

FOR THE PROPERTY LOCATED AT 5952 LAPWORTH DRIVE, AGOURA HILLS

EXHIBIT A

VICINITY MAP

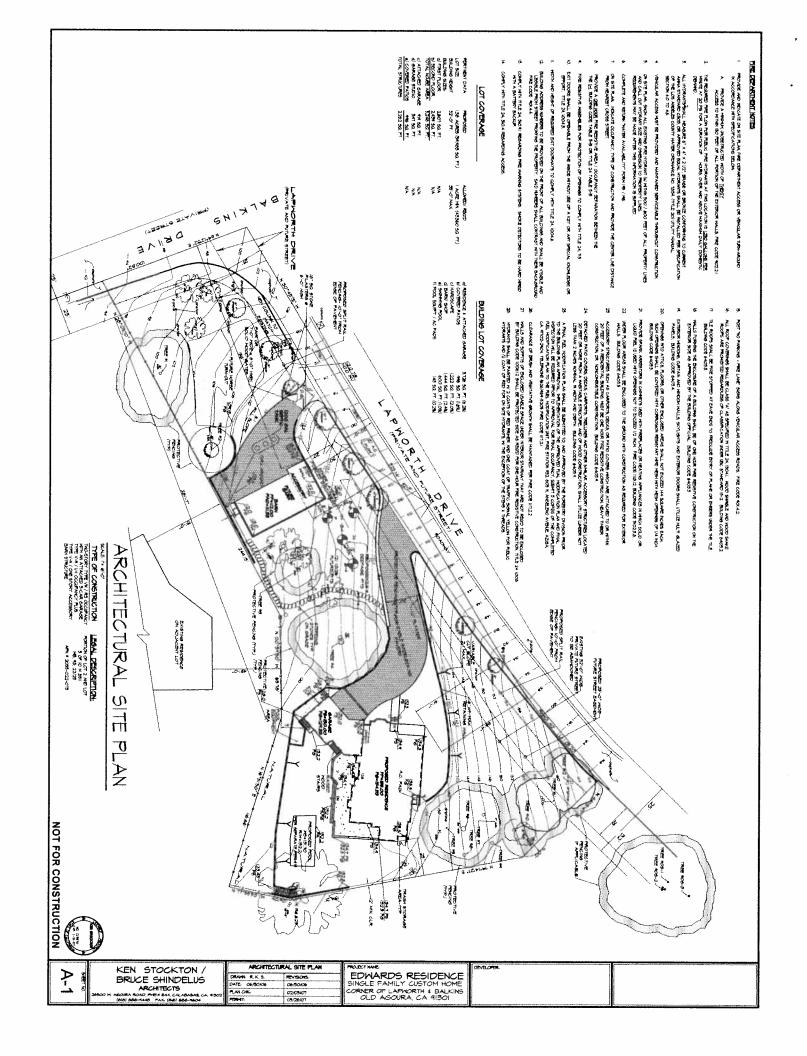
Subject Site

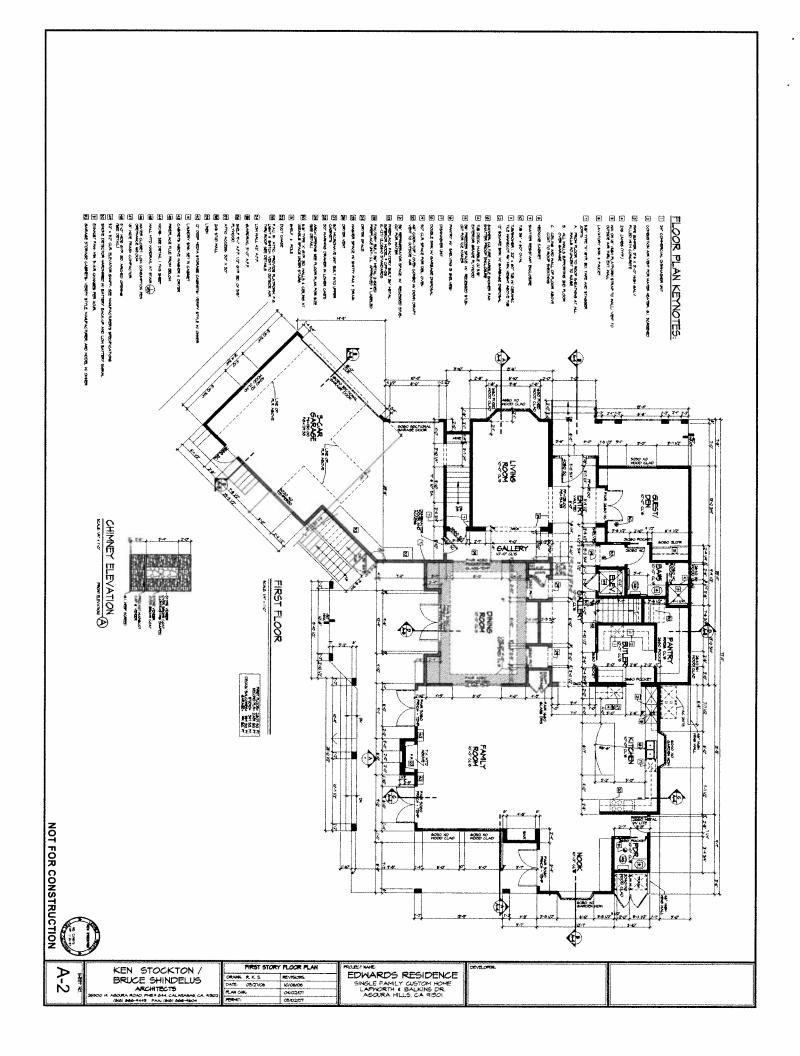
CONDITIONAL USE PERMIT CASE NO. 06-CUP-008 AND OAK TREE PERMIT CASE NO. 06-OTP-017 (2055-022-073) EDWARDS

