



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT F

APRIL 5, 2007 STAFF REPORT



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: April 5, 2007

APPLICANT: Steve and Marguerite Edwards
718 Admiral Court
Oak Park, CA 91377

TO: Planning Commission

CASE NOS.: 06-CUP-008 and 06-OTP-017

LOCATION: 5952 Lapworth Drive
(Northeast corner of Balkins Drive and Lapworth Drive)
(A.P.N. 2055-022-073)

REQUEST: Request for approval of a Conditional Use Permit to construct a 5,246 square foot, two-story, single-family residence with a 919 square foot attached garage, a 347 square foot studio above the garage, a swimming pool, and a 1,446 square foot detached garage and barn; and a request for an Oak Tree Permit to possibly encroach within the protected zone of one (1) Oak tree for the proposed construction.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15303

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-008 and Oak Tree Permit Case No. 06-OTP-017, subject to conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: RV-OA (Very Low Density Residential – Old Agoura Design Overlay)

GENERAL PLAN DESIGNATION: RV – (Very Low Density Residential)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicants, Steve and Marguerite Edwards, are requesting approval of a Conditional Use Permit to construct a new 5,246 square foot, two-story, single-family residence with a 919 square foot attached three-car garage and a 347 square-foot studio above the garage, in the Very Low Density Residential (RV) zone of Old Agoura. The applicants are also proposing a swimming pool and a 1,446 square foot detached garage and barn.

The 1.38 acre parcel is located on the northeast corner of the Balkins Drive and Lapworth Drive intersection. This irregular shaped lot fronts onto Balkins Drive and is parallel to the west by Lapworth Drive. The parcel rises 48 feet in elevation from the average street elevation of Balkins Drive (96 feet) to the average rear or north elevation (144 feet) of the lot, resulting in an average topographic slope of 19.84%. The Zoning Ordinance requires the Planning Commission's consideration and approval of a Conditional Use Permit for any development on lots that exceed a 10% average topographic slope. The applicant is also requesting approval of an Oak Tree Permit to possibly encroach within the protected zone of one (1) Oak tree for the proposed construction.

The proposed residence and attached garage, which occupies 7.8 percent of the lot, is situated at the northeast portion of the site and includes a proposed pad elevation of 134.33 feet, which is below the Lapworth Drive street elevation. The accessory structure (garage/barn) is proposed at a finished grade of 113.33 feet and is approximately at the same elevation as Lapworth Drive street elevation entrance. The subject parcel is surrounded by residential land uses. Existing hillside residences are present on adjacent properties to the west and east. The adjacent property to the north remains vacant.

The proposed single-family residence is a permitted use in the Very Low Density Residential (RV) zone and will meet the required development standards, relative to lot coverage, height and building placement. Listed below are the proposed development data pertaining to the project:

Pertinent Data

	<u>Proposed</u>	<u>Allowed/ Required</u>
1. Lot Size:	1.38 acres (existing) (59,983 sq. ft.)	1 acre min. (43,560 sq. ft.)
2. Building Height:	32 ft.	35 ft. max.
3. Building Sizes:		
a. First Floor	2,807 sq. ft.	N/A
b. <u>Second Floor</u>	<u>2,439 sq. ft.</u>	N/A
Total House Area	5,246 sq. ft.	

c. Attached Garage	919 sq. ft.	N/A
d. Detached Garage and Barn	1,446 sq. ft.	
e. Studio Above Garage	347 sq. ft.	N/A
f. <u>Covered Patios & Deck</u>	<u>996 sq. ft.</u>	N/A
Total Structures	3,708 sq. ft.	

4. Bldg. Lot Coverage:

a. Residence & Attached Garage	3,726 sq. ft. (6.2%)	
b. Covered Patios & Deck	996 sq. ft. (1.6%)	
c. Swimming Pool, Deck & Equip.	743 sq. ft. (1.2%)	
d. Hardscape/Walkways	1,222 sq. ft. (2.0%)	
e. Detached Garage and barn	<u>1,446 sq. ft. (2.4%)</u>	
Total	8,133 sq. ft. (13.4%)	Max. 25% (14,995 sq. ft.)

5. Building Setbacks:

Front (South)	282 ft.	25 ft. min.
Rear (North)	25 ft.	25 ft. min.
Left Side (West)	45 ft.	12 ft. min.
Right Side (East)	14 ft.	12 ft. min.

6. No. of Oak Trees: 12 N/A

7. Average Topographic Slope: 19.84% N/A

II. STAFF ANALYSIS

Site Plan

The applicants are proposing to locate the residence in the flatter portion of the site, near the northeast end of the lot, thereby protecting on site Oak trees and reducing the amount of grading of the site, while meeting or exceeding the minimum yard setback distances for the zone. The applicants are also proposing a patio on the east side of the residence, wrapping around the rear (north) side of the residence. The swimming pool is proposed 10 feet from the covered patio at the northeast portion of the property. The front of the house faces southwest. The 15-foot wide driveway access to the three (3) car garage, located at the front of the house, is provided from Lapworth Drive. The Los Angeles County Fire District has tentatively approved the Site Plan for their required access.

The footprint of the proposed residence, attached garage, detached garage and barn, and the hardscape totals 8,133 square feet or 13.6% of the lot area. The RV zone allows for a maximum 25% lot coverage for lots that have an average slope of less than 10%. In addition, the Hillside Ordinance requires that at least 47.5% of the lot remain in undisturbed open space for parcels that have an average slope of 16-20%. Thus, the maximum amount

of construction area should not exceed 52.5% of the lot. Currently the project meets this requirement because 51.4% of the parcel remains undisturbed.

The proposed 1,446 square-foot detached garage and barn structure is a permitted use by the Zoning Ordinance. The Zoning Ordinance allows detached accessory structures to be a maximum height of 14 feet, only if located in the required yard area, and must maintain a minimum of 10 feet from the rear property line or main building and 5 feet from the side property line. Accessory structures cannot occupy more than 25% of the rear yard plus 40% of the buildable area in combination with any other accessory buildings on the site. In the Old Agoura Overlay District, accessory buildings may be erected in the minimum front yard provided that the above requirements are met and the structure is a minimum of 10 feet from the front property line. The proposed structure will be located, at a west-facing angle, 7 feet from the west side property line, and 9 feet from the east side property line, 102 feet from the main building, and 120 feet from the front property line (Balkins Drive). The maximum height of the structure will be 14 feet and will also comply with the maximum allowable lot coverage limitation for accessory structures. Barns are required to be placed at least 35 feet from any habitable structure or street. The placement of the proposed barn area of the structure is 75 feet to the nearest habitable structure and 35 feet to the nearest street (Lapworth Drive), which meets the requirement. The detached garage and barn structure will be accessed from Lapworth Drive by a secondary driveway located on the south side of the structure. A future horse area of approximately 2,600 square feet is shown at the lower area of the lot near Balkins Drive.

Architectural Design

The architectural design of the residence, with its wrap-around porches and low-sheen, silver/gray colored metal roof is intended to evoke a Western-style of rural architecture. The proposed exterior of the residence includes a covered front porch with boxed columns and decorative window accents which will be painted white in color. The main color and exterior of the buildings would be a light sage-green colored, hardieplank lap full siding. A darker shade of green trim detailing is also proposed. The residence will have one chimney located on the eastern portion of the residence and is clad in stone veneer. The applicant is proposing an attached three-car garage with a second story studio above with access from the outside by raised wood stairs and guardrails located at the rear elevation of the garage. The roof is designed using multi-level roof lines.

The proposed residence will be positioned at an angle to Lapworth Drive. The most prominent elevation visible from the street (Lapworth Drive) will be the southwest elevation, which is two stories and approximately 32 feet in height at the highest roof line (27 feet high measured at the midpoint). Views of the residence from the north will be somewhat obscured by the Oak trees located near the northwest corner of the property.

A semi-permeable surface material of interlocking pavers is proposed for the driveway area to access the attached three-car garage. The applicant is proposing a concrete secondary driveway at the south end of the property with a decomposed granite turn around area to access the proposed detached garage and barn. Staff recommended that

the secondary driveway consist of decorative concrete and pavers or other semi-permeable finish, subject to approval by the Director of Planning and Community Development to ensure that it is of a permeable or semi-permeable surface material and consistent with drainage and run-off requirements. The applicant has agreed to modify the plans to reflect this suggestion.

The overall height of the proposed residence is 32 feet, not exceeding the maximum height of 35 feet allowed for a residence. The City Architectural Review Panel (ARP) found the architectural style of the proposed residence to be in keeping with the Old Agoura Design Overlay requirements and the City Architectural Design Guidelines and Standards. The Old Agoura Homeowners Association has also reviewed the project. A copy of their letter is attached to the report for the Commission's review.

In an effort to evaluate the compatibility of the proposed size of the home with other Old Agoura properties, a survey of 33 neighboring developed lots was conducted, as shown in an attached exhibit. The results revealed an average lot size of 56,966 square feet for the neighborhood and an average dwelling unit size of 3,437 square feet (excluding the garages), resulting in an average floor/area ratio of 0.05. The proposed two-story, single-family residence is 5,246 square feet in size on a 59,983 square feet (1.38 acre) lot, which results in a floor/area ratio of 0.08. The proposal is 1,858 square feet larger than the neighborhood average. Nonetheless, the applicant's proposal will result in a lot size coverage of 13.4% which is below the maximum allowable lot coverage of 25% for the zone. The proposed residence is not the largest in the immediate neighborhood. Several new residences have recently been approved by the Planning Commission located in the immediate vicinity of this project. Across Balkins Drive and to the west is a recently approved 5,420 square foot, two-story, single-family residence on a 1.01 acre parcel that is currently under construction. A few lots directly to the east is a 5,324 square foot, two-story, single-family residence on a 2.56 acre parcel that is currently under construction. On the southeast corner of Balkins Drive and Lapworth Drive is a 5,536 square foot, two-story, single-family residence on a 0.92 acre parcel that is also currently under construction. The proposed size of the applicant's residence is consistent with the recently approved homes in the surrounding area.

Engineering Department

The Engineering Department has reviewed the proposed Grading Plan and will require Lapworth Drive, which is a private street, to be improved along the west property line. The half-street improvements are to include 20 feet of pavement and an asphalt curb or a 3-foot wide inverted shoulder to ensure runoff is maintained within the roadway. The applicant is also required to prepare necessary documents to vacate the portion of the private roadway easement that exceeds 25-feet on the applicant's property, prior to the issuance of a grading permit. Said documents are required to be recorded with the Los Angeles County Recorder's Office prior to issuance of a building permit. Final street plans and drainage plans will be subject to approval by the City Engineer prior to issuance of a building permit. No improvements were required for Balkins Drive.

Grading required for the proposed project includes 586 cubic yards of cut, 2,241 cubic yards of fill and 1655 cubic yards of import to create the building pad elevations, access driveway, and useable yard areas. Proposed grading will require retaining walls all around the residence to support the flat building pad, driveway, and yard areas. A retaining wall ranging from 2-feet to 6-feet high is proposed at the base of a 2:1 cut slope on the west side of the property, extending from the westerly edge of the driveway toward the middle of the north property line. The retaining wall proposed at the upper easterly edge of the driveway will begin with a height of two feet at the southerly end and ends at a maximum height of six feet, south of the attached garage. A 6-foot high retaining wall is proposed at the base of a 2:1 fill slope near the east property line which will eliminate any impacts from the graded slope. An additional retaining wall is proposed along a portion of the rear property line and will remain under 6 feet. Considerably south of the residence, a 4-foot high retaining wall is proposed along the northwestern canopy of Oak tree #2, southeast of the barn, to eliminate any impacts to the tree from the 3:1 fill slope.

A private septic system, located on the east side yard, will serve the residence. The location and feasibility of the septic system has been tentatively approved by the Los Angeles County Health Department.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective at the planning stage. The City's Geotechnical Consultant's letter dated September 29, 2006 is attached for reference. Construction traffic and related vehicular routes will also be reviewed by the City Engineer prior to the issuance of a grading permit with the intent to minimize impacts to the neighbors.

