

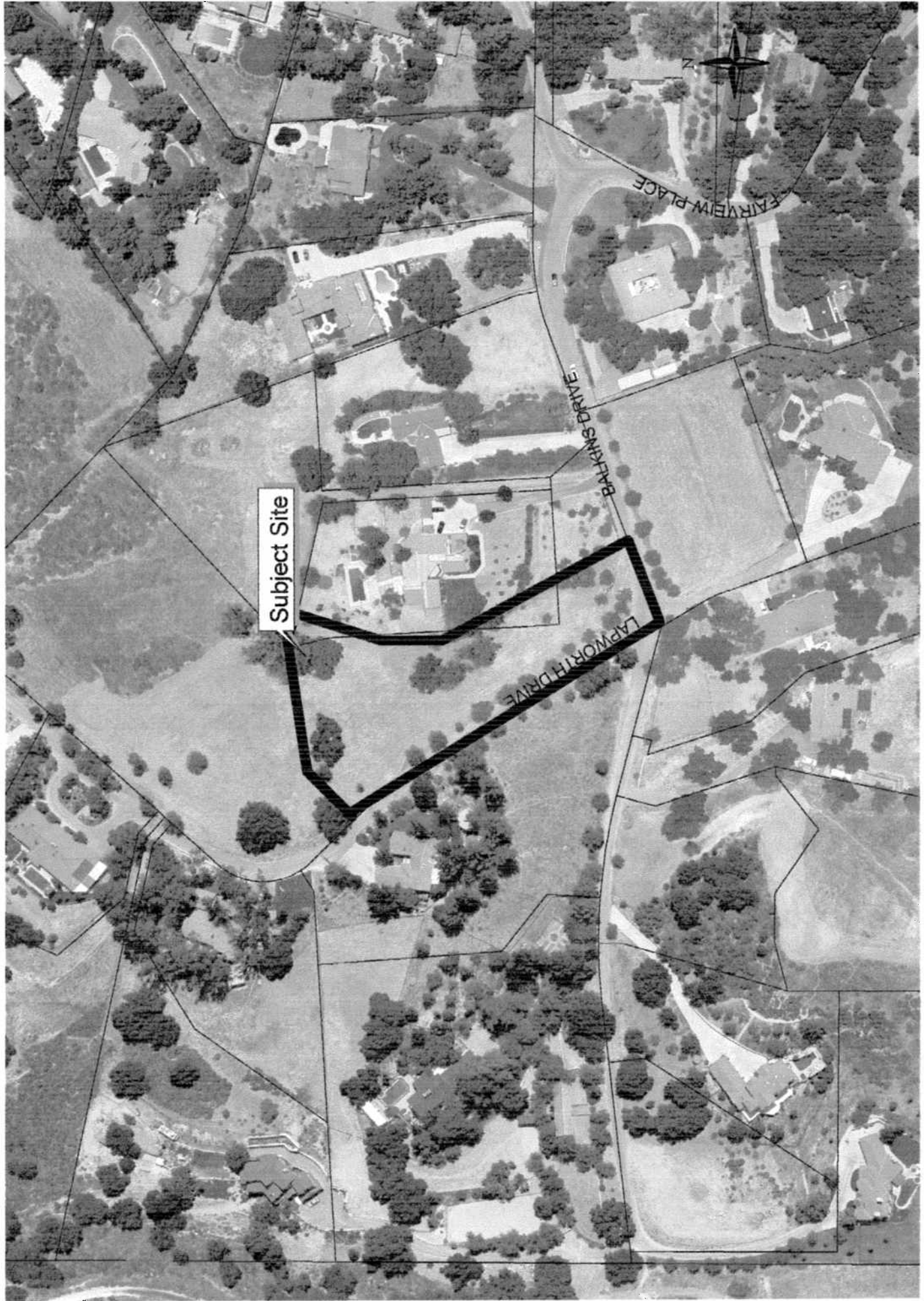
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT A**

**VICINITY MAP**

**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT CASE NO. 06-OTP-017 (2055-022-073) EDWARDS**





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT B**

**REDUCED COPIES OF PLANS**

**THE DEPARTMENT NOTES**

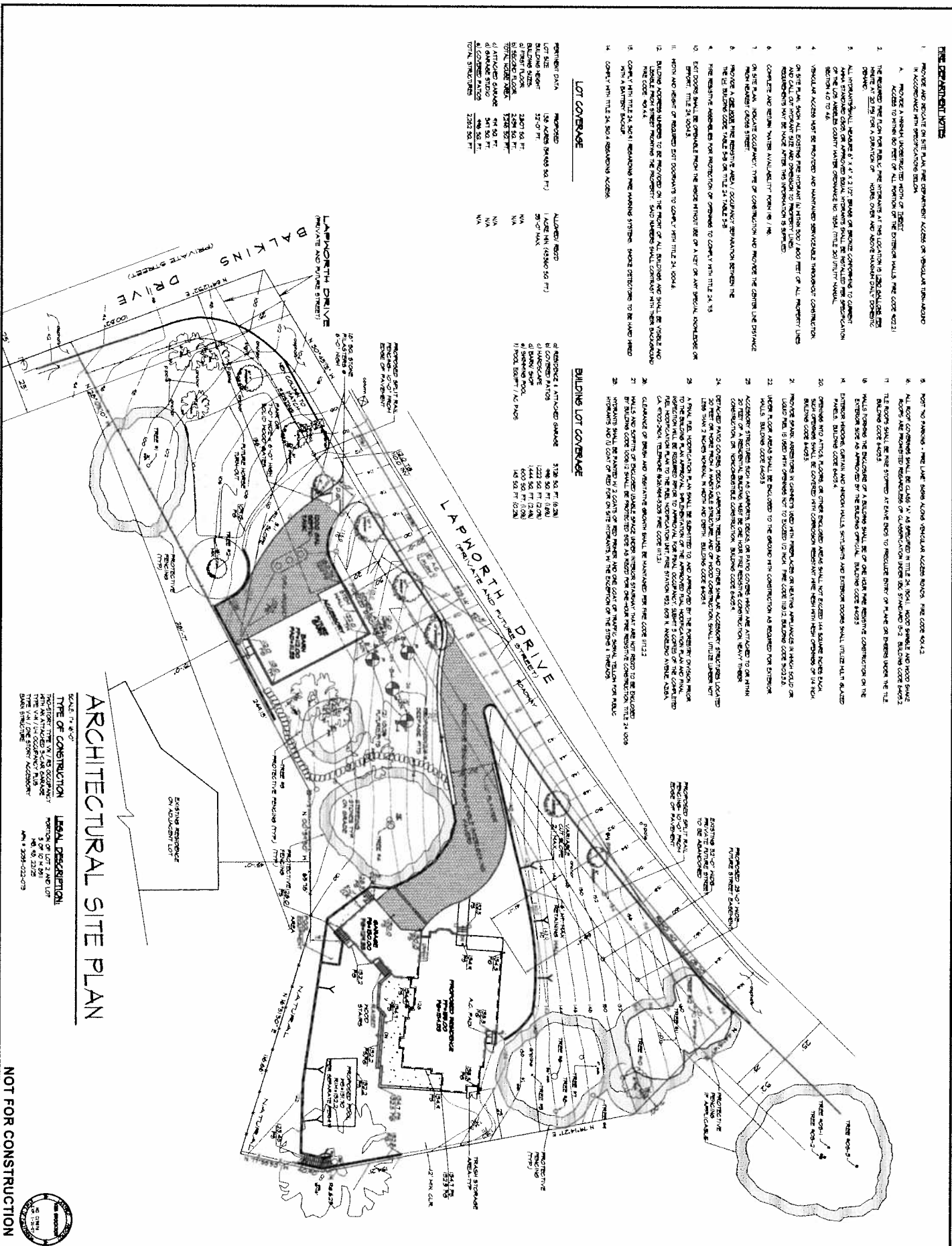
1. PROVIDE AND LOCATE ON SITE PLAN THE DEPARTMENT ACCESS OR VEHICULAR THROUGHWAY IN ACCORDANCE WITH SPECIFICATION SECTION 100.00.
2. PROVIDE A VEHICULAR THROUGHWAY WITHIN THE DEPARTMENT ACCESS OR VEHICULAR THROUGHWAY TO PERMIT ACCESS TO ALL PORTIONS OF THE DEPARTMENT ACCESS (SEE CODE 402.2).
3. THE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).
4. ALL VEHICULAR THROUGHWAYS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).
5. THE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).
6. THE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).
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14. THE DEPARTMENT ACCESS SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).

**LOT COVERAGE**

PERMIT DATA	ALLOWED	REMARKS
LOT SIZE	1.00 ACRES (43,560 SQ. FT.)	
BUILDING FOOTPRINT	3,720 SQ. FT. (8.5%)	
DRIVEWAY	1,222 SQ. FT. (2.8%)	
POOL	4,000 SQ. FT. (9.2%)	
PAVING	14,500 SQ. FT. (33.3%)	
LANDSCAPE	N/A	
WATER	N/A	
SEWER	N/A	
UTILITY	N/A	
OTHER	N/A	
TOTAL STRUCTURES	22,842 SQ. FT.	

**BUILDING LOT COVERAGE**

1. THE BUILDING LOT COVERAGE SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).
2. THE BUILDING LOT COVERAGE SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).
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20. THE BUILDING LOT COVERAGE SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE KEPT OPEN AND CLEAR AT ALL TIMES FOR THE DEPARTMENT ACCESS (SEE CODE 402.2).