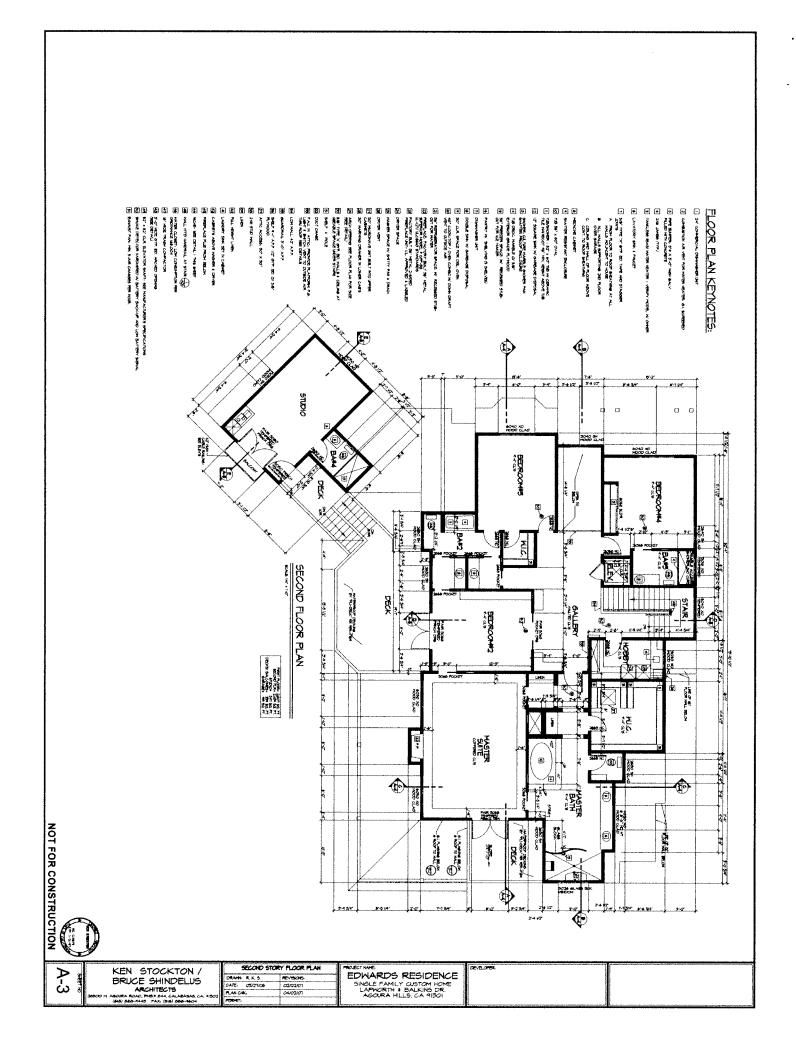


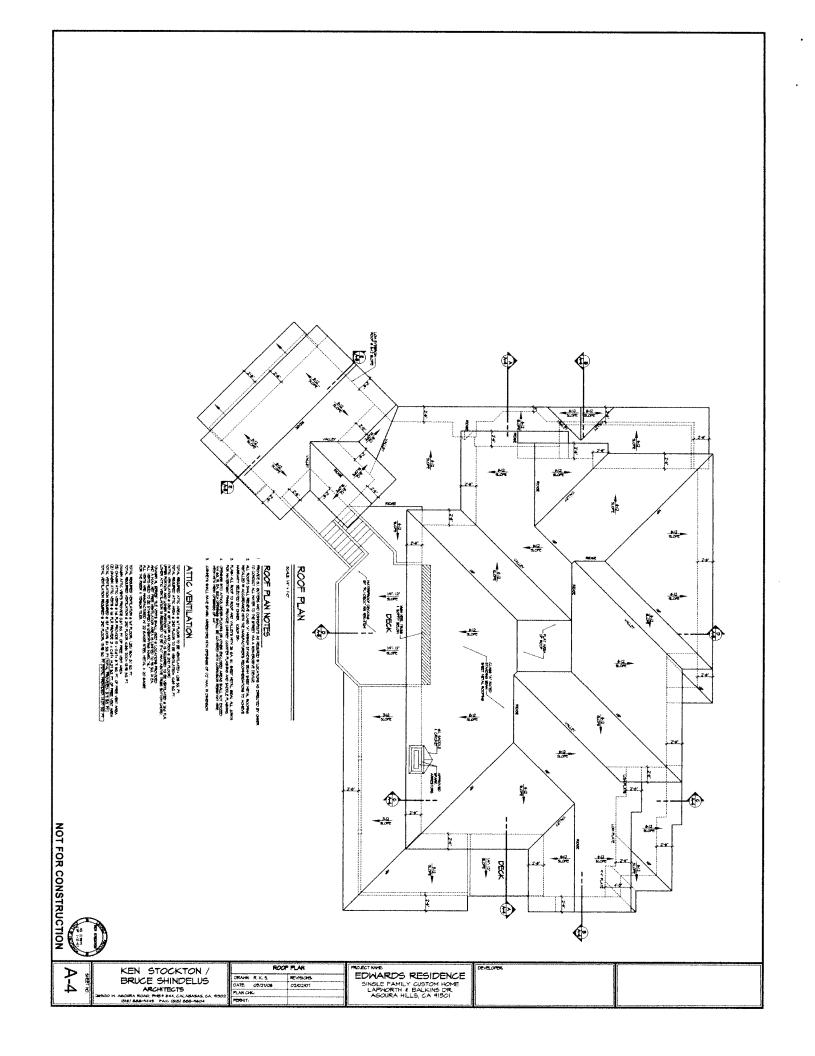
FOR THE PROPERTY LOCATED AT 5952 LAPWORTH DRIVE, AGOURA HILLS

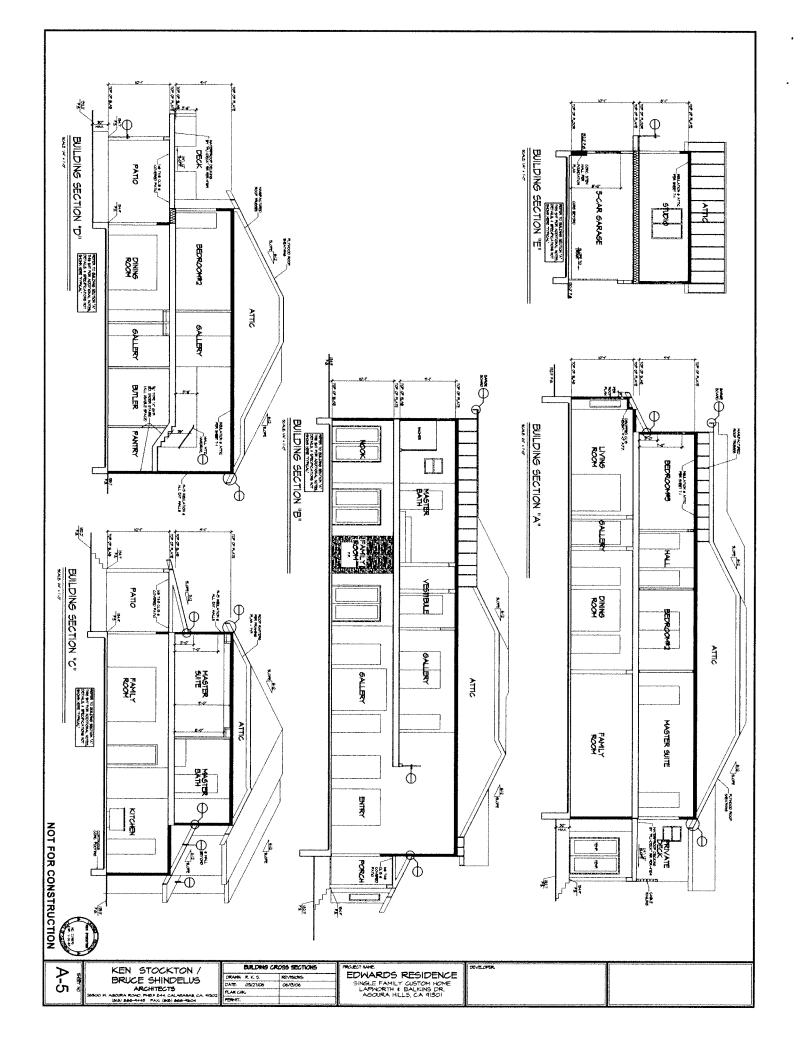
EXHIBIT B REDUCED COPIES OF PLANS

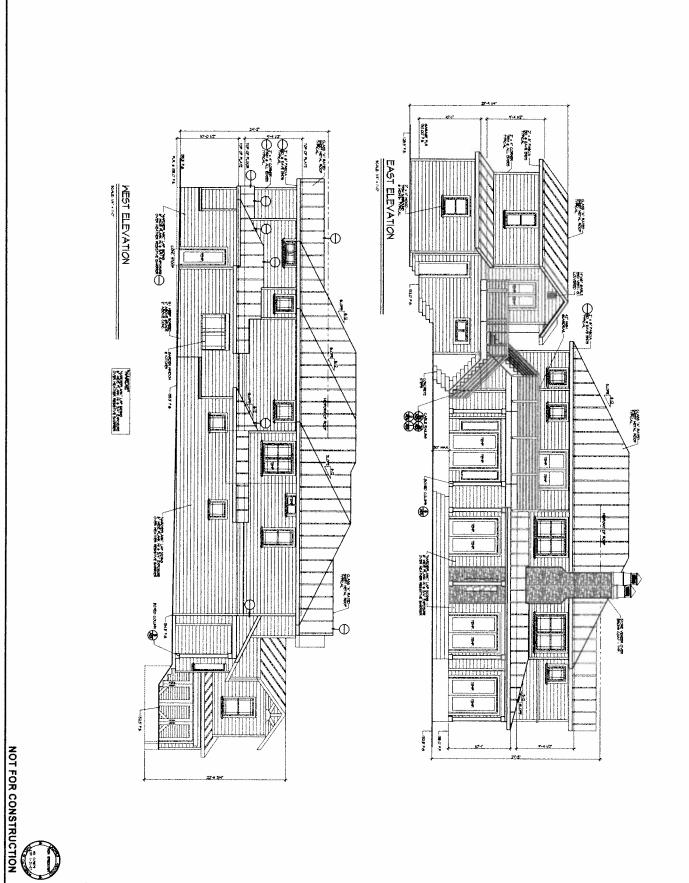










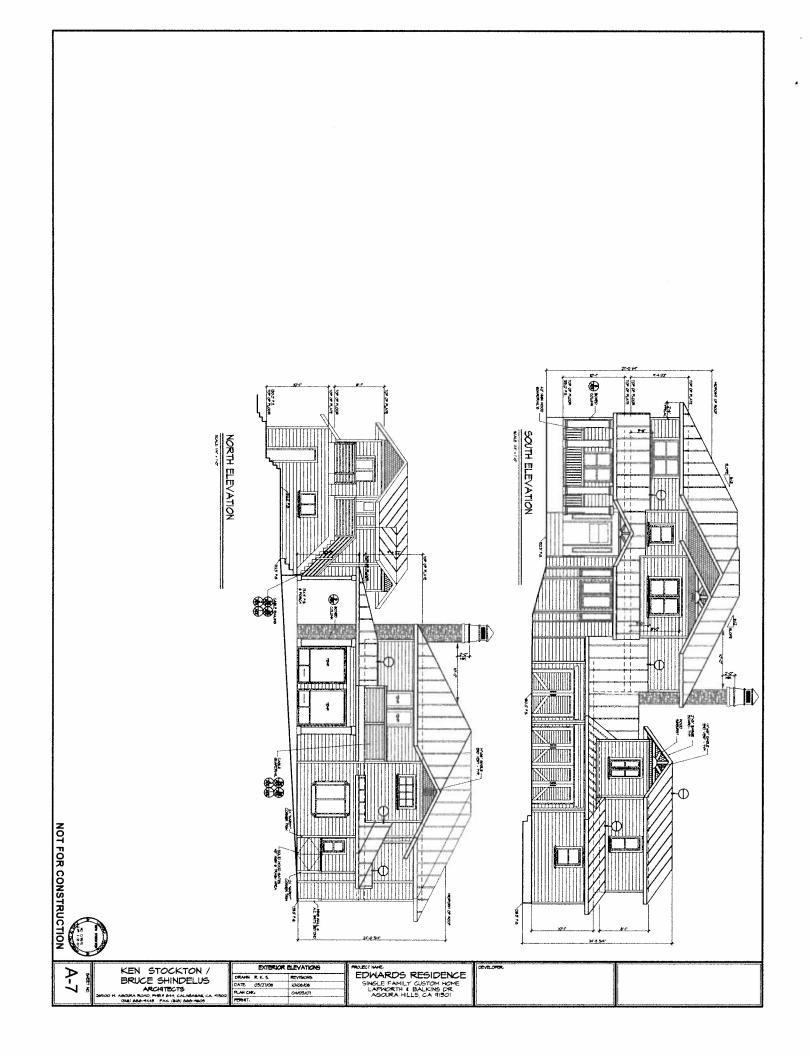


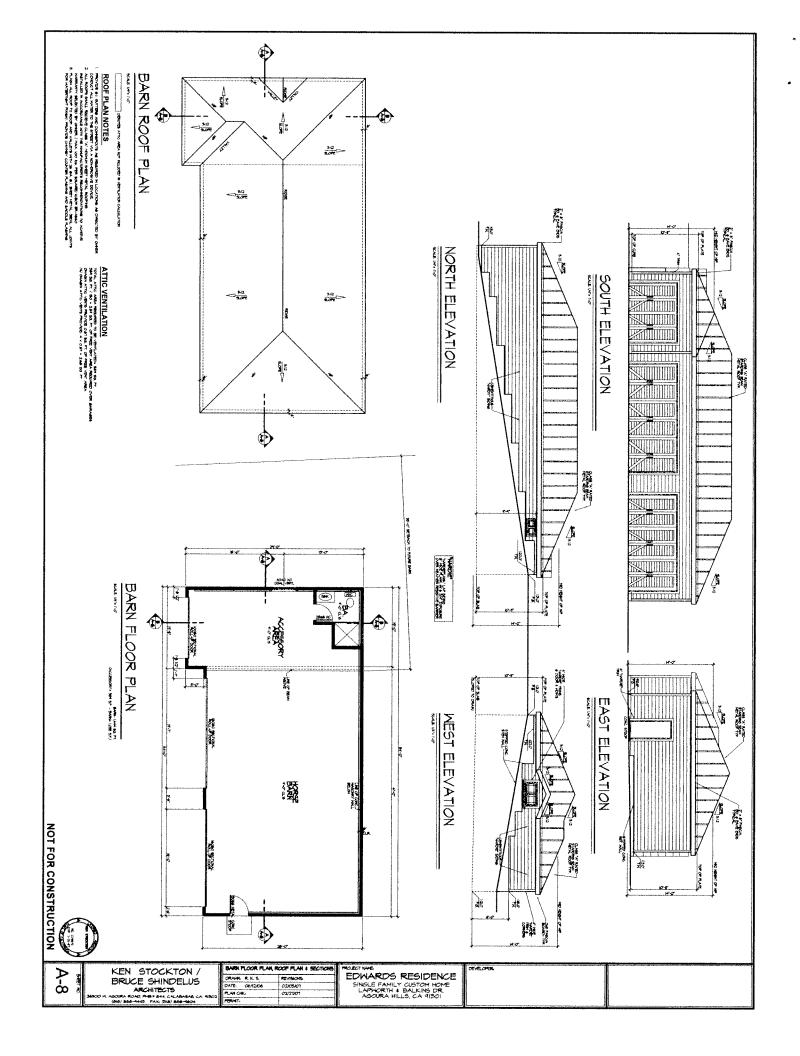
A-6

