



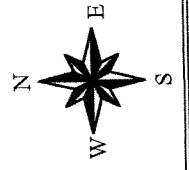
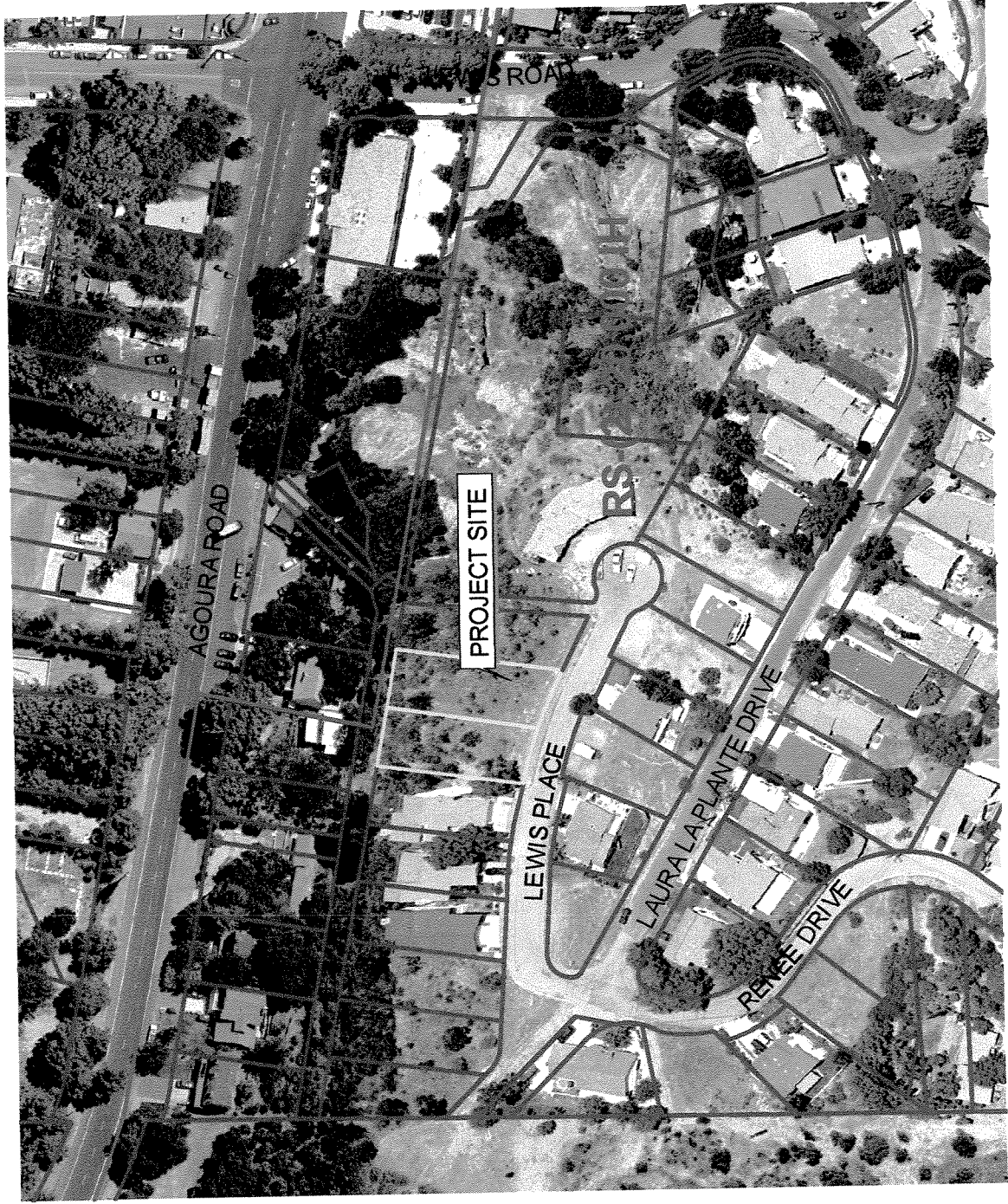
**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
VARIANCE REQUEST CASE NO. 06-VAR-005**

**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT A**

**VICINITY & ZONING MAP**

# CASE NOS. 04-CUP-003 & 04-OTP-005 MORGAN RESIDENCE



0.12 Miles

0.06

0

0.06





**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
VARIANCE REQUEST CASE NO. 06-VAR-005**

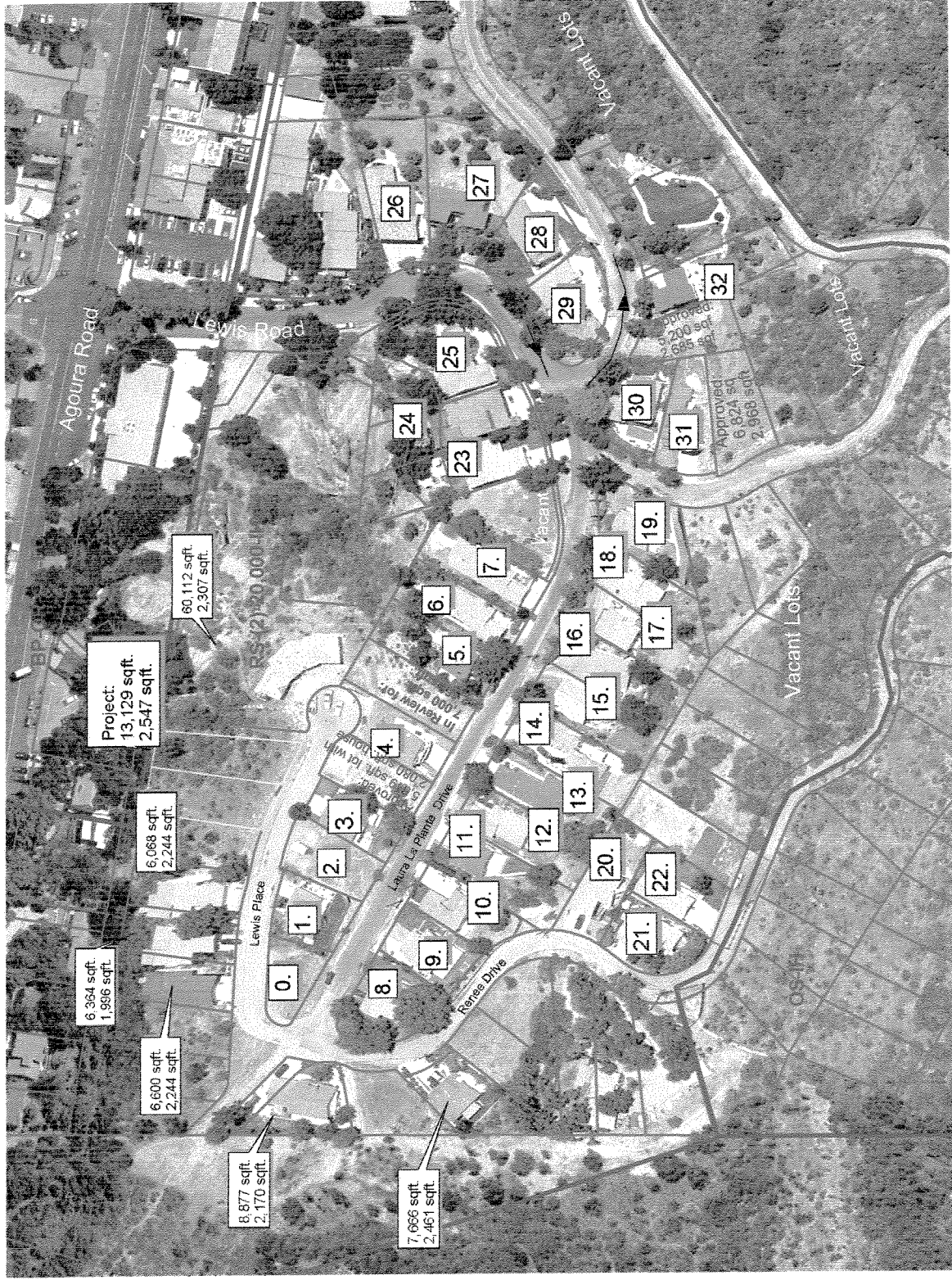
**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT B**

**SQUARE FOOTAGE ANALYSIS  
PAGES 1 & 2**

**Conditional Use Permit Case No. 04-CUP-003  
 Variance Request Case No. 06-VAR-005  
 (A.P.N. 2061-022-029 & 030)**

**Square Footage  
 Analysis**



Conditional Use Permit Case No. 04-CUP-003  
 Variance Request Case No. 06-VAR-005  
 (2061-022-029 & 030)  
 Square Footage Analysis  
 Page 2 of 2

**LEGEND**

ID	APN	Street Name	Lot Sqft.	House Sqft.	Year Built
Project Site:	2061-022-029 & 030	Lewis	13,129	2,547	n/a
0	Built	Lewis	3,720	1,597	2004
1	Built	Lewis	5,449	2,252	1989
2	Built	Lewis	5,423	2,019	2002
3	Built	Lewis	5,260	1,796	1990
4	Built	Laura La Plante	5,793	1,804	1993
5	Built	Laura La Plante	7,000	1,542	1978
6	Built	Laura La Plante	7,000	1,216	1978
7	Built	Laura La Plante	7,000	1,880	1978
8	Built	Laura La Plante	7,820	1,740	1978
9	Built	Laura La Plante	6,590	1,839	1978
10	Built	Laura La Plante	6,880	1,777	1985
11	Built	Laura La Plante	7,970	1,374	1979
12	Built	Laura La Plante	7,500	1,216	1978
13	Built	Laura La Plante	7,500	1,536	1980
14	Built	Laura La Plante	7,500	1,786	1981
15	Built	Laura La Plante	7,500	1,374	1978
16	Built	Laura La Plante	7,500	1,418	1978
17	Built	Laura La Plante	6,743	1,977	1979
18	Built	Laura La Plante	6,900	1,418	1978

Legend: Expresses Lowest Square Footage  
 Expresses Highest Square Footage

Statistics:			
<b>HOUSE SIZE</b>			
Built without project			
Project/built/with oversize lots:			2,009 sqft.
Built without project without oversize lots			2,022 sqft.
Project/built/without oversize lots:			2,284 sqft.
Project/built/approved/with oversize lots:			1,979 sqft.
Project/built/approved/without oversize lots:			2,098 sqft.
Project/built/approved/without oversize lots:			2,063 sqft.
<b>LOT SIZE</b>			
Built without project			
Project/built/with oversize lots:		9,171 sqft.	
Built without project without oversize lots		9,270 sqft.	
Project/built/without oversize lots:		7,439 sqft.	
Project/built/approved/with oversize lots:		7,589 sqft.	
Project/built/approved/without oversize lots:		9,147 sqft.	
Project/built/approved/without oversize lots:		7,656 sqft.	
<b>FAR</b>			
Built without project without oversize lots			0.31
Project/built/without oversize lots:			0.26
Project/built/approved/without oversize lots:			0.27