**ARCHITECTURAL SITE PLAN**

SCALE: 1" = 4'-0"  
 TYPE OF CONSTRUCTION: LEGAL DESCRIPTION  
 THE PLAN IS ATTACHED TO THE SCENARIO FOR THE PROJECT AND IS NOT TO BE CONSIDERED AS A FINAL PLAN.  
 THE PLAN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.  
 DATE: 08/20/06  
 PROJECT NO: 0205001  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 08/20/06

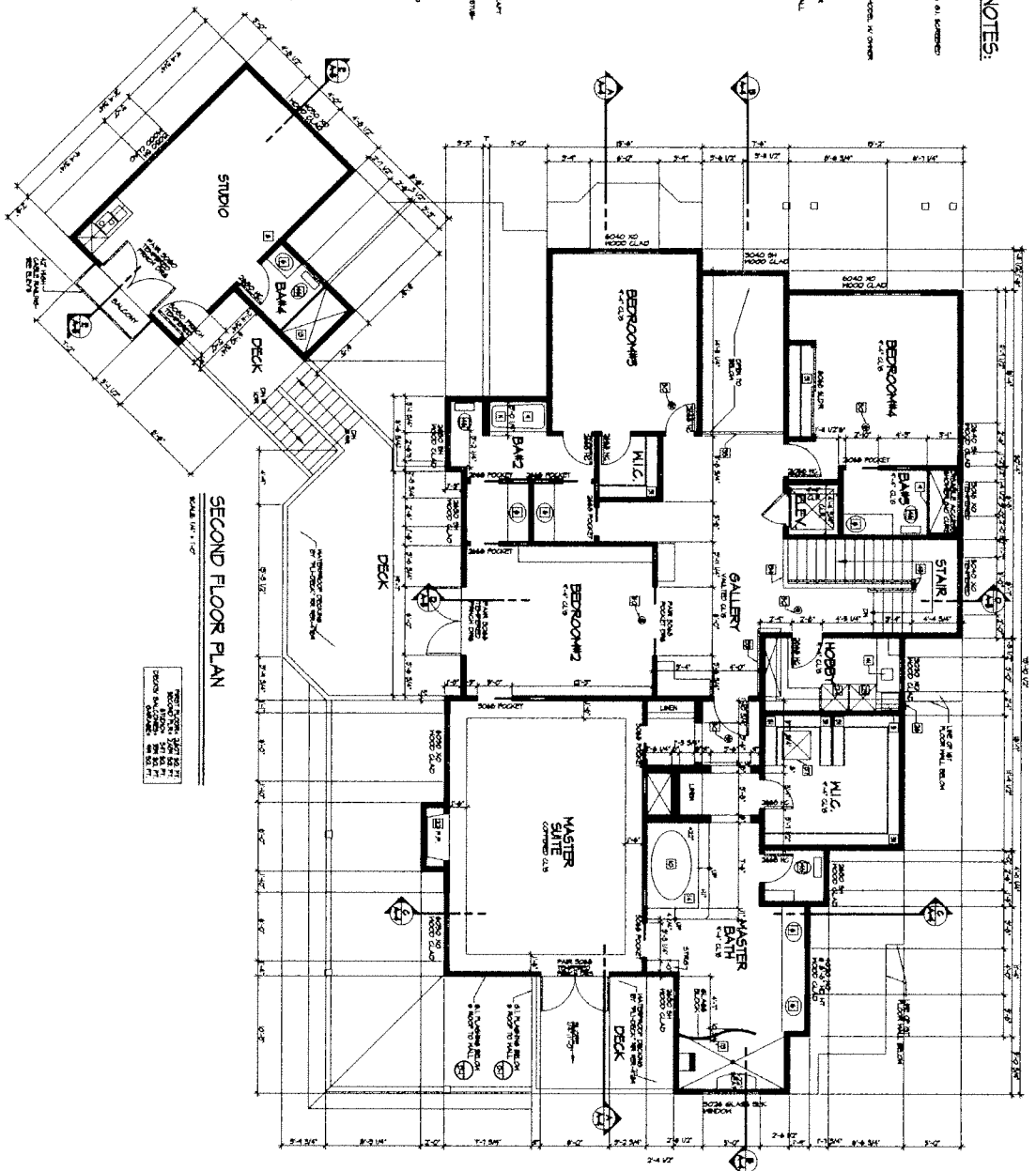
NOT FOR CONSTRUCTION

SHEET NO: <b>A-1</b>	PROJECT NAME: <b>EDWARDS RESIDENCE</b> SINGLE FAMILY CUSTOM HOME CORNER OF LAPWORTH & BALKINS OLD AGOURA, CA 91301	DEVELOPER:	ARCHITECTURAL SITE PLAN	
			DRAWN: R.K.S.	REVISIONS:
KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS 38600 N. AGOURA ROAD, PH# 844 CALABAZAS, CA 91302 (925) 866-1448 FAX: (925) 866-1604		DATE: 08/20/06		PROJECT NO: 0205001
DATE: 08/20/06		PLAN NO: 0205001		DATE: 08/20/06



**FLOOR PLAN KEYNOTES:**

- 1 2" COMMERICAL REPAIRMAN HAT
- 2 CONSTRUCTION AIR VENT FOR WATER SYSTEM AS SHOWN
- 3 HOLE THROUGH 2" X 4" FOR WATER MAIN
- 4 2" DIA. JUNCTION BOX
- 5 TRANSFORMER BOX WATER HEATER - VERIFY NOTES IN OTHER
- 6 LAUNDRY SINK 1" HOLE
- 7 3/4" TYPE "C" PIPE 80' TYP. AND STRAPPER
- 8 HOLE THROUGH 2" X 4" FOR WATER MAIN
- 9 HOLE THROUGH 2" X 4" FOR WATER MAIN
- 10 HOLE THROUGH 2" X 4" FOR WATER MAIN
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**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



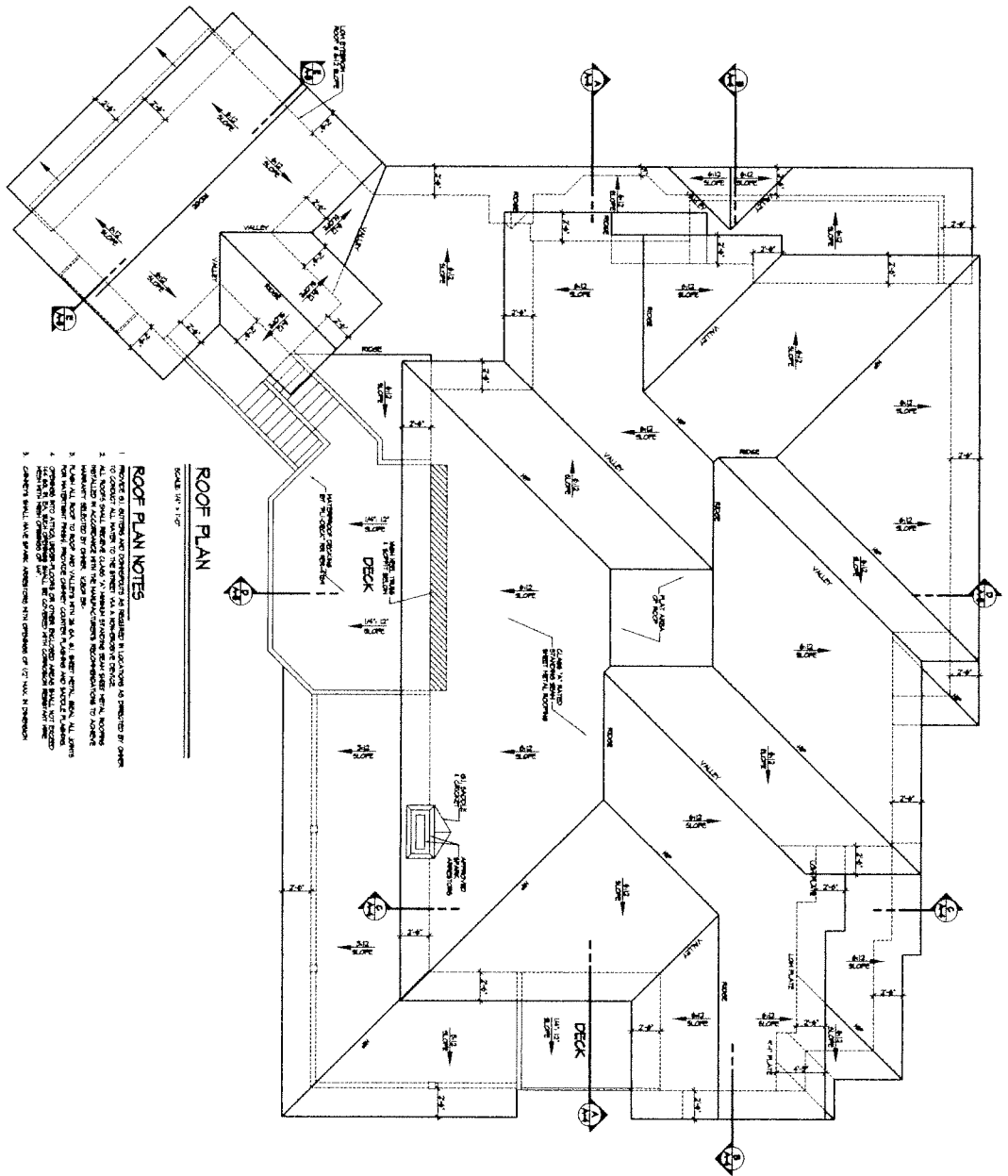
**KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS**  
 3800 N. AUBURN ROAD, PH# 244, CALABASAS, CA 91303  
 (818) 240-1440 FAX: (818) 240-1804

SECOND STORY FLOOR PLAN	
DRAWN: R.K.S.	REVISIONS:
DATE: 05/21/08	02/22/07
PLAN CHK:	04/23/07
PROJECT:	