Oak Trees and Landscaping

The Oak Tree Report addresses a total of fifteen (15) oak trees. Twelve (12) of the Oak trees are located within the subject site and the remaining three (3) Oak trees are located off-site. It is feasible to construct the project as proposed without incurring direct impacts to any of the Oak trees. The applicant proposes to construct retaining walls just outside the protected zones of Oak Tree Numbers 2, 3, 4, and 6. Pursuant to recent conversations with the applicant, all construction activities associated with these walls can be accomplished completely outside of the protected zone of each Oak tree, eliminating potential direct impacts.

Since the topographic slope of the property exceeds 10%, the applicant is required to prepare a landscape plan for the City's review. The preliminary landscape plan was reviewed by the City Landscape Consultant, who recommends that the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Director of Planning and Community Development prior to building permit issuance, and subject to attached conditions. The final plans will be reviewed for slope stabilization, screening, and the incorporation of native plant species.

Environmental Review

Upon review of this project by the City Environmental Analyst, no environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence. A copy of the notice of exemption prepared by the City Environmental Analyst regarding the project is attached.

III. RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-008 and Oak Tree Permit Case No. 06-OTP-017, subject to Conditions, based on the findings of the attached Draft Resolution.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Vicinity Map
- Exhibit B: Square Footage Analysis Map
- Exhibit C: GeoDynamics Letter of Recommendation
- Exhibit D: Environmental Determination
- Exhibit E: Reduced Copies of Plans
- Exhibit F: Letter from Old Agoura Homeowners Association
- Exhibit G: Photographs of the Site and Surroundings
- Exhibit H: Color Rendering of Residence and Barn

Case Planner: Renee Madrigal, Assistant Planner



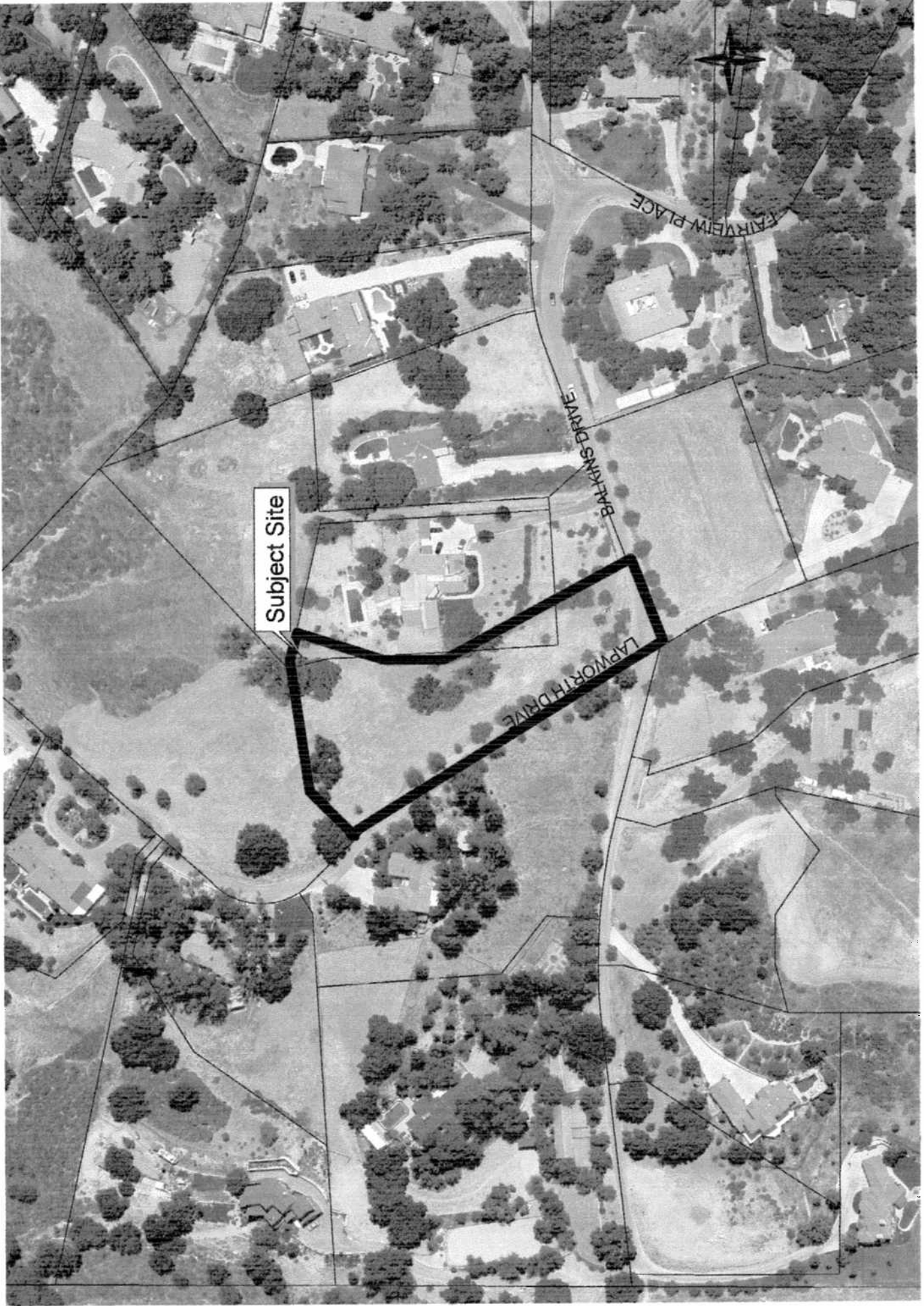
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

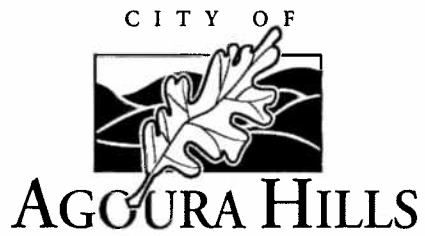
**FOR THE PROPERTY LOCATED AT
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EXHIBIT A

VICINITY MAP

**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT CASE NO. 06-OTP-017 (2055-022-073) EDWARDS**



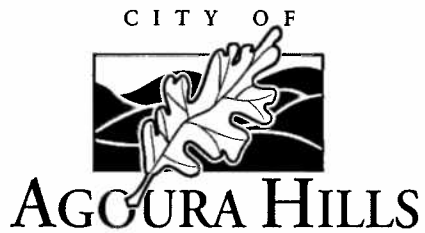


**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
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**FOR THE PROPERTY LOCATED AT
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EXHIBIT B

SQUARE FOOTAGE ANALYSIS MAP



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT C

**CITY GEOLOGICAL/GEOTECHNICAL CONSULTANT
LETTER OF RECOMMENDATION**

Date: September 29, 2006
GDI #: 06.00103.0145

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Renee Madrigal

Project Location: 5952 Lapworth Drive, Agoura Hills, California.

Planning Case #: 06-CUP-008 & 06-OTP-017 (Edwards)

Building & Safety #: None

Geotechnical Report: Calwest Geotechnical (2006c), "Supplemental Geotechnical Engineering Letter, Proposed Residential Development, 5952 Lapworth Drive, City of Agoura Hills, California," Project 4724, September 25, 2006 (attached).

Calwest Geotechnical (2006b), "Addendum Geotechnical Engineering Report, Response to The City of Agoura Hills, Geotechnical Review Sheet, GDI# 06.00103.0145, Dated July 24, 2006, Proposed Residential Development, 5952 Lapworth Drive, City of Agoura Hills, California," Project 4724, August 14, 2006.

Calwest Geotechnical (2006a), "Update Geotechnical Engineering Report and Change of Geotechnical Consultant, Proposed Residential Development, 5952 Lapworth Drive, City of Agoura Hills, California," Project 4724, May 18, 2006.

Mountain Geology, Inc. (2006b), "Addendum Engineering Geologic Report #1, Proposed Residential Development, 5952 Lapworth Drive, City of Agoura Hills, California," MGI Project No.: JH6758, dated August 9, 2006.

Mountain Geology, Inc. (2006a), "Report of Update Engineering Geologic Study, Proposed Residential Development, 5952 Lapworth Drive, City of Agoura Hills, California," MGI Project No.: JH6758, dated April 13, 2006.

Plans: LC Engineering Group, (2006), "Grading and Development Plans, Sheets 1 through 7 5952 Lapworth Drive, City of Agoura Hills, California," Printing date: April 13, 2006.

Ken Stockton/Bruce Shindelus Architects (2006), "Architectural Site Plan, Sheets A-1 through A-9, A6 & A7", various dates in 2006

Previous Reviews: July 24, 2006

FINDINGS

Planning/Feasibility Issues

- Acceptable as Presented
- Response Required

Geotechnical Report

- Acceptable as Presented
- Response Required

REMARKS

Calwest Geotechnical (geotechnical consultant) and Mountain Geology, Inc. (geologic consultant) provided responses to the geotechnical review letter by the City of Agoura Hills dated July 24, 2006 regarding the proposed development at 5952 Lapworth Drive, City of Agoura Hills, California. The proposed development includes the construction of a custom single family residence, swimming pool, barn and retaining walls. Grading the site will include cut and fill operations to create the desired grades. An on-site sewage disposal system is also proposed.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, some of the responses by the consultant required additional clarification. To expedite the review process, the reviewers contacted the geotechnical consultant and discussed remaining issues. The Consultant provided us via electronic mail a supplemental letter (Calwest 2006c; attached) with the requested clarifications. As such, the referenced reports should be acceptable as presented. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Plan-Check Comments

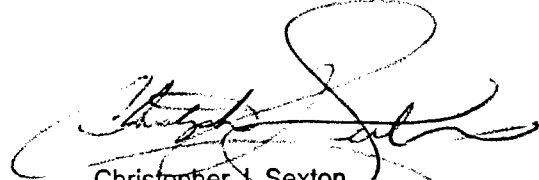
1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading plans: *"The existing well should be verified to have been abandoned in accordance with City/County standards as well as any other applicable jurisdictions prior to fill placement over the well location."*
4. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
5. The following note must appear on the grading and foundation plans: *"All cut-slopes should be mapped during grading. Stabilization measures should be applied where future cuts expose adversely oriented joint surfaces or intersections of joint surfaces."*
6. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
7. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
8. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
9. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
10. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
11. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,
GeoDynamics, INC.

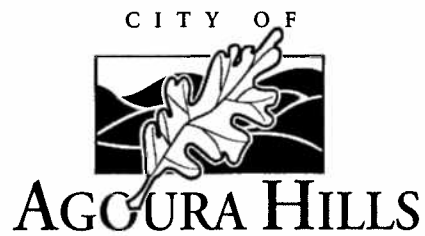
Ali A. Haq.

Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/06)

Attachment: Supplemental Letter dated September 25, 2006.