**LEGEND**

ID	APN	Street Name	Lot Sqft.	House Sqft.	Year Built
19	Built	Laura La Plante	7,684	1,374	1979
20	Built	Renee	6,656	2,314	1982
21	Built	Renee	6,216	2,274	1982
22	Built	Renee	6,046	2,041	1982
23	Built	Laura La Plante	7,500	2,475	1989
24	Built	Laura La Plante	9,470	2,970	1979
25	Built	Laura La Plante	14,900	1,789	1987
26	Built	Lewis	10,341	2,498	1988
27	Built	Lewis	15,303	1,835	1986
28	Built	Lewis	8,110	2,447	1979
29	Built	Lewis	7,802	2,236	1979
30	Built	Laura La Plante	6,370	3,008	1980
31	Built	Canyon Way	6,226	2,735	1988
32	Built	Laura La Plante	22,314	3,369	1980+2006
On Map		Lewis	60,112	2,307	2001
On Map		Lewis	6,068	2,244	1982
On Map		Lewis	6,364	1,996	1982
On Map		Lewis	6,600	2,244	1982
On Map		Laura La Plante	8,877	2,170	1985
On Map		Renee	7,666	2,461	1989
On Map		Lewis	5,618	2,080	2005
On Map		Laura La Plante	5,202	2,685	2006
On Map		Canyon Way	6,824	2,968	In Plan Check
On Map		Laura La Plante	7,000	2,462	2006
On Map		Laura La Plante	16,175	3,300	2007



**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
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**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT C**

**CITY OAK TREE/LANDSCAPING CONSULTANT  
MEMORANDUM**

# Memo

**To:** Valerie Darbouze, City of Agoura Hills  
**From:** Kay Greeley, Landscape and Oak Tree Consultant  
**Date:** 06/12/07  
**Re:** 04-CUP-003, 04-OTP-005, 06-VAR-005 and 03-LLA-001- Blinkinsoph

---

As requested, I reviewed the revised grading plan submitted with respect to the subject entitlement request. Jeffrey Roberts prepared the plan, date stamped May 21, 2007. Currently recommended conditions of approval are as follows:

## Oak Trees

1. Prior to the start of any work or mobilization at the site, Oak Trees Number 1 and 2 shall be fenced above the group of native shrubs as denoted on the March 26, 2004 Oak Tree Location Map by L. Newman Design Group, in accordance with Article IX, Appendix A, Section V.C.1.1. of the Zoning Code.
2. The City Oak Tree Consultant shall approve the fencing locations prior to commencement of work.
3. No grading, scarifying or other soil disturbance shall be permitted within any portion of the slope behind the fence where the native shrubs and oak trees occur.
4. No irrigation or planting shall be installed within the drip line of any oak tree unless specifically approved by the City Oak Tree Consultant.
5. No herbicides shall be used within one hundred feet (100') of any oak trees.

## Landscape Plans

As noted in our comments of May 9, 2006, Leslie Dievendorf prepared a conceptual landscape plan dated February 13, 2006. The plans lacked a scale. Final plans must conform to the requirements listed below. In addition, the plans must also meet the requirements for fuel modification as required by the Los Angeles County Fire Department.

6. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
  - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
  - b. All plans shall be legible and clearly drawn.

- c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
  - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
  - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
  - f. The project identification number shall be shown on each sheet.
  - g. The plans shall accurately and clearly depict the following existing and proposed features:
    - All oak trees, their exact location, canopy and a 5'0" protected zone.
    - Native shrubs to be retained and their location.
    - Landscape trees, shrubs, ground cover and any other landscaping materials
    - Property lines
    - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
    - Buildings and structures
    - General contour lines
    - Grading areas, including tops and toes of slopes
    - Utilities, including sewer, water, power, street lighting and fire hydrants
    - Natural features, including watercourses, rock outcroppings
  - h. The Planting Plan shall indicate the botanical name and size of each plant.
7. Plant symbols shall depict the size of the plants at maturity.
  8. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
  9. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
  10. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings to minimize run-off and spray onto adjoining areas.
  11. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
    - a. Design and static pressures
    - b. Point of connection



- c. Backflow protection
  - d. Valves, piping, controllers, heads, quick couplers
  - e. Gallon requirements for each valve
12. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
  13. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
    - Site Plan
    - Grading Plan
    - Conditions Of Approval
  14. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
  15. The final plant palette shall reflect a naturalistic and native theme.
  16. All plant material must be considered compatible with Sunset Zone 18.

Please contact me should there be any questions at this time.



**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
VARIANCE REQUEST CASE NO. 06-VAR-005**

**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT D**

**CITY GEOLOGICAL/GEOTECHNICAL CONSULTANT  
MEMORANDUM**

Date: May 15, 2007  
GDI #: 06.00103.0120

## CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Valerie Darbouze

Project Location: Lots 27 and 28 of Tract 8793, Lewis Place, Agoura Hills, California.

Planning Case #: 04-CUP-003/04-OTP-005

Building & Safety #: None

Geotechnical Report: Stratum Geotechnical Consultants (2007), "Supplemental Geotechnical Letter for a Proposed Single-Family Home on Two Adjoining Parcels at Lewis Place, Agoura Hills, California, 91301, Lots 27 and 28 of Tract 8793, APN's 2061-022-029 and 2061-022-030," Project Number 03089b, dated April 25, 2007.

Stratum Geotechnical Consultants (2007), "Supplemental Geotechnical Letter for a Proposed Single-Family Home on Two Adjoining Parcels at Lewis Place, Agoura Hills, California, 91301, Lots 27 and 28 of Tract 8793, APN's 2061-022-029 and 2061-022-030," Project Number 03089b, dated January 15, 2007.

Stratum Geotechnical Consultants (2006), "Supplemental Geotechnical Letter for a Proposed Single-Family Home on Two Adjoining Parcels at Lewis Place, Agoura Hills, California," Project Number 03089b, dated March 8, 2006.

Stratum Geotechnical Consultants (2003), "Geotechnical Investigation Report for a Proposed Single-Family Home on Two Adjoining Parcels at Lewis Place, Agoura Hills, California," Project Number 03089b, dated December 18, 2003.

Plans: JR Engineering Consulting Services (2005), "Thompson Residence, Lewis Road, Agoura hills, Sheets T-1, C-1.0, C-2.0, A-2.0, A-2.1, A-2.2, A-3.1, A-3.2, Landscape Plans, Sheets 1 and 2", dated August 29, 2005.

Coast Engineering, "Grading Plan, Single Family Residence, 28400 Lewis Road, Agoura Hills, California", 10-scale, Dated 03-10-04.

Previous Reviews: May 14, 2004; March 28, 2006; and January 29, 2007.

### Findings

Planning/Feasibility Issues

Acceptable as Presented

Response Required

Geotechnical Report

Acceptable as Presented

Response Required

### Remarks

Stratum Geotechnical Consultants (SGC; consultant) provided a response to the City of Agoura Hills review letter dated January 29, 2007 regarding the proposed single-family residence at Lots 27 and 28 of Tract 8793. GeoDynamics, Inc. (GDI), reviewed recent submittal from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GDI performed the review on behalf of the City of Agoura Hills – Planning Department.

Based upon the City's review, the referenced reports are acceptable as presented. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

**Comments to Applicant and City**

1. The proposed retaining wall depicted on the grading plan appears to be over 10 feet high. Please contact the City of Agoura Hills regarding retaining wall heights.

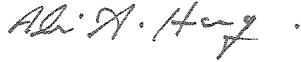
**Plan-Check Comments**

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans:
  - *The project engineering geologist should verify during grading assumed geologic conditions including bedrock joints and fractures.*
  - *All foundation excavations (footings and caissons) should be visually inspected by the project engineering geologist to verify assumed geologic conditions including bedrock joints and fractures.*
  - *Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly.*
4. The following note must appear on the grading and foundation plans that states: "Excavations shall be made in compliance with CAL/OSHA Regulations."
5. The following note must appear on the foundation plans that states: "All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
9. Provide a note on the foundation plans that states: "An as-built report prepared by the Project Geotechnical Consultant documenting the installation of the pile foundation elements shall be submitted to the City for review prior to final approval of the project. The report shall include detailed geologic logs of the pile excavations, including total depth or tip elevation, depth into the recommended bearing material, and depth to groundwater, as well as an as-built map depicting the piles and grade beams."
10. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

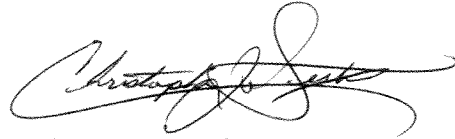
If you have any questions regarding this review letter, please contact GeoDynamics, Inc. at (805) 496-1222.

Respectfully Submitted,

**GeoDynamics, INC.**



Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/07)



Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/06)



**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
VARIANCE REQUEST CASE NO. 06-VAR-005**

**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT E**

**ENVIRONMENTAL DETERMINATION**

## Notice of Exemption

To:  Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, Ca 95814

From: City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

County Clerk  
County of Los Angeles  
Los Angeles County Clerk  
12400 E. Imperial Hwy.  
Norwalk, CA 90659

**Project Title:** Thompson Single Family Residence

**Project Location-Specific:** 28400 Block of Lewis Place (A.P.N. 2061-022-029 and -30)

**Project Location-City:** City of Agoura Hills

**Project Location-County:** Los Angeles

**Description of Nature, Purpose, and Beneficiaries of Project:** The project consists of the construction of a 2,547 square-foot, two story single family home, along with a 420 square-foot attached, covered patio, and a 543 square-foot attached, two-car garage. The request includes a Conditional Use Permit for hillside development, an Oak Tree Permit for possible minor encroachment into the protected zone of off-site oak trees, and a Variance for the front yard setback. The two existing lots would be merged into one roughly 13,000 square-foot parcel.

**Name of Public Agency Approving Project:** City of Agoura Hills

**Name of Person or Agency Carrying Out Project:** Keith Blinkinsoph for M. Thompson

**Exempt Status:** (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);  
 Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))  
 Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter  
 Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number  
 Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures  
 No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

**Reasons why project is exempt:** The project consists of the construction of one single family residence, covered patio and garage. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a scenic highway area; 3) a hazardous waste site; or 4) an historical resource area. There may be some minor encroachment into the protected zone of off-site oak trees, but this is not considered a significant impact.

**Lead Agency Contact Person:** Allison Cook, Senior Planner, City of Agoura Hills

**Area Code/Telephone/Extension:** (818) 597-7310

Signature: Allison Cook

Date: 7/14/06

Title: Senior Planner



**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
VARIANCE REQUEST CASE NO. 06-VAR-005**

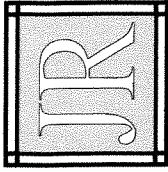
**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT F**

**REDUCED COPY OF ARCHITECTURAL  
AND  
GRADING PLANS**







JEFFREY A. ROBERTS, P.E.  
 Engineering Consulting Services  
 50 S. DeSoto Ave., Suite 100  
 Pasadena, CA 91105  
 (818) 440-3735 Voice  
 (818) 352-4209 Facsimile  
 JROBPE@AOL.COM E-MAIL



Project  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-030  
 Two Story Residence