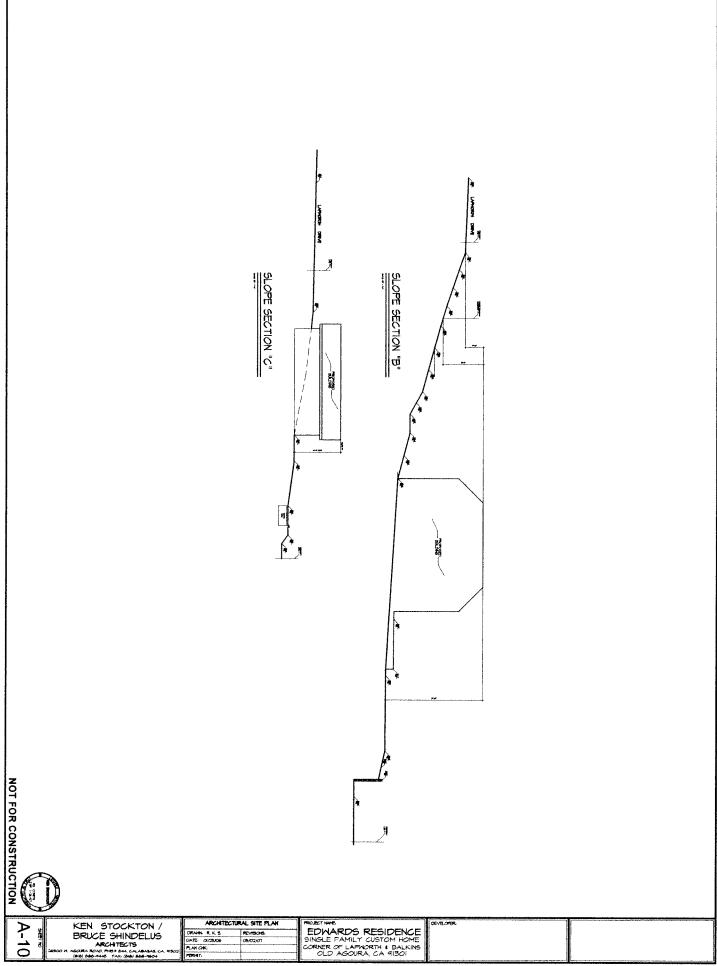
KEN STOCKTON /
BRUCE SHINDELUS
ARCHTECTS
AGGIRA ROME, PROF. SHILL SHAMMAN, CA.
(89) 800-8115 PAX (884) 884-8107

EXTERIOR ELEVATIONS DRAME R.K.S. DATE OSUZIVOS FLANCINK REVISIONE OBJESTOS OSJOZICE

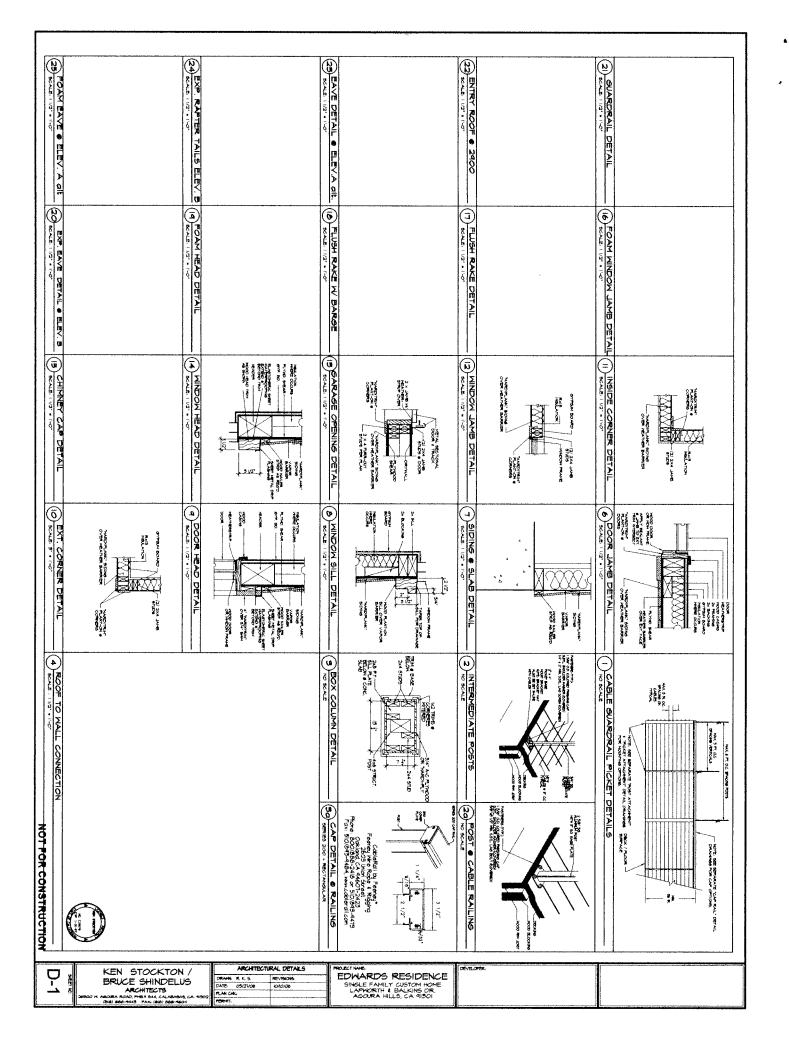
EDWARDS RESIDENCE SINGLE FAMILY CUSTOM HOME LAPHORTH & BALLINS DR. AGOURA HILLS, CA 91301

