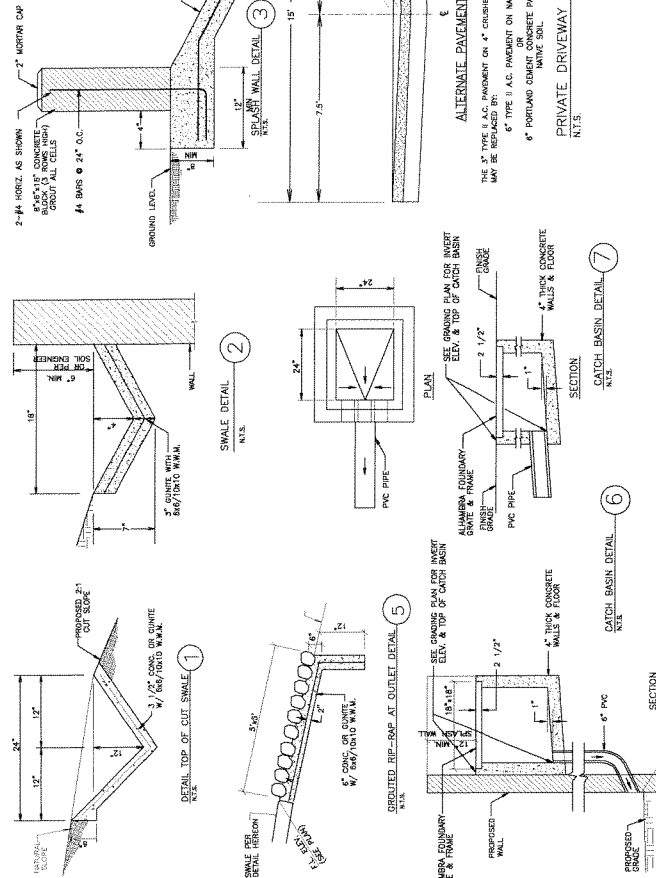


### STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, STORM WATER POLLUTION CONTROL PLAN TO THE CITY ENGINEER AND SOILS ENGINEER FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION. THE SWPPP SHALL BE USED TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, WEATHER-EROSION CONTROL PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 30TH.
- IF THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE FACILITIES IS TRANSFERRED TO THE CITY OF AGOURA HILLS, THE CITY ENGINEER SHALL BE CLEANED AT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE AND ONCE AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

### OAK TREE NOTES

- ANY OAK TREE WITH A DBH OF 6" OR GREATER SHALL BE CONSULTANT, (818) 375-4200, TO DETERMINE PROJECT SPECIFIC 'OAK TREE NOTES'.



### OWNER

NAME: AMI & ROY BHARDWAJ  
ADDRESS: 302 ROCK EDGE DR., OAK PARK, CA 91377  
REPRESENTATIVE:  
TELEPHONE: (818) 374-3535

### CIVIL ENGINEER

NAME: PROJECT ENGINEERING GROUP  
ADDRESS: 1528 MORRISON ST., SUITE 506, BERNARDO PARK, CALIF. 91304  
REPRESENTATIVE: MADHUS MANGRAN  
TELEPHONE: (818) 744-8110

### GEO TECHNICAL ENGINEER

NAME: C.Y. GEOTECH  
ADDRESS: 33430 BIRCHBROOK LANE, C. CAROLINA, CA 91304  
REPRESENTATIVE: JOHN TMO  
TELEPHONE: (818) 881-4108

### INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
0	ESTIMATED EARTHWORK QUANTITIES
1	ESTIMATED CUT: 1.60 CY
2	ESTIMATED FILL: 1.90 CY
3	ESTIMATED EXPORT: 286 CY
4	ESTIMATED OVER-EXCAVATION: 0 CY

### RECORD DRAWING STATEMENT

I, THE ENGINEER, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND RECORD DRAWING, THAT THE WORK HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, ORDINANCES, CHANGE ORDERS, AND FIELD CHANGES.

### SOILS APPROVAL

REGISTERED CIVIL ENGINEER	DATE	RCS NO.	EXP. DATE
WAYNE BECHTOLD	DATE	818/3861	04/03/2008
REGISTERED GEOLOGIST	DATE	818/3861	04/03/2008
REGISTERED BIOGEOLOGICAL ENGINEER	DATE	818/3861	04/03/2008
REGISTERED SOILS ENGINEER	DATE	818/3861	04/03/2008