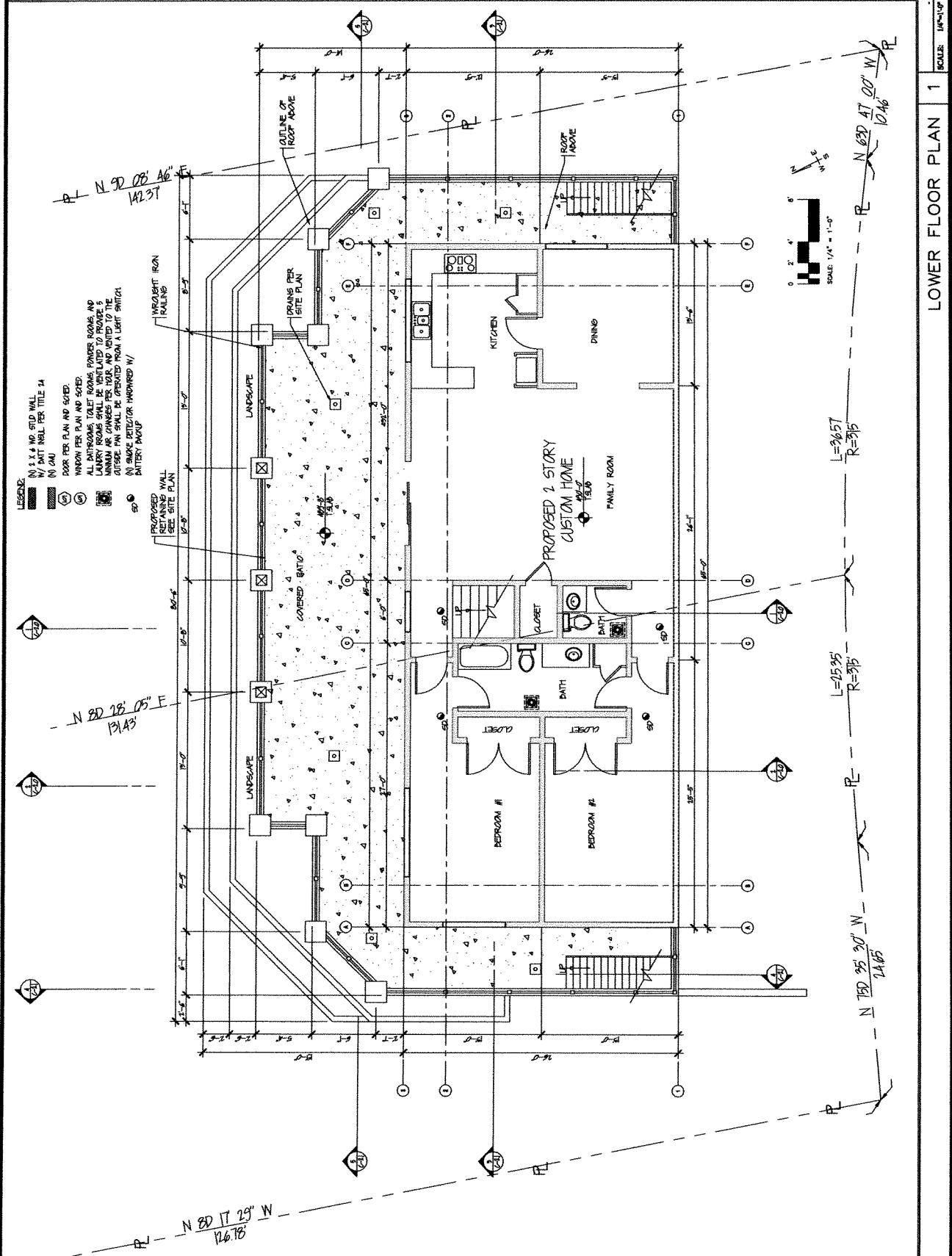
Sheet Title  
 LOWER FLOOR  
 PLAN

Comments

Date  
 2/14/07  
 Drawing Date  
 2/14/07  
 Approval

Revisions	Date

Job No.	200221
Drawn	JR
Checked	JR
Date	August 29, 2006
Sheet No.	A-2.0
of	1



LOWER FLOOR PLAN 1

SCALE: 1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

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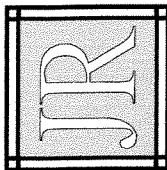
1/4" = 1'-0"

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1/4" = 1'-0"



**JEFFREY A. ROBERTS, P.E.**  
 Engineering Consulting Services  
 90 S. Delaney Ave, Suite 100  
 Pasadena, CA 91105  
 (818) 640-5745 Voice  
 (818) 357-4269 Facsimile  
 JROBFR@AOL.COM E-MAIL



**Project**  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-430  
 Two Story Residence

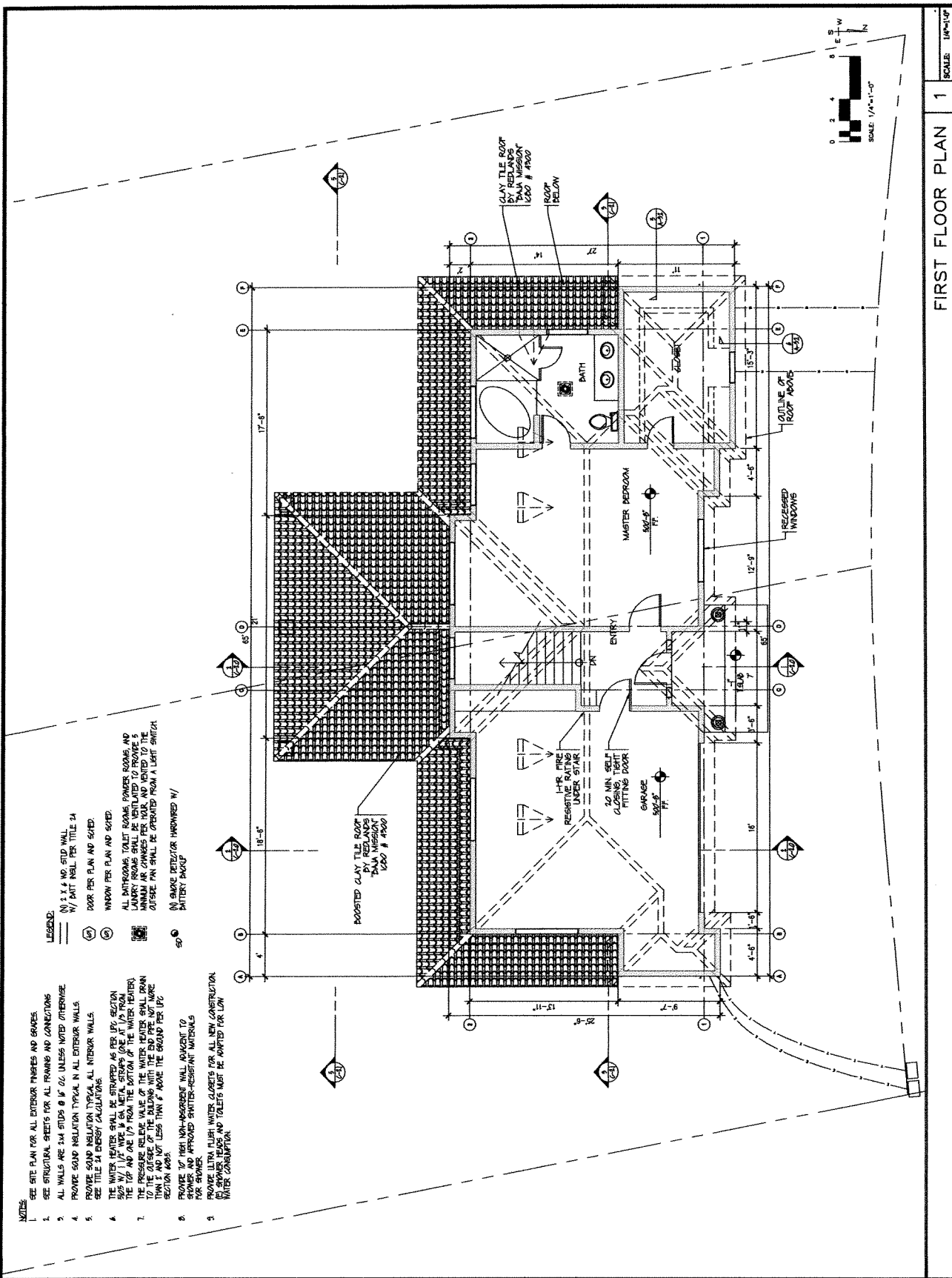
**Sheet Title**  
 FIRST FLOOR PLAN  
 & LOWER FLOOR  
 PLAN

**Comments**

**DATE** 1/17/07  
**BY** JAR  
**REVISION** 1/17/07

Revision	Date

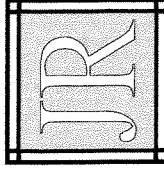
Job No.	2002031
Drawn	JAR
Checked	JAR
Date	August 29, 2005
Sheet No.	A-2.1
of	3 Sheets



- NOTES:**
- SEE SITE PLAN FOR ALL EXTERIOR FINISHES AND GRADES.
  - SEE STRUCTURAL SHEETS FOR ALL FINISHES AND CONNECTIONS.
  - ALL WALLS ARE 2 1/2 STUDS @ 16" OC, UNLESS NOTED OTHERWISE.
  - PROVIDE SOUND INSULATION TYPICAL IN ALL EXTERIOR WALLS.
  - PROVIDE SOUND INSULATION TYPICAL ALL INTERIOR WALLS.
  - SEE TITLE 24 ENERGY CALCULATIONS.
  - THE WATER HEATER SHALL BE STRAPPED AS PER IPC SECTION 502.11.1.7. WIDE @ 60" METAL STRAPS (ONE AT 1/3 FROM THE TOP AND ONE 1/3 FROM THE BOTTOM OF THE WATER HEATER) SHALL BE PROVIDED. THE STRAPS SHALL BE ATTACHED TO THE CEILING OF THE BUILDING WITH THE END OF THE STRAP THIN @ AND NOT LESS THAN 6" ABOVE THE GRAND PER IPC SECTION 503.
  - PROVIDE 1/2" HIGH NON-ABRASIVE WALL JOINTS TO ALL INTERIOR WALLS AND APPROVED BRITTLE-RESISTANT MATERIALS TO ALL EXTERIOR WALLS.
  - PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. BROOMERS, TOILETS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

- LEGEND:**
- (N) 1 x 6 NO. STD. WALL
  - (W) 2 x 4 PART WALL PER TITLE 24
  - (D) DOOR PER PLAN AND SCHED.
  - (W) WINDOW PER PLAN AND SCHED.
  - (A) ALL PATHTWAYS TOILET ROOMS, POWDER ROOMS AND LAUNDRY ROOMS SHALL BE VENTILATED TO PROVIDE 5 MINIMUM AIR CHANGES PER HOUR, AND VENTED TO THE OUTSIDE AIR SHALL BE OPERATED FROM A LIGHT SWITCH.
  - (S) SMOKE DETECTOR OR HORN/WHISPER W/ BATTERY BACKUP

BOASTED CLAY TILE ROOF  
 2" INSULATION  
 2" INSULATION  
 2" INSULATION  
 2" INSULATION



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Project  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-030  
 Two Story Residence  
 Sheet Title  
 ROOF PLAN