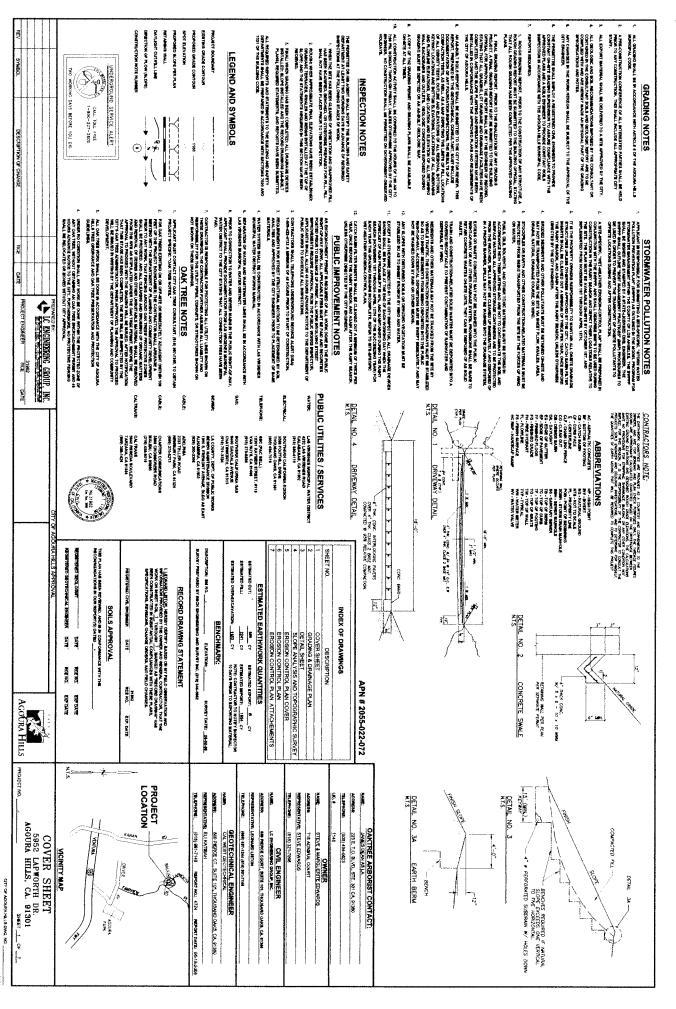


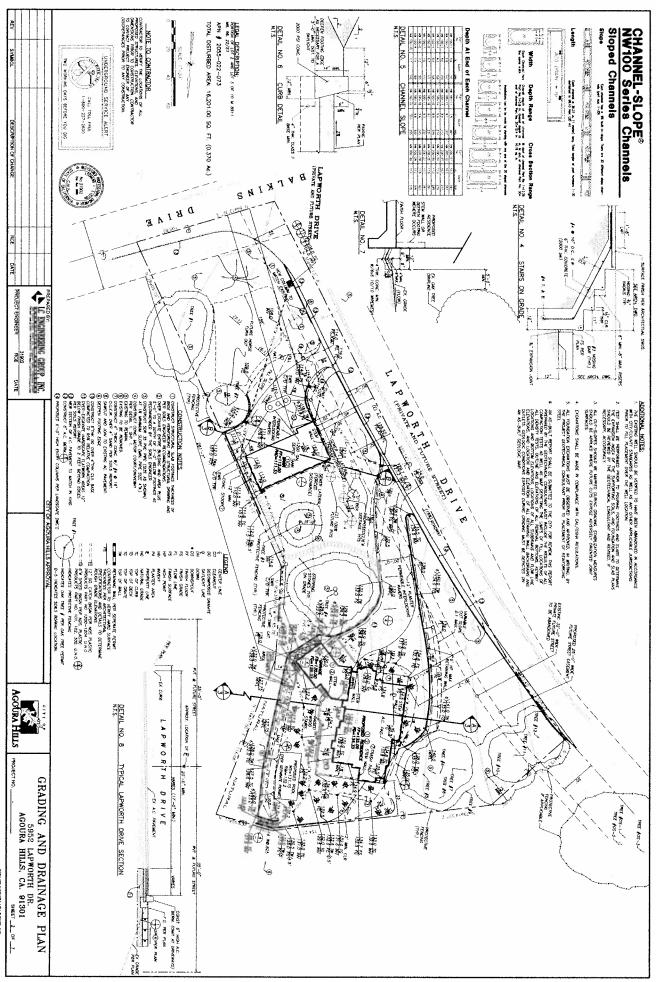




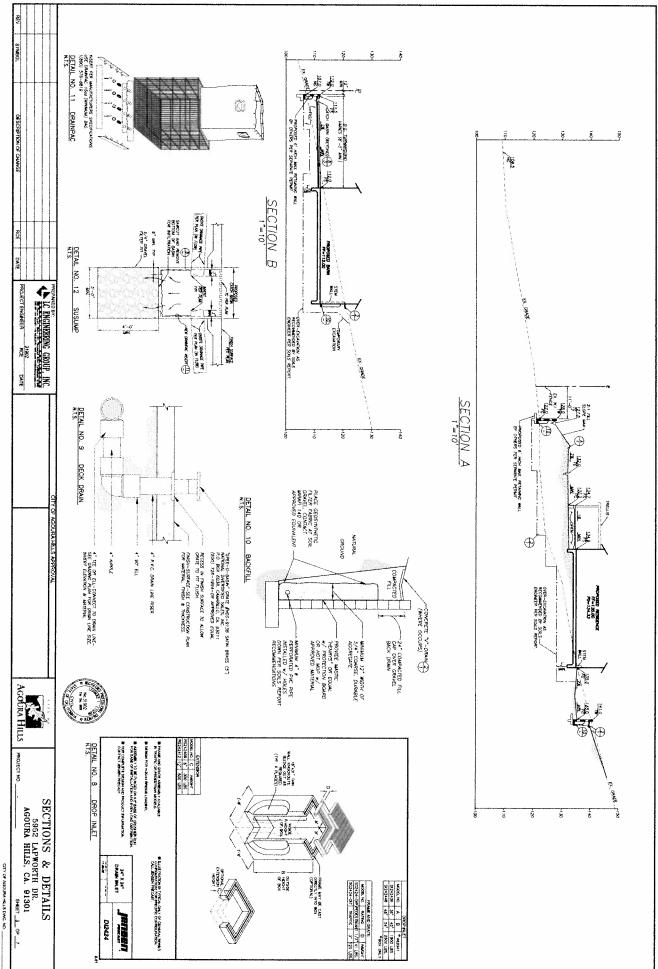
A-10







CITY OF AGOURA HILLS DWG. NO._

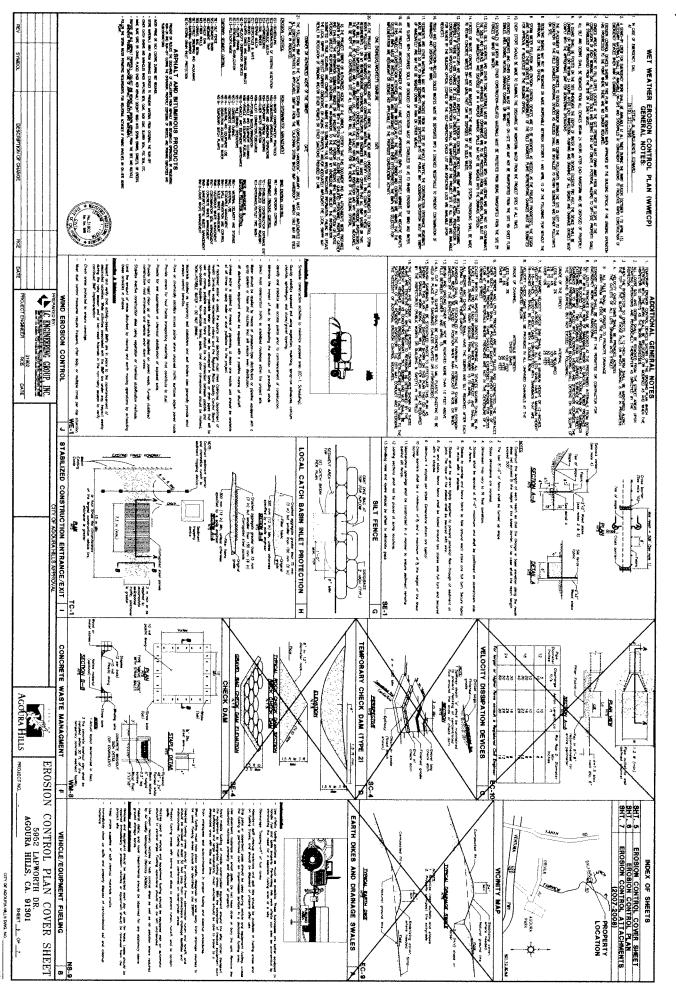


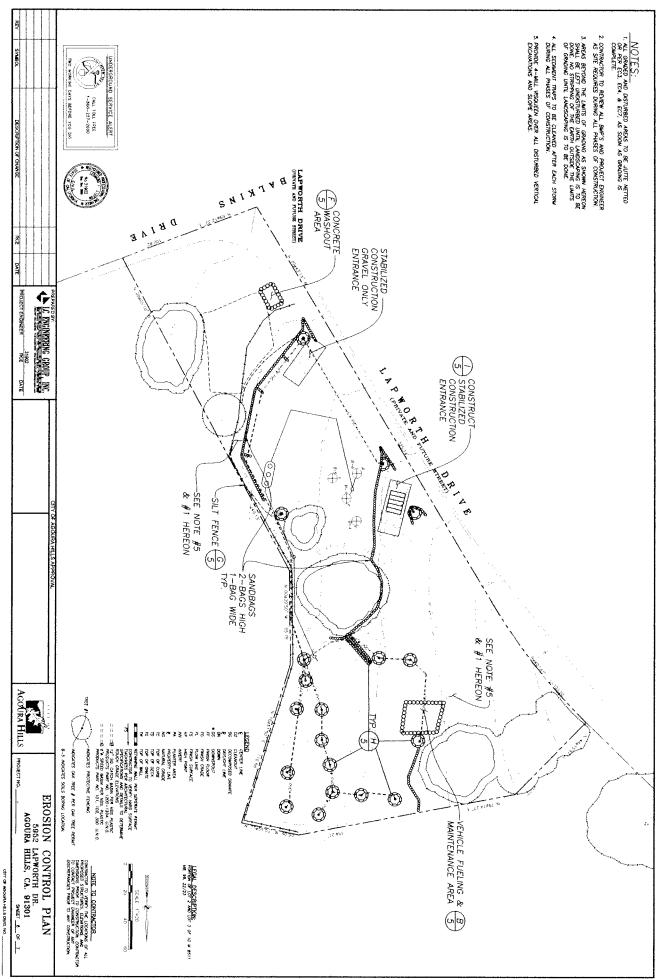
CALL 10LL #9H TWO WORKING DAYS BEFORE YOU DIG GROUND SERVICE ALERT DESCRIPTION OF CHANGE LAPWORTH DRIVE RCE DATE PROJECT ENGINEER LE ENGINEZANG GROUP, INC. Aror=59,983.18 FT² =1.38 Ac. RCE DATE P. 1. 2. 6. 4. 6. 6. 7. 9. E. 7. The territory PROJECT DATA
ACROSS LOT SIZE: \$3,983.1.1.8*
ACT NACE: \$45,241.2.5*
A 11 O(\$4.39.50 W 65.78 $A_2=45,341.25 \text{ FT}^2$ =1.04 Ac. SEPTIC OK

CUP REQUIRED

47.5% LAND TO

REMAIN OPEN SPACE PARCELS 2 & 3
PARCEL MAP NO. 851
P.M.B.98 22/23 Ассойи Ница 2×4499×100 45,341.25 8=<u>H*100</u> S=19.84% SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY
5952 LAPWORTH DR.
AGOURA HILLS, CA. 91301 CITY OF AGOURA HILLS DWG. NO. SHEET 4 OF 7





DEPARIMENT OF BUILDING AND SAFETY CITY OF AGURA HILLS STORWWATER DEVELOPMENT CONSTRUCTION PROGRAM EFFECTIVE AUGUST 3, 1899

PRIORITY PROJECTS

THIS HANDOUT IS TO PROMDE ASSISTANCE FOR APPLICANTS TO COMPLY WITH THE CONTSTITUTION PROGRAM FOR PROJECTS GOASTRUCTION PROGRAM FOR PROJECTS GLASSIFIED AS PROMITY PROJECTS. PROJECTS DEEMED TO BE CLASSIFIED AS PRICIED FOR

- SITES OF GREATER THAN TWO MORES BUT LESS THAN FIVE ACRES OF DISTURBED SOL;
 ALONING OR LOCATED IN EMPROMIENTAL SENSITIVE AREAS; OR
 LOCATED IN DESIGNATED HILLSIDE AREAS.

RESOURCEMENT TO MACHERY A STORMANTO ROBLINGERY CONSTRUCTION FROM IN SECTION CELLOW WATER ACT, WIGHT THE FIRSTME, CLEW MATER ACT, WIGHT THE FIRSTME, CLEW MATER ACT, WIGHT THE FIRSTME, CLEW MATER ACT, WIGHT THE FIRSTMENT THE WATER WATER WATER WATER ACT, WIGHT THE WATER WATER WATER WATER ACT, STORMAN STEEL WATER THE WATER WATER THE THE THE THE WATER WATER THE THE THE WATER THE

REQUIREMENTS

AND HELD ON THE MORTEL STREET AND THE MESTERS THE STATE OF PANKS. AND THE PROPERTY OF THE MORTEL STREET, AND THE MORTEL STREET AND THE MORTEL STREET, AND THE MORTEL STREET AND

MERCH PRECIANNS, A LOCAL, SIMPRE, PIE PREPARETS SPOLUD ASSESS SITE CONDITIONS, CENTRY COMMERCIAN, MINIMIZES MITH IMPROPARM, OF CAUSE STORM MATER PALLITION, AND THEN DEPARTS BATE FAUL BEST SUT THE CONSTRUCTION ACTURED, A LISTING DEEP 5 C CONTRACT IN THE TESTED MATERIA MATERIAL PALITICIST, MANDEDON, JAMPA A CONSTRUCTION ACTIVITIES.