# GRADING & DRAINAGE PLAN

PROJECT NO. 04-08-242 SHEET 2 OF 5

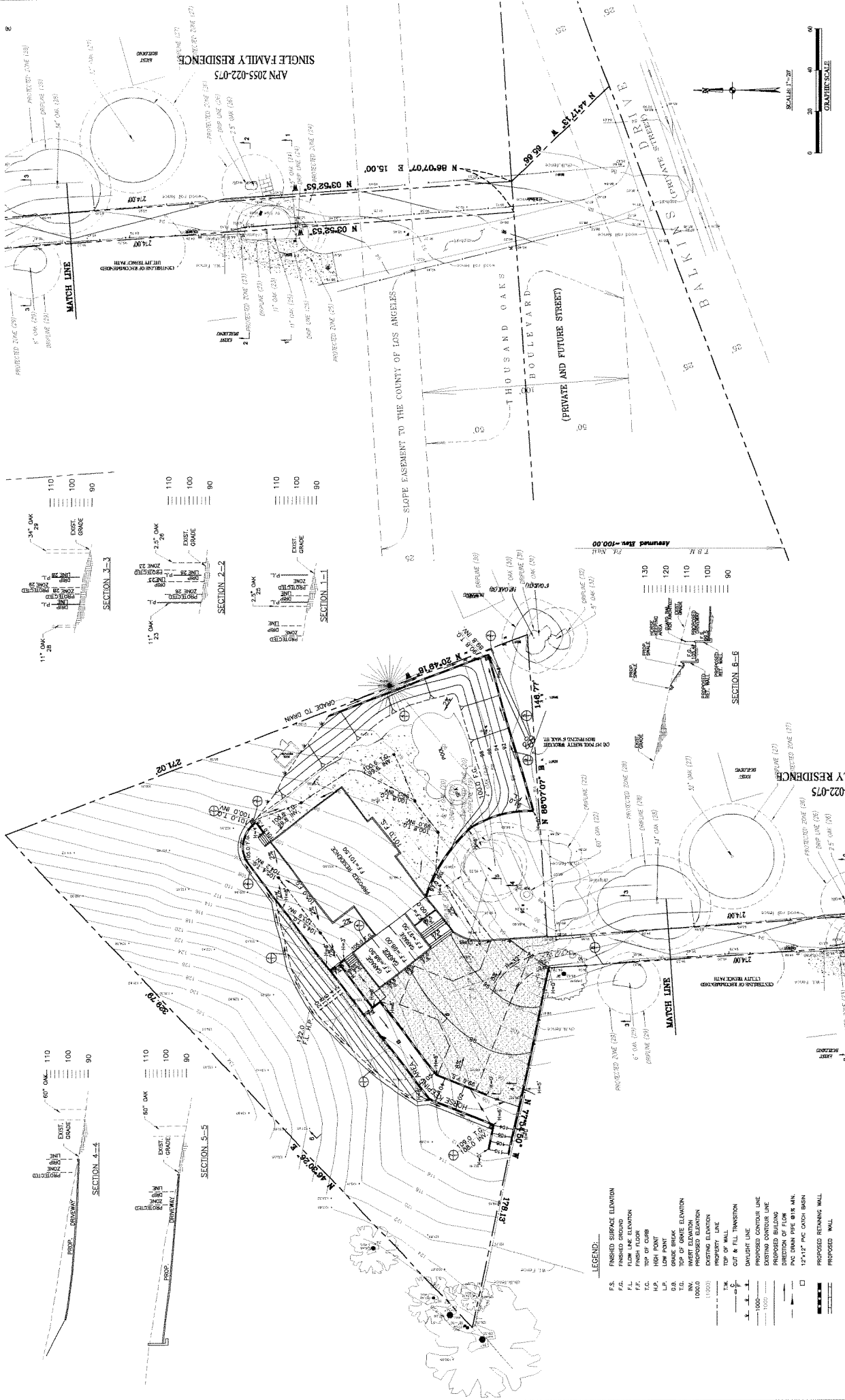
CITY OF AGOURA HILLS DWG. NO.

### CITY OF AGOURA HILLS APPROVAL

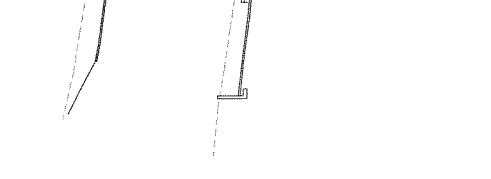
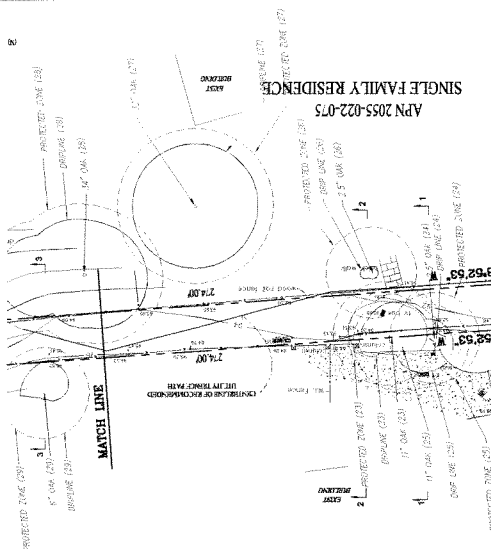
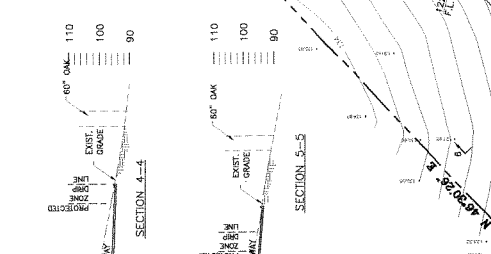
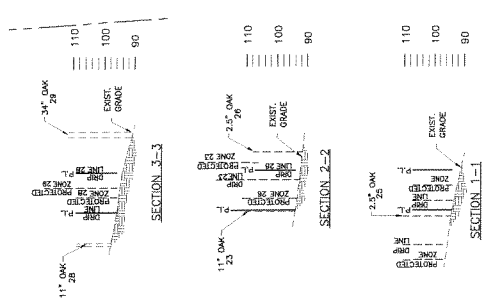
APPROVED BY: JAMES E. THORSEN  
DATE: 4/19/17  
PROJECT NO. 04-08-242  
EXP. DATE: 12/31/18

REVIEWED BY: MARDOROS MARKARIAN  
DATE: 4/19/17  
PROJECT NO. 04-08-242

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE



- LEGEND:**
- F.S. FINISHED SURFACE ELEVATION
  - F.L. FINISHED LAND ELEVATION
  - F.F. FINISH FLOOR ELEVATION
  - T.C. TOP OF CURB
  - H.P. HIGH POINT
  - L.P. LOW POINT
  - T.G. TOP OF GRAVE ELEVATION
  - I.V. INVERT ELEVATION
  - P.E. PROPOSED ELEVATION
  - 10000 PROPOSED ELEVATION
  - 11000 PROPOSED ELEVATION
  - 12000 PROPOSED ELEVATION
  - 13000 PROPOSED ELEVATION
  - 14000 PROPOSED ELEVATION
  - 15000 PROPOSED ELEVATION
  - 16000 PROPOSED ELEVATION
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  - 94000 PROPOSED ELEVATION
  - 95000 PROPOSED ELEVATION
  - 96000 PROPOSED ELEVATION
  - 97000 PROPOSED ELEVATION
  - 98000 PROPOSED ELEVATION
  - 99000 PROPOSED ELEVATION
  - 100000 PROPOSED ELEVATION







STORM WATER POLLUTION PREVENTION PLAN (SWPPP) for the proposed construction project at the intersection of Highway 99 and Highway 101, City of Agoura Hills, California. The SWPPP is required by the California Storm Water Pollution Prevention Act (SB 177) and the National Pollutant Discharge Elimination Act (NPDES) permit.