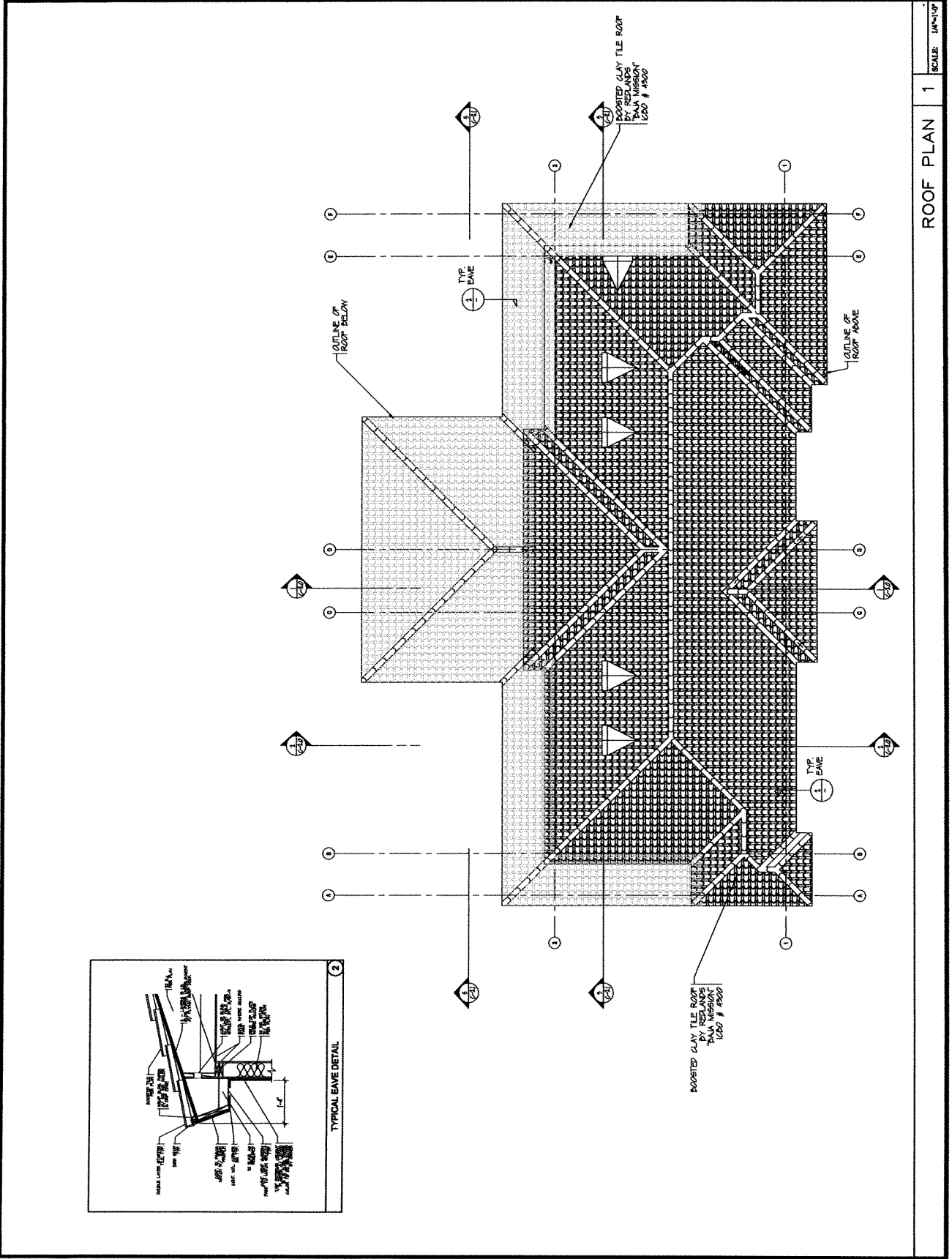
Comments

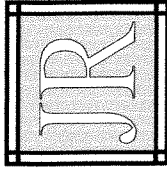
Date	Revised For	Drawn	Checked	Approved
01/07	Planning Dept. Approval			

Sheet No.	200231
Drawn	JR
Checked	JR
Date	August 20, 2002

Scale: 1/8" = 1'-0"  
 ROOF PLAN 1  
 of 2 Sheets





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 (818) 552-4209 Facsimile  
 JROBFE@AOL.COM E-MAIL



Project  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-030  
 Two Story Residence

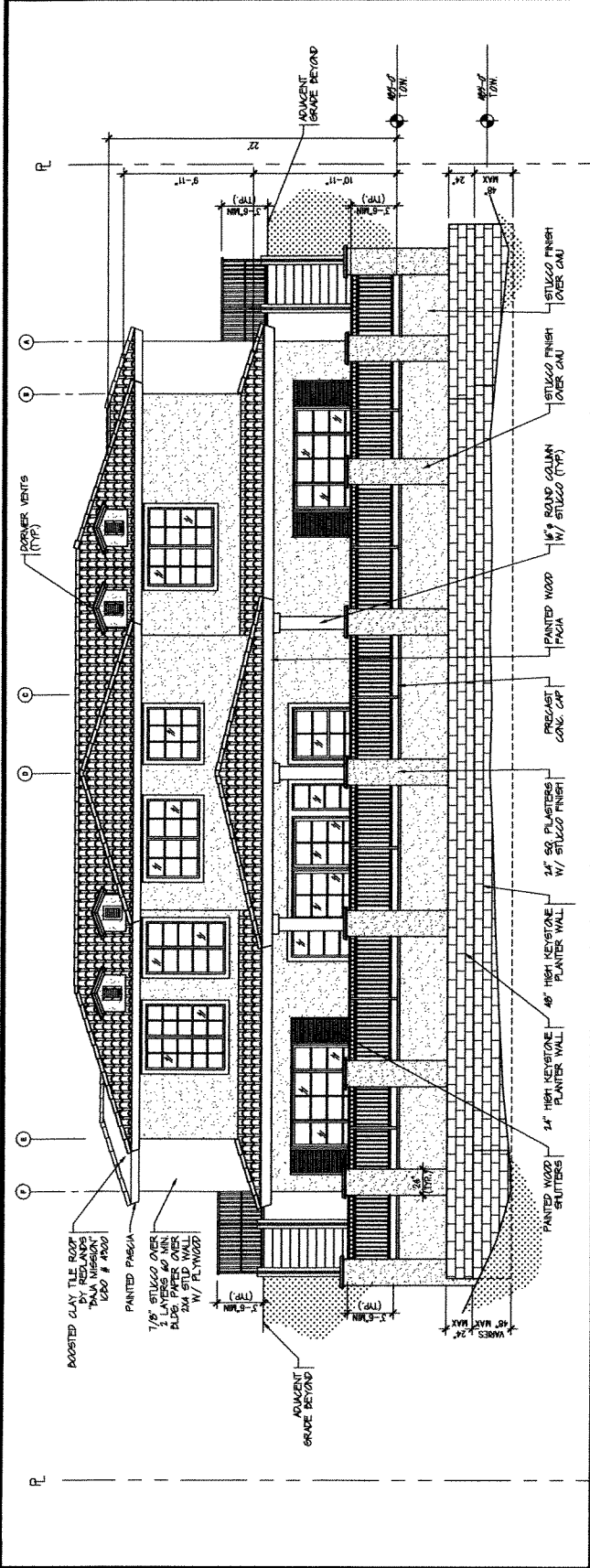
Sheet Title  
 EXTERIOR ELEVATIONS

Consultant

Date  
 2/10/07  
 Drawing Date  
 2/10/07

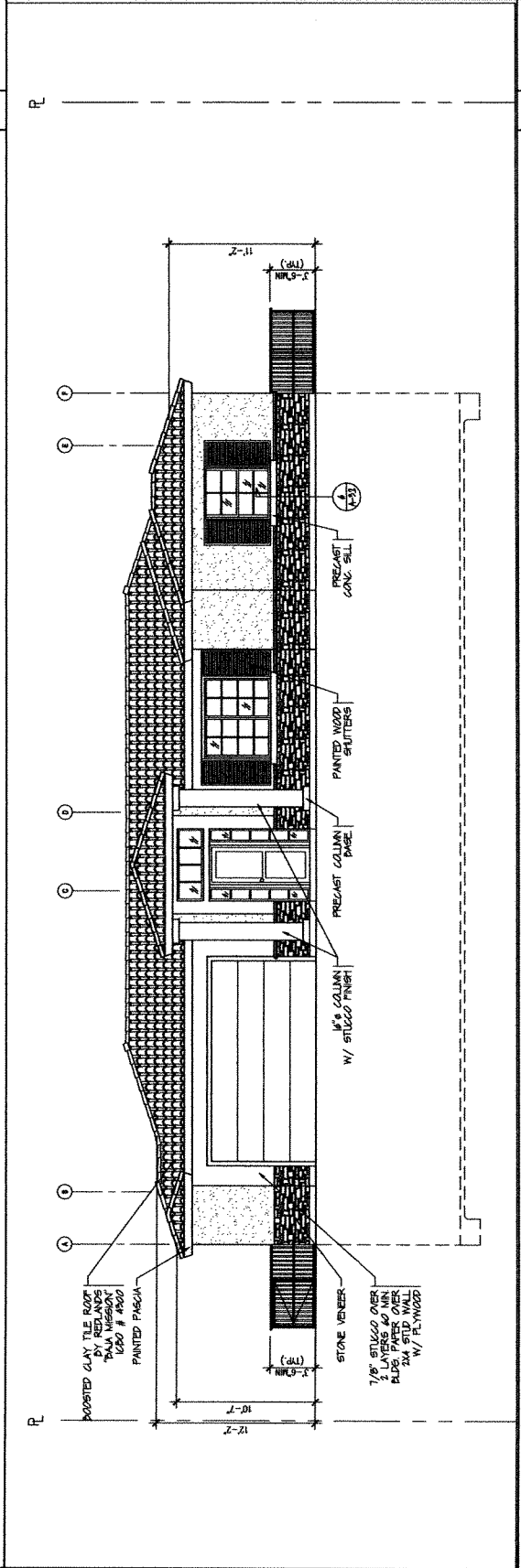
Revisions

Job No. 2002231  
 Sheet No. A-3.1  
 Date August 29, 2002  
 of 3 Sheets



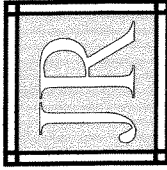
REAR ELEVATION 2

SCALE: 1/4"=1'-0"



FRONT ELEVATION 1

SCALE: 1/4"=1'-0"



**JEFFREY A. ROBERTS, P.E.**  
 Engineering Consulting Services  
 50 S. Delaney Ave, Suite 100  
 Pasadena, CA 91105  
 (818) 640-3753 Voice  
 (818) 352-4089 Facsimile  
 JROBEP@AOL.COM E-MAIL