PROJECT NAME  
**EDWARDS RESIDENCE**  
 SINGLE FAMILY CUSTOM HOME  
 LAYMOUTH & BALKINS DR.  
 AGOURA HILLS, CA 91301

DR./OWNER

A-3

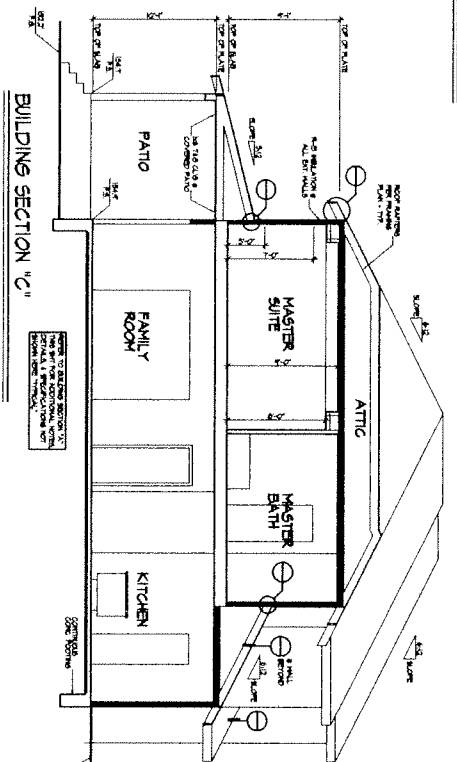
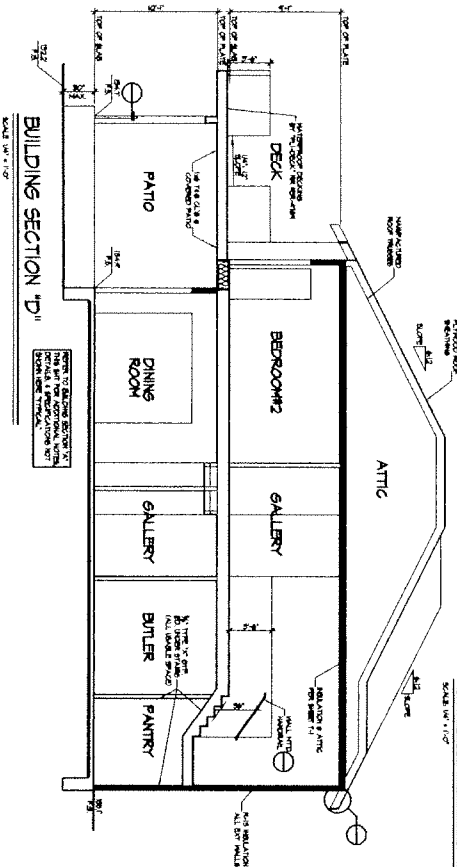
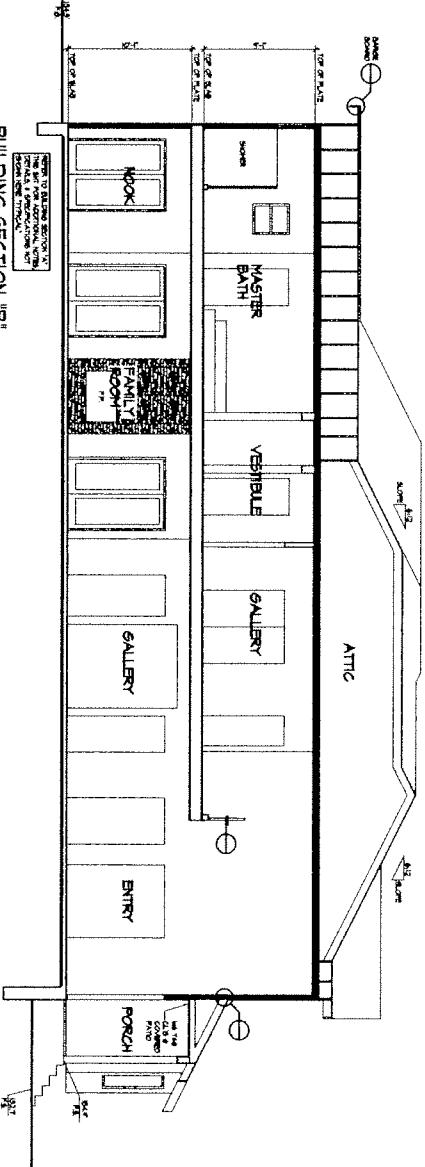
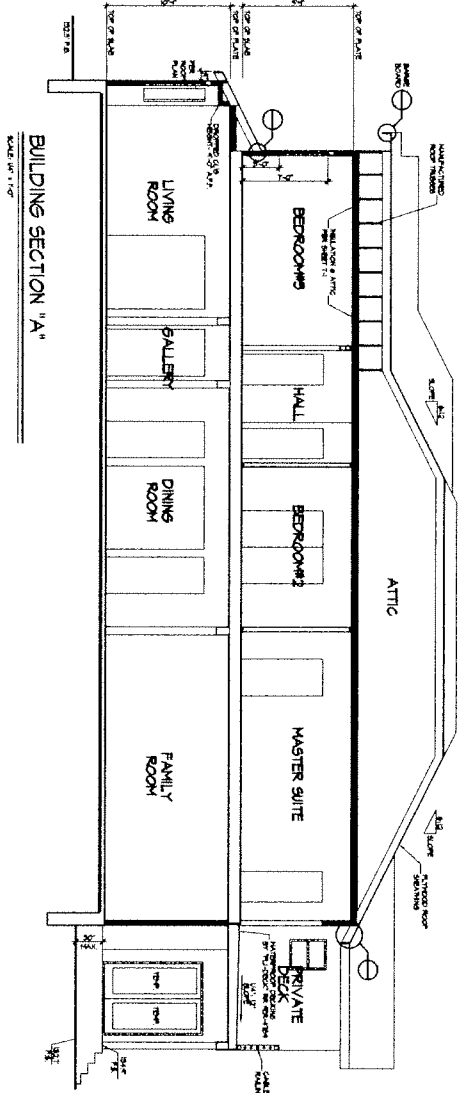
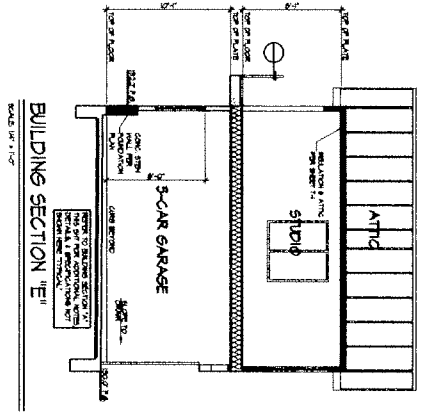


**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

- ROOF PLAN NOTES**
1. PROVIDE ALL STRUCTURAL COMPONENTS AND DETAILS IN ACCORDANCE WITH THE SPECIFICATIONS TO THE ROOFING CONTRACT DOCUMENTS AND THE MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE MANUFACTURER'S WARRANTY. PROVIDE ALL MATERIALS AND METHODS OF INSTALLATION AS SPECIFIED BY THE MANUFACTURER'S LITERATURE.
  2. PROVIDE ALL MATERIALS AND METHODS OF INSTALLATION AS SPECIFIED BY THE MANUFACTURER'S LITERATURE.
  3. PROVIDE ALL MATERIALS AND METHODS OF INSTALLATION AS SPECIFIED BY THE MANUFACTURER'S LITERATURE.
  4. PROVIDE ALL MATERIALS AND METHODS OF INSTALLATION AS SPECIFIED BY THE MANUFACTURER'S LITERATURE.
  5. PROVIDE ALL MATERIALS AND METHODS OF INSTALLATION AS SPECIFIED BY THE MANUFACTURER'S LITERATURE.
- ATTIC VENTILATION**
- TOTAL REQUIRED ATTIC VENTILATION: 1,200 SQ. FT.
- TOTAL AVAILABLE ATTIC VENTILATION: 1,200 SQ. FT.
- TOTAL ATTIC VENTILATION: 1,200 SQ. FT.
- TOTAL ATTIC VENTILATION: 1,200 SQ. FT.
- TOTAL ATTIC VENTILATION: 1,200 SQ. FT.
- TOTAL ATTIC VENTILATION: 1,200 SQ. FT.

NOT FOR CONSTRUCTION

<b>A-4</b> SHEET NO.	<b>KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS</b> 38000 N. AGOURA ROAD, PHOENIX 844, CALABASAS, CA 91302 (818) 888-4449 FAX: (818) 888-4604	<b>ROOF PLAN</b>		<b>EDWARDS RESIDENCE</b> SINGLE FAMILY CUSTOM HOME LAPHORNE & BALKINS DR. AGOURA HILLS, CA 91301	DEVELOPER
		DRAWN: R.K.S. DATE: 05/21/08 PLAN CHK:	REVISIONS: 02/26/2007		



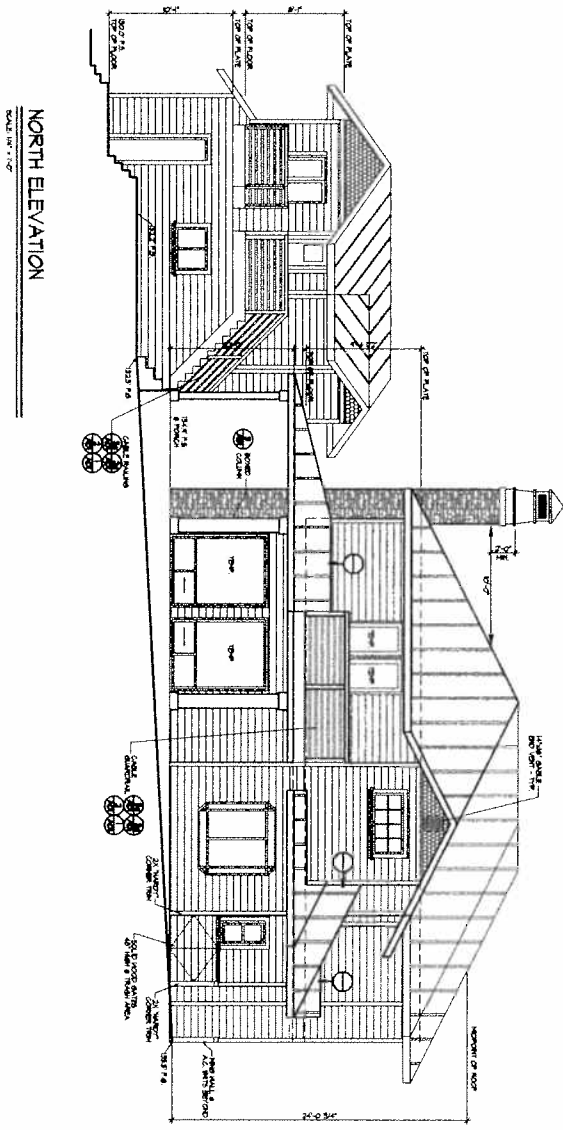
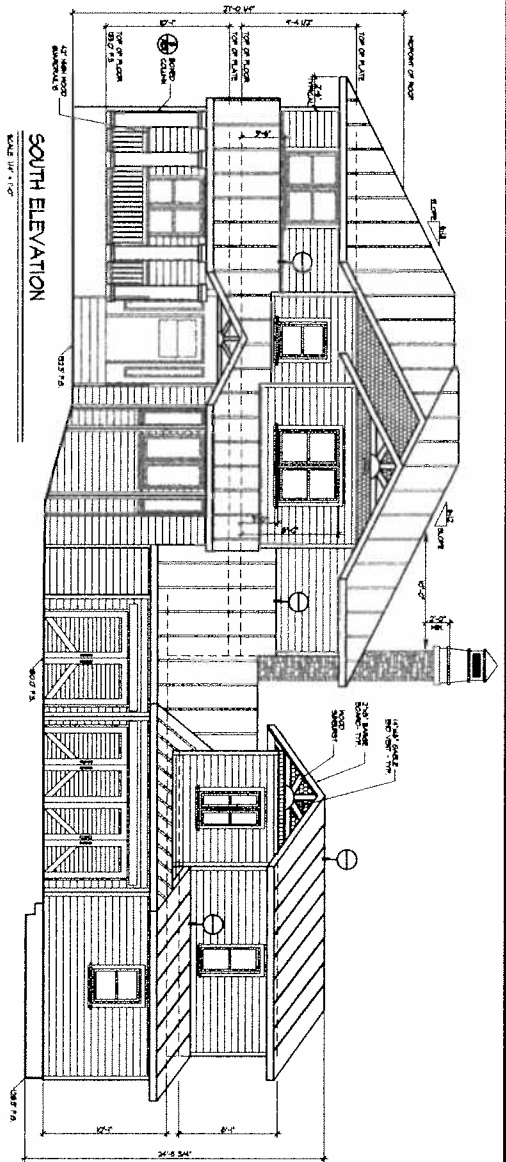
NOT FOR CONSTRUCTION



A-5	KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS 38000 N. AGOURA ROAD, PHOENIX 244, CALABASAS, CA 91302 (818) 240-4445 FAX (818) 868-7804	BUILDING CROSS SECTIONS		PROJECT NAME <b>EDWARDS RESIDENCE</b> SINGLE FAMILY CUSTOM HOME LAPWORTH & BALKINS DR. AGOURA HILLS, CA 91301	DEVELOPER
		DRAWN: R. K. S.	REVISIONS:		
		DATE: 05/21/08	06/15/08		
		PLANT: C.M.			
		PDW: J.T.			