1. In case of emergency, call **BMT SHARDON** at **(818) 262-9828**.
2. A stand-by crew for emergency work shall be available at all times during the rainy season (November 1 to February 28) to respond to any storm water pollution incident. The crew shall be trained in the use of BMPs and shall be equipped at convenient locations to facilitate the construction of emergency control devices on the site.
3. Erosion control devices shall be installed at the point where they are no longer required. Grading operations shall be completed at the point where they are no longer required.
4. Graded areas adjacent to fill slopes located at the site perimeter must clear away from the top of slope at the conclusion of each working day. All loose soils and debris that may create a potential hazard to off-site property shall be stabilized or removed from the site on a daily basis.
5. All soil and debris shall be removed from all devices within 24 hours after each rainstorm and be disposed of properly.
6. Devices installed on the site shall be inspected at the end of each work shift and at least once a week. The owner shall be notified of any inspection results. All devices must comply with the appropriate BMP for the situation.
7. The placement of additional devices to reduce erosion damage and contain pollutants within the site is up to the discretion of the project engineer. Additional devices may be installed to retain sediments and other pollutants on site.
8. Dewatering basins may not be removed or modified, as needed, at the project engineer's discretion. The design and placement of these devices is the responsibility of the project engineer. Plans, specifications, and drawings shall be approved by the project engineer before construction begins. Plans shall be approved by the project engineer before construction begins.
9. Storm Water Pollution and Erosion Control devices are to be modified, as needed, at the project engineer's discretion. The design and placement of these devices is the responsibility of the project engineer. Plans, specifications, and drawings shall be approved by the project engineer before construction begins.
10. Every effort should be made to minimize the discharge of storm water from the project site at all times.
11. Erosion sediments and other pollutants must be retained on-site and may not be transported from the site via the local flow, wetlands, natural drainage courses, or wind.
12. Stockpiles of earth and other construction-related materials must be protected from being transported from the site by the forces of wind or water.
13. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to be used on site. All materials shall be stored in approved storage containers and to be protected from the elements. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
14. Procedures shall be implemented to maintain construction site and equipment to be disposed of in solid waste.
15. Development contractors are responsible to inspect all erosion control devices (BMPs) are installed and maintained in accordance with the approved plans, specifications, and drawings. A construction site inspection checklist and inspection log shall be maintained at the project site. The project engineer shall be notified of any inspection results. Plans, specifications, and drawings shall be approved by the project engineer before construction begins.
16. Trash and construction-related solid wastes must be deposited into a covered receptacle to be transported off-site and disposed of properly.
17. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction site shall be stabilized as soon as practicable to prevent sediment from being tracked into the public way. All vehicles shall be cleaned before leaving the site. All vehicles shall be washed down by rain or other means.
18. Any access with disturbed soils or eroded vegetation must be stabilized as soon as practicable by vegetation and water.
19. As the architect/engineer of record, I have selected appropriate BMPs to effectively minimize the negative impacts of this project's construction activities on storm water quality. The project owner and contractor are responsible for implementing the BMPs. The project engineer shall be notified of any inspection results. Plans, specifications, and drawings shall be approved by the project engineer before construction begins.
20. The following notes must be on the plan (or submitted as a separate document - prior to plan approval).  
As the project owner or authorized agent of the owner, I have read and understand the requirements to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements. I will implement, maintain, and enforce the BMPs shown on this plan as well as fully implemented, and all erosion control devices will be inspected and maintained in accordance with the approved plans, specifications, and drawings. I will specify the exact nature of the inspection and any special measures, will be kept at the construction site at all times and will be available for the review by the Building Official.

As the project owner or authorized agent of the owner, I certify that this document and all attachments are prepared under my direction or supervision in accordance with a system designed to assure that the project complies with all applicable regulatory requirements. I am a duly licensed professional engineer in the State of California, and I am the person responsible for gathering the information, to the best of my knowledge and belief, the information necessary to prepare this document. I am aware that submitting false and/or inaccurate information, failing to update the Local SWPPP to reflect current conditions, or failing to adequately implement the Local SWPPP may result in revocation of grading and/or other permits or other sanctions provided by law.