- THE LOCAL SWPPP SHALL CONTAIN THE FOLLOWING:
 THE ADDRESS OF THE PROJECT,
- A BRIEF DESCRIPTION OF THE PROJECT;
- THE OWNER/DEVELOPER'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S):
- CONTRACTOR'S NAME, ADDRESS, PHONE MUMBER, AND CONTACT PERSON(S), IF AVAILABLE AT ISSUANCE OF PERMIT:
- A LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE, AND ACTIVITIES AT THE PROJECT SITE:
- A SITE PLAN (A CONSTRUCTION OR SITE PLAN MAY BE USED) WITH THE FOLLOWING:
- THE PRINCET BOUNDAY AND/OR LIMITS OF GRANNS.

 THE CONTINUE TO ESSITING AND PROPOSED BAILMOR(S) OR STRUCTURE(S).

 SPECIFY LIGHANSS WHERE CONSTRUCTION MATERIALS, VEHICLES, AND EQUIPMENT MILL BE STORED, USED, MANIAMED, AND DEPOSED, ALONG WITH COATINGS OF STRUCTUREA, MEASURES THAT WILL BE USED TO CONTAIN THESE MATERIALS CHAPTER FOR THE SITE MAY ENTER STORM THE COATINGS OF STRUCTURE MAY FOR SITE MAY ENTER STORM PROPOSED STRUCTURE AND THE SITE MAY ENTER STORM PROPOSED STRUCTURE AND WHERE ADPROPRIABLE.

- T. ATTACHMENTS TO LOCAL SWPPP

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 LOCAL SHEPPS SHALL BE IMPLIFICATION TO THE APPROVED SHEPPS (ATTACHMENT I)
- GENERAL NOTES (ATTACHMENT 2)
- \Box SELT INSPECTION-TO INSURE THAT BURN JAKE PROPERTY HAVELHARTED AND DEMONSTRATED AND TO ROBATTY HAVELHANDED AND RECORDED AND RESEARCH AND RECORDED AND PROPERTY OF THE PROPERTY OF A PROPERTY OF A PROPERTY OF AN AND MORE TAKEN FOR AN AND MORE THAN AND THE PROPERTY OF A PROPERTY OF AN AND MORE TO CITY ANSPECTIONS SHALLER RECORDED ON THE ATTAINED FORM AND MORE TO CITY ANSPECTIONS MAKEN REQUESTED (ATTAINMENT 3)
- ESCHANTS, AND ORMER HATTRIALS, MAY NOT BE TRACKED TROM THE SITE OF REMAINED TROMET TO THE TRACKED TROMET TO THE STRUKKING TROMET OF THE OWNER, AND THE OWNER

AS THE OWNER OR AUTHORIZED ACENT OF THE OWNER, I HAVE READ AND INDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL OWNERS AND CONSTRUCTION MATERIALS. STORMANIZER POLLUTION FROM SCIENCINIS, EROSCOM, AND CONSTRUCTION MATERIALS. AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: (OWNER OR AUTHORIZED AGONT OF THE GRACE)