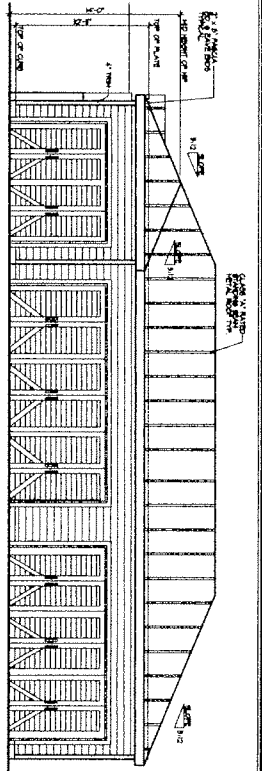




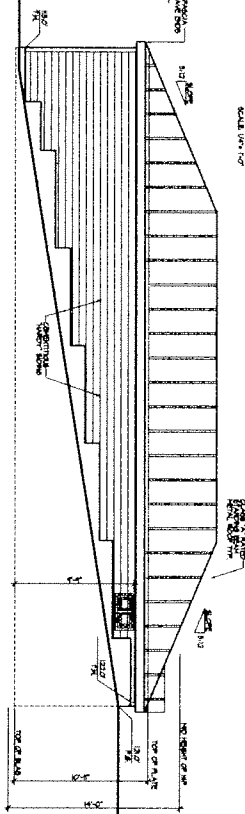
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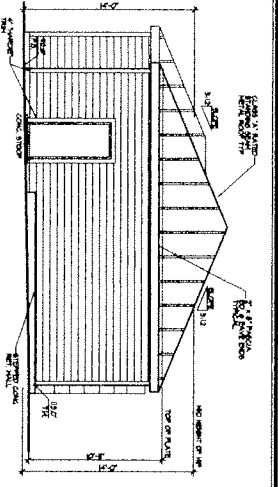
<b>A-7</b> SHEET NO.	<b>KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS</b> 20500 H. AGOURA ROAD, PH# 9 844 CALABASAS, CA 91301 (818) 868-4448 FAX: (818) 868-9629	<b>EXTERIOR ELEVATIONS</b>		<b>PROJECT NAME:</b> <b>EDWARDS RESIDENCE</b> SINGLE FAMILY CUSTOM HOME LAPHOROTH & BALKINS DR. AGOURA HILLS, CA 91301	<b>DEVELOPER:</b>
		DRAWN: R. K. S. DATE: 05/27/08 PLAN OR:	REVISIONS: 10/06/08 CHECKED:		



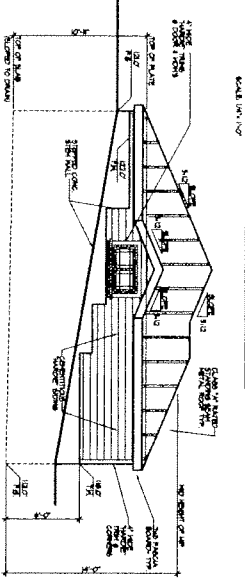
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



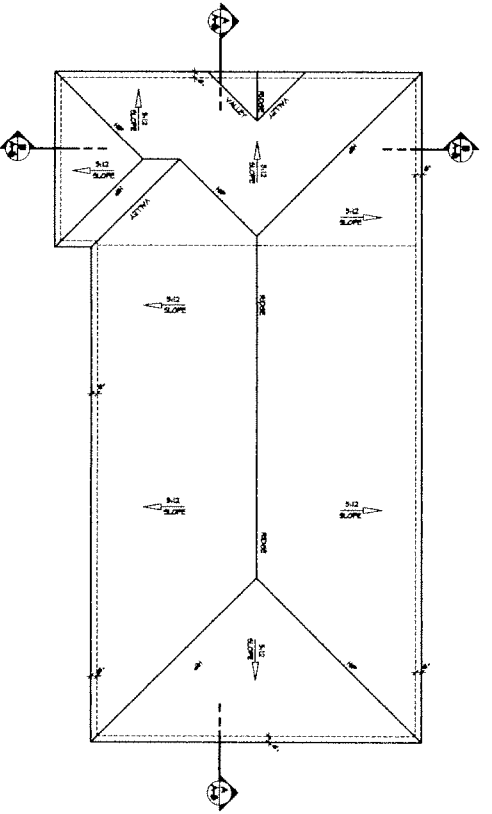
**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE 1/8" = 1'-0"



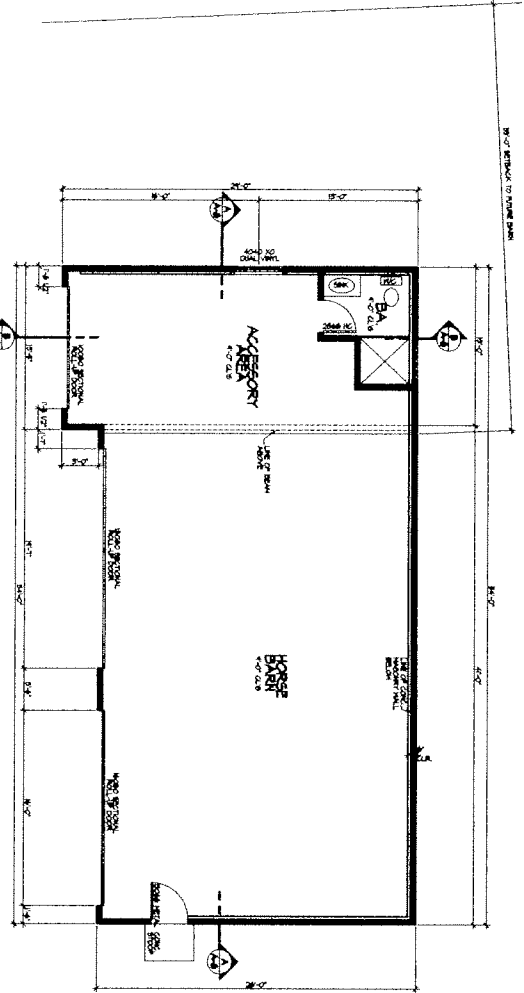
**BARN ROOF PLAN**  
SCALE 1/8" = 1'-0"

**ROOF PLAN NOTES**

1. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA AS SPECIFIED BY OTHER CONTRACT DOCUMENTS TO THE PROJECT AND A REPUTABLE SOURCE.
2. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ASSURE PROPER PERFORMANCE.
3. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ASSURE PROPER PERFORMANCE.
4. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ASSURE PROPER PERFORMANCE.
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10. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ASSURE PROPER PERFORMANCE.

**ATTIC VENTILATION**

ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO ASSURE PROPER PERFORMANCE.



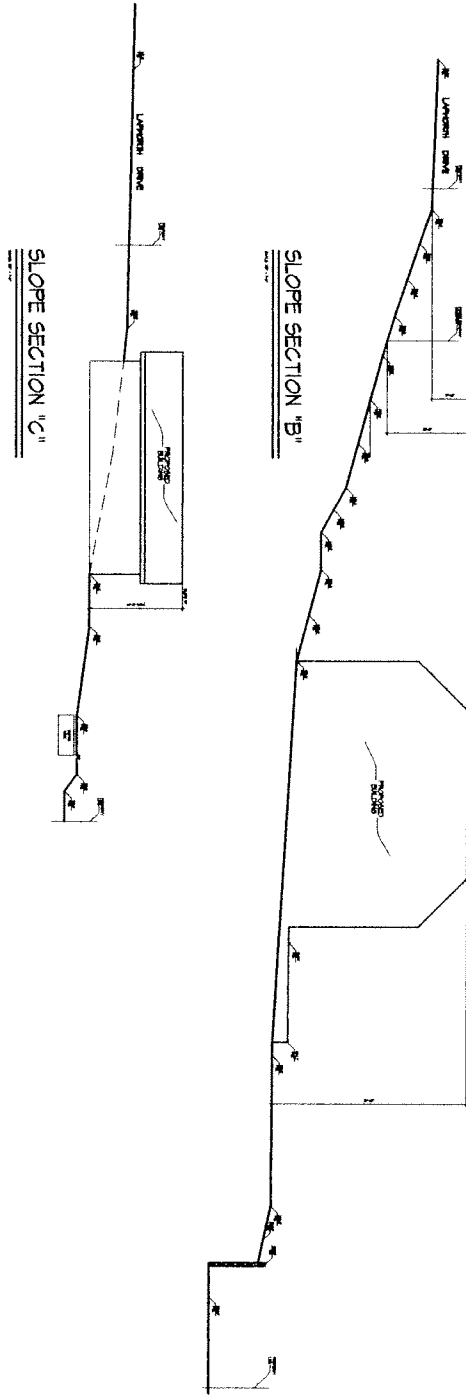
**BARN FLOOR PLAN**  
SCALE 1/8" = 1'-0"

DATE: 02/22/08  
DRAWN BY: R.K.S.  
CHECKED BY: [Signature]

**NOT FOR CONSTRUCTION**



<b>A-8</b> SHEET NO.	<b>KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS</b> 3800 N. AGOURA ROAD, PH#1 844 CALABANS CA 91301 (916) 866-4445 FAX: (916) 866-1804	<b>BARN FLOOR PLAN, ROOF PLAN &amp; SECTIONS</b>	<b>PROJECT NAME</b> EDWARDS RESIDENCE SINGLE FAMILY CUSTOM HOME LAFAYETTE & BALKINS DR. AGOURA HILLS, CA 91301	<b>DEVELOPER</b>
		DRAWN: R.K.S. DATE: 02/22/08 PLAN CHK:	REVISIONS: 02/25/07 02/27/07	PERMIT:



NOT FOR CONSTRUCTION



A-10	KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS 28000 N. AGOURA ROAD, PHOENIX 244, CALABASAS, CA 91302 (818) 880-1240 FAX: (818) 888-1804	ARCHITECTURAL SITE PLAN		PROJECT NAME EDWARDS RESIDENCE SINGLE FAMILY CUSTOM HOME CORNER OF LAFINORTH & BALKINS OLD ASOURA, CA 91301	DEVELOPER
		DRAWN: R.K.S.	REVISIONS		
		PLAN CHK:			
		TYPSET:			