Owner or Authorized Representative (Permittee)  
Date

Owner or Authorized Representative (Permittee)  
Date

Owner or Authorized Representative (Permittee)  
Date

Owner or Authorized Representative (Permittee)  
Date

Owner or Authorized Representative (Permittee)  
Date

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Date

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Date

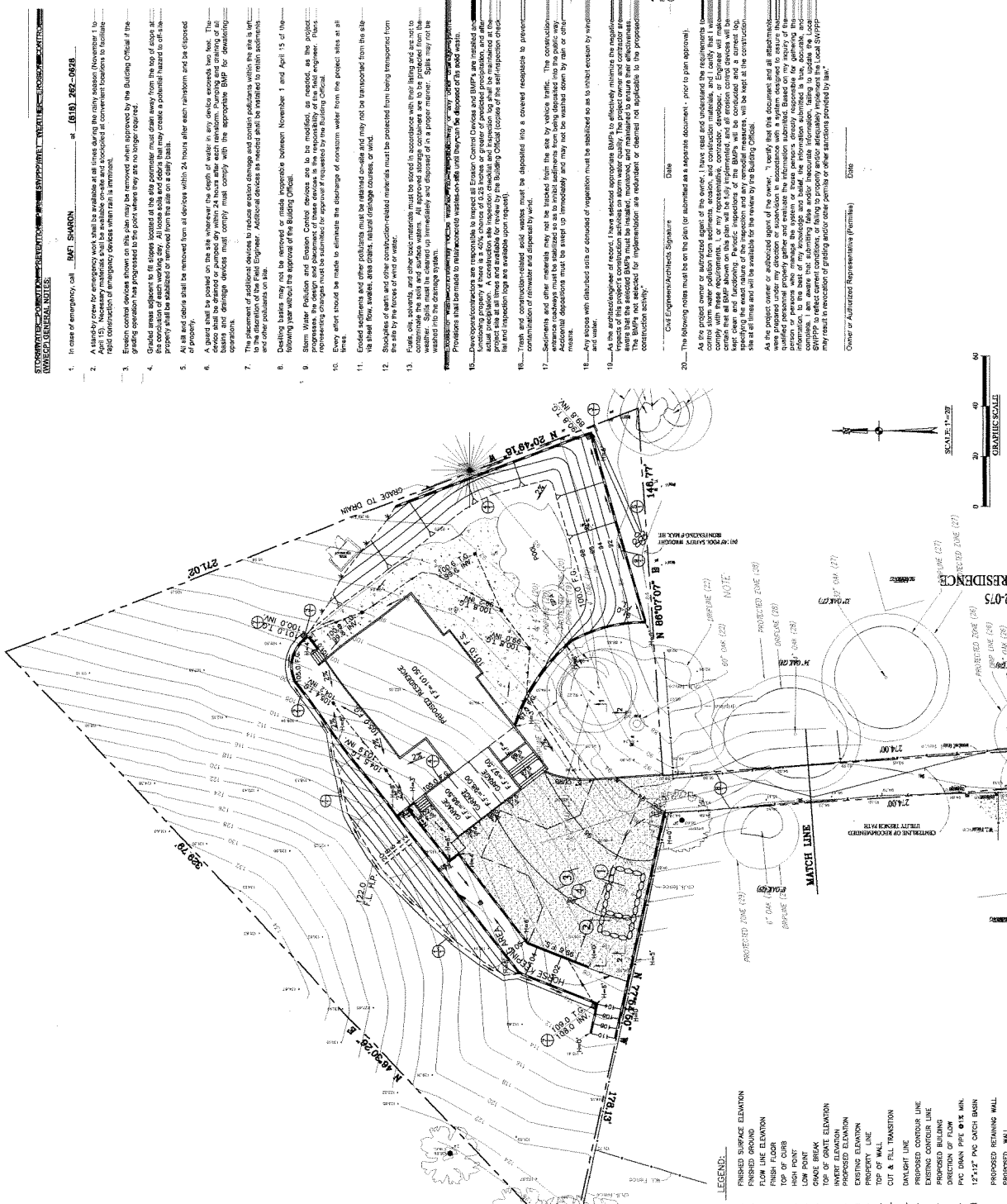
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Date

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Date

Owner or Authorized Representative (Permittee)  
Date

Owner or Authorized Representative (Permittee)  
Date

Owner or Authorized Representative (Permittee)  
Date



REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	REVIEWED BY	DATE	PROJECT NO.	EXP. DATE
				JAMES E. THORSEN CITY ENGINEER		47817	12/31/08

CITY OF AGOURA HILLS APPROVAL

DATE \_\_\_\_\_

REVIEWED BY \_\_\_\_\_

DATE \_\_\_\_\_

PROJECT NO. 04-08-242

SHEET 4 OF 5

STROM WATER POLLUTION PREVENTION PLAN

PROJECT NO. 04-08-242

SHEET 4 OF 5

Owner or Authorized Representative (Permittee)  
Date



- MITIGATION NOTES:**
1. NON-STORM RUNOFF, SEDIMENT AND CONSTRUCTION WASTE FROM THE CONSTRUCTION SITE AND PARKING ARE TRACKED OFF SITE.
  2. ANY SEDIMENTS OR MATERIALS WHICH ARE TRACKED OFF SITE, MUST BE REMOVED THE SAME DAY AS THEY ARE TRACKED OFF SITE.
  3. ALL CONSTRUCTION ACTIVITIES SHALL BE PROTECTED SO THAT SEDIMENTS DO NOT GO INTO THE STREET OR ADJACENT PROPERTIES.
  4. WASHING OF CONSTRUCTION OR OTHER INDUSTRIAL EQUIPMENT ADJACENT TO THE CONSTRUCTION SITE IS PROHIBITED. WASH WATER IS NOT ALLOWED TO LEAVE THE CONSTRUCTION SITE.
  5. BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE REQUIRED DEPENDING ON THE EXTENT OF GRADING AND TOPOGRAPHY OF THE SITE.
  6. BMP'S SHALL BE INSPECTED, CLEANED AND REPAIRED WHEN NECESSARY PRIOR TO THE ONSET OF STORM SEASON, NO LATER THAN SEPTEMBER 30 IN EACH YEAR.
  7. THE BUILDER SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, REPAIRS OR REPLACEMENT OF BMP'S. BMP'S SHALL BE INSPECTED AND REPAIRED BY THE BUILDER OR A DESIGNATED REPRESENTATIVE OF THE BUILDER AND REPAIRS SHALL BE DOCUMENTED IN A MAINTENANCE LOG. THE BUILDER SHALL SUBMIT A MAINTENANCE AND RESTORATION PLAN TO THE EXECUTIVE DIRECTOR TO DETERMINE IF AN AMENDMENT OR NEW COASTAL DEVELOPMENT PERMIT IS REQUIRED TO AUTHORIZE SUCH WORK.