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT D

ENVIRONMENTAL DETERMINATION

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Edwards Single Family Residence

Project Location-Specific: 5952 Lapworth Drive

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project involves the construction of a 4,950 square-foot single family home, with a 908 square-foot, unattached, three-car garage, which includes a 347 square-foot studio above. The project site is a 59,983 square-foot hillside lot. The request is for a Conditional Use Permit, given that the site is on a hillside, and an Oak Tree Permit for encroachment into the protected zone of one oak tree.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Steve and Marguerite Edwards

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
 Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
 Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
 Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
 Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
 No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of one single family home. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state scenic highway area; 3) a hazardous waste site; or 4) a historical resource area.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 7/27/06

Title: Senior Planner



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT E

REDUCED COPIES OF PLANS

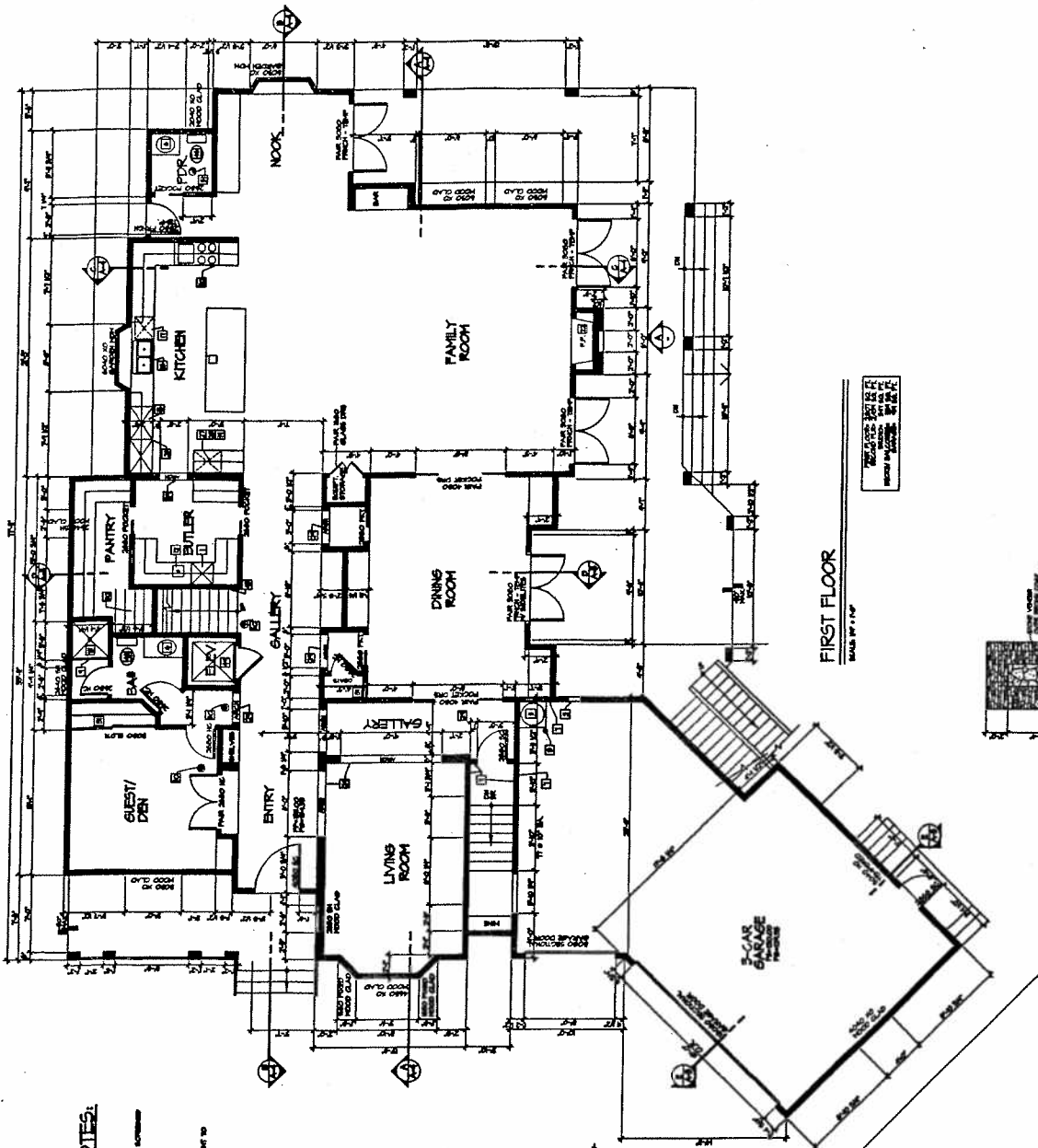


NOT FOR CONSTRUCTION

KEN STOCKTON / BRUCE SHINDELUS ARCHITECTS
 3800 N. MOORE ROAD, P.O. BOX 848-405
 SAN JOSE, CALIFORNIA, CA 95133

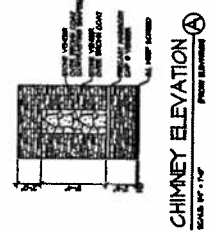
EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 LAURENCE & BLAKING DR.
 ADORNA HILLS, CA 91501

FIRST FLOOR PLAN
 DRAWN: R. S.
 DATE: 02/20/03
 REVISIONS:
 EXPOSURE:
 PROJECT NO. 03-029



FLOOR PLAN KEYNOTES:

1. 3/4" CONCRETE, REINFORCED SLAB
2. CONCRETE AND VENT FOR WATER HEATER, ALL EXTERIOR
3. SEE DRAWING FOR 2" x 4" DIMENSION
4. FLOOR FINISH CONCOURSE
5. 2" x 4" JAMB (TYP)
6. 1/2" x 1/2" x 1/2" PLASTER BOARD TO HALL, VEST TO OFFICE AND TOBACCO HALL
7. LAUNDRY SINK & PANSET
8. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
9. HALLS TO BE FINISHED WITH 1/2" x 1/2" x 1/2" PLASTER BOARD TO HALL, VEST TO OFFICE AND TOBACCO HALL
10. ALL HALLS EXTERIOR AND FLOOR
11. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
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32. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
33. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
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42. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
43. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
44. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
45. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
46. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
47. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
48. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
49. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER
50. 1/2" x 1/2" x 1/2" VENT, VENT AND BRASSER



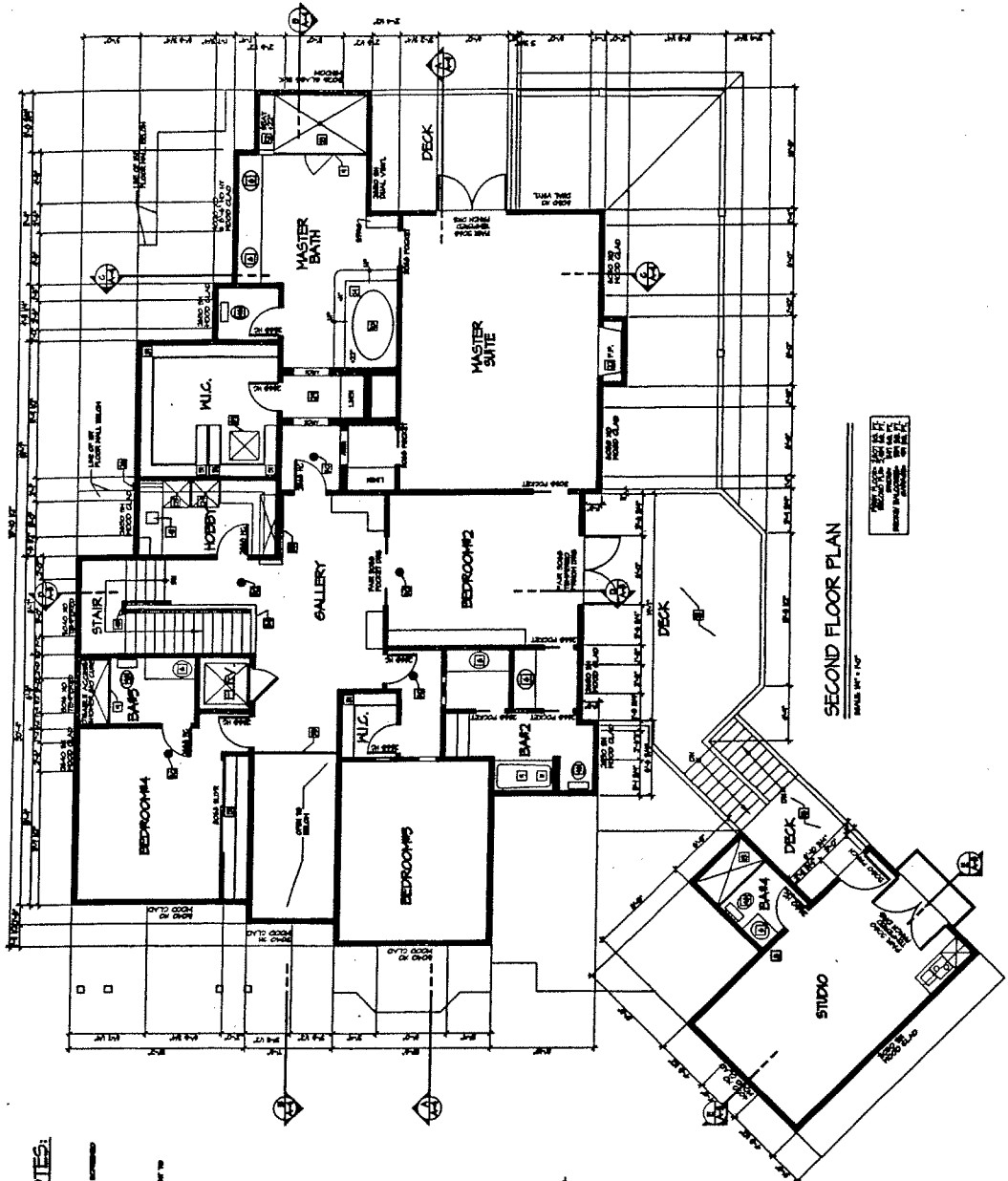
FIRST FLOOR
 SCALE 1/4" = 1'-0"

REVISIONS:
 1. 02/20/03
 2. 02/20/03
 3. 02/20/03
 4. 02/20/03
 5. 02/20/03
 6. 02/20/03
 7. 02/20/03
 8. 02/20/03
 9. 02/20/03
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 45. 02/20/03
 46. 02/20/03
 47. 02/20/03
 48. 02/20/03
 49. 02/20/03
 50. 02/20/03

KEN STOCKTON / ARCHITECTS
 3800 N. ADELINA ROAD, SUITE 100, CALABAS, CA 91301
 (818) 241-1111 FAX (818) 241-1112

EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 1400 NORTH BLAKING DR.
 AGOURA HILLS, CA 91301

PROJECT NO. 020301
 DATE: 02/20/01
 DRAWN: R.C.S.
 REVIEWED:
 SECOND STORY FLOOR PLAN



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES:

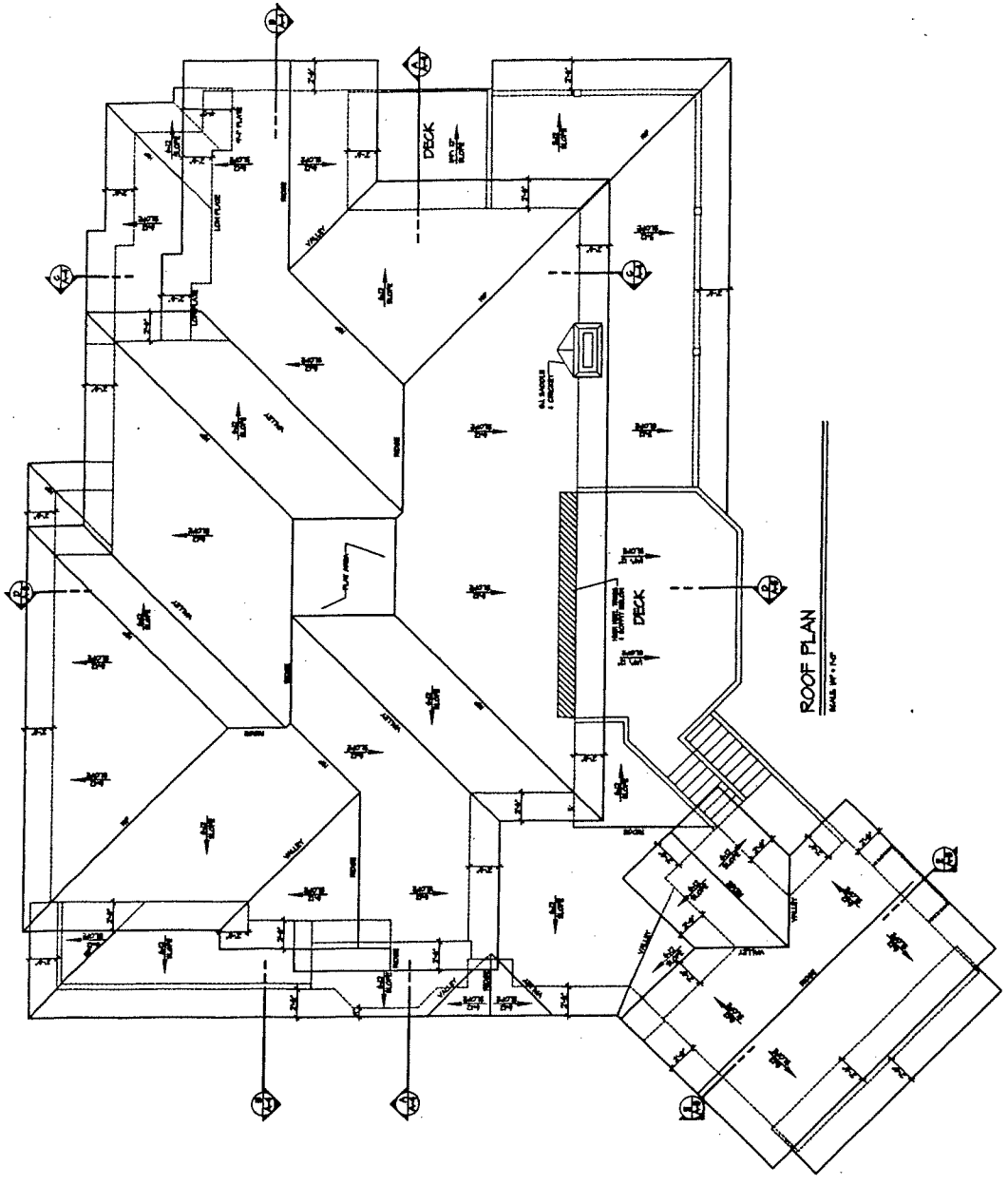
- 1) 3/4" CONCRETE, REINFORCED W/IT
- 2) CONCRETE AND VENT FOR WATER HEATER, ALL EXTERIOR
- 3) FIVE BEDS, 3 1/2 BATHS, 2 1/2 GARAGE
- 4) 2ND JAMES (TYP)
- 5) 1/2" DIA. 10' VENT PLUMBING FROM TO HALL, VENT TO OUTSIDE AT THIS EXIT WALL
- 6) LAUNDRY SINK (1 PARCEL)
- 7) 1/2" DIA. 10' VENT, VENT AND SPONGER
- 8) FLOOR TO ROOM AND DOWN AT ALL
- 9) ALL HALLS IMPROVING 2ND FLOOR
- 10) 2" DIA. 10' VENT
- 11) 1/2" DIA. 10' VENT
- 12) 1/2" DIA. 10' VENT
- 13) 1/2" DIA. 10' VENT
- 14) 1/2" DIA. 10' VENT
- 15) 1/2" DIA. 10' VENT
- 16) 1/2" DIA. 10' VENT
- 17) 1/2" DIA. 10' VENT
- 18) 1/2" DIA. 10' VENT
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- 46) 1/2" DIA. 10' VENT
- 47) 1/2" DIA. 10' VENT
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- 90) 1/2" DIA. 10' VENT
- 91) 1/2" DIA. 10' VENT
- 92) 1/2" DIA. 10' VENT
- 93) 1/2" DIA. 10' VENT
- 94) 1/2" DIA. 10' VENT
- 95) 1/2" DIA. 10' VENT
- 96) 1/2" DIA. 10' VENT
- 97) 1/2" DIA. 10' VENT
- 98) 1/2" DIA. 10' VENT
- 99) 1/2" DIA. 10' VENT
- 100) 1/2" DIA. 10' VENT