**21 GUARDRAIL DETAIL**  
SCALE: 1/2" = 1'-0"

**16 FOAM WINDOW JAMB DETAIL**  
SCALE: 1/2" = 1'-0"

**11 INSIDE CORNER DETAIL**  
SCALE: 1/2" = 1'-0"

**6 DOOR JAMB DETAIL**  
SCALE: 1/2" = 1'-0"

**1 CABLE GUARDRAIL PICKET DETAILS**  
NO SCALE

**22 ENTRY ROOF ELEV. A-DIT**  
SCALE: 1/2" = 1'-0"

**17 FLUSH RAKE DETAIL**  
SCALE: 1/2" = 1'-0"

**12 WINDOW JAMB DETAIL**  
SCALE: 1/2" = 1'-0"

**7 SLIDING SLAB DETAIL**  
SCALE: 1/2" = 1'-0"

**3 INTERMEDIATE POSTS**  
NO SCALE

**20 POST CABLE RAILINGS**  
NO SCALE

**23 EAVE DETAIL ELEV. A-DIT**  
SCALE: 1/2" = 1'-0"

**15 GARAGE OPENING DETAIL**  
SCALE: 1/2" = 1'-0"

**8 WINDOW SILL DETAIL**  
SCALE: 1/2" = 1'-0"

**5 BOX COLUMN DETAIL**  
NO SCALE

**20 CAP DETAIL RAILINGS**  
SERIES 200 - WESTWOOD, LAN

**24 EXP. RAFTER TAILS ELEV. B**  
SCALE: 1/2" = 1'-0"

**14 WINDOW HEAD DETAIL**  
SCALE: 1/2" = 1'-0"

**9 DOOR HEAD DETAIL**  
SCALE: 1/2" = 1'-0"

**25 FOAM EAVE ELEV. A-DIT**  
SCALE: 1/2" = 1'-0"

**20 EXP. EAVE DETAIL ELEV. B**  
SCALE: 1/2" = 1'-0"

**18 CHIMNEY CAP DETAIL**  
SCALE: 1/2" = 1'-0"

**10 EXT. CORNER DETAIL**  
SCALE: 3/4" = 1'-0"

**4 ROOF TO WALL CONNECTION**  
SCALE: 1/2" = 1'-0"

NOT FOR CONSTRUCTION



**D-1**

**KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS**  
30800 H ANCHORA ROAD, PH#1 544, CALABASSA, CA 93003  
(818) 866-4645 FAX: (818) 866-4604

ARCHITECTURAL DETAILS	
DRAWN: R. K. S.	REVISIONS:
DATE: 05/21/08	10/12/08
PLAN CHK:	
PRINT:	

PROJECT NAME  
**EDWARDS RESIDENCE**  
SINGLE FAMILY CUSTOM HOME  
LAPHORATH & BALKINS DR.  
ASOURA HILLS, CA 91201

DEVELOPER

**GRADING NOTES**

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGRICULTURE AND FORESTRY CODE.
2. A PRE-CONSTRUCTION CHECK OF ALL UNGRADED AREAS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EXISTING GRADE AND TO IDENTIFY ANY OBSTACLES TO BE REMOVED OR PRESERVED.
3. ALL EXISTING MATERIAL SHALL BE CEMENTED TO A FIRM APPROVED BY THE CITY.
4. ALL EXISTING AND NEW CONSTRUCTION SHALL BE GRADDED TO THE CORNER TYPICAL OR CONTAINED IN THE CORNER TYPICAL SHEET AND GRADINGS SHALL BE SHOWN ON THE GRADING PLAN.
5. ALL CHANGES IN THE WORK ORDER SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN NECESSARY PERMITS FROM THE CITY ENGINEER TO CONDUCT ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN NECESSARY PERMITS FROM THE CITY ENGINEER TO CONDUCT ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN NECESSARY PERMITS FROM THE CITY ENGINEER TO CONDUCT ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
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**STORMWATER POLLUTION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL POLLUTION PREVENTION MEASURES (PPM) AS REQUIRED BY THE CITY ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL POLLUTION PREVENTION MEASURES (PPM) AS REQUIRED BY THE CITY ENGINEER.
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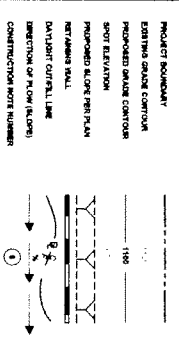
**INSPECTION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL INSPECTION POINTS AS REQUIRED BY THE CITY ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL INSPECTION POINTS AS REQUIRED BY THE CITY ENGINEER.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL INSPECTION POINTS AS REQUIRED BY THE CITY ENGINEER.

**PUBLIC IMPROVEMENT NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL PUBLIC IMPROVEMENTS AS REQUIRED BY THE CITY ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL PUBLIC IMPROVEMENTS AS REQUIRED BY THE CITY ENGINEER.
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**LEGEND AND SYMBOLS**



**OAK TREE NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL OAK TREES AS REQUIRED BY THE CITY ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL OAK TREES AS REQUIRED BY THE CITY ENGINEER.
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**CONTRACTOR'S NOTE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL CONSTRUCTION ELEMENTS AS REQUIRED BY THE CITY ENGINEER.

**ABBREVIATIONS**

- AC - AUTOMATIC CONCRETE
- AS - ASBESTOS
- CA - CALIFORNIA
- CC - CONCRETE
- CD - CONCRETE DETAIL
- CE - CONCRETE EXPOSED
- CF - CONCRETE FINISH
- CG - CONCRETE GROUT
- CH - CONCRETE HATCH
- CI - CONCRETE INTERLOCK
- CL - CONCRETE LAYER
- CM - CONCRETE MIX
- CS - CONCRETE SURFACE
- CT - CONCRETE TOP
- CU - CONCRETE UNDER
- CV - CONCRETE VENEER
- CA - CONCRETE ANCHOR
- CB - CONCRETE BENCH
- CC - CONCRETE CURB
- CD - CONCRETE DRAIN
- CE - CONCRETE EDGE
- CF - CONCRETE FACE
- CG - CONCRETE GROUT
- CH - CONCRETE HATCH
- CI - CONCRETE INTERLOCK
- CL - CONCRETE LAYER
- CM - CONCRETE MIX
- CS - CONCRETE SURFACE
- CT - CONCRETE TOP
- CU - CONCRETE UNDER
- CV - CONCRETE VENEER

**PUBLIC UTILITIES / SERVICES**

- WATER: LA WATER DEPARTMENT, 1200 N. GARDEN ST., LOS ANGELES, CA 90012
- ELECTRIC: SOUTHERN CALIFORNIA Edison, 2200 WEST 10TH ST., LOS ANGELES, CA 90057
- TELEPHONE: PAC BELL, 1200 N. GARDEN ST., LOS ANGELES, CA 90012
- CABLE: PAC BELL, 1200 N. GARDEN ST., LOS ANGELES, CA 90012
- SEWER: SOUTHERN CALIFORNIA Edison, 2200 WEST 10TH ST., LOS ANGELES, CA 90057
- IRRIGATION: LA COUNTY DEPT. OF PUBLIC WORKS, 1200 N. GARDEN ST., LOS ANGELES, CA 90012

**INDEX OF DRAWINGS**

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GROUND AND DRAINAGE PLAN
3	DETAILED SHEET
4	DETAILED SHEET
5	DETAILED SHEET
6	DETAILED SHEET
7	DETAILED SHEET

**ESTIMATED EARTHWORK QUANTITIES**

ITEM	ESTIMATED QUANTITY	UNIT
1. EXISTING EARTHWORK	100,000	CU YD
2. EXISTING EARTHWORK	100,000	CU YD
3. EXISTING EARTHWORK	100,000	CU YD
4. EXISTING EARTHWORK	100,000	CU YD
5. EXISTING EARTHWORK	100,000	CU YD
6. EXISTING EARTHWORK	100,000	CU YD
7. EXISTING EARTHWORK	100,000	CU YD

**RECORD DRAWING STATEMENT**

I, THE CONTRACTOR, HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THIS RECORD DRAWING IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

**SOILS APPROVAL**

NO.	DATE	REMARKS	APPROVED
1			
2			
3			

**OWNER**

NAME: STEVE & MARJORIE EDWARDS  
ADDRESS: 178 AGOURA COURT, AGOURA HILLS, CA 91301  
TELEPHONE: (818) 217-7888

**OWNER ENGINEER**

NAME: U.S. ENGINEERING SERVICES  
ADDRESS: 1800 WEST 10TH ST., LOS ANGELES, CA 90057  
TELEPHONE: (213) 224-1111

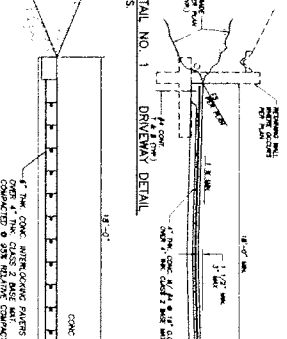
**PROJECT LOCATION**



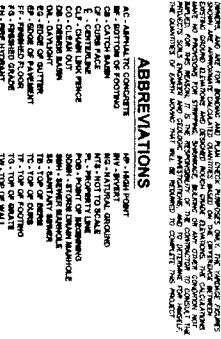
**COVER SHEET**

PROJECT NO.: 2055-022-072  
6852 LAPWORTH DR., AGOURA HILLS, CA 91301  
SHEET 1 OF 7

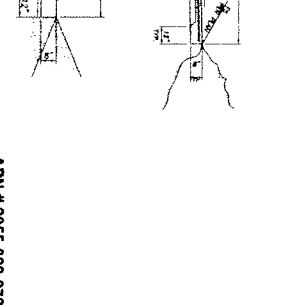
DETAIL NO. 4 DRIVEWAY DETAIL



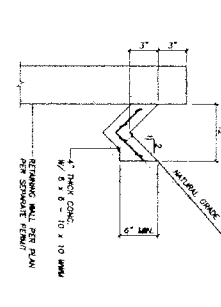
DETAIL NO. 2 CONCRETE SWALE



DETAIL NO. 3 EARTH BENCH



DETAIL NO. 3A



# CHANNEL-SLOPE® NW100 Series Channels

## Sloped Channels

Length

Width

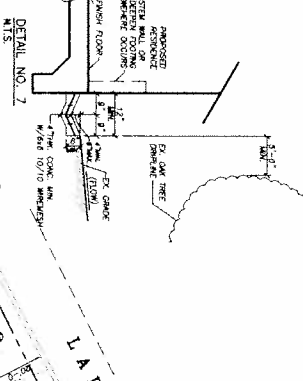
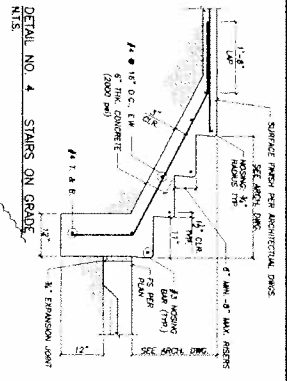
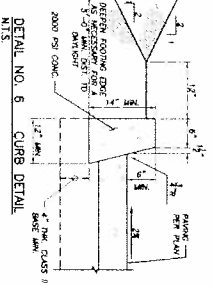
Depth Range