**DRAINAGE SYSTEM MAINTENANCE PROVISIONS:**

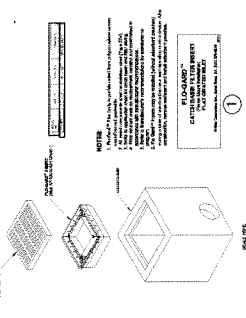
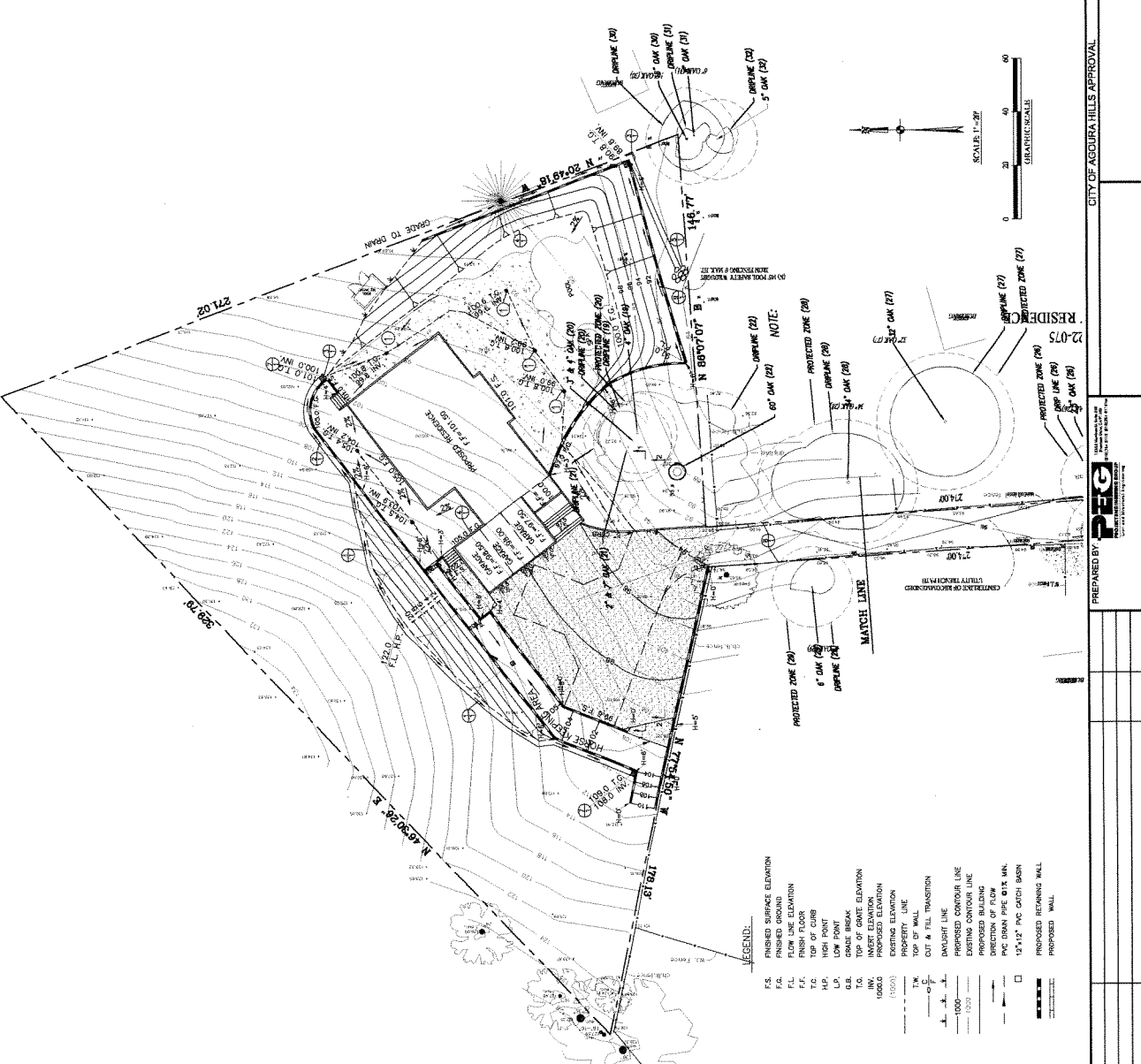
1. BMP'S SHALL BE INSPECTED, CLEANED AND REPAIRED WHEN NECESSARY PRIOR TO THE ONSET OF STORM SEASON.
2. THE BUILDER SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, REPAIRS OR REPLACEMENT OF BMP'S.
3. THE BUILDER SHALL BE RESPONSIBLE FOR ANY NECESSARY REPAIRS TO THE DRAINAGE / FILTERATION SYSTEM OR BMP'S.
4. THE BUILDER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIRS OF THE DRAINAGE / FILTERATION SYSTEM AND RESTORATION PLAN TO THE EXECUTIVE DIRECTOR TO DETERMINE IF AN AMENDMENT OR NEW COASTAL DEVELOPMENT PERMIT IS REQUIRED TO AUTHORIZE SUCH WORK.

**CALCULATION OF 3/4" PEAK MITIGATED FLOW RATE**

$A_T = 42,239.13 \text{ S.F.} = 1.13 \text{ AC. (TOTAL AREA)}$   
 $A_I = 9,818.47 \text{ S.F.} = 0.23 \text{ AC. (TOTAL IMPERVIOUS AREA)}$   
 $A_p = 39,420.66 \text{ S.F.} = 0.90 \text{ AC. (PERVIOUS AREA)}$   
 $Q_{max} = P \times I \times A_T$   
 $Q_{mit} = 0.23 \times 0.189 = 0.043 \text{ CFS}$

**ESSSEL FILTER MAINTENANCE PROGRAM:**

1. **INSTALLATION RECORD:** AT THE TIME OF INSTALLATION, BOTH THE INSTALLER AND THE OWNER MUST ATTEST TO THE RECORD OF THE FILTER MEDIA INSTALLATION RECORD.
2. **MAINTENANCE RECORD:** THE INSTALLER AND/OR THE OWNER MUST ATTEST TO THE RECORD OF THE FILTER MEDIA MAINTENANCE RECORD. IT IS THE RESPONSIBILITY OF THE OWNER TO ESTABLISH, SUSTAIN, AND RECORD.
3. **REGULAR MAINTENANCE:** THE FILTER MEDIA SHALL BE MAINTAINED AS PER THE MANUFACTURER'S RECOMMENDATIONS DURING DRY PERIODS TO PREVENT THE CARRIER FROM BLOWING AWAY.
4. **REGULAR INSPECTION:** FILTER MEDIA SHOULD BE VISUAL INSPECTED PRIOR TO THE ONSET OF RAIN AND IMMEDIATELY AFTER THE ONSET OF RAIN. THE OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION AND RECORDING OF THE FILTER MEDIA. THE FILTER MEDIA SHOULD BE REPLACED OR REPLENISHED IF THE FILTER MEDIA IS MORE THAN 50% COATED WITH LEAVES OR OTHER DEBRIS. THE FILTER MEDIA SHOULD BE REPLACED WITH CLEAN, APPROVED MATERIAL.
5. **REPLENISHMENT OF THE ASSORBENT MATERIAL SUPPLY:** THE FILTER MEDIA SHOULD BE REPLACED OR REPLENISHED WITH AN ADDITIONAL AMOUNT OF 1/2" TO 1" OF THE TOP SCREEN WHEN THE CARRIER IS HORIZONTAL.
6. **REPLENISHMENT OF THE ASSORBENT MATERIAL SUPPLY:** THE FILTER MEDIA SHOULD BE REPLACED OR REPLENISHED WITH AN ADDITIONAL AMOUNT TO BE USED IN CASE OF DRY SPILLS TO REGENERATE FRESH ROCK ADSORBENT MATERIAL. CONTACT REGION SUPERVISOR AT (800) 571-1818.