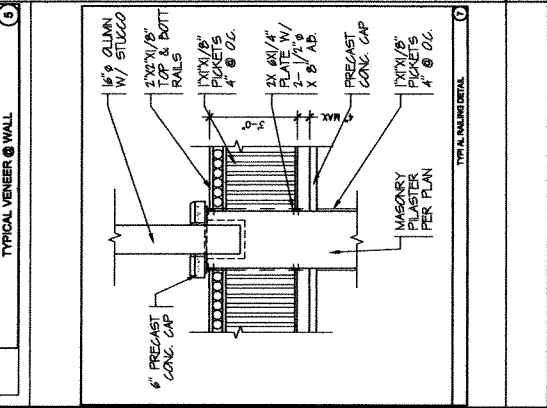
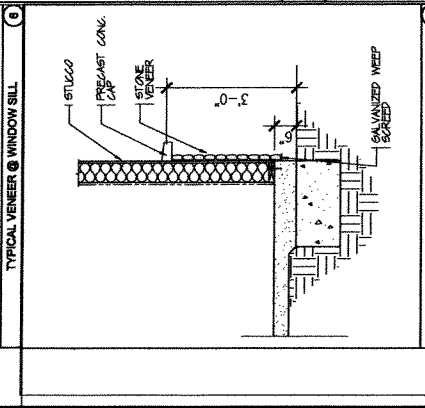
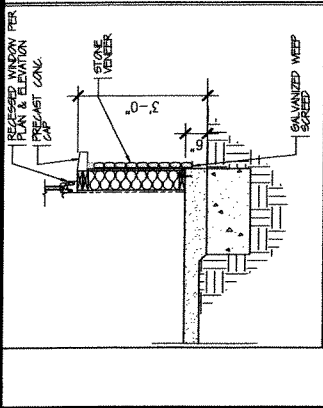
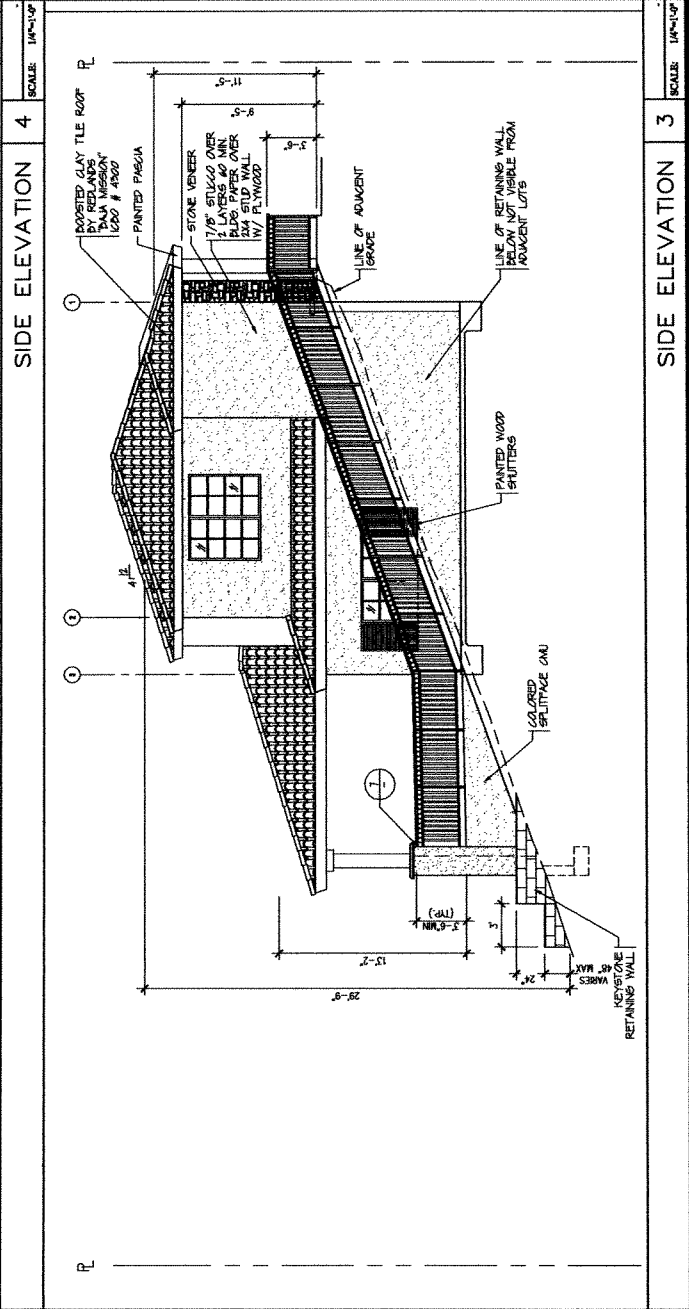
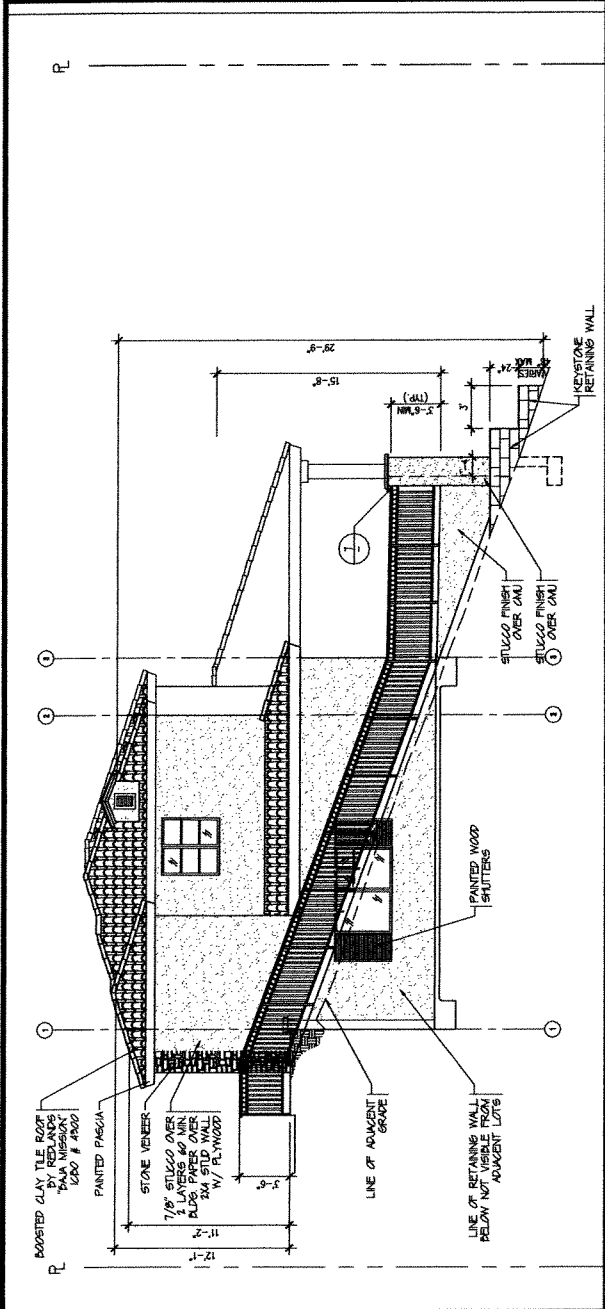


**Project**  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-030  
**Two Story Residence**

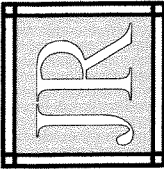
**Sheet Title**  
 EXTERIOR ELEVATIONS

**Committee**

Author	James Fox
Drawn	5/18/07
Checked	5/18/07
Scale	As Shown
Revision	
Date	
Sheet No.	200031
Project No.	A-3.2
Drawn	JR
Checked	JR
Date	August 29, 2007
of	3
of	Sheets







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 (818) 352-2109 Facsimile  
 JROBPE@AOL.COM E-MAIL



Project  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-030  
 Two Story Residence

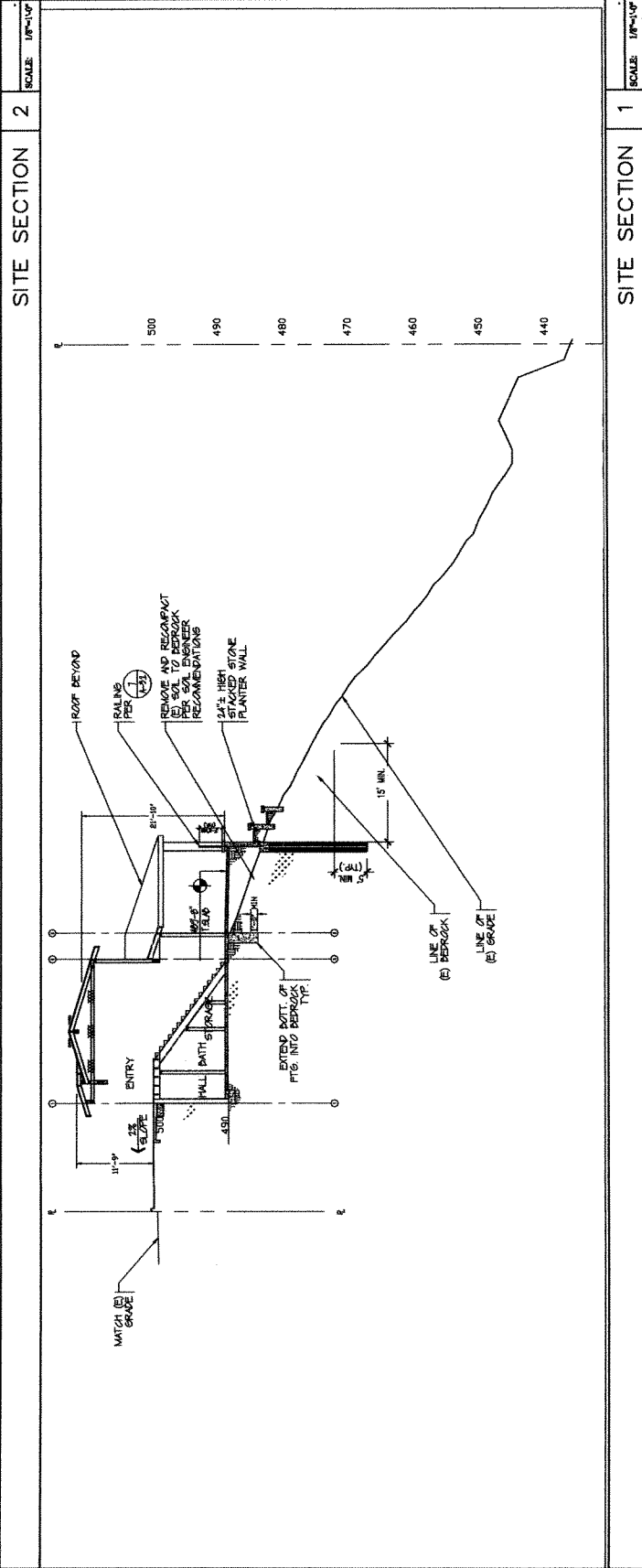
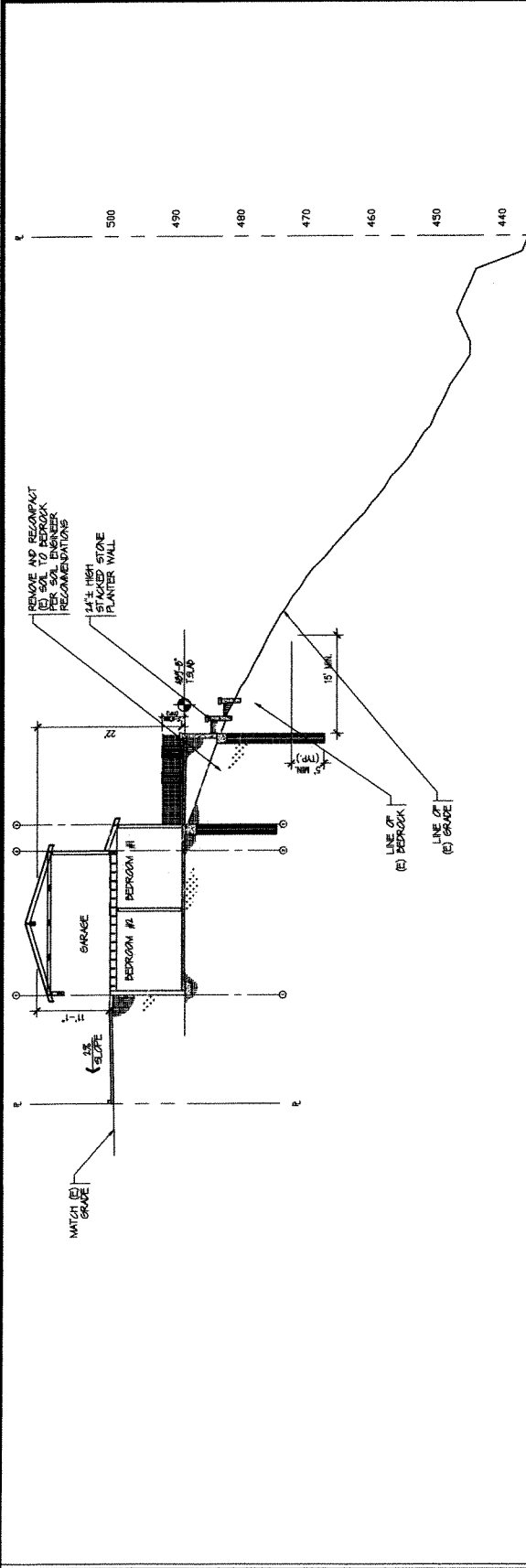
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 SITE SECTION