Cross Section Range

DETAIL NO. 5 CHANNEL SLOPE

Depth At End of Each Channel

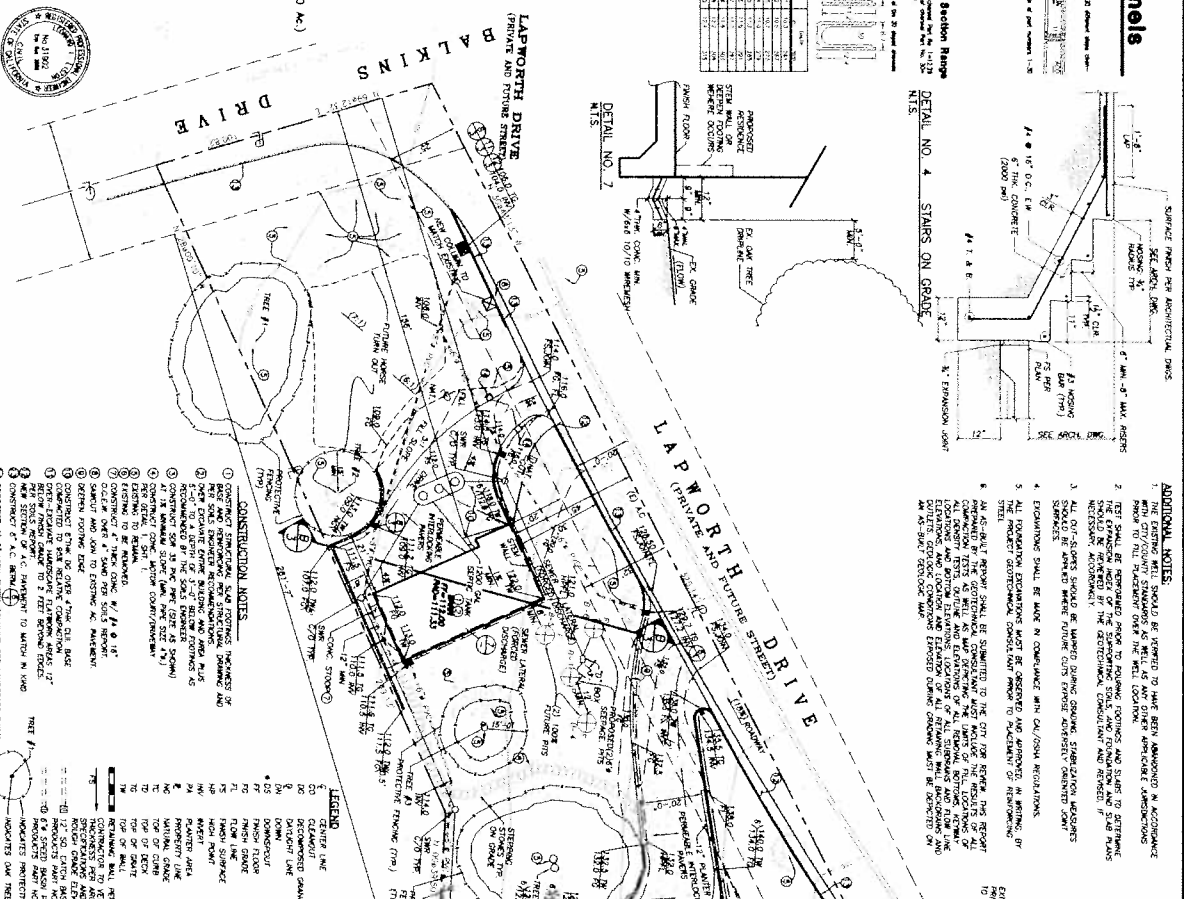
Channel No.	Channel Slope	Depth	Width	Length	Area	Volume
1	1:1	1.0	1.0	1.0	1.0	1.0
2	1:1	1.0	1.0	1.0	1.0	1.0
3	1:1	1.0	1.0	1.0	1.0	1.0
4	1:1	1.0	1.0	1.0	1.0	1.0
5	1:1	1.0	1.0	1.0	1.0	1.0
6	1:1	1.0	1.0	1.0	1.0	1.0
7	1:1	1.0	1.0	1.0	1.0	1.0
8	1:1	1.0	1.0	1.0	1.0	1.0
9	1:1	1.0	1.0	1.0	1.0	1.0
10	1:1	1.0	1.0	1.0	1.0	1.0
11	1:1	1.0	1.0	1.0	1.0	1.0
12	1:1	1.0	1.0	1.0	1.0	1.0
13	1:1	1.0	1.0	1.0	1.0	1.0
14	1:1	1.0	1.0	1.0	1.0	1.0
15	1:1	1.0	1.0	1.0	1.0	1.0
16	1:1	1.0	1.0	1.0	1.0	1.0
17	1:1	1.0	1.0	1.0	1.0	1.0
18	1:1	1.0	1.0	1.0	1.0	1.0
19	1:1	1.0	1.0	1.0	1.0	1.0
20	1:1	1.0	1.0	1.0	1.0	1.0



**LEGAL DESCRIPTION:**  
 3.9' x 10' x 8.811'  
 APN # 2056-022-073  
 TOTAL DISTURBED AREA: 16,201.00 SQ. FT. (0.370 AC.)

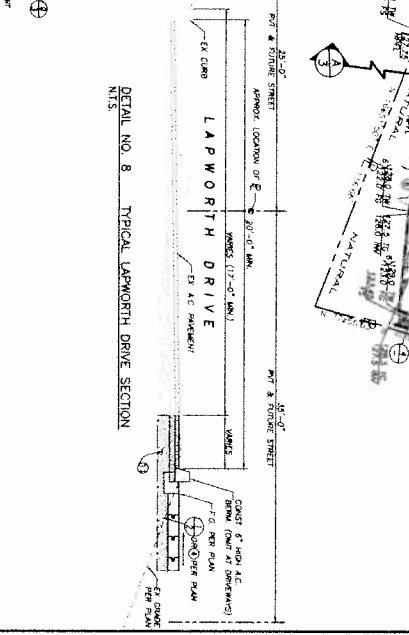
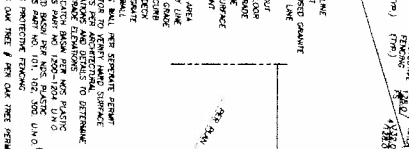
**NOTE TO CONTRACTOR:**  
 CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY ANY CONSTRUCTION.

**UNDERGROUND SERVICE ALERT:**  
 CALL 811  
 1-800-227-2600  
 TWO WORKING DAYS BEFORE YOU DIG



- ADDITIONAL NOTES:**
- THE EXISTING WELL SHOULD BE KEPT TO BE KEPT UNABANDONED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - TEST SHALL BE PERFORMED PRIOR TO FINISH FINISHES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS FOR FINISHES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS FOR FINISHES AND SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS FOR FINISHES.
  - ALL OUT-OF-SERIES SHALL BE KEPT UNABANDONED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - EXPANSION SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - ALL TYPICAL DIMENSIONS SHALL BE KEPT UNABANDONED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
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- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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  - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



REV SYMBOL DESCRIPTION OF CHANGE DATE

PROJECT ENGINEER: [Signature] DATE: [Date]

CITY OF AGORA HILLS DEPARTMENT OF PUBLIC WORKS

AGORA HILLS

PROJECT NO. 3862 LAPWORTH DR. AGORA HILLS, CA 91301

SHEET 2 OF 2

CITY OF AGORA HILLS DEPARTMENT OF PUBLIC WORKS

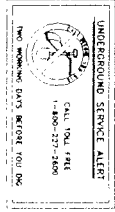
GRADING AND DRAINAGE PLAN

3862 LAPWORTH DR. AGORA HILLS, CA 91301

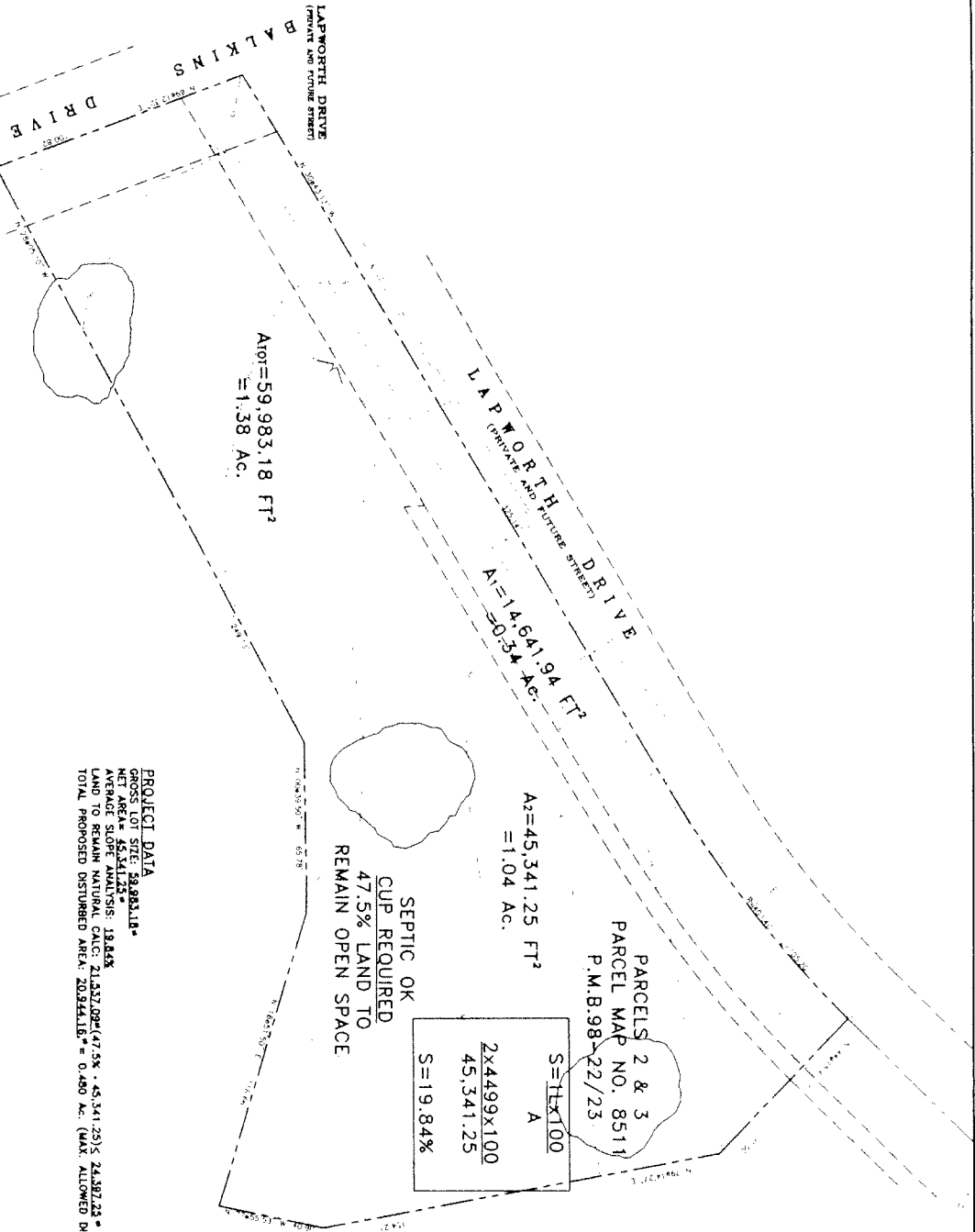
CITY OF AGORA HILLS DEPARTMENT OF PUBLIC WORKS