**STANDARD URBAN STORMWATER MITIGATION PLAN**

PROJECT NO. **04-08-242** SHEET **5** OF **5**

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	DATE	REVIEWED BY	DATE	DATE	REVIEWED BY	DATE	DATE	REVIEWED BY

PREPARED BY: **MAUROUS MARZARIAN**  
 PROJECT ENGINEER  
 DATE: \_\_\_\_\_

REVIEWED BY: **JAMES E. THORSEN**  
 CITY ENGINEER  
 DATE: \_\_\_\_\_

EXP. DATE: **12/31/03**

CITY OF AGOURA HILLS APPROVAL  
 (Signature Area)

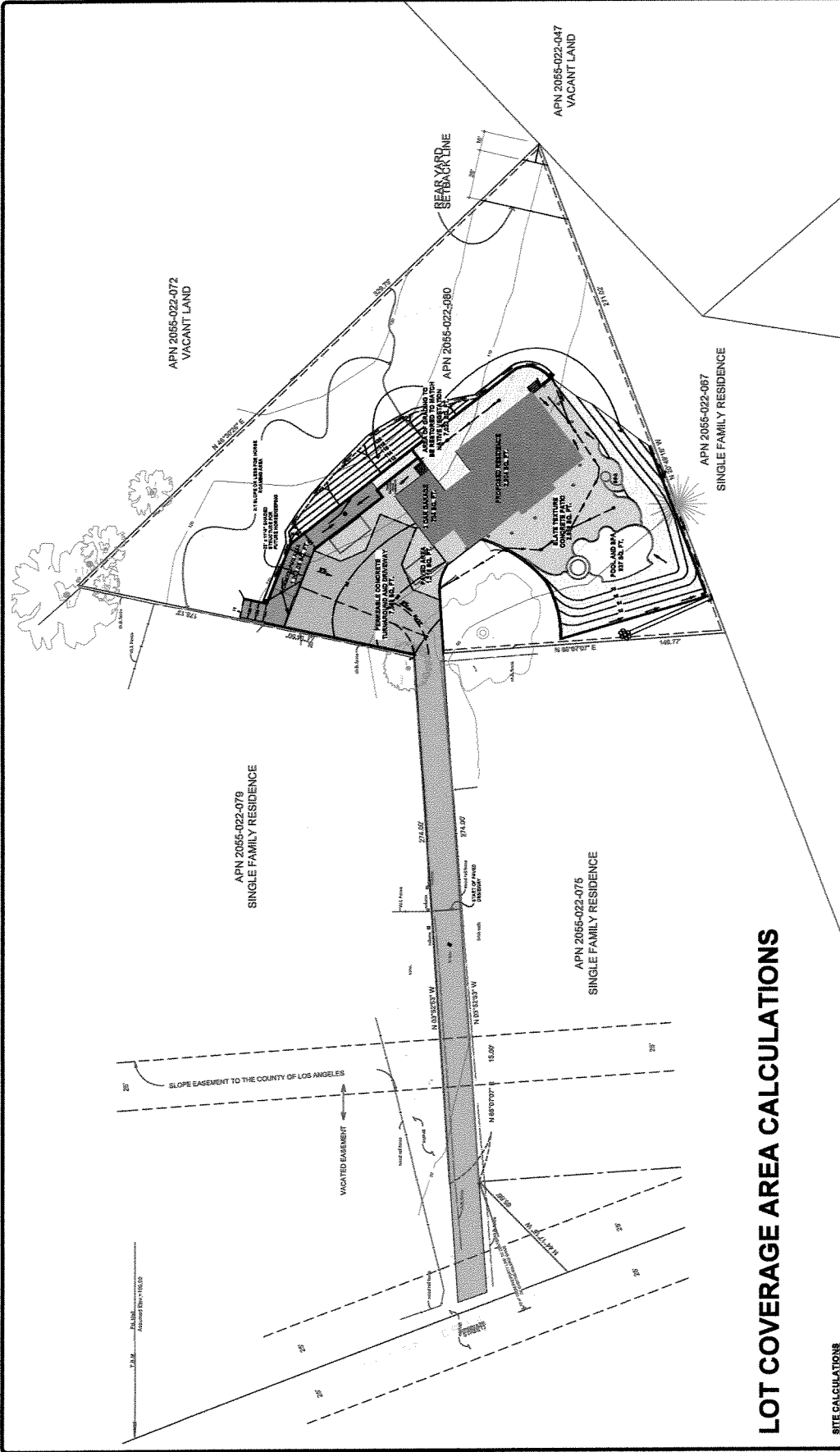
CITY OF AGOURA HILLS PWS NO. \_\_\_\_\_

NO.	
REV.	