SIGNATURE:

ACTIVITY OF ACTUALDY CARACTER AND ACTIVITY)

DATE

THE SITE SHALL BE INSPECTED BEFORE AND AFTER STORM EVENTS WITH 0.5 MOVES OR GREATER OF ACTUAL PRECOMMING PREDCTED WITH A PROBABILITY OF HEAD CONSTRUCTION FOR ITE INSPECTION CHECKLIST, INCIDENTS OF MON-COMPLIANCE MUST BE REPORTED TO THE ENGREEN. INSPECTION LOG

DATE	INSPECTOR	7	TYPE OF INSPECTION	NON	OBSERVATIONS
		ROUTINE	PRE-STORM POST-STORM	POST-STORM	

Ħ	INSPECTOR	77	TYPE OF INSPECTION	NON	OBSERVATIONS
		ROUTINE	PRE-STORM POST-STORM	POST-STORM	

JOG ADDRESS; NE CORNER OF LAPHORTH DR. & BALKINS DR PERMIT #:

PRIORITY PROJECTS

CERTIFICATION STATEMENT

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM

AS THE OMNER OF AUTHRACED ACRIL OF THE OMNER I CERTIFY THAT THE APPROXIMATE BARRY SHE RE HER LENGTHED SE STETCHES, MARKET HE RECENT WHICH THE RECENT WHICH THE RECENT HER OWNER, OF THE PROJECT'S CONSTRUCTION ACTIVITIES ON STOME WHITE QUALITY, MAJORICHE IS AMMERITAND THE SECRETE BARRY MUST BE RECENTRALLY MANIFORMED AND AMMERICAN OF ENSURE ACT PETCHANGES, THE BARRY AND SECRETE THE MELLINGHAMING ARE RECOMMENDED AND THE SECRETE ON THE PROPERTY OF THE PROPERTY OF

COMPLETED FORM TO BE ATTACHED TO THE LOCAL STORM WATER FOLLUTION PREVENTION PLAN.

8

DOES THE PLAN REFLECT CURRENT SITE CONDITIONS?

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SICHATURE DATE

PROJECT ENGINEER

PATE

LE ENGINEERING GROUP, INC.



STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM ON SITE SELF-INSPECTION CHECKLIST

INSPECTED BY: TO BE ATTACHED TO THE LOCAL SWPPP

PROJECT ADDRESS: NE CORNER OF LAPMORTH DR. & BALKINS DR.

CONTRACTOR

Š CHECK "YES" OR "NO" OR "N/A" IF NOT APPLICABLE ₹

HAS THERE BEEN AN ABSENCE OF RAIN SINCE THE LAST INSPECTION?

ARE ALL SEGMENT BARRIERS (E.G., SANDBAGS, STRAW BALES, AND SILT FERKES) IN FLACE ACCORDANCE WITH THE LOCAL SMPPP OR MYECP AND ARE THEY FUNCTIONING PROPERLY?

WEHICLE & EQUIP. FUELING

NS10 8SN

JUST CONTROL

EWATERING OPERATIONS

ZSN

NOT REQUIRED BY SOILS ENGINEER

MSTRUCTION PRACTICES

AVING OPERATIONS RUCTURE CONSTRUCTION & PAINT

NSS NSS

RESERVING OF EXISTING VEGETATION

EC2

HAY AT HERENIAM WHITE TO BE

ITE PLANNING CONSIDERATIONS

BMP DESCRIPTION

COMMENTS

LOCAL SWPPP

BMP SELECTION WORKSHEET BE USED? YES NO

IF PRESENT, ARE ALL SEDIMENT TRAPS BASICS INSTALLED AND FUNCTIONING PROPERLY? (IF APPLICABLE) IF PRESENT, ARE ALL EXPOSED SLOPES PROTECTED FROM EROSION THROUGH THE IMPLEMENTATION OF ACCEPTABLE SOIL SOIL STABILIZATION PRACTICES?

> STABILIZED CONSTRUCTION ENTRANCE VEHICLE & EDUIP, MAINTENANCE VEHICLE & EQUIP. CLEANING TEHICLE & EQUIPMENT MANAGEMENT

X Z S S

ARE ALL MATERIAL HANDLING AND STORAGE AREAS REASONABLY CLEAN AND FREE OF SPILLS, LEAKS, OTHER DELETERIOUS MATERIALS? ARE ALL EQUIPMENT STORAGE AND MAINTENANCE AREA REASONABLY CLEAN AND FREE OF SPILLS, LEAKS OR ANY OTHER DELETERIOUS MATERIALS?

> MATERIAL CONTRACTOR TRAINING

MANAGEMENT

MIERIAL DELIVERY AND STORAGE

###12 WW112

ARE ALL INTERNAL DISCHARGE POINTS (I.E., STORM DRAW INLETS) PROVIDED WITH INLET PROTECTION? ARE ALL MATERIALS AND EQUIPMENT PROPERLY COVERED? ARE ALL EXTERNAL DISCHARGE POWTS (LE. OUTFALLS) REASONABLY FREE OF ANY NOTICEABLE POLLUTANT DISCHARGES?

SOLID WASTE MANAGEMENT

WW22 MM20

BAT OCCUSE COMBACION DE TRES ALVA NO EX ON-RIG COMBANDED

SOIL PREVENTION AND CONTROL

ARE ALL STRUCTURAL CONTROL PRACTICES IN GOOD REPAIR AND MAINTAINED IN FUNCTIONING ORDER? ARE ALL BMPS IDENTIFIED ON THE PLAN INSTALLED IN THE PROPER LOCATION AND ACCORDING TO THE SPECIFICATIONS FOR THE PLAN? ARE ALL EXTERNAL DISCHARGE POINTS REASONABLY FREE OF ANY SIGNIFICANT EROSION OR SEDIMENT TRANSPORT?

ARE ALL ON—SITE TRAFFIC ROUTES, PARKING, AND STORAGE OF EQUIPMENT AND SUPPLIES RESTRICTED TO AREAS DESIGNATED IN THE PLAN FOR THOSE USES?

ARE ALL LOCATIONS OF TEMPORARY SOIL STOCKPILES OR CONSTRUCTION MATERIALS IN APPROVED AREAS? ARE ALL SEEDED OR LANDSCAPED AREAS PROPERLY MAINTAINED?

IS SEDMENT, DEBRIS, OR MUD BEING CLEANED FROM PUBLIC ROADS AT INTERSECTIONS WITH SITE ACCESS ROADS? ARE ALL POINTS OF INGRESS AND EGRESS FROM THE SITE PROVIDED WITH STABILIZED CONSTRUCTION ENTRANCES?

CONCRETE MASTE MANAGEMENT WAZS
SANITARY/SEPTIC WASTE MANAGEMENT WAZS CONTAMINATED SOIL MANAGEMENT HAZARDOUS WASTE MANAGEMENT

17. ARE SLOPES FREE OF SIGNIFICANT EROSION? ARE SEDIMENT TREATMENT CONTROLS IN PLACE AT DISCHARGE POINTS FROM THE SITE?

> JOB ADDRESS: NE CORNER OF LAPMORTH DR. & BALKINS DR. PERMIT # DEPARTMENT OF BUILDING AND SAFETY

THE FOLLOWING IS INTENDED AS AN ATTACHMENT TO THE CONSTRUCTION/ORDING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSERGEEPING MICH MUST BE IMPREMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.

MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/ CERTIFICATION STATEMENT

DECLONARY COMSTRUCTON PROLETTS ARE REPORTS AS PROJECTS WARE THERE IS LESS THAN TWO ACRESS OF DISCHARGE DOWN AND LOCATED IN ADSIGNATION HUNGER HARDE RESEARCH AND NOT DIV ON PALACERY TO AN ENVIRONMENTAL SUSTING AREA MOTE A RESEARCH AND TANDED AND AND AND THE ON ADMINISTRATION AND REPORT AREA AND RECEIVED A SECRETARY SECRETARY