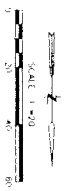




REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	CITY OF AGOURA HILLS APPROVAL	CITY OF AGOURA HILLS	PROJECT NO.	SHEET



**PROJECT DATA**  
GROSS LOT SIZE: 19,983.18\*  
NET AREA: 45,341.25\*  
AVERAGE SLOPE ANALYSIS: 19.84%  
LAND TO REMAIN NATURAL CALC: 21,537.09 (47.5% \* 45,341.25) \* PROVIDED: "OK" = 52,188  
TOTAL PROPOSED DISTURBED AREA: 20,944.16 \* = 0.490 AC. (MAX ALLOWED DISTURBED AREA: 23,804.16) \* = 0.548 AC. (MAX ALLOWED DISTURBED AREA: 23,804.16) \* = 0.548 AC.



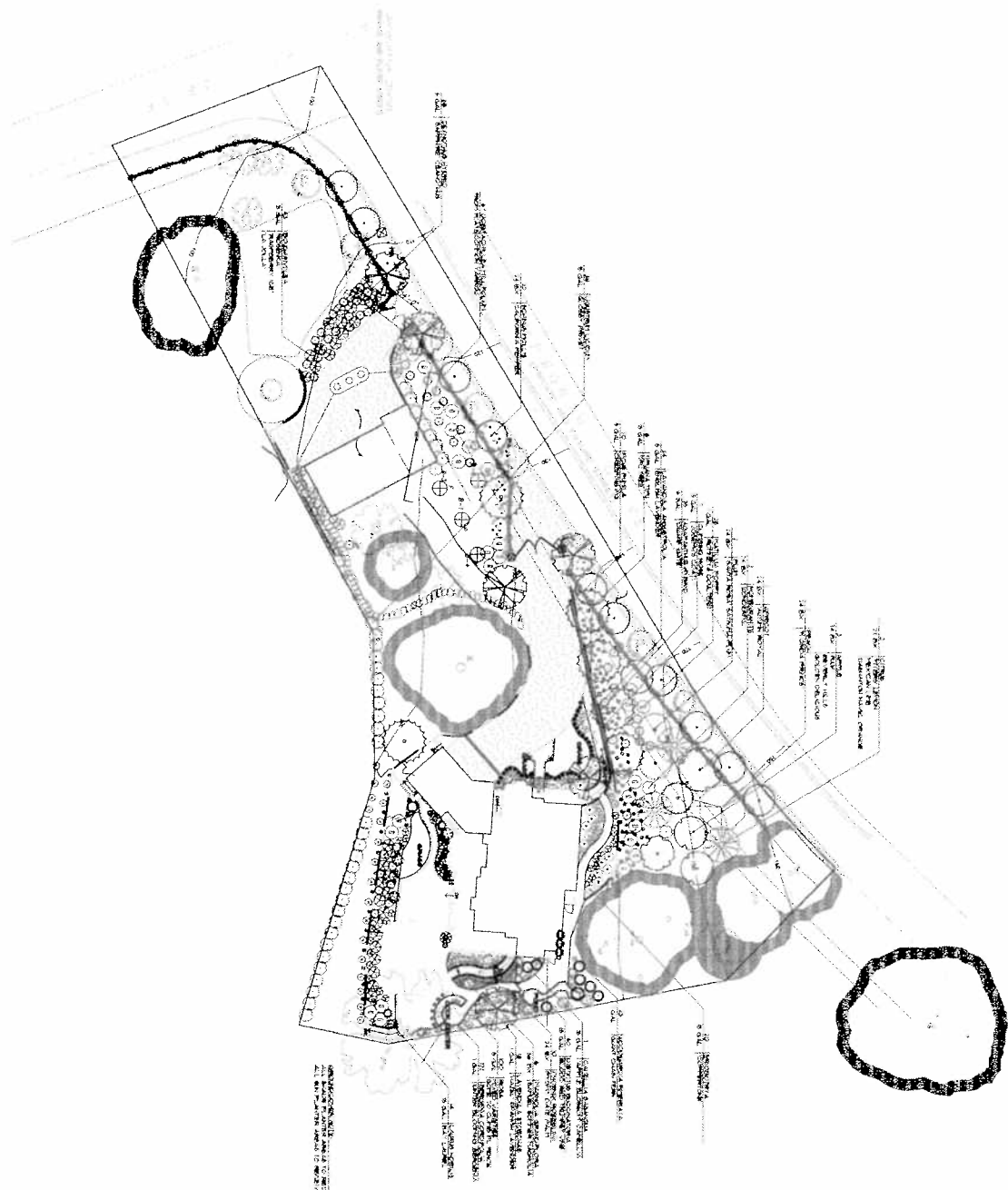
**SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY**

5952 LAPWORTH DR  
AGOURA HILLS, CA 91301









SCALE: 1"=20'-0"

L-1  
LANDSCAPE

# EDWARDS RESIDENCE

5952 LAFWORTH DRIVE AGOURA HILLS, CA 91301  
APN# 2055-022-073 LOT# PORTION OF 2 AND 3

**OLWYNKINGERY**  
LANDSCAPE DESIGN  
1938 EAST THOUSAND OAKS BLVD. SUITE B  
THOUSAND OAKS, CALIFORNIA 91360  
805.2753119 VOICE 805.4948918 OFFICE

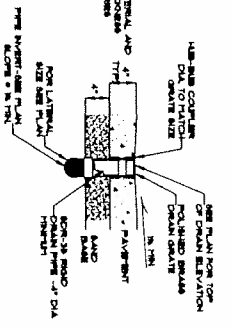
DATE: 6/30/07  
REVISIONS: 6/13/06 10/10/06 2/13/07 6/30/07  
PRINT DATE:

**EDWARDS**  
L-1 LANDSCAPE

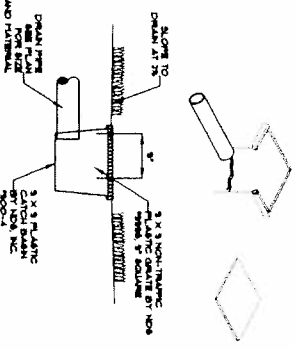


SCALE: NTS

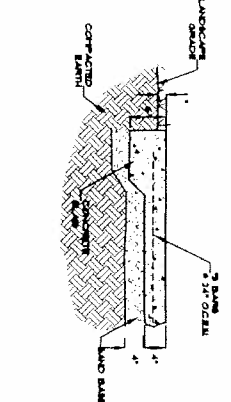
L-3  
DETAILS



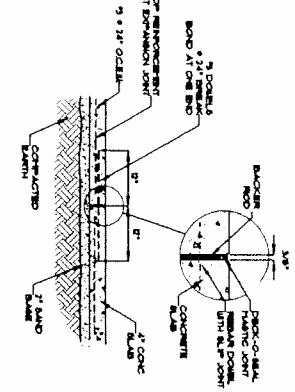
1 DECK DRAIN  
L-3



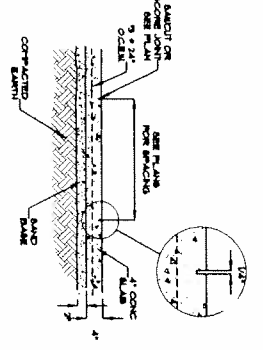
2 CATCH BASIN  
L-3



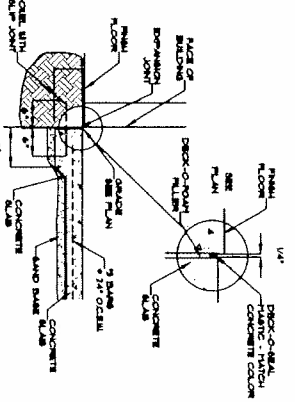
3 EDGE DETAIL AT PLANTING  
L-3



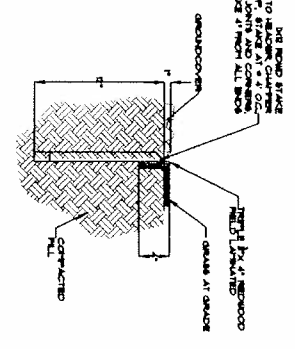
4 EXPANSION JOINT  
L-3



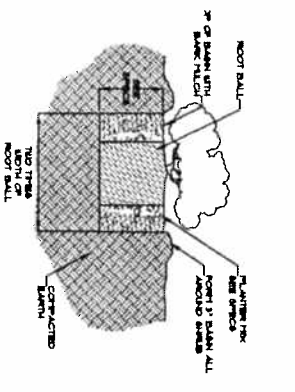
5 SAWCUT OR TOOLED JOINT  
L-3



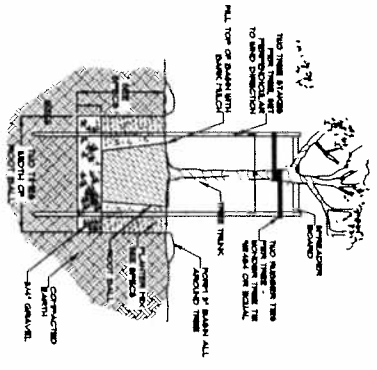
6 EDGE DETAIL AT BUILDING  
L-3



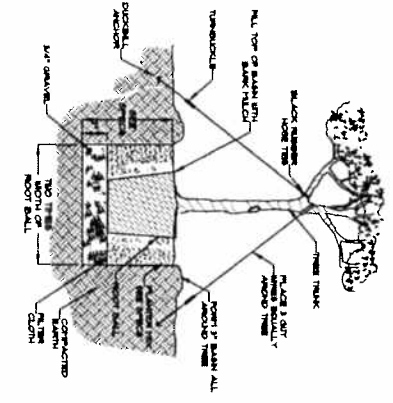
7 LAWN HEADER  
L-3



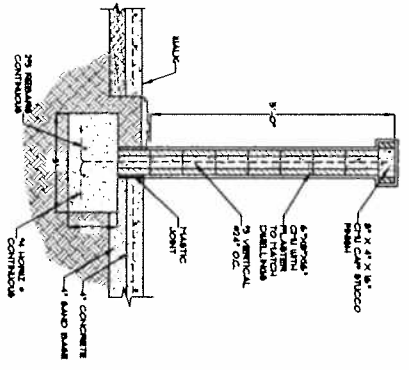
8 SHRUB PLANTING DETAIL  
L-3



9 TREE STAKING DETAIL  
L-3



10 TREE GUYING DETAIL  
L-3



11 GARDEN WALL  
L-3



EDWARDS RESIDENCE  
5952 LAFWORTH DRIVE AGOURA HILLS, CA 91301  
APN # 2055-022-013 LOT # PORTION OF 2 AND 3

OLWYNKINGERY  
LANDSCAPE DESIGN  
1939 EAST THOUSAND OAKS BLVD. SUITE B  
THOUSAND OAKS, CALIFORNIA 91360  
805.213.5318 VOICE 805.454.8518 OFFICE