Commitment

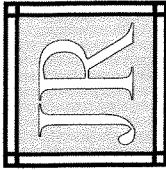
Date: August 29, 2005  
 Drawn: JROBPE  
 Checked: JROBPE  
 Title: Planning Dept. Approval

Revision	Date

Job No.	2005231
Drawn	JROBPE
Checked	JROBPE
Date	August 29, 2005
Sheet No.	C-2.0
of	1







JEFFREY A. ROBERTS, P.E.  
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 Pasadena, CA 91105  
 (818) 640-3755 Voice  
 (818) 352-4209 Facsimile  
 JROBPE@AOL.COM E-MAIL



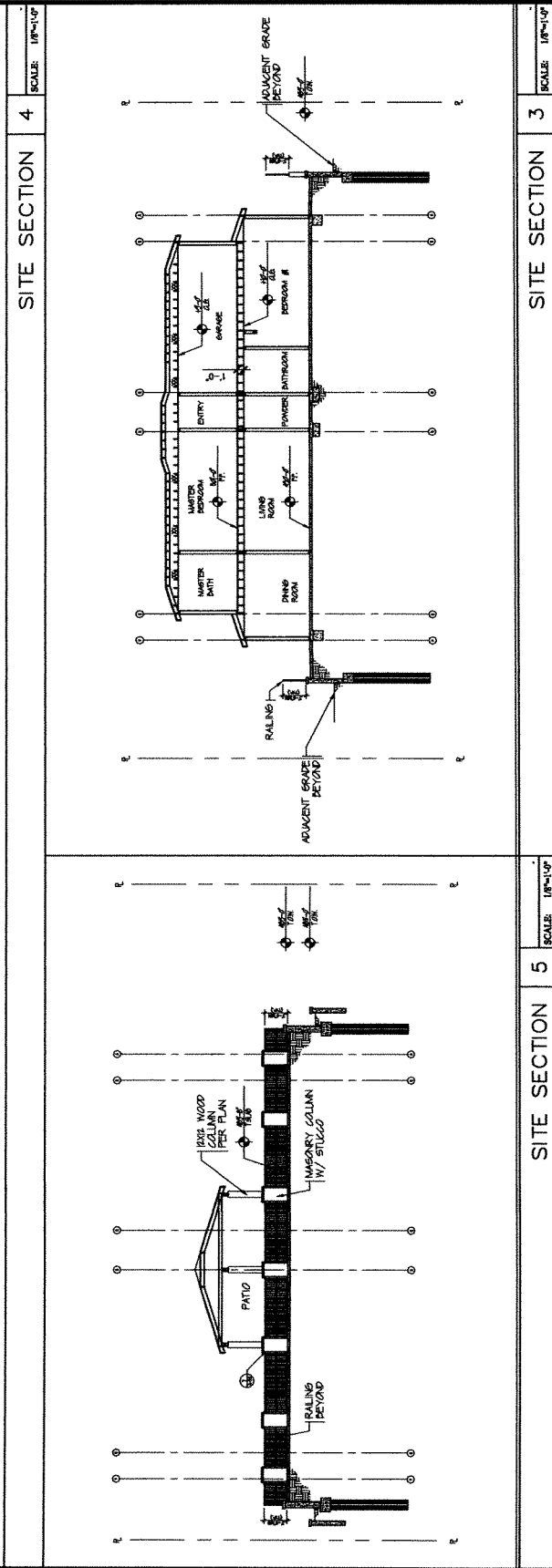
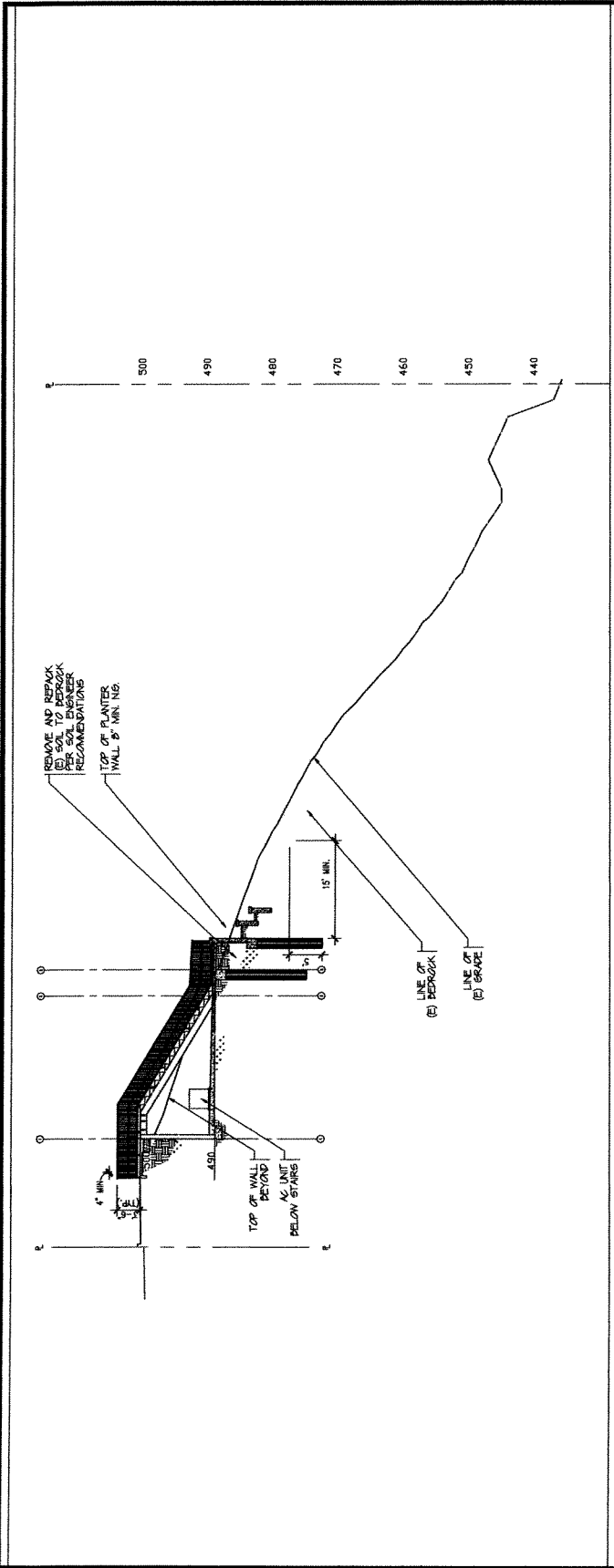
Project  
 Thompson Residence  
 Lewis Road  
 AGOURA HILLS, CA  
 APN # 2061-022-029  
 & 2061-022-030  
 Two Story Residence

Sheet Title  
 SITE SECTION

Comments

Rev	Revision	Date
1	Issue For Permitting/Design Approval	

Job No.	2005231	Sheet No.	C-2.1
Drawn	JR	Checked	JR
Date	August 23, 2005	of	Sheets



**GRADING NOTES**

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES 6 OF THE ACQUENA HILLS MUNICIPAL CODE.
- 2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD WITH THE CITY ENGINEER.
- 3. ALL EXISTING AND PROPOSED GRADES SHALL BE APPROVED BY THE CITY ENGINEER AND SHALL BE SHOWN ON THE PLAN.
- 4. ALL EXISTING AND PROPOSED GRADES SHALL BE SHOWN ON THE PLAN. THE CITY ENGINEER SHALL VERIFY THE ACCURACY OF ALL EXISTING AND PROPOSED GRADES.
- 5. ANY CHANGES TO THE GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- 6. THE PERMITS SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE THE NECESSARY GRADING PLANS AND A SIGNATURE TO PROVIDE COMPLIANCE WITH THE ACQUENA HILLS MUNICIPAL CODE.
- 7. REPORTS REQUIRED:
  - 1. A GRADING REPORT FROM THE CONSTRUCTION OF ANY STRUCTURAL ADOPTED GRADING REPORT THAT IS SUBJECT TO THE ACQUENA HILLS MUNICIPAL CODE THAT ALL EXISTING AND PROPOSED GRADES SHALL BE APPROVED BY THE CITY ENGINEER.
  - 2. A FINAL GRADING REPORT FROM THE IMPLEMENTATION OF ANY GRADING PROJECT SHALL BE PROVIDED TO THE CITY ENGINEER FOR HIS REVIEW AND APPROVAL.
  - 3. THE PERMITS SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE THE NECESSARY GRADING PLANS AND A SIGNATURE TO PROVIDE COMPLIANCE WITH THE ACQUENA HILLS MUNICIPAL CODE.

**STORMWATER POLLUTION NOTES**

- 1. APPLICATION IS SUBMITTED FOR A PERMIT TO CONSTRUCT A STRUCTURE, SYSTEM OR POLLUTION PREVENTION PLAN (P) AS OUTLINED IN THE BODILY PROGRAM FOR THE ACQUENA HILLS MUNICIPAL CODE. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER.
- 2. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER.
- 3. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER.

**UNDERGROUND SERVICE ADULT**

CALL YOU FIRST  
1-800-327-3655  
TWO THIRDS DATE BEFORE YOU DIG

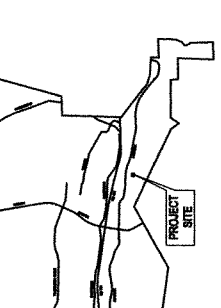
**INSPECTION NOTES**

- 1. THE PERMITS ON THE PERMIT SHALL COVER THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKDAYS IN ADVANCE OF PROCEEDING WITH THE CONSTRUCTION.
- 2. THE PERMITS ON THE PERMIT SHALL COVER THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKDAYS IN ADVANCE OF PROCEEDING WITH THE CONSTRUCTION.

**ABBREVIATIONS**

- AC - ASPHALT CONCRETE
- AS - ASPHALT SURFACE
- CD - GUTTER DRAIN
- CF - CURB FINISH
- CE - CONCRET
- CH - CONCRET
- CM - CONCRET MASONRY
- CS - CONCRET
- CU - CONCRET
- CA - CONCRET
- CB - CONCRET
- CC - CONCRET
- CD - CONCRET
- CE - CONCRET
- CF - CONCRET
- CG - CONCRET
- CH - CONCRET
- CI - CONCRET
- CJ - CONCRET
- CK - CONCRET
- CL - CONCRET
- CM - CONCRET
- CN - CONCRET
- CO - CONCRET
- CP - CONCRET
- CQ - CONCRET
- CR - CONCRET
- CS - CONCRET
- CT - CONCRET
- CU - CONCRET
- CV - CONCRET
- CW - CONCRET
- CX - CONCRET
- CY - CONCRET
- CZ - CONCRET

**LEGEND AND SYMBOLS**



**STORMWATER POLLUTION NOTES**

- 1. APPLICATION IS SUBMITTED FOR A PERMIT TO CONSTRUCT A STRUCTURE, SYSTEM OR POLLUTION PREVENTION PLAN (P) AS OUTLINED IN THE BODILY PROGRAM FOR THE ACQUENA HILLS MUNICIPAL CODE. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER.
- 2. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER. THE PERMITTING AGENCY SHALL BE THE CITY ENGINEER.