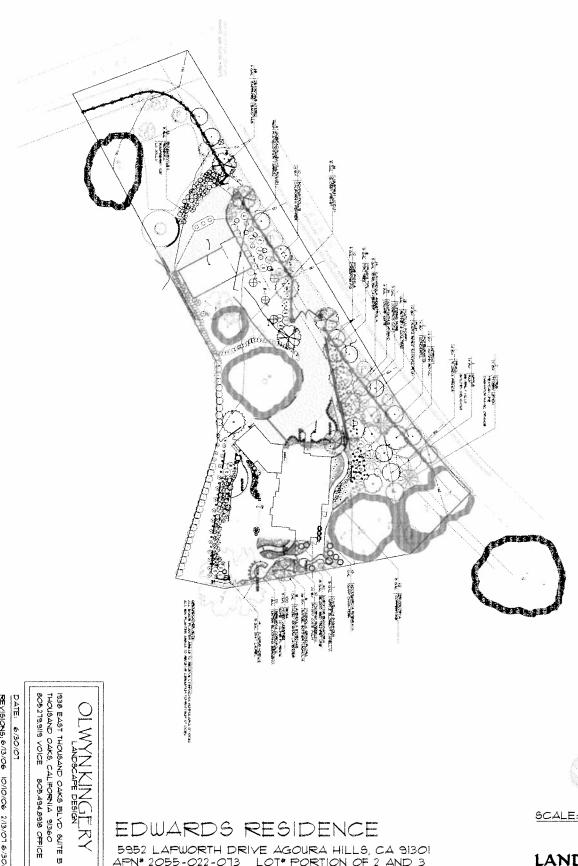
- EROCED SEDMENTS AND OTHER POLLUTANTS MUST BE RETAINED ONSTIT AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOM, SMALES, ANEA DRAINS, MITURAL DRAINAGE COURSE, OR WIND.
- STOCKPRES OF EARTH AND OTHER CONSTRUCTION—RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- O PUES, OLS, SOLVENS, AND OTHER TIME MITTERNS MUST BE STORED. IN
 ACCESSMENT, MATER ISSING, MOD SEE MIT TO COMMANNES FOR THE SOLVEN MATERS, ALL APPROVED STORAGE COMMINES ME TO BE
 PROTECTED FORM THE RETAINER SPLILS MATE CLUEBED IF MATERIALTY AND
 DEPOCHED OF MY A PROTESS MANAGE. SPLILS MAY NOT BE MISSIED MITO THE
 DEVALUES STORED.
- DECESS OR MASTE CONCRETE MAY MAY BE MASHED AND THE POLICY MAY OTHER DOMANGE SYSTEM PROPRIORS SHALL BE MADE TO RETAIN AN COMMERCE MASTES ONSITE UNTIL THEY CAN BE DISPOSED OF AS SOLUT MASTE. TRASH AND COMSTRUCTION—RELATED SOLID MASTES MUST BE DEPOSITED WITO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWAITER AND DISPERSAL BY MIND.



EROSION CONTROL ATTACHMENTS 5952 LAPWORTH DR. AGOURA HILLS, CA. 91301

OTTY OF AGOURA HELE DIVIS, NO.





L-1 LANDSCAPE T D WARDS

REVISIONS: 6/13/06 10/10/06 2/13/07 6/30/07

TRINT DATE:

RESIDENCE

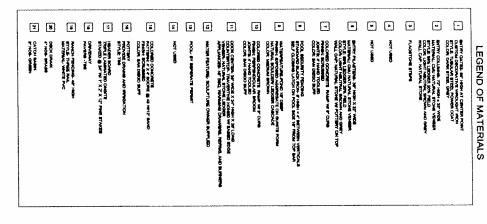
APN* 2055-022-073

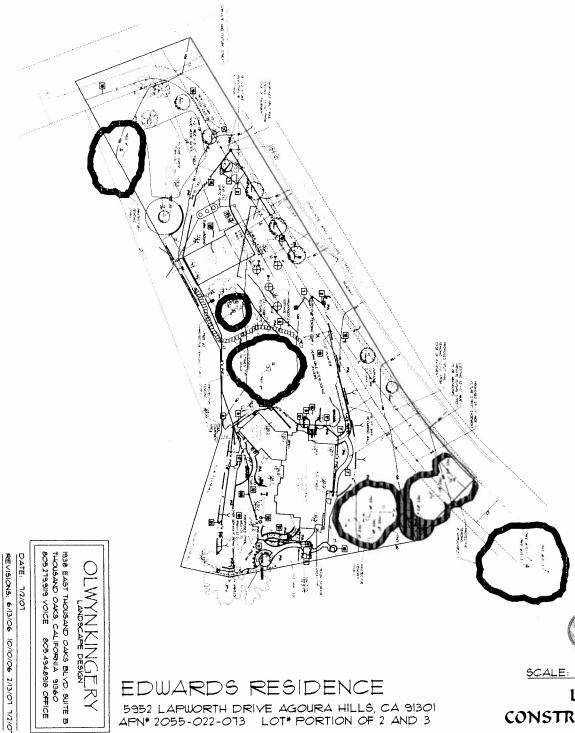


SCALE: 1"=20'-0"

LANDSCAPE





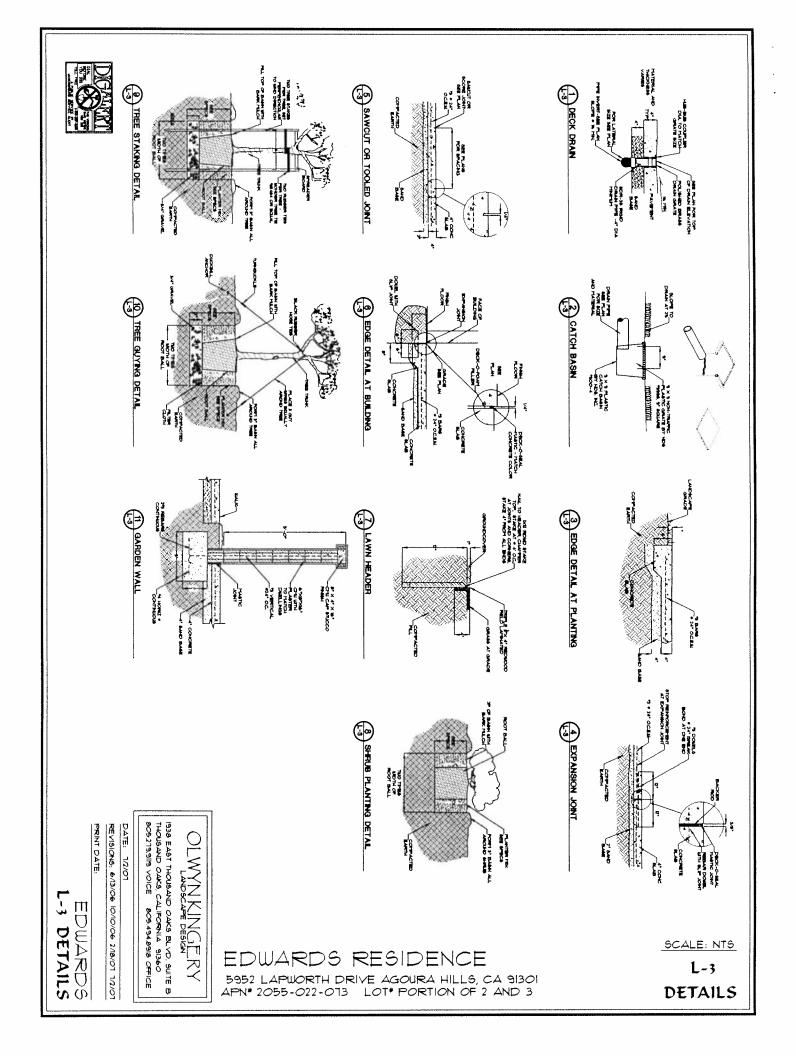


PRINT DATE L-2 CONSTRUCTION MUMARU

5952 LAPWORTH DRIVE AGOURA HILLS, CA 91301 APN* 2055-022-073 LOT* PORTION OF 2 AND 3

SCALE: 1"=20'-0"

L-2 CONSTRUCTION



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GA MANATTAK KIRADA SY LYTHIN NYT ALAMBAH BIBANG PANATTYUNK RUTTON W. MENDER Y SELLEN STRONGTONE AND STORY DALLIN MAN THE WAS MILLER STRONG OFFI W. CTTM IN. PLAS WAS R. PRESENTE TEST ALL TANALNE AT LINE PRESIDENT POR 14 HOURS DEPOTE PLANTING. BOOK (TYNNA 248 BLE YALBO BYO) DYL, SA KOKY (De HAL (TYNS SALBY MERCERY CONTR. YTT HOM COM THE OF THE CANADA OF THE OWNER, P AF PROPER FLAT IN NOVAL AND RE-PER CASES OF THE WAY TO BE LIGHTED TO I MANUFED FLAT IN THE MANUEL FLAT IN I MANUFED FLAT IN THE MANUEL FLAT IN I MANUFED FLAT IN THE MANUEL FLAT IN THE MANUEL FLAT IN MANUFED FLAT IN THE MANUEL FLAT IN THE MAN PROPERTY ALL PARTICLES PROPERTY DEFINES BETWEEN PROCESSION TANDAMENT IN THE ARREST BASING STRINGS BASING STRINGS BASING DESCRIPTION ACCEPTABLE PERSONNEL AND REALES OF PERSONNEL PRICES TO TO PLANTING. UNIX PROSPES AS INSCRIPTION. 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5952 LAPWORTH DRIVE AGOURA HILLS, CA 91301

APN* 2055-022-013

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LOT* PORTION OF 2 AND 3

SPECIFICATIONS



FOR THE PROPERTY LOCATED AT 5952 LAPWORTH DRIVE, AGOURA HILLS

EXHIBIT C

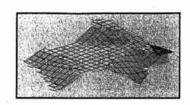
BARN SQUARE FOOTAGE ANALYSIS TABLE

Barn Size Analysis Table		
<u>Address</u>	Lot Size (Square feet)	Barn Size
Balkins Drive		
28080	44,867	2,539
Chesebro Road		
6018	43,560	330
6030	43,560	640
6085	44,954	192
Colodny Drive		
5411	43,560	894
5552	21,780	1,788
5826	60,112	672
Fairview Place		
6145	43,734	864
Note: Barn sizes taken fro	m recorded building permits.	
5932 Lapworth Drive (Applicant)	59,983	1,040
	Average lot size is 43,266 sq. ft.	Average barn size is 990 sq. ft.