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 2824 BALKINS DRIVE  
 AGOURA HILLS, CA 91301

**CLIVE DAWSON A.T.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

SCALE: AS SHOWN  
 DATE: MAY 2007  
 DRAWING NO.: D-2824-04  
 SHEET: 14 OF 20



**LOT COVERAGE AREA CALCULATIONS**

**SITE CALCULATIONS**

GROSS LOT AREA = 4,276 SQ. FT. (1.11 ACRES)  
 NET LOT AREA = 4,276 SQ. FT. (1.11 ACRES)  
 MAXIMUM HEIGHT OF STRUCTURE = 13'-0\"/>  
 AVERAGE GRADE AT REAR SETBACK LINE = MAX. GRADE - 2'  
 AVERAGE GRADE AT REAR SETBACK LINE = (10.80' - 13.00') / 2 = -1.10'  
 MAX. HT. OF STRUCTURE = AVG. GRADE AT REAR SETBACK LINE + 5'  
 MAX. HT. OF STRUCTURE = 13.27'

AVERAGE SLOPE PERCENTAGE CALCULATION:  
 $S = \frac{V}{H} \times 100$   
 $S = \frac{13.27}{11.77} \times 100 = 112.7\%$   
 S = 112.7% AND A = 46,276 SQ. FT.  
 S = 4 (2500) X 100,626 SQ. FT. = 26.8%

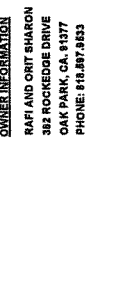
DEVELOPMENT AREA:  
 MINIMUM OF 50.1% OF PARCEL TO REMAIN IN OPEN SPACE IF PERCENT SLOPE IS WITHIN 21-25%  
 62.5% OF PARCEL = 26,788 SQ. FT.  
 18,478 SQ. FT. ALLOWED DEVELOPMENT

FOOTPRINT OF RESIDENCE = 2,804 SQ. FT.  
 FOOTPRINT OF GARAGE = 704 SQ. FT.  
 HARDSCAPE (INCLUDING DRIVEWAY) = 4,435 SQ. FT.  
 POOL AND SPA = 638 SQ. FT.  
 AREA OF GRADING TO BE RESTORED TO MATCH NATIVE VEGETATION = 6,838 SQ. FT.  
 AREA OF GRADING TO BE USED FOR PAVING = 17,244 SQ. FT.  
 DRIVEWAY AND TURNOVER = 7,268 SQ. FT.  
 DEVELOPED AREA TOTAL LOT AREA = 33,967 SQ. FT. = 79.6% DEVELOPED AREA  
 UNDEVELOPED AREA TOTAL LOT AREA = 8,309 SQ. FT. = 19.4% UNDEVELOPED AREA

EXCLUDING THE DEPT. REQUIRED TURNOVER AND DRIVEWAY:  
 EXCLUDING THE DEPT. REQUIRED TURNOVER AND DRIVEWAY AND DRIVEWAY AND TURNOVER:  
 DEVELOPED AREA TOTAL LOT AREA = 15,211 SQ. FT. / 41.7% SQ. FT. = 21%

PROJECT INFORMATION:	
ASSESSOR'S PARCEL NUMBER	2065-022-080
ZONING	RV-OA
NUMBER OF PARKING SPACES REQUIRED	3 COVERED
NUMBER OF PARKING SPACES PROPOSED	2 UNCOVERED
RESIDENCE SQUARE FOOTAGE	2,804 SQ. FT.
GARAGE	704 SQ. FT.
PROPOSED FIRST LEVEL	2,098 SQ. FT.
PROPOSED SECOND LEVEL	5,984 SQ. FT.
PROPOSED IMPERMEABLE COVERAGE (INCLUDING PAVED DRIVEWAY AND TURNOVER)	13,762 SQ. FT.