**PUBLIC UTILITIES / SERVICES**

Table listing utility companies and their contact information:

UTILITY	CONTACT INFORMATION
WATER	LAS VEGAS REGIONAL WATER DISTRICT 4252 LAS VEGAS AVENUE LAS VEGAS, NV 89115 (702) 794-1111
ELECTRICAL	SOUTHERN CALIFORNIA Edison 3060 FIGUEROA DRIVE SAN DIEGO, CA 92108 (619) 687-2771
TELEPHONE	AT&T 1800 INDEPENDENT PKY #10 SANTA ANA, CA 92705 (714) 972-6668
GAS	SOUTHERN CALIFORNIA GAS 17500 ANAHEIM AVENUE ANAHEIM, CA 92816 (714) 871-2234
SEWER	LA COUNTY, DEPT. OF PUBLIC WORKS 1500 S. TROBRIK AVENUE, BOX 100 EAST ANAHEIM, CA 92816 City Hall
CABLE	3200 TELLER ROAD IRVINE, CA 92614 (714) 772-2211
CABLE	CHARTER COMMUNICATIONS 3805 LYNDENBUSH ROAD SANTA ANA, CA 92705 (714) 954-1011
CABLE	CALTRANS 800 MENARD BOULEVARD SANTA ANA, CA 92705 (714) 296-2328

**INDEX OF DRAWINGS**

Table listing drawing titles and sheet numbers:

SHEET NO.	DESCRIPTION
1	TITLE SHEET, NOTES, LEGEND AND VICINITY MAP
2	GRADING SITE PLAN
3	STREET IMPROVEMENTS

**ESTIMATED EARTHWORK QUANTITIES**

Table with columns for Estimated Earthwork Quantities:

ITEM	EST. VOL. (CY)	EST. WEIGHT (TONS)
1	_____	_____
2	_____	_____
3	_____	_____

**BENCHMARKS**

Table with columns for Benchmarks:

DESCRIPTION	BEARING	ELEVATION	MARK	DATE
_____	_____	_____	_____	_____

**RECORD DRAINAGE STATEMENT**

THESE RECORDS ARE BASED ON FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR. THE ENGINEER HAS MADE A VISUAL CHECK OF THE RECORDS WITH THESE PLANS. THE ENGINEER HAS NOT MADE A VISUAL CHECK OF THE RECORDS WITH THESE PLANS.

**LEGAL DESCRIPTION**

TRACT NO. 100162, PART OF SECTION 12, T12N, R10E, S22E, AS SHOWN ON THE PLAT THEREOF, BEING PART OF THE ACQUENA HILLS MUNICIPAL CODE.

**PROJECT INFORMATION**

NAME: THOMPSON RESIDENCE  
ADDRESS: LAMES ROAD, GARDEN GROVE, CA  
DATE: OCTOBER 1985  
TYPE: THIS STUDY IS FOR A PERMIT TO CONSTRUCT A STRUCTURE, SYSTEM OR POLLUTION PREVENTION PLAN (P) AS OUTLINED IN THE BODILY PROGRAM FOR THE ACQUENA HILLS MUNICIPAL CODE.

**PREPARED BY:**

PROJECT ENGINEER: DATE: 05-10-85  
CITY ENGINEER: DATE: 05-10-85

**CITY OF ACQUENA HILLS APPROVAL**

City of Acqur Hills approval stamp and signature lines.

Owner and Geotechnical Engineer contact information:

**OWNER**  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**CIVIL ENGINEER**  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

**GEOTECHNICAL ENGINEER**  
NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_

Vicinity Map and Title Sheet information:

**VICINITY MAP**

**TITLE SHEET, NOTES, LEGEND AND VICINITY MAP**

**ESTIMATED EARTHWORK QUANTITIES**

ITEM	EST. VOL. (CY)	EST. WEIGHT (TONS)
1	_____	_____
2	_____	_____
3	_____	_____

Record Drawing Statement and Soils Approval:

**RECORD DRAINAGE STATEMENT**

THESE RECORDS ARE BASED ON FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR. THE ENGINEER HAS MADE A VISUAL CHECK OF THE RECORDS WITH THESE PLANS. THE ENGINEER HAS NOT MADE A VISUAL CHECK OF THE RECORDS WITH THESE PLANS.

**SOILS APPROVAL**

THE PLAN HAS BEEN REVIEWED AND IS IN COMPLIANCE WITH THE RECORDING REQUIREMENTS IN OUR IMPARTIAL ORDER, RECORDING IS 85-1003

City of Acqur Hills approval stamp and signature lines:

REVISION # SYMBOL DESCRIPTION OF CHANGE

DATE DATE

PROJECT ENGINEER CITY ENGINEER

DATE DATE

REVISION # SYMBOL DESCRIPTION OF CHANGE

DATE DATE

PROJECT ENGINEER CITY ENGINEER

DATE DATE

# GRADING

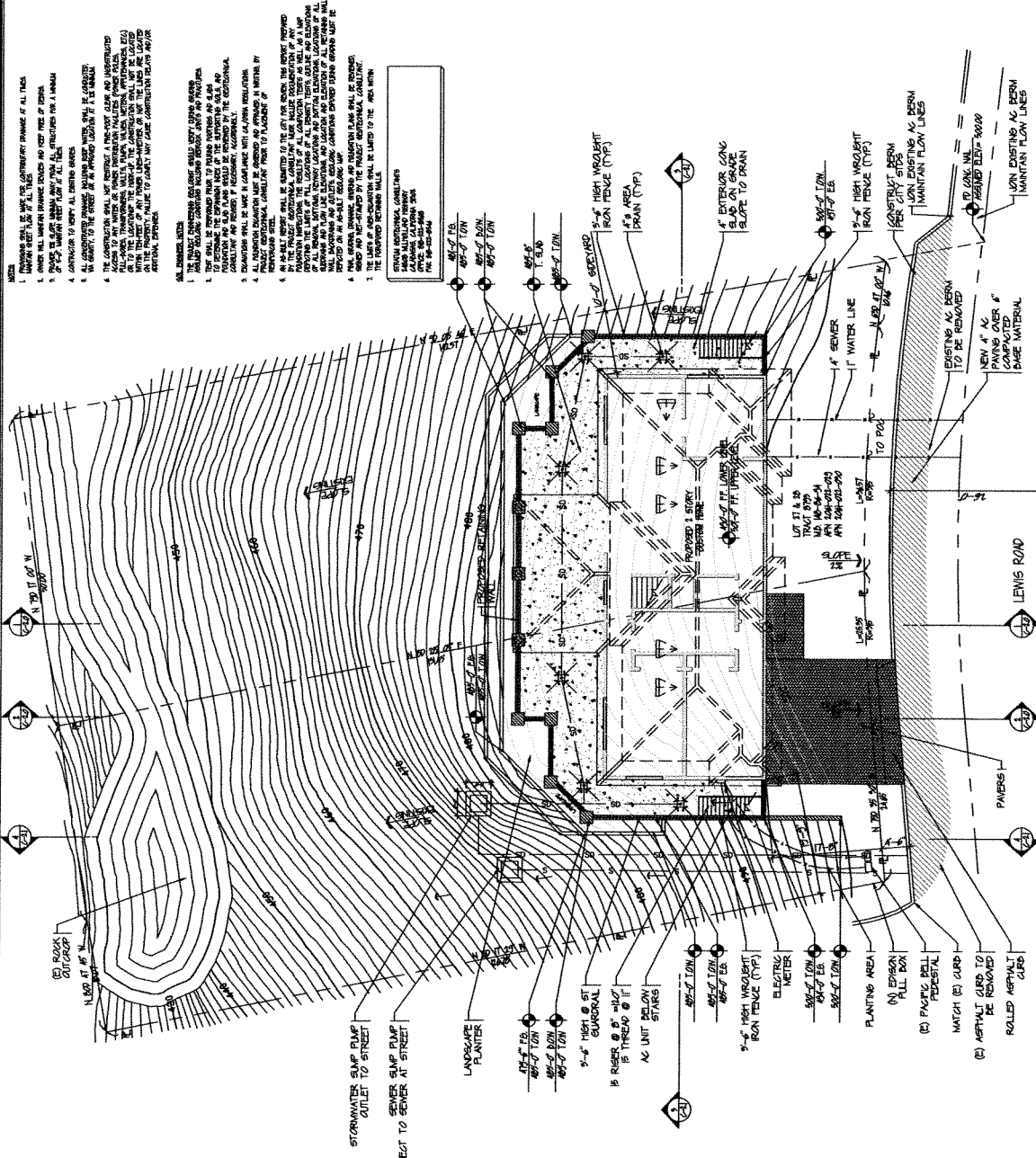
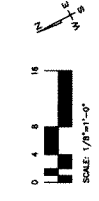
## PEST MANAGEMENT PRACTICES

1. ALL PEST MANAGEMENT PRACTICES SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
  - a. FEDERAL AND STATE REGULATIONS AND ORDINANCES.
  - b. LOCAL ORDINANCES AND REGULATIONS.
  - c. THE BEST MANAGEMENT PRACTICES (BMP) MANUAL FOR AGRICULTURE AND FORESTRY.
  - d. THE BEST MANAGEMENT PRACTICES (BMP) MANUAL FOR CONSTRUCTION.
2. ALL PEST MANAGEMENT PRACTICES SHALL BE DESIGNED TO PREVENT AND CONTROL PESTS AND TO PROTECT THE SOIL AND WATER RESOURCES FROM PEST DAMAGE.
3. ALL PEST MANAGEMENT PRACTICES SHALL BE DESIGNED TO PREVENT AND CONTROL PESTS AND TO PROTECT THE SOIL AND WATER RESOURCES FROM PEST DAMAGE.
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9. ALL PEST MANAGEMENT PRACTICES SHALL BE DESIGNED TO PREVENT AND CONTROL PESTS AND TO PROTECT THE SOIL AND WATER RESOURCES FROM PEST DAMAGE.
10. ALL PEST MANAGEMENT PRACTICES SHALL BE DESIGNED TO PREVENT AND CONTROL PESTS AND TO PROTECT THE SOIL AND WATER RESOURCES FROM PEST DAMAGE.