FOR THE PROPERTY LOCATED AT 5952 LAPWORTH DRIVE, AGOURA HILLS

EXHIBIT D LETTER FROM CHRIS NELSON, SURVEYOR



Chris Nelson & Associates, Inc.

June 6, 2007

Steve Edwards 718 Admiral Ct Oak Park, CA 91377

Re: 5952 Lapworth Drive

Dear Steve,

Our company has performed a survey on tour property located at 5952 Lapworth Dr. in Old Agoura. Based upon our measurements and the recovered monuments, it appears to be in conformance with the information shown on the preliminary grading plan prepared by LCE Engineering Group.

Please call me if you have any additional information. We look forward to working with you again.

Best regards,

Chris Nelson



FOR THE PROPERTY LOCATED AT 5952 LAPWORTH DRIVE, AGOURA HILLS

EXHIBIT E

PLANNING COMMISSION MINUTES FOR APRIL 5, 2007



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MINUTES OF THE REGULAR SCHEDULED MEETING OF THE PLANNING COMMISSION April 5, 2007

1. <u>CALL TO ORDER:</u> Chair Rishoff called the meeting to order at 6:32 p.m.

2. FLAG SALUTE: Commissioner Ramuno

3. ROLL CALL: Commissioner Illece Buckley Weber, Commissioner Phil

Ramuno, Commissioner John O'Meara, and Chair Steven Rishoff. Vice Chair Curtis Zacuto was absent from the

meeting.

Chair Rishoff stated the Commission had received notification of Vice Chair Zacuto's absence prior to the meeting and that he has requested to be excused. Chair Rishoff asked if there were any objections. There were no

objections to excusing the absence.

Also present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Assistant Planner Renee Madrigal, Senior Civil Engineer Jay Patel, Assistant Engineer Kelly Fisher, Oak Tree/Landscape Consultant Kay Greeley, and

Recording Secretary Sheila Schrupp.

4. APPROVAL OF MINUTES: March 15, 2007

On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the minutes of the March 15, 2007 Planning Commission meeting. Motion carried 3-0-1. Commissioner O'Meara abstained. Vice Chair Zacuto was

absent.

5. COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

6. <u>CONSENT ITEMS:</u>

Adoption of Resolution No. 901, denying a request of Aitan Hillel, for a Site Plan/Architectural Review to construct a 4,677 square-foot car wash facility, including 600 square feet of second story office area, a 3,460 square-foot attached canopy for a service area, and a detached 1,318 square-foot automotive lube and detailing services building with a 550 square-foot service basement proposed to be located at the southeast corner of Chesebro and Palo Comado Canyon Road; a request for an Oak Tree Permit to remove one oak tree and encroach in the protected zone of an off-site oak tree during construction; a request for a Sign Permit to implement a sign program for the site; and a request to adopt a Mitigated Negative Declaration and Mitigation Monitoring Plan (Case Nos. 05-SPR-015, 05-OTP-023, & 05-SP-024).

By consensus of the Planning Commission, Item No. 6 was pulled by Commissioner Ramuno for discussion.

On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Consent Calendar was approved 3-0-1, with an amendment made to Section III, Paragraph 'A' of Site Plan Review Findings, within Resolution No. 901. Commissioner O'Meara abstained. Vice Chair Zacuto was absent.

AGENDA ITEM #7 MOVED TO THE END OF THE AGENDA

7. CONTINUED PUBLIC HEARING:

APPLICANT: Laura La Plante, LLC

18850 Ventura Boulevard, Suite 130

Tarzana, CA 91356

CASE NOS.: 05-CUP-002, 05-OTP-015, & 05-VAR-003

LOCATION: West of 28207 Laura La Plante Drive

(A.P.N. 2061-016-063 & 072)

REQUEST: Request for approval of a Conditional Use Permit to

construct a 3,378 square-foot residence and a 580 square-foot, free-standing, three-car garage; a request for an Oak Tree Permit to remove up to 20 oak trees and encroach within the protected zone of up to 4 oak trees for the proposed construction; and a request for a Variance from Zoning Ordinance Section 9606.2.A to construct

retaining walls in excess of 3.5 feet in height in the front yard area.

ENVIRONMENTAL

DETERMINATION:

Exempt from CEQA

RECOMMENDATION: Staff recommended the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 05-CUP-002, Variance Case No. 05-VAR-003, and Oak Tree Permit Case No. 05-OTP-015, subject to conditions,

based on the findings of the draft Resolutions.

PUBLIC COMMENTS: Chair Rishoff opened the Public Hearing

The following persons spoke in favor of the item

Tsvetana Yvanova, Woodland Hills, applicant

Robert W. Wallace, Simi Valley, Oak Tree Specialist for

applicant

ACTION:

On a motion by Commissioner O'Meara, seconded by Commissioner Ramuno, the Planning Commission moved to approve Resolution No. 902, approving Variance Case No. 05-VAR-003, subject to conditions. Motion carried 3-0. (Commissioner Buckley Weber recused herself from the hearing due to a conflict of interest). Commissioner Zacuto was absent.

On a motion by Commissioner O'Meara, seconded by Commissioner Ramuno, the Planning Commission moved to approve Resolution No. 903, approving Conditional Use Permit Case No. 05-CUP-002 and Oak Tree Permit Case No. 05-OTP-015, subject to conditions. Motion carried 3-0. (Commissioner Buckley Weber recused herself from the hearing due to a conflict of interest). Commissioner Zacuto was absent.

AGENDA ITEM #8 MOVED TO FOLLOW ITEM #6 OF AGENDA

8. <u>NEW PUBLIC HEARING:</u>

APPLICANT: Steve and Marguerite Edwards

718 Admiral Court Oak Park, CA 91377

CASE NOS.: 06-CUP-008 and 06-OTP-017

LOCATION: 5952 Lapworth Drive

(Northeast corner of Balkins Drive and Lapworth Drive)

(A.P.N. 2055-022-073)

REQUEST: Request for approval of a Conditional Use Permit to

construct a 5,246 square foot, two-story, single-family residence with a 919 square foot attached garage, a 347 square foot studio above the garage, a swimming pool, and a 1,446 square foot detached garage and barn; and a request for an Oak Tree Permit to possibly encroach within the protected zone of one (1) Oak tree for the

proposed construction.

ENVIRONMENTAL

DETERMINATION: Exempt from CEQA per Section 15303

RECOMMENDATION: Staff recommended the Planning Commission adopt a

motion to approve Conditional Use Permit Case No. 06-CUP-008 and Oak Tree Permit Case No. 06-OTP-017, subject to conditions, based on the findings of the draft

Resolution.

PUBLIC COMMENTS: Chair Rishoff opened the Public Hearing

The following persons spoke in favor of the item.

Steve Edwards, Oak Park, Applicant

Ken Stockton, Architect for applicant

Dean Simpson, Agoura Hills

Robert Evren, Agoura Hills, representing Old Agoura

HOA

The following persons spoke in opposition of the item

Robert Hartman, Agoura Hills

Jon Levin, Agoura Hills

Laurie Turner, Agoura Hills

Ronald Cagnon, Agoura Hills

Dan Meyer, Agoura Hills

Vicki Hunter, Agoura Hills

John Perry, Agoura Hills

Daniel Maltese, Agoura Hills

The following persons did not speak, but submitted speaker cards in opposition of the project.

Elisabeth Hartman, Agoura Hills

Andrea Diamond, Agoura Hills

REBUTTALS: Steve Edwards, Applicant gave rebuttal

Erick Mason, Thousand Oaks, Civil Engineer for

applicant

RECESS: Chair Rishoff called for a recess at 8:25 p.m.

RECONVENE: Chair Rishoff reconvened the meeting at 8:42 p.m.

ACTION: On a motion by Commissioner Ramuno, seconded by

Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 05-CUP-002, Variance Case No. 05-VAR-003, and Oak Tree Permit Case No. 05-OTP-015, to the May 17, 2007 meeting. Motioned carried 4-0. Vice Chair Zacuto was

absent.

9. ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA:

Commission: None

Staff: None

10. <u>ADJOURNMENT</u>:

At 9:45 p.m., on a motion by Commissioner Ramuno, seconded by Chair Rishoff, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on April 19, 2007 at 6:30 p.m.