**OWNER INFORMATION**  
 RAFI AND ORIT SHARON  
 382 ROCKEDGE DRIVE  
 OAK PARK, CA 91377  
 PHONE: 818.897.3453

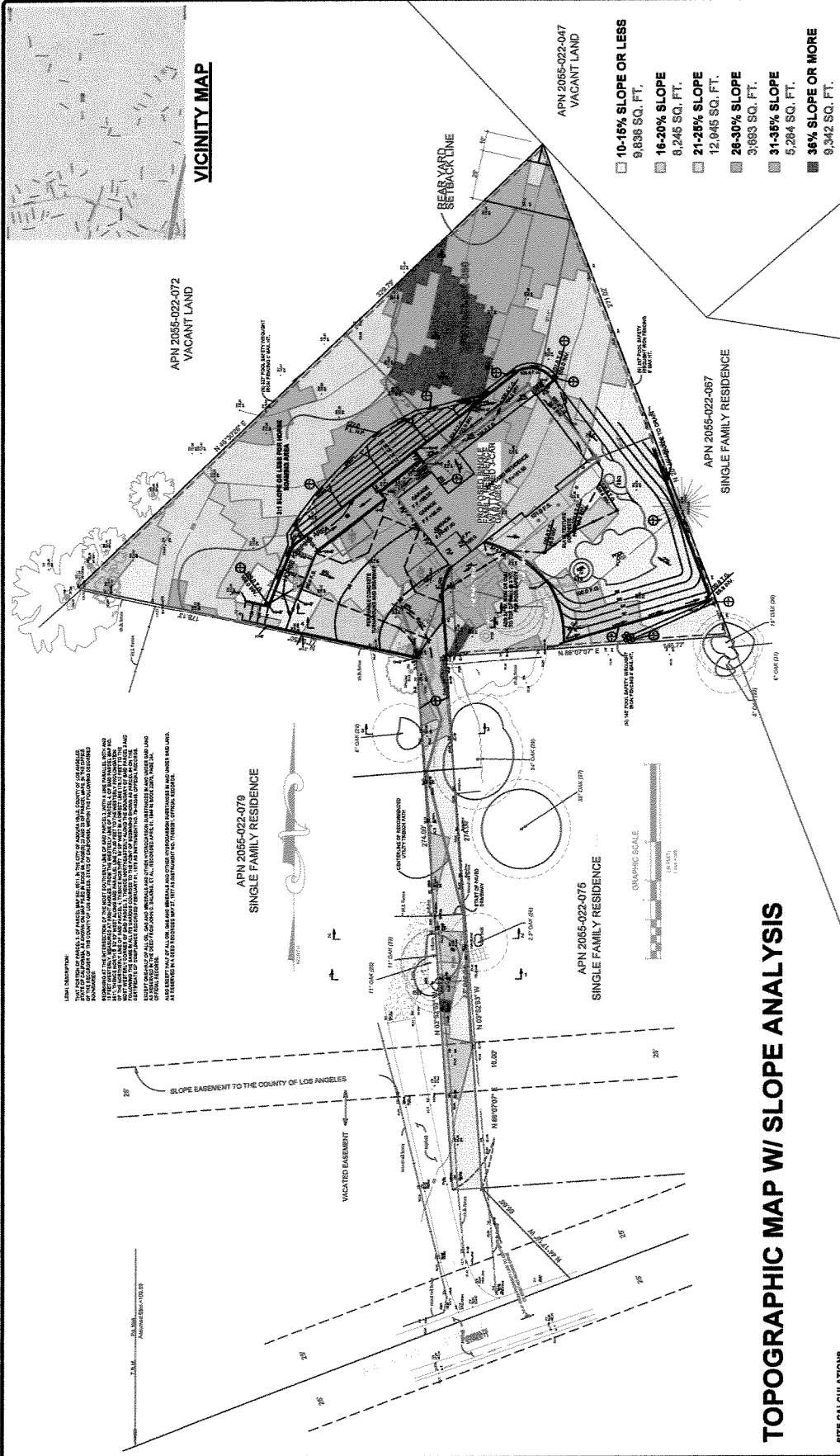


REVISION	BY
APRIL 2008	EA
NOV 2008	EA
JAN 2007	EA
MAR 2007	EA

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALMINS DRIVE  
 AGOURA HILLS, CA 91301

**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	NOV 2008
BY	DES 2008
SCALE	1" = 20'
PROJECT	062853-04
FILE NO.	SA



**LEAD DEVELOPER:**  
 RAFAEL SHARON AND ORIT SHARON, 28243 BALMINS DRIVE, AGOURA HILLS, CA 91301  
**DESIGNER:**  
 CLIVE DAWSON ARCHITECTURE AND PLANNING, 28925 PACIFIC COAST HIGHWAY, MALIBU, CA 90265  
**DATE:** NOVEMBER 2008  
**PROJECT:** PROPOSED RESIDENTIAL DEVELOPMENT FOR RAFAEL AND ORIT SHARON, 28243 BALMINS DRIVE, AGOURA HILLS, CA 91301  
**SCALE:** 1" = 20'  
**PROJECT NO.:** 062853-04  
**FILE NO.:** SA

APN 2055-022-079  
 SINGLE FAMILY RESIDENCE

APN 2055-022-075  
 SINGLE FAMILY RESIDENCE

APN 2055-022-067  
 SINGLE FAMILY RESIDENCE

APN 2055-022-047  
 VACANT LAND

10-16% SLOPE OR LESS  
 9,838 SQ. FT.

16-20% SLOPE  
 8,245 SQ. FT.

21-25% SLOPE  
 12,845 SQ. FT.

26-30% SLOPE  
 3,683 SQ. FT.

31-35% SLOPE  
 5,284 SQ. FT.

36% SLOPE OR MORE  
 9,342 SQ. FT.

OWNER INFORMATION  
 RAFI AND ORIT SHARON  
 381 ROCKEBRO DRIVE  
 OAK PARK, CA 91377  
 PHONE: 818-897-8833

PROJECT INFORMATION  
 ASSESSOR'S PARCEL NUMBER  
 ZONING  
 NUMBER OF PARKING SPACES REQUIRED  
 NUMBER OF PARKING SPACES PROPOSED

RESIDENCE SQUARE FOOTAGE  
 PROPOSED FIRST LEVEL  
 PROPOSED SECOND LEVEL

PROPOSED IMPERMEABLE  
 DRIVEWAY AND TURNAROUND

# TOPOGRAPHIC MAP W/ SLOPE ANALYSIS

## SITE CALCULATIONS

GROSS LOT AREA: 48,278 SQ. FT. (1.13 ACRES)  
 NET LOT AREA: 48,278 SQ. FT. (1.13 ACRES)  
 MAXIMUM HEIGHT OF STRUCTURE:  
 MINIMUM HEIGHT OF STRUCTURE:  
 AVERAGE GRADE AT REAR SETBACK LINE = MIN. GRADE - MAX. GRADE / 2  
 = (10.57' + 118.07') / 2 = 114.32'  
 MAX. HT. OF STRUCTURE = AVG. GRADE AT REAR SETBACK LINE + 15'  
 = 114.32' + 15' = 129.32'

AVERAGE SLOPE PERCENTAGE CALCULATION:  
 S = (L / 100) \* A  
 WHERE L = 4', A = 2302', AND S = 49,278 SQ. FT.  
 S = 4' (2302') \* 100 / 49,278 SQ. FT. = 18.7%

DEVELOPMENT AREA:  
 MINIMUM OF 62.5% OF PARCEL TO REMAIN  
 IN OPEN SPACE IF PERCENT SLOPE IS WITHIN 21-25%  
 62.5% OF PARCEL = 30,178 SQ. FT.  
 19,478 SQ. FT. ALLOWED DEVELOPMENT

LOT COVERAGE ANALYSIS  
 FOOTPRINT OF RESIDENCE  
 FOOTPRINT OF GARAGE  
 DRIVEWAY (INCLUDING  
 TURNAROUND)  
 POOL AND SPA  
 AREA OF GRADING TO BE RESTORED  
 TO MATCH NATIVE VEGETATION  
 AREA OF GRADING TO BE USED FOR  
 DEVELOPMENT  
 DEVELOPED AREA TOTAL LOT AREA \*  
 17,244 SQ. FT. = 35% DEVELOPED AREA  
 DRIVEWAY AND TURNAROUND  
 REQUIRED BY FIRE DEPT.  
 7,699 SQ. FT. = 16%

EXCLUDING FIRE DEPT. REQUIRED TURNAROUND AND DRIVEWAY  
 DEVELOPED AREA TOTAL LOT AREA =  
 17,244 SQ. FT. - 7,699 SQ. FT. = 9,545 SQ. FT. = 19%  
 EXCLUDING FIRE DEPT. REQUIRED TURNAROUND AND DRIVEWAY AND  
 DEVELOPED AREA TOTAL LOT AREA =  
 16,311 SQ. FT. - 7,699 SQ. FT. = 8,612 SQ. FT. = 18%