PROJECT NAME	EDWARDS RESIDENCE
DATE	02/20/01
REVISIONS	
DESIGNER	R. E. S.
DATE	02/27/01
PLAN NO.	
PROJECT	

PROJECT NAME: EDWARDS RESIDENCE
SINGLE FAMILY CUSTOM HOME
LAYOUT & PLANS OR
AGORA HILLS, CA 91501

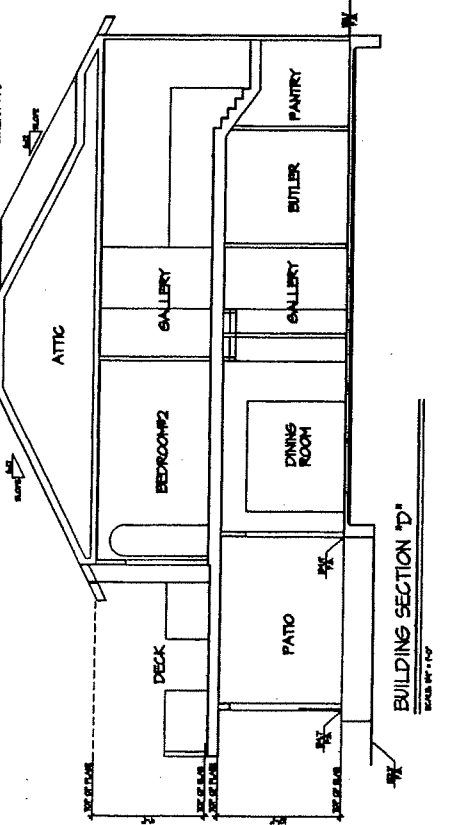
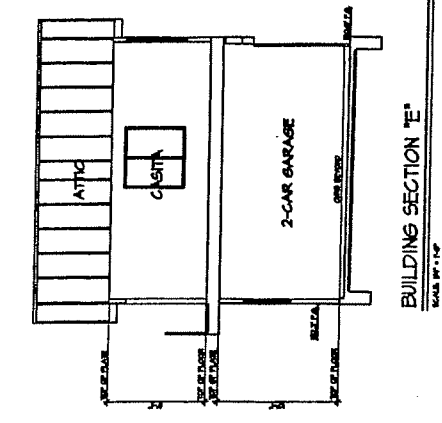
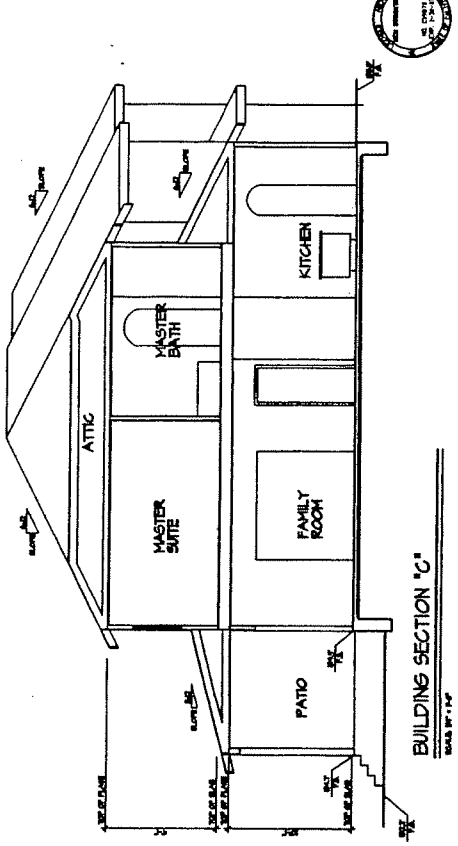
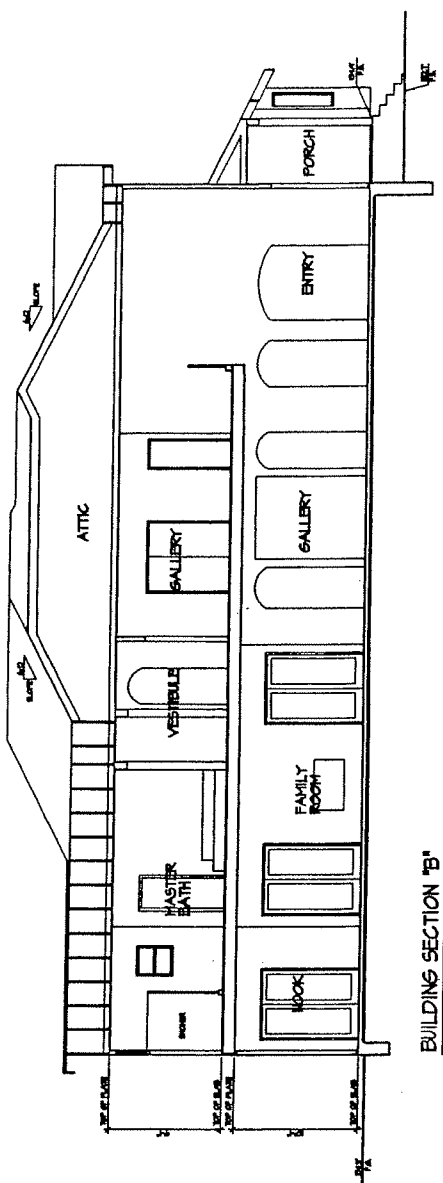
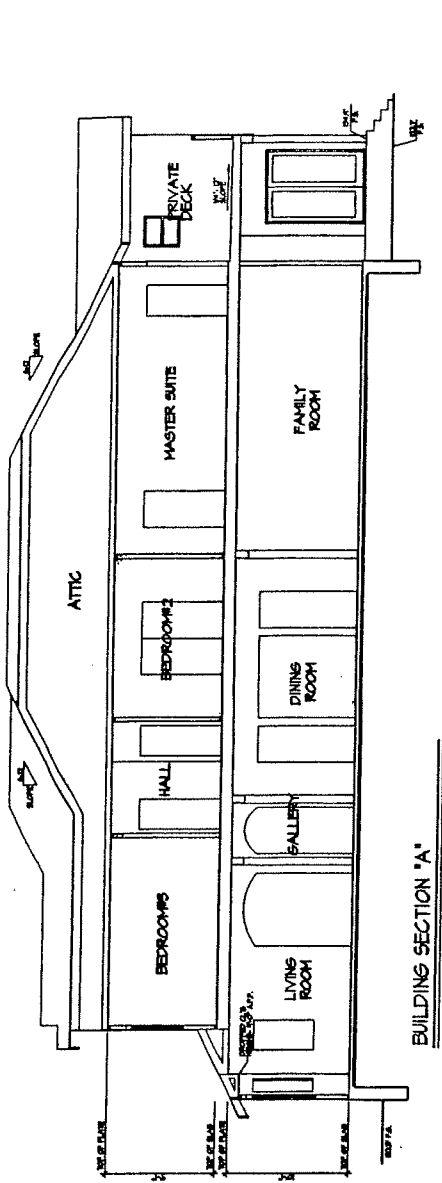


NOT FOR CONSTRUCTION





NOT FOR CONSTRUCTION



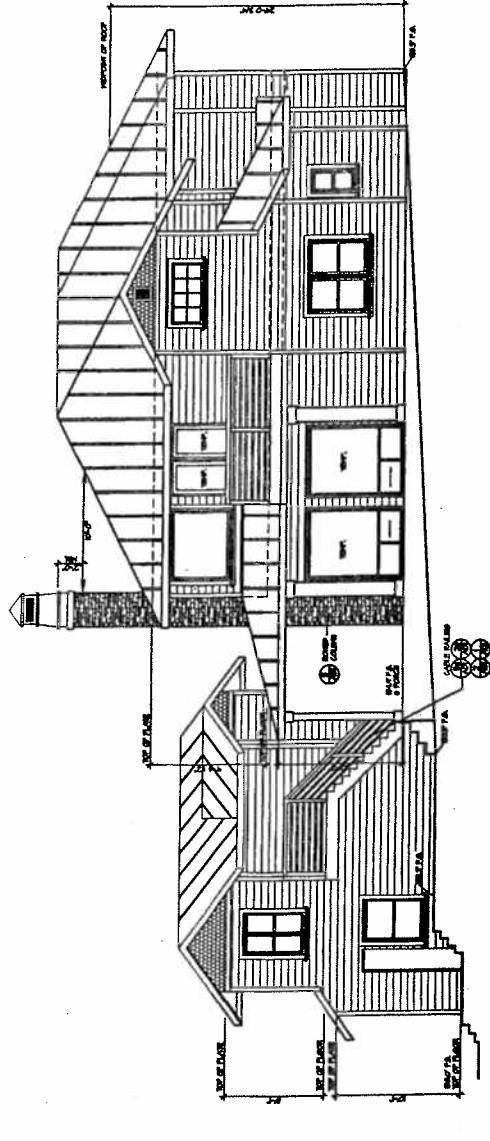


NOT FOR CONSTRUCTION

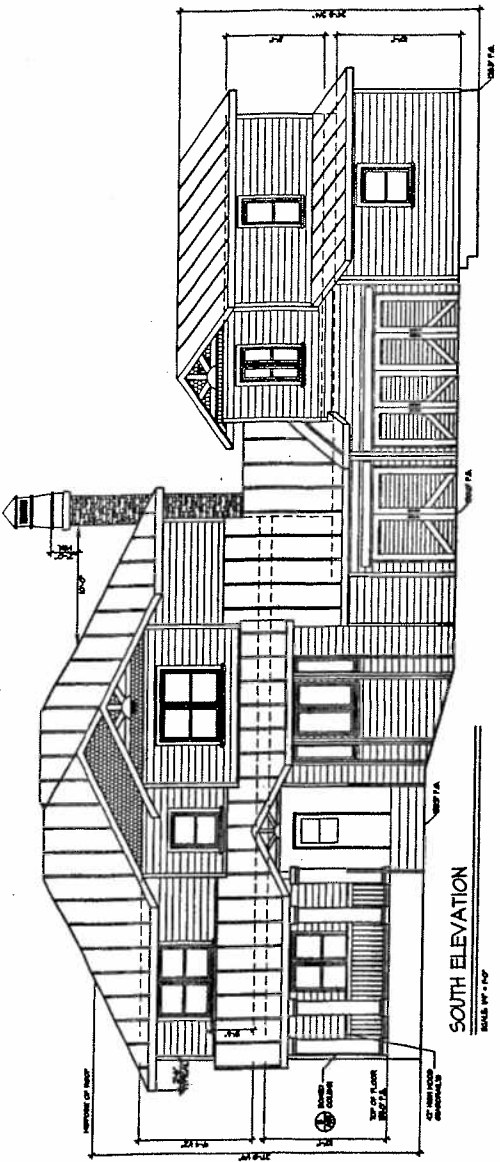
KEN STOCKTON /
BRUCE SHINDELUS
 ARCHITECTS
 3900 H AGENCY ROAD, P.O. BOX 244, CALABAZA, CA 92008
 (818) 888-4445 FAX: (818) 888-4605

EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 LAPORTE & BLAKINS DR.
 ASOORA HILLS, CA 91201

PROJECT NO.:
 DATE: 02/27/04
 DRAWN: K.S.
 REVISIONS:
 CHECKED:
 EXTERIOR ELEVATIONS



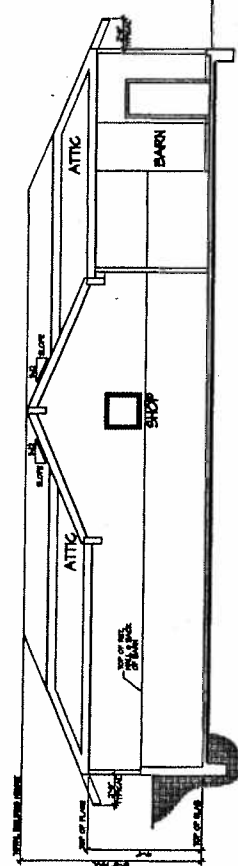
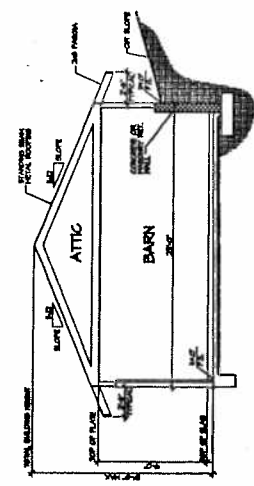
NORTH ELEVATION
 SCALE 1/8" = 1'-0"



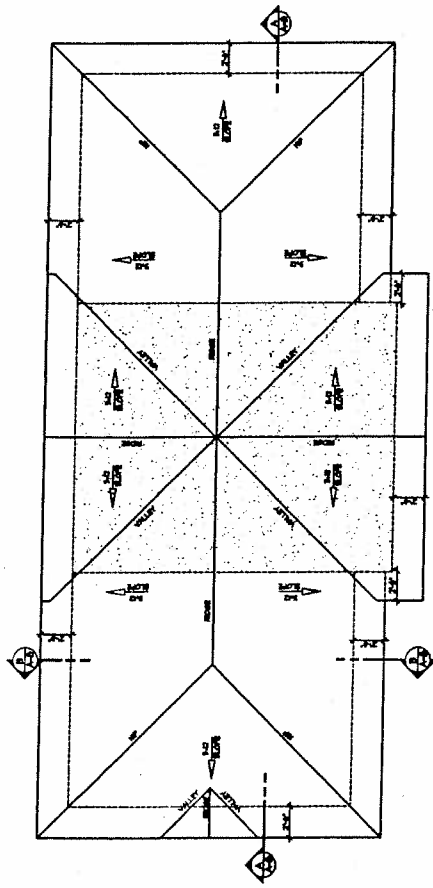
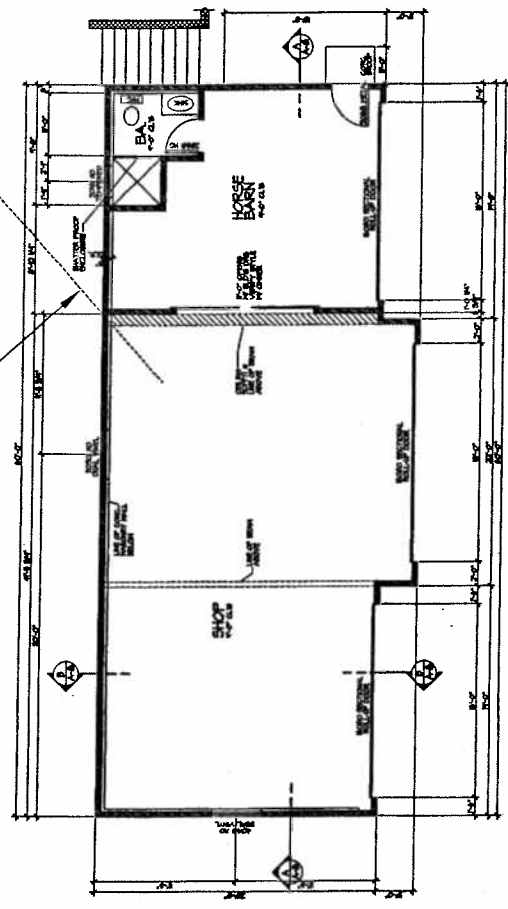
SOUTH ELEVATION
 SCALE 1/8" = 1'-0"



NOT FOR CONSTRUCTION



BARN FLOOR PLAN
SCALE 3/4" = 1'-0"



ROOF PLAN NOTES

1. PROVIDE ALL SYSTEMS AND CONNECTIONS AS INDICATED IN LOCATIONS AS SHOWN BY OWNER.
 2. ALL ROOFING SHALL BE PERFORMED BY A LICENSED ROOFER.
 3. ALL ROOFING SHALL BE ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE PROPER WATER RESISTANT BARRIER INSTALLATION AND FLASHING.
 4. PROVIDE ALL ROOFING MATERIALS WITH PROPER UNDERLAYMENT AND FLASHING.
- ATTIC VENTILATION**
- ATTIC VENTILATION SHALL BE PROVIDED TO THE ATTIC AND ALL ATTIC VENTILATION SHALL BE PROVIDED THROUGH THE ROOF AND NOT THROUGH THE WALLS.



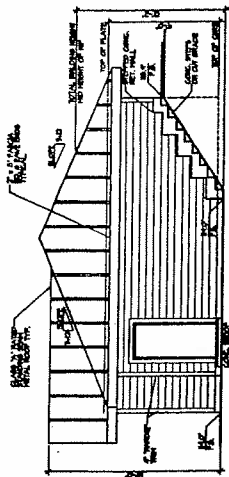
NOT FOR CONSTRUCTION

A-3

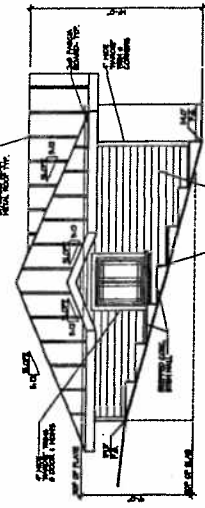
KEN STOCKTON /
BRUCE SHINDELUS
ARCHITECTS
 3800 N. AGOURA ROAD, STE 104, CALIFORNIA, CA 91301
 (818) 356-4444 FAX (818) 356-4403

MARK EXTENSION ELEVATIONS
 DRAWN: R. C. S.
 DATE: 04/20/08
 CHECKED: []

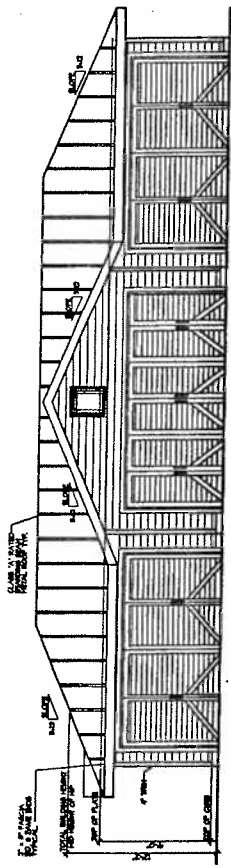
EDWARDS RESIDENCE
 PROJECT NAME:
 SINGLE FAMILY CUSTOM HOME
 140 NORTH 4 BLAKINS DR
 ASORA HILLS, CA 91301



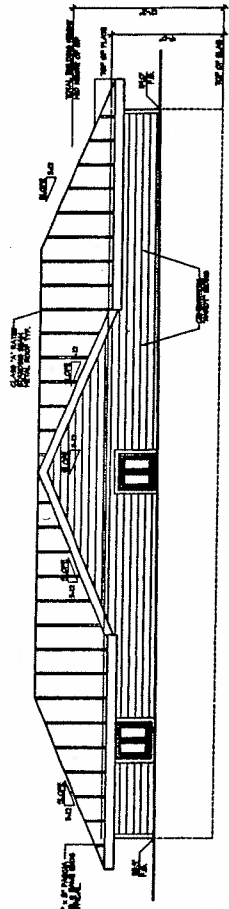
EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A-10

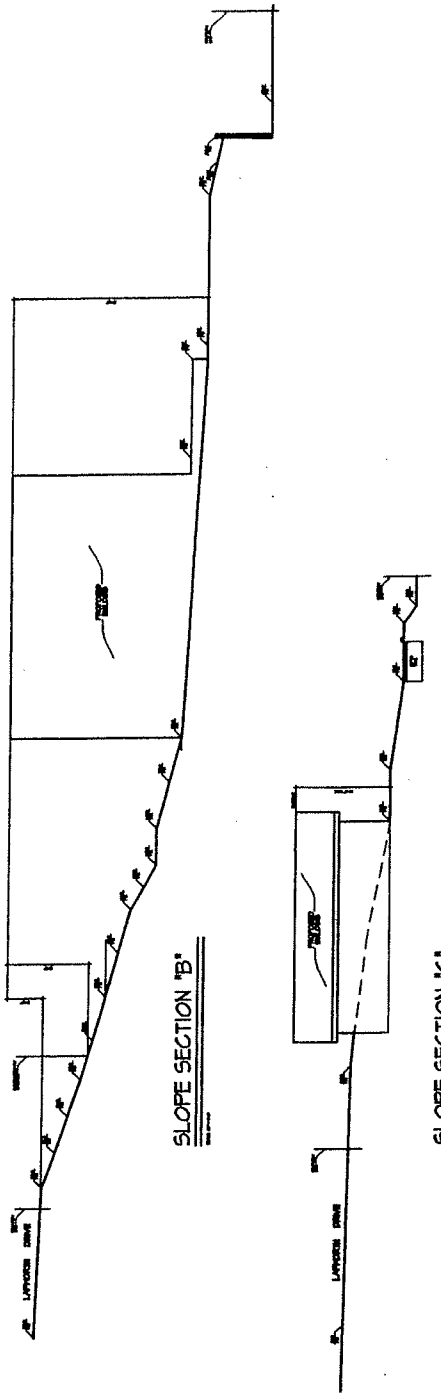


NOT FOR CONSTRUCTION

KEN STOCKTON /
BRUCE SHINDLUS
 ARCHITECTS
 3400 N. AGOURA ROAD, SUITE 200, CALABASAS, CA 91301
 (818) 898-1000 FAX (818) 898-1004