EARTHWORK VOLUMES	
1. CUT AMOUNT	200 CY
2. FILL AMOUNT	100 CY
3. EXPORT / IMPORT (LESS BORROW)	100 CY
4. OVEREXCAVATION AND REBACKFILL	50 CY
5. ADJUSTED NET BORROW	50 CY

SLOPE ANALYSIS	
5% SLOPE	1.1, 2000 X 100
10% SLOPE	100
15% SLOPE	50



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE STATE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE STATE ENGINEER.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE STATE ENGINEER.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY	PROJECT NUMBER	REVIEWED BY	DATE	CITY ENGINEER	DATE	ES&D TECHNICIAN	LOT/LOT EXP. DATE

### CITY OF ACCORVILLE APPROVAL

PREPARED BY: \_\_\_\_\_

PROJECT NUMBER: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

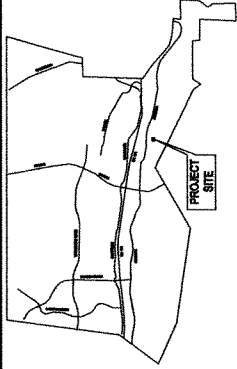
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CITY ENGINEER: \_\_\_\_\_

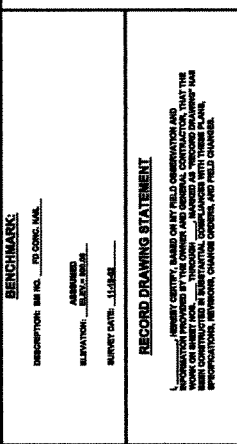
DATE: \_\_\_\_\_

ES&D TECHNICIAN: \_\_\_\_\_

LOT/LOT EXP. DATE: \_\_\_\_\_



VICINITY MAP



RECORD DRAWING STATEMENT

OWNER: MARY THOMPSON
ADDRESS: 1015 BIRCH BLVD
CITY: ACQUORA HILLS, CA 92617
PHONE: (714) 251-2345

INDEX OF DRAWINGS
SHEET NO. 1: TRENCH DETAIL (NOT TO SCALE)
SHEET NO. 2: STREET REPAIR DETAIL (NOT TO SCALE)
SHEET NO. 3: EQUESTRIAN TRAIL DETAIL (NOT TO SCALE)
SHEET NO. 4: EQUESTRIAN FENCE DETAIL (NOT TO SCALE)

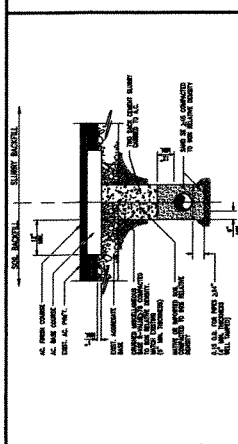
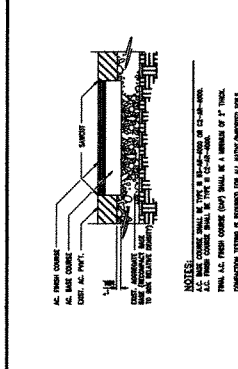
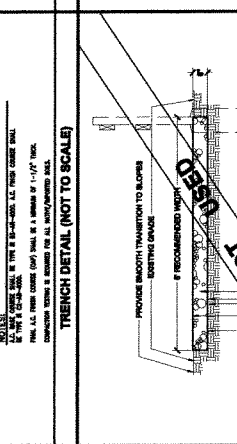
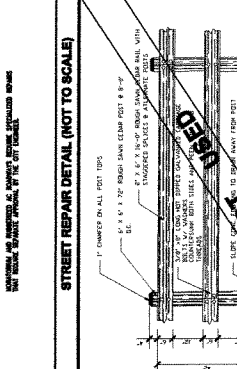
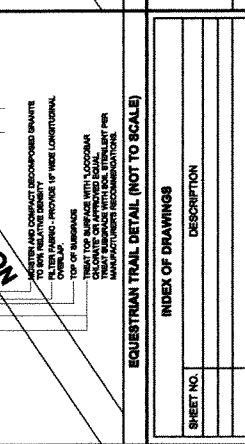
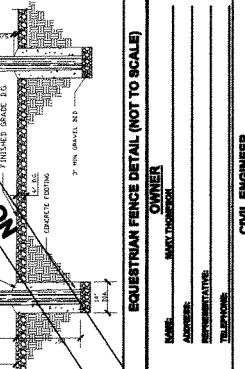


Table with columns: REVISION #, SYMBOL, DESCRIPTION OF CHANGE, APPROVED, DATE.

PREPARED BY: DATE: 08-14-08
CHECKED BY: DATE: 08-14-08
APPROVED BY: DATE: 08-14-08

CITY OF ACQUORA HILLS APPROVAL
SEAL AND SIGNATURE OF CITY ENGINEER

PROJECT INFORMATION:
NAME: THOMPSON RESIDENCE
ADDRESS: 1015 BIRCH BLVD
CITY: ACQUORA HILLS, CA
APN: LOT 871 041-028-009
LOT 86 041-028-008
TYPE: TWO STREET IMPROVEMENT

STORMWATER POLLUTION NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CALIFORNIA WATER RESOURCES CONTROL BOARD AND THE COUNTY OF LOS ANGELES...

GENERAL NOTE
FOR STREET IMPROVEMENT PLAN: SEE SHEET 2

PUBLIC UTILITIES / SERVICES
WATER: L.A.S. WATER DEPARTMENT, WATER DISTRICT 10, 1200 LAMAR AVENUE, LOS ANGELES, CA 90001
ELECTRICAL: SOUTHERN CALIFORNIA EDISON, 1000 NORTH MOUNTAIN AVENUE, PASADENA, CA 91106
TELEPHONE: ATTEN: 1001 BAYVIEW STREET, PT 10, PASADENA, CA 91106
GAS: SOUTHERN CALIFORNIA GAS AND OILFIELD SERVICE, 1000 NORTH MOUNTAIN AVENUE, PASADENA, CA 91106
SEWER: LA COUNTY DEPT. OF PUBLIC WORKS, 1001 BAYVIEW STREET, PT 10, PASADENA, CA 91106
FIRE: L.A. FIRE DEPT., 1001 BAYVIEW STREET, PT 10, PASADENA, CA 91106
CABLE: ARIEL/FX, 3225 TULLER ROAD, VAN NUYS, CA 91410
CABLE: CHARTER COMMUNICATIONS, 1000 NORTH MOUNTAIN AVENUE, PASADENA, CA 91106
CABLE: CALTELE, 1001 BAYVIEW STREET, PT 10, PASADENA, CA 91106

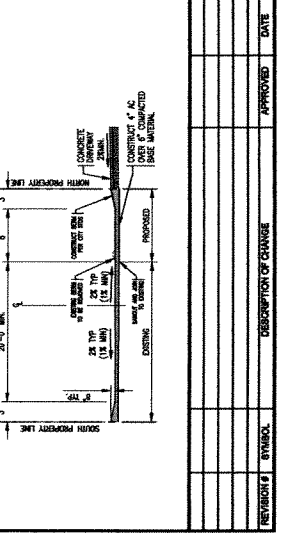
STREET IMPROVEMENT NOTES
1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PUBLIC WORKS DIVISION, ALL APPLICABLE CODES AND ORDINANCES...

STREET IMPROVEMENT NOTES (continued)
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION...

STREET IMPROVEMENT NOTES (continued)
3. NO DEVIATION FROM THESE PLANS SHALL BE MADE UNLESS A CHANGE ORDER IS APPROVED BY THE CITY ENGINEER...

STREET IMPROVEMENT NOTES (continued)
4. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN CITY LIMITS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

STREET IMPROVEMENT NOTES (continued)
5. CONTRACTORS SHALL COMPLY WITH ALL CALIFORNIA SAFETY STANDARDS AND ALL OTHER APPLICABLE SAFETY STANDARDS...



TYPICAL SECTION



**CONDITIONAL USE PERMIT – CASE NO. 04-CUP-003  
AND  
VARIANCE REQUEST CASE NO. 06-VAR-005**

**FOR THE PROPERTY LOCATED ON  
LOTS 27 & 28 LEWIS PLACE, AGOURA HILLS**

**EXHIBIT G**

**PHOTOGRAPHS OF SURROUNDINGS  
AND  
COLOR AND MATERIAL BOARD**

**CONDITIONAL USE PERMIT CASE NO. 04-CUP-003  
AND  
VARIANCE CASE NO. 06-VAR-005**



**West View of the Lots**



**East View of the Lots**

**CONDITIONAL USE PERMIT CASE NO. 04-CUP-003  
AND  
VARIANCE CASE NO. 06-VAR-005**



**West View of Lewis Place**

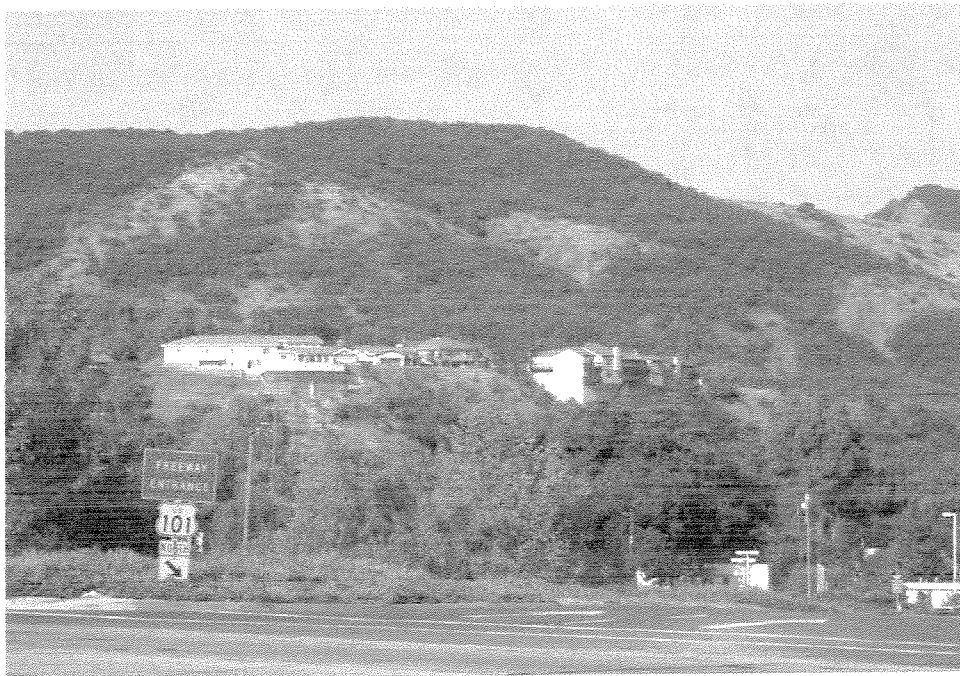


**East View of Lewis Place**

**CONDITIONAL USE PERMIT CASE NO. 04-CUP-003  
AND  
VARIANCE CASE NO. 06-VAR-005**



**As viewed from Roadside Drive**

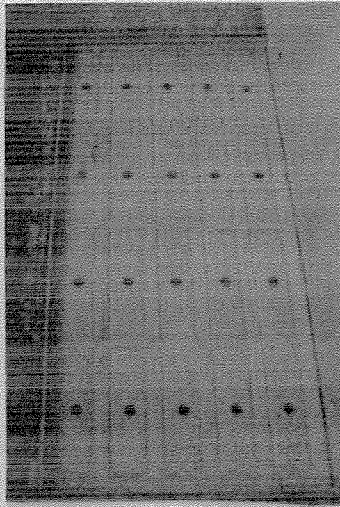


**As viewed from the Chesebro Westbound On-Ramp**



CONDITIONAL USE PERMIT CASE NO. 04-CUP-003  
AND  
VARIANCE CASE NO. 06-VAR-005

GARAGE DOOR + EXT. TRIM color

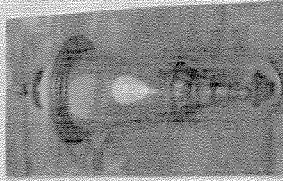


LEWIS ROAD

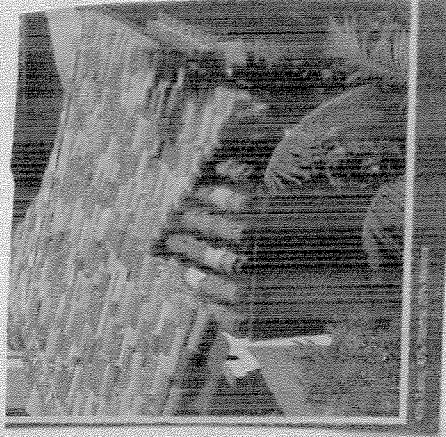


SHUTTERS + EXT STONE  
(TYPE + COLOR)

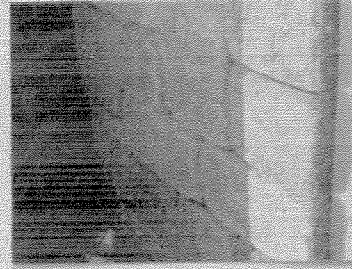
LEWIS ROAD



STUCCO TEXTURE



ROOF color



PLANTER WALLS  
KEY-HOLE SHAPE

6.11.2007