DATE: 12/01  
REVISIONS: 6/13/06 10/10/06 2/8/07 12/01  
PRINT DATE:

EDWARDS  
LANDSCAPE DESIGN  
L-3 DETAILS







**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT C**

**BARN SQUARE FOOTAGE  
ANALYSIS TABLE**

## Barn Size Analysis Table

<u>Address</u>	<u>Lot Size (Square feet)</u>	<u>Barn Size</u>
<b>Balkins Drive</b>		
28080	44,867	2,539
<b>Chesebro Road</b>		
6018	43,560	330
6030	43,560	640
6085	44,954	192
<b>Colodny Drive</b>		
5411	43,560	894
5552	21,780	1,788
5826	60,112	672
<b>Fairview Place</b>		
6145	43,734	864
Note: Barn sizes taken from recorded building permits.		
5932 Lapworth Drive (Applicant)	59,983	1,040
	<b>Average lot size is 43,266 sq. ft.</b>	<b>Average barn size is 990 sq. ft.</b>

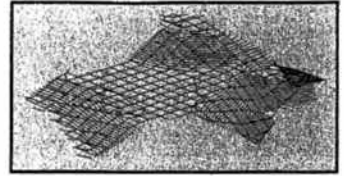


**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT D**

**LETTER FROM CHRIS NELSON, SURVEYOR**



Chris Nelson  
& Associates, Inc.

June 6, 2007

Steve Edwards  
718 Admiral Ct  
Oak Park, CA 91377

Re: 5952 Lapworth Drive

Dear Steve,

Our company has performed a survey on your property located at 5952 Lapworth Dr. in Old Agoura. Based upon our measurements and the recovered monuments, it appears to be in conformance with the information shown on the preliminary grading plan prepared by LCE Engineering Group.

Please call me if you have any additional information. We look forward to working with you again.

Best regards,

A handwritten signature in black ink, appearing to read "Chris Nelson".

Chris Nelson





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008  
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT  
5952 LAPWORTH DRIVE, AGOURA HILLS**

**EXHIBIT E**

**PLANNING COMMISSION MINUTES  
FOR APRIL 5, 2007**



**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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**MINUTES OF THE REGULAR SCHEDULED MEETING OF  
THE PLANNING COMMISSION  
April 5, 2007**

1. CALL TO ORDER: Chair Rishoff called the meeting to order at 6:32 p.m.
  
2. FLAG SALUTE: Commissioner Ramuno
  
3. ROLL CALL: Commissioner Illece Buckley Weber, Commissioner Phil Ramuno, Commissioner John O'Meara, and Chair Steven Rishoff. Vice Chair Curtis Zacuto was absent from the meeting.  

Chair Rishoff stated the Commission had received notification of Vice Chair Zacuto's absence prior to the meeting and that he has requested to be excused. Chair Rishoff asked if there were any objections. There were no objections to excusing the absence.

Also present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Assistant Planner Renee Madrigal, Senior Civil Engineer Jay Patel, Assistant Engineer Kelly Fisher, Oak Tree/Landscape Consultant Kay Greeley, and Recording Secretary Sheila Schrupp.
  
4. APPROVAL OF MINUTES: March 15, 2007  

On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the minutes of the March 15, 2007 Planning Commission meeting. Motion carried 3-0-1. Commissioner O'Meara abstained. Vice Chair Zacuto was absent.

5. COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

6. CONSENT ITEMS:

Adoption of Resolution No. 901, denying a request of Aitan Hillel, for a Site Plan/Architectural Review to construct a 4,677 square-foot car wash facility, including 600 square feet of second story office area, a 3,460 square-foot attached canopy for a service area, and a detached 1,318 square-foot automotive lube and detailing services building with a 550 square-foot service basement proposed to be located at the southeast corner of Chesebro and Palo Comado Canyon Road; a request for an Oak Tree Permit to remove one oak tree and encroach in the protected zone of an off-site oak tree during construction; a request for a Sign Permit to implement a sign program for the site; and a request to adopt a Mitigated Negative Declaration and Mitigation Monitoring Plan (Case Nos. 05-SPR-015, 05-OTP-023, & 05-SP-024).

By consensus of the Planning Commission, Item No. 6 was pulled by Commissioner Ramuno for discussion.

On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Consent Calendar was approved 3-0-1, with an amendment made to Section III, Paragraph 'A' of Site Plan Review Findings, within Resolution No. 901. Commissioner O'Meara abstained. Vice Chair Zacuto was absent.

AGENDA ITEM #7 MOVED TO THE END OF THE AGENDA

7. CONTINUED PUBLIC HEARING:

APPLICANT:	Laura La Plante, LLC 18850 Ventura Boulevard, Suite 130 Tarzana, CA 91356
CASE NOS.:	05-CUP-002, 05-OTP-015, & 05-VAR-003
LOCATION:	West of 28207 Laura La Plante Drive (A.P.N. 2061-016-063 & 072)
REQUEST:	Request for approval of a Conditional Use Permit to construct a 3,378 square-foot residence and a 580 square-foot, free-standing, three-car garage; a request for an Oak Tree Permit to remove up to 20 oak trees and encroach within the protected zone of up to 4 oak trees for the proposed construction; and a request for a Variance from Zoning Ordinance Section 9606.2.A to construct

retaining walls in excess of 3.5 feet in height in the front yard area.

ENVIRONMENTAL  
DETERMINATION: Exempt from CEQA

RECOMMENDATION: Staff recommended the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 05-CUP-002, Variance Case No. 05-VAR-003, and Oak Tree Permit Case No. 05-OTP-015, subject to conditions, based on the findings of the draft Resolutions.

PUBLIC COMMENTS: Chair Rishoff opened the Public Hearing

The following persons spoke in favor of the item

Tsvetana Yvanova, Woodland Hills, applicant

Robert W. Wallace, Simi Valley, Oak Tree Specialist for applicant

ACTION: On a motion by Commissioner O'Meara, seconded by Commissioner Ramuno, the Planning Commission moved to approve Resolution No. 902, approving Variance Case No. 05-VAR-003, subject to conditions. Motion carried 3-0. (Commissioner Buckley Weber recused herself from the hearing due to a conflict of interest). Commissioner Zacuto was absent.

On a motion by Commissioner O'Meara, seconded by Commissioner Ramuno, the Planning Commission moved to approve Resolution No. 903, approving Conditional Use Permit Case No. 05-CUP-002 and Oak Tree Permit Case No. 05-OTP-015, subject to conditions. Motion carried 3-0. (Commissioner Buckley Weber recused herself from the hearing due to a conflict of interest). Commissioner Zacuto was absent.

AGENDA ITEM #8 MOVED TO FOLLOW ITEM #6 OF AGENDA



8. NEW PUBLIC HEARING:

APPLICANT: Steve and Marguerite Edwards  
718 Admiral Court  
Oak Park, CA 91377

CASE NOS.: 06-CUP-008 and 06-OTP-017

LOCATION: 5952 Lapworth Drive  
(Northeast corner of Balkins Drive and Lapworth Drive)  
(A.P.N. 2055-022-073)

REQUEST: Request for approval of a Conditional Use Permit to construct a 5,246 square foot, two-story, single-family residence with a 919 square foot attached garage, a 347 square foot studio above the garage, a swimming pool, and a 1,446 square foot detached garage and barn; and a request for an Oak Tree Permit to possibly encroach within the protected zone of one (1) Oak tree for the proposed construction.

ENVIRONMENTAL  
DETERMINATION: Exempt from CEQA per Section 15303

RECOMMENDATION: Staff recommended the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-008 and Oak Tree Permit Case No. 06-OTP-017, subject to conditions, based on the findings of the draft Resolution.

PUBLIC COMMENTS: Chair Rishoff opened the Public Hearing

The following persons spoke in favor of the item.

Steve Edwards, Oak Park, Applicant

Ken Stockton, Architect for applicant

Dean Simpson, Agoura Hills

Robert Evren, Agoura Hills, representing Old Agoura HOA

The following persons spoke in opposition of the item

Robert Hartman, Agoura Hills

Jon Levin, Agoura Hills

Laurie Turner, Agoura Hills

Ronald Cagnon, Agoura Hills

Dan Meyer, Agoura Hills

Vicki Hunter, Agoura Hills

John Perry, Agoura Hills

Daniel Maltese, Agoura Hills

The following persons did not speak, but submitted speaker cards in opposition of the project.

Elisabeth Hartman, Agoura Hills

Andrea Diamond, Agoura Hills

REBUTTALS:

Steve Edwards, Applicant gave rebuttal

Erick Mason, Thousand Oaks, Civil Engineer for applicant

RECESS:

Chair Rishoff called for a recess at 8:25 p.m.

RECONVENE:

Chair Rishoff reconvened the meeting at 8:42 p.m.

ACTION:

On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 05-CUP-002, Variance Case No. 05-VAR-003, and Oak Tree Permit Case No. 05-OTP-015, to the May 17, 2007 meeting. Motioned carried 4-0. Vice Chair Zacuto was absent.

9. ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA:

Commission:               None

Staff:                       None

10. ADJOURNMENT:

At 9:45 p.m., on a motion by Commissioner Ramuno, seconded by Chair Rishoff, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on April 19, 2007 at 6:30 p.m.