ARCHITECTURAL SITE PLAN
 DRAWN: K.S.S.
 DATE: 02/20/08
 SHEET NO. 10 OF 10

PROJECT NAME:
EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 CORNER OF LAFWORTH & BALKINS
 OLD ASOURA, CA 91301

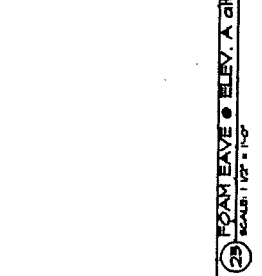
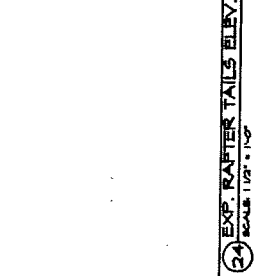
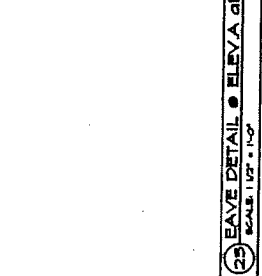
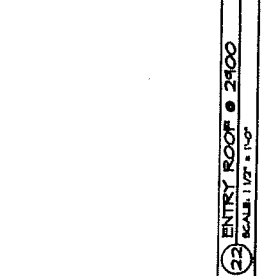
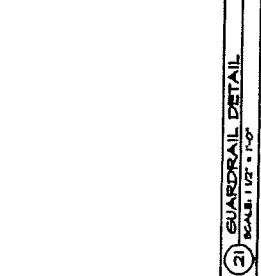
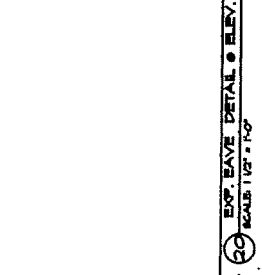
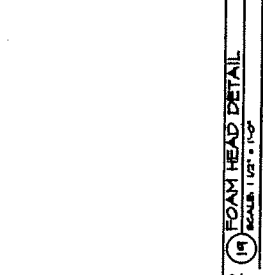
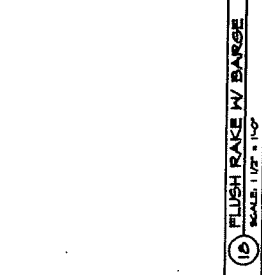
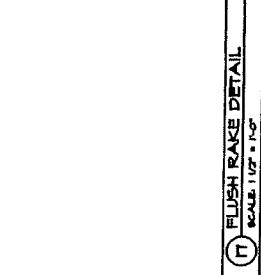
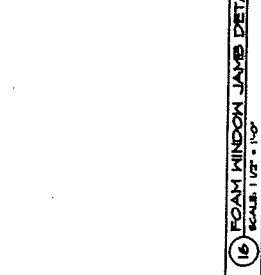
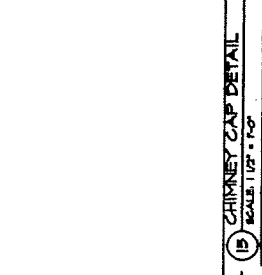
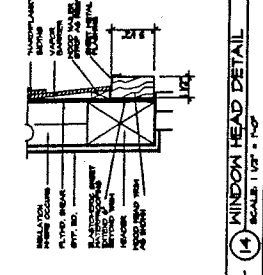
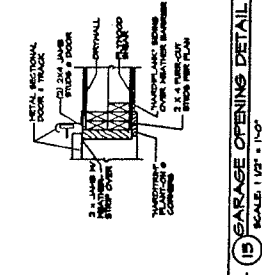
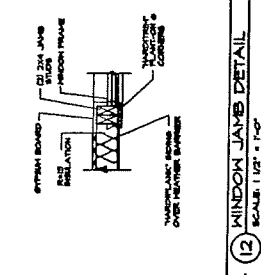
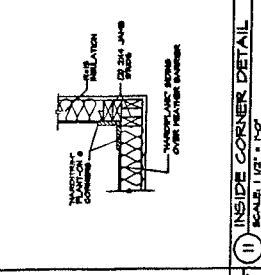
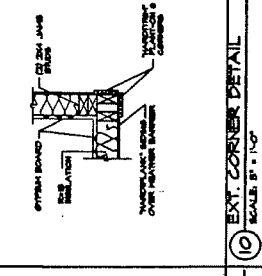
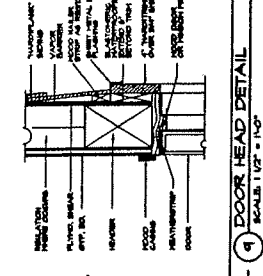
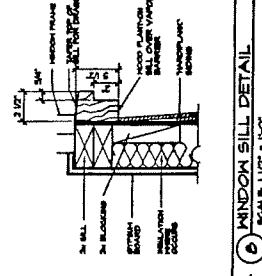
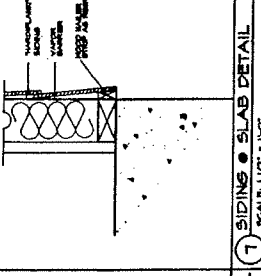
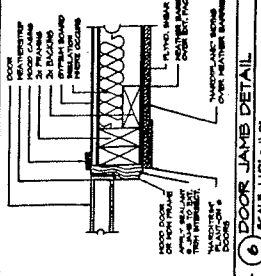
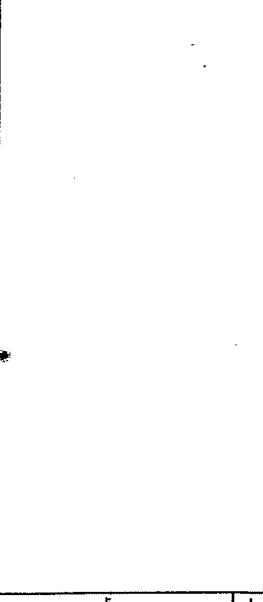
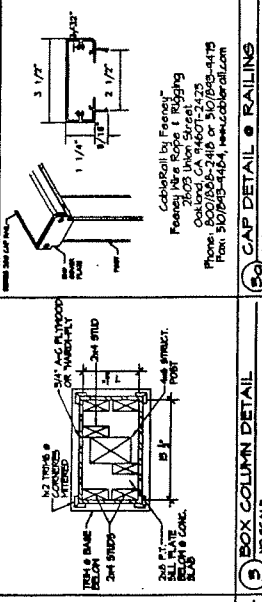
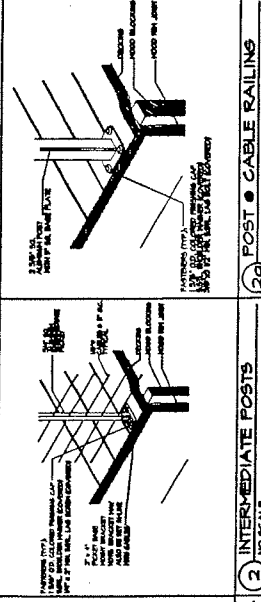
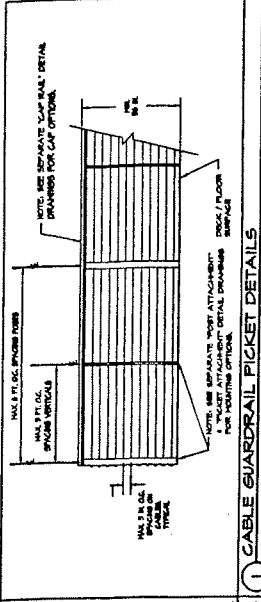


EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 LIVING & BREAKING ON
 MOONRA HILLS, CA 91011

ARCHITECTURAL DETAILS
 DRAWN: R. S.
 CHECKED: R. S.
 DATE: 02/27/08
 PROJECT: MOONRA HILLS

KEN STOCKTON/
 BRUCE SHINDLEUS
 ARCHITECTS
 2800 N. AURORA ROAD, SUITE 100, CAJON VALLEY, CA 92009
 (951) 844-1100 FAX: (951) 844-1105

SHEET NO.
D-1



21 GUARDRAIL DETAIL. SCALE: 1/2\"/>
 22 ENTRY ROOF. SCALE: 1/2\"/>
 23 EAVE DETAIL. SCALE: 1/2\"/>
 24 EXP. RAFTER TAILS ELEV. A. SCALE: 1/2\"/>
 16 FOAM WINDOW JAMB DETAIL. SCALE: 1/2\"/>
 17 FLUSH RAKE DETAIL. SCALE: 1/2\"/>
 18 FLUSH RAKE W/ BARGE. SCALE: 1/2\"/>
 19 FOAM HEAD DETAIL. SCALE: 1/2\"/>
 20 EXP. RAFTER TAILS ELEV. B. SCALE: 1/2\"/>
 5 DOOR JAMB DETAIL. SCALE: 1/2\"/>
 6 WINDOW SILL DETAIL. SCALE: 1/2\"/>
 7 WINDOW SILL DETAIL. SCALE: 1/2\"/>
 8 WINDOW SILL DETAIL. SCALE: 1/2\"/>
 9 DOOR HEAD DETAIL. SCALE: 1/2\"/>
 10 INSIDE CORNER DETAIL. SCALE: 1/2\"/>
 11 WINDOW JAMB DETAIL. SCALE: 1/2\"/>
 12 WINDOW JAMB DETAIL. SCALE: 1/2\"/>
 13 GARAGE OPENING DETAIL. SCALE: 1/2\"/>
 14 WINDOW HEAD DETAIL. SCALE: 1/2\"/>
 15 FOAM WINDOW JAMB DETAIL. SCALE: 1/2\"/>
 16 FLUSH RAKE DETAIL. SCALE: 1/2\"/>
 17 FLUSH RAKE W/ BARGE. SCALE: 1/2\"/>
 18 FLUSH RAKE W/ BARGE. SCALE: 1/2\"/>
 19 FOAM HEAD DETAIL. SCALE: 1/2\"/>
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 21 ENTRY ROOF. SCALE: 1/2\"/>
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 24 EXP. RAFTER TAILS ELEV. A. SCALE: 1/2\"/>

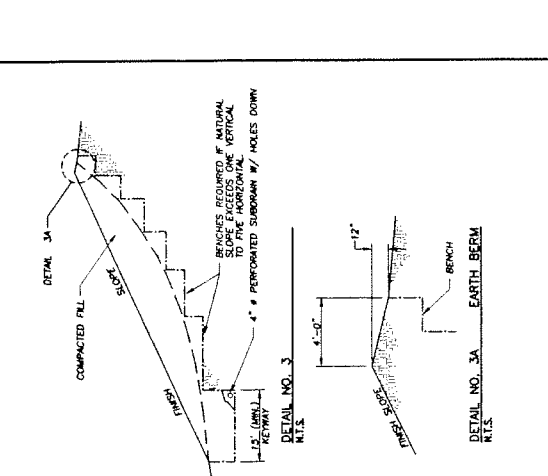
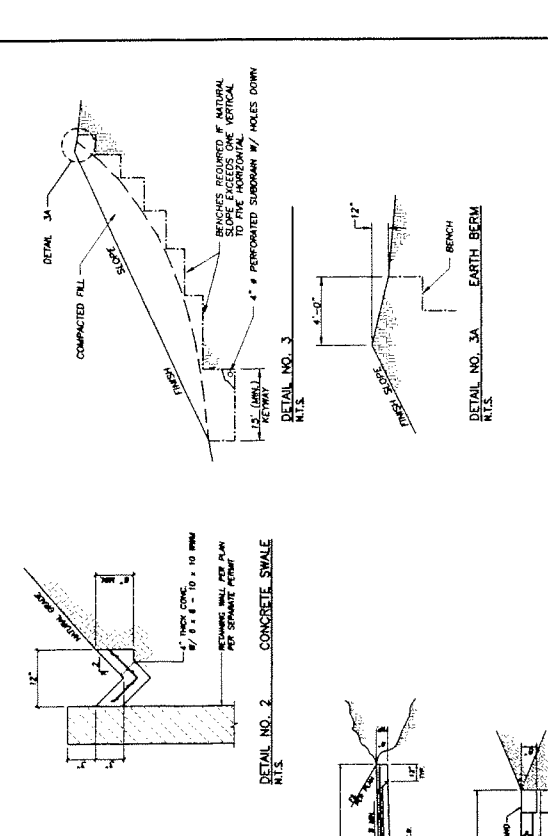
NOT FOR CONSTRUCTION

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY DEPARTMENTS AND AGENCY HAVING JURISDICTION OVER THE PROJECT.
3. ALL EXISTING MATERIAL SHALL BE OBTAINED TO A SITE APPROVED BY THE CITY. EXISTING MATERIAL SHALL BE STOCKPILED IN AN AREA APPROVED BY THE CITY AND SHALL BE COVERED WITH A TARP OR OTHER MEANS TO PREVENT POLLUTION OF THE SURROUNDING AREA.
4. THE CITY ENGINEER SHALL BE SUBMITTED TO THE APPROVAL OF THE CITY ENGINEER. THE CITY ENGINEER SHALL BE SUBMITTED TO THE APPROVAL OF THE CITY ENGINEER.
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16. THE CITY ENGINEER SHALL BE SUBMITTED TO THE APPROVAL OF THE CITY ENGINEER.

STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC STORMWATER POLLUTION CONTROL PLAN TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION. THE PLAN SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S STORMWATER POLLUTION CONTROL PLAN REQUIREMENTS.
2. THE STORMWATER POLLUTION CONTROL PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.
3. THE STORMWATER POLLUTION CONTROL PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.
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16. THE STORMWATER POLLUTION CONTROL PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION.



INSPECTION NOTES

1. THE REMITTOR OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT OF ANY INSPECTIONS REQUIRED BY THE CITY ENGINEER.
2. ALL INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
3. ALL INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
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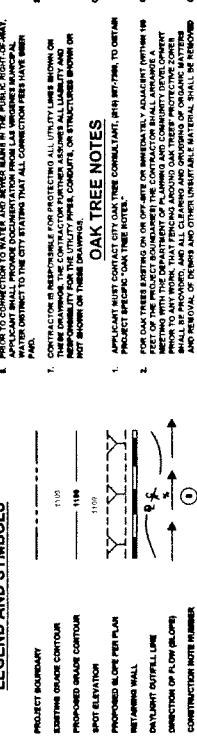
PUBLIC UTILITIES / SERVICES

- WATER: LAS VEGAS MUNICIPAL WATER DISTRICT, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- ELECTRICITY: SOUTHERN CALIFORNIA EDISON, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- TELEPHONE: SOUTHERN CALIFORNIA EDISON, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- GAS: SOUTHERN CALIFORNIA GAS, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- CABLE: SBC PACIFIC, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- CABLE: SOUTHERN CALIFORNIA GAS, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222
- CABLE: SOUTHERN CALIFORNIA GAS, 1000 S. TROST AVENUE, SUITE 100, LAS VEGAS, NV 89102, (702) 733-2222

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING & DRAINAGE PLAN
3	DETAIL SHEET
4	SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY
5	EROSION CONTROL PLAN COVER
6	EROSION CONTROL PLAN
7	EROSION CONTROL PLAN ATTACHMENTS

LEGEND AND SYMBOLS



RECORD DRAWING STATEMENT

I, THE UNDERSIGNED, ENGINEER, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER AND THAT I HAVE PREPARED THE ABOVE DRAWINGS AND SPECIFICATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF THE STATE OF CALIFORNIA.

DATE: _____

ENGINEER: _____

OWNER

NAME: STEVE & MARJORIE EDWARDS

ADDRESS: 1815 ADMIRAL COURT

REPRESENTATIVE: STEVE EDWARDS

TELEPHONE: (916) 331-7006

CIVIL ENGINEER

NAME: L.C. ENGINEERING GROUP, INC.

ADDRESS: 880 PRICE COURT, SUITE 101, THOUSAND OAKS, CA 91320

REPRESENTATIVE: STEVE EDWARDS

TELEPHONE: (818) 381-1148

REPORT DATE: 05-18-2006

UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-477-2880

TWO WORKING DAYS BEFORE YOU DIG

AGOURA HILLS

CITY OF AGOURA HILLS

APN # 2055-022-072

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT: 5M CY

ESTIMATED FILL: 22M CY

ESTIMATED OVER EXCAVATION: 15M CY

15 DAYS PRIOR TO EXPORTING MATERIAL

BENCHMARK

DESCRIPTION: SEE NO. _____

ELEVATION: _____

SURVEY DATE: 05-18-2006

SURVEY PREPARED BY: L.C. ENGINEERING GROUP, INC. (P) 818-381-1148

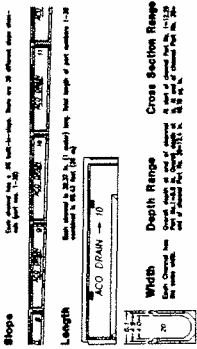
SOILS APPROVAL

THE PLAN HAS BEEN REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY ENGINEER.

DATE: _____

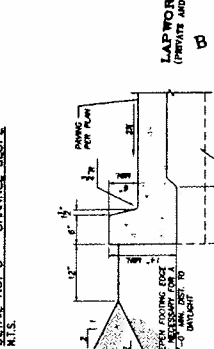
ENGINEER: _____

CHANNEL-SLOPE® NW100 Series Channels Sloped Channels

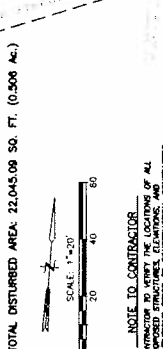


Depth At End of Each Channel

Channel Size	10'	20'	30'	40'	50'	60'	70'	80'	90'	100'
10"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
12"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
15"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
18"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
24"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
27"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
30"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
33"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
36"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
39"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
42"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
45"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
48"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
51"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
54"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
57"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
60"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
63"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
66"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
69"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
72"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
75"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
78"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
81"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
84"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
87"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
90"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
93"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
96"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
99"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
102"	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00



LEGAL DESCRIPTION:
APN # 2025-022-073
TOTAL DISTURBED AREA: 22,045.08 SQ. FT. (0.506 AC.)

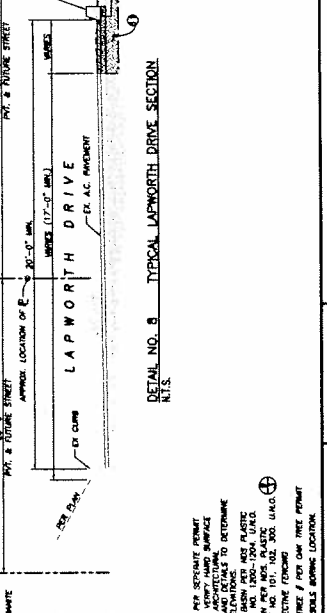
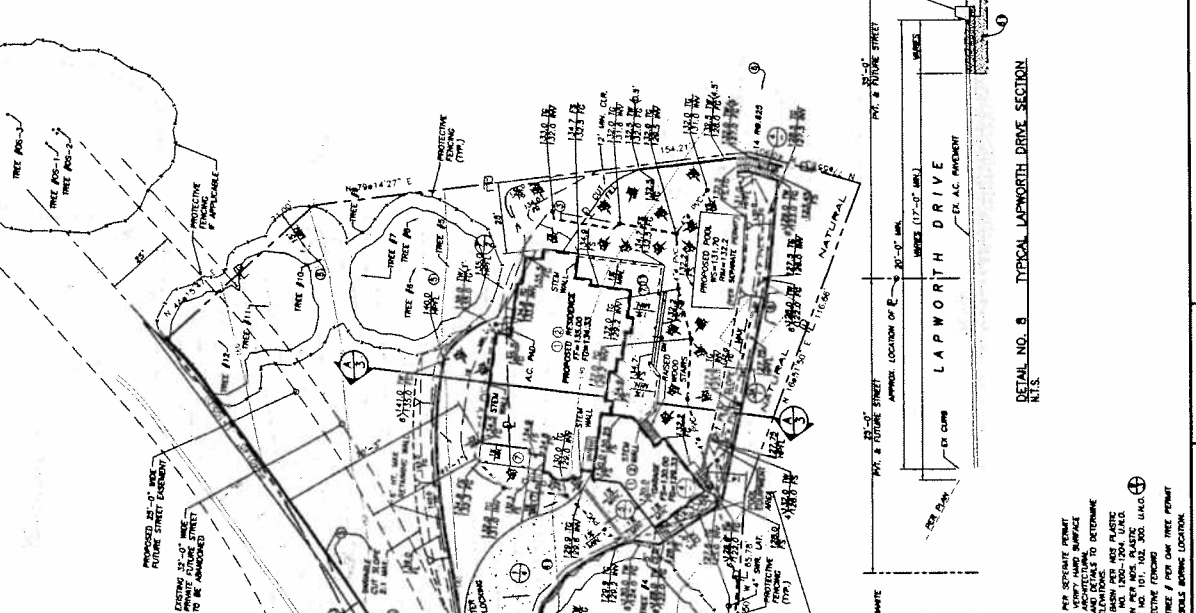
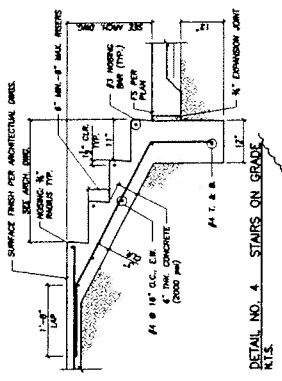


NOTE TO CONTRACTOR:
CONTRACTOR TO VERIFY THE ACCURACY OF ALL DIMENSIONS, UTILITIES, ELEVATIONS, AND CONDITIONS TO CONTACT PROJECT ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

UNDERGROUND SERVICE ALERT
CALL TOLL FREE
1-800-271-1400
TWO WORKING DAYS BEFORE YOU DIG

ADDITIONAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY/COUNTY STANDARDS AS WELL AS ANY OTHER APPLICABLE REGULATIONS.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS.



CONSTRUCTION NOTES:

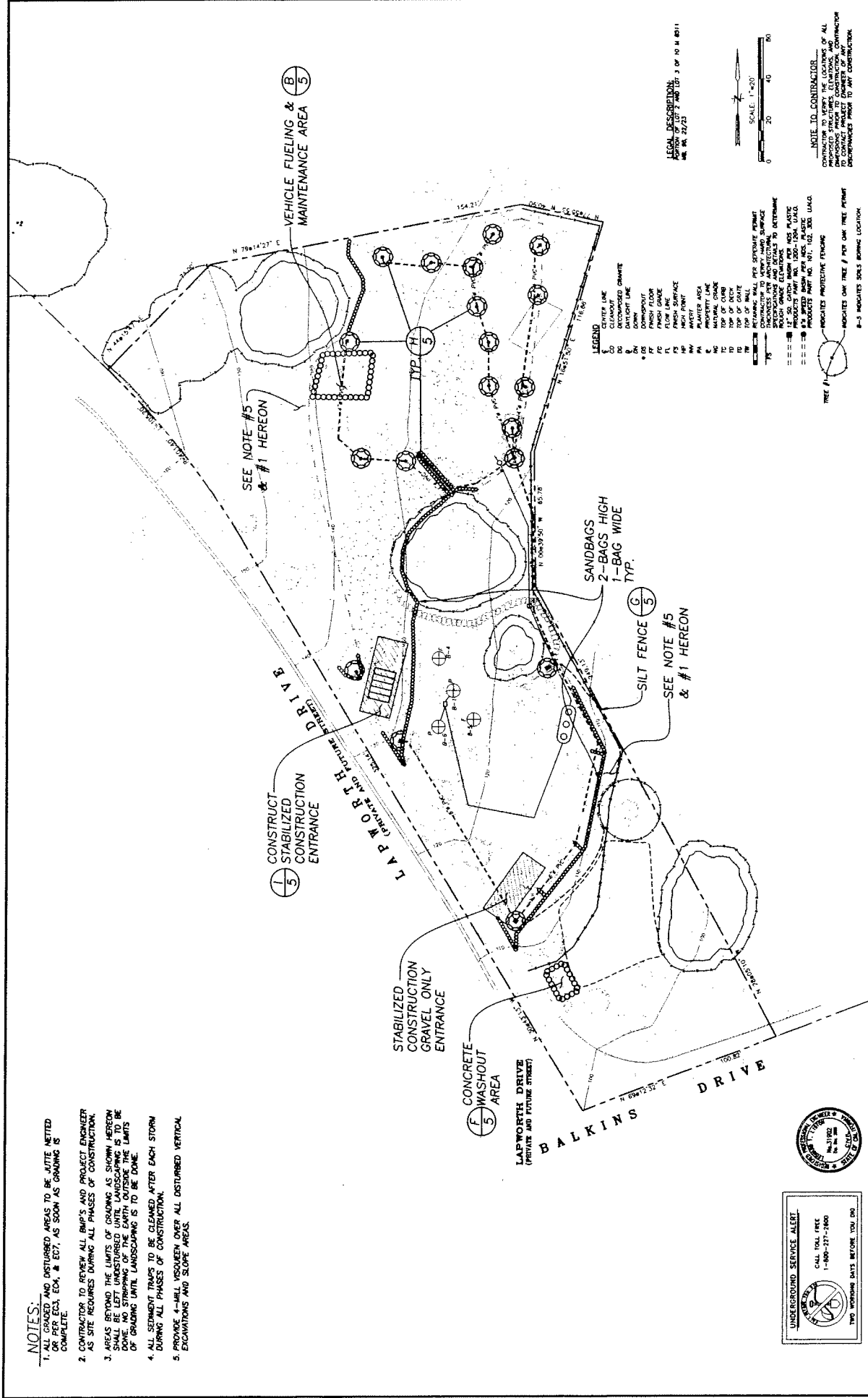
1. CONTRACTOR SHALL VERIFY THE THICKNESS OF ALL EXISTING CONCRETE AND REINFORCEMENT.
2. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
3. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
4. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
5. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
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8. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
9. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.
10. ALL EXISTING CONCRETE SHALL BE REINFORCED WITH #4 BARS AT 12" ON CENTER.

REMOVED BY:
IC ENGINEERING GROUP, INC.
PROJECT ENGINEER: [Signature]DATE: [Date]

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JETTED, NETTED OR PER ECL, ECL, & ECL, AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF CLOSING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROPE 4--MILL VISEVERN OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.



AGOURA HILLS

EROSION CONTROL PLAN
 5852 LAPWORTH DR.
 AGOURA HILLS, CA. 91301

PROJECT NO. _____ SHEET J OF J

CITY OF AGOURA HILLS APPROVAL

PREPARED BY: **IC ENGINEERING GROUP, INC.**
 PROJECT ENGINEER: _____ DATE: _____

REV.	SYMBOL	DESCRIPTION OF CHANGE	DATE

UNDERGROUND SERVICE ALERT
 CALL TOLL FREE 1-800-271-2865
 TWO WORKING DAYS BEFORE YOU DIG

AGOURA HILLS ENGINEERING GROUP
 1100 N. GARDEN ST. SUITE 100
 AGOURA HILLS, CA 91301
 (626) 291-1100

LOCAL SWPPP BMP SELECTION WORKSHEET

BMP DESCRIPTION	WILL BMP BE USED?		COMMENTS
	YES	NO	
SITE PLANNING CONSIDERATIONS			
SCHEDULING			
MAINTENANCE OF EXISTING VEGETATION			
CONSTRUCTION PRACTICES			
DEMATERING OPERATIONS			
PAVING OPERATIONS			
STRUCTURE CONSTRUCTION & PAINT			
DUST CONTROL			
VEHICLE & EQUIPMENT MANAGEMENT			
VEHICLE & EQUIP. CLEANING			
VEHICLE & EQUIP. FUELING			
VEHICLE & EQUIP. MAINTENANCE			
TRACKING CONTROL			
STABILIZED CONSTRUCTION ENTRANCE			
CONTRACTOR TRAINING			
EMPLOYEE/SUBCONTRACTOR TRAINING			
MATERIAL MANAGEMENT			
MATERIAL DELIVERY AND STORAGE			
MATERIAL USE			
SOIL PREVENTION AND CONTROL			
WASTE MANAGEMENT			
SOLID WASTE MANAGEMENT			
HAZARDOUS WASTE MANAGEMENT			
CONTAMINATED SOIL MANAGEMENT			
CONCRETE WASTE MANAGEMENT			
SANITARY/SEPTIC WASTE MANAGEMENT			

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM ON SITE SELF-INSPECTION CHECKLIST

TO BE ATTACHED TO THE LOCAL SWPPP PROJECT BY: _____

PROJECT ADDRESS: NE CORNER OF LAPWORTH DR. & BALKINS DR.

CONTRACTOR: _____

DATE: _____

CHECK 'YES' OR 'NO' OR 'N/A' IF NOT APPLICABLE

YES NO N/A

- HAS THERE BEEN AN ABSENCE OF RAIN SINCE THE LAST INSPECTION?
- ARE ALL SEDIMENT BARRIERS (E.G., SANDBAGS, STRAW BALES, AND SILT CHECKS) PROPERLY INSTALLED AND MAINTAINED TO PREVENT EROSION AND FUNCTIONING PROPERLY?
- IF PRESENT, ARE ALL EXPOSED SLOPES PROTECTED FROM EROSION THROUGH THE IMPLEMENTATION OF ACCEPTABLE SOIL STABILIZATION PRACTICES (APPLICABLE)?
- IF PRESENT, ARE ALL SEDIMENT TRAPS BASICS INSTALLED AND FUNCTIONING PROPERLY (IF APPLICABLE)?
- ARE ALL MATERIAL HANDLING AND STORAGE AREAS (E.G., SANDBAGS, STRAW BALES, AND SILT CHECKS) PROPERLY INSTALLED AND MAINTAINED TO PREVENT EROSION AND FUNCTIONING PROPERLY?
- ARE ALL EQUIPMENT STORAGE AND MAINTENANCE AREAS REASONABLY CLEAN AND FREE OF SPILLS, LEAKS OR ANY OTHER DELETERIOUS MATERIALS?
- ARE ALL MATERIALS AND EQUIPMENT PROPERLY COVERED?
- ARE ALL EXTERNAL DISCHARGE POINTS (I.E., DRAINAGE DITCHES, DRAINAGE CANALS, OR OTHER DELETERIOUS MATERIALS) REASONABLY CLEAN AND FREE OF SPILLS, LEAKS OR ANY OTHER DELETERIOUS MATERIALS?
- ARE ALL INTERNAL DISCHARGE POINTS (I.E., STORM DRAIN INLETS) PROVIDED WITH INLET PROTECTION FREE OF ANY SIGNIFICANT EROSION OR SEDIMENT TRANSPORT?
- ARE ALL BMPs IDENTIFIED ON THE PLAN INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS FOR THE PLAN?
- ARE ALL STRUCTURAL CONTROL PRACTICES IN GOOD REPAIR AND MAINTAINED IN FUNCTIONING ORDER?
- ARE ALL ON-SITE TRAFFIC ROUTES, TURNING AND STORAGE OF EQUIPMENT AND SUPPLIES RESTRICTED TO AREAS DESIGNATED IN THE PLAN FOR THOSE USES?
- ARE ALL LOCATIONS OF TEMPORARY SOIL STOCKPILES OR CONSTRUCTION MATERIALS IN APPROVED AREAS ARE ALL SEEDED OR LANDSCAPED AREAS PROPERLY MAINTAINED?
- ARE SEDIMENT TREATMENT CONTROLS IN PLACE AT DISCHARGE POINTS FROM THE SITE?
- ARE SLOPES FREE OF SIGNIFICANT EROSION?
- ARE ALL POINTS OF INGRESS AND EGRESS FROM THE SITE PROVIDED WITH STABILIZED CONSTRUCTION ENTRANCES?
- IS SEDIMENT, DEBRIS, OR MUD BEING CLEARED FROM ROADWAYS AT INTERSECTIONS WITH SITE ACCESS ROADS?
- DOES THE PLAN REFLECT CURRENT SITE CONDITIONS?

IL ATTACHMENTS TO LOCAL SWPPP
 CERTIFICATION STATEMENT TO THE RESIDUE OF A BUILDING OR GRADING PROJECT. THE OWNER MUST BE SUBMITTED BY THE OWNER OR AUTHORIZED AGENT OF THE OWNER. THE CERTIFICATION STATEMENT SHALL STATE THAT THE CONSTRUCTION PROJECT IS BEING CONDUCTED IN ACCORDANCE WITH THE LOCAL SWPPP. ATTACHMENT 1)
 GENERAL NOTES (ATTACHMENT 2)
 SELF INSPECTION TO ENSURE THAT BMPs ARE PROPERLY IMPLEMENTED AND FUNCTIONING EFFECTIVELY AND TO IDENTIFY MAINTENANCE AND REPAIR NEEDS. INSPECTIONS SHALL BE RECORDED ON THE ATTACHED FORM AND MADE AVAILABLE TO CITY INSPECTORS WHEN REQUESTED. (ATTACHMENT 3)
 SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE PUBLICWAYS. ACCIDENTAL DEPOSITIONS MUST BE SHEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
 AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE LOCAL SWPPP AND THE REQUIREMENTS FOR THE LOCAL SWPPP. I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: _____ DATE: _____

SIGNATURE: _____

(OWNER OR AUTHORIZED AGENT OF THE OWNER)

INSPECTION LOG

DATE: _____

TIME: _____

INSPECTOR: _____

TYPE OF INSPECTION: _____

ROUTE: _____

PRE-START: _____

POST-START: _____

OBSERVATIONS: _____

DATE: _____

TIME: _____

INSPECTOR: _____

TYPE OF INSPECTION: _____

ROUTE: _____

PRE-START: _____

POST-START: _____

OBSERVATIONS: _____

DATE: _____

TIME: _____

INSPECTOR: _____

TYPE OF INSPECTION: _____

ROUTE: _____

PRE-START: _____

POST-START: _____

OBSERVATIONS: _____

DATE: _____

TIME: _____

INSPECTOR: _____

TYPE OF INSPECTION: _____

ROUTE: _____

PRE-START: _____

POST-START: _____

OBSERVATIONS: _____

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ROUTE: _____

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POST-START: _____

OBSERVATIONS: _____

DATE: _____

TIME: _____

INSPECTOR: _____

TYPE OF INSPECTION: _____

ROUTE: _____

PRE-START: _____

POST-START: _____

OBSERVATIONS: _____

DATE: _____

TIME: _____

INSPECTOR: _____

TYPE OF INSPECTION: _____

DEPARTMENT OF BUILDING AND SAFETY
 CITY OF AGOURA HILLS
 STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM
 EFFECTIVE AUGUST 3, 1999
 PRIORITY PROJECTS

THIS HANDBOOK IS TO PROVIDE ASSISTANCE FOR APPLICANTS TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL SWPPP. THE LOCAL SWPPP IS A DOCUMENT CLASSIFIED AS A PRIORITY PROJECTS ARE:
 • SITES OF GREATER THAN TWO ACRES BUT LESS THAN FIVE ACRES OF DEVELOPED OR UNDEVELOPED LAND.
 • LOCATED IN ENVIRONMENTAL SENSITIVE AREAS OR LOCATED IN DESIGNATED HILLSIDE AREAS.
 THE REQUIREMENT TO IMPLEMENT A STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM IS BASED UPON THE PRIMARY OBJECTIVES SET FORTH IN THE 1987 ACT, EACH MUNICIPALITY THROUGHOUT THE NATION WHICH DISCHARGE ITS STORM DRAIN SYSTEM INTO THE WATERS OF THE UNITED STATES IS REQUIRED TO OBTAIN A CURRENT APPROVED PERMIT ISSUED TO LOS ANGELES COUNTY AND 83 CITIES (INCLUDING THE CITY OF LOS ANGELES) BY THE LOS ANGELES REGIONAL WATER QUALITY CONTROL BOARD AND TO DEVELOP AND IMPLEMENT A LEVEL OF CONSTRUCTION ACTIVITIES FROM ENTERING THE STORM DRAIN SYSTEM.

REQUIREMENTS
 1. LOCAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) APPROXIMATELY LAST PREPARE AND SUBMIT A LOCAL STORM WATER POLLUTION PREVENTION PLAN TO THE LOCAL SWPPP IS TO SHOW ALL BEST MANAGEMENT PRACTICES (BMPs) NECESSARY TO PREVENT POLLUTION FROM EACH POLLUTANT SOURCE TO THE STORM DRAIN SYSTEM. A COPY OF THE LOCAL SWPPP SHALL BE ATTACHED TO THE FIELD SET OF PLANS FOR CONSTRUCTION.
 2. THE LOCAL SWPPP SHALL CONTAIN THE FOLLOWING:
 A BRIEF DESCRIPTION OF THE PROJECT;
 THE OWNER/DEVELOPER'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S);
 A LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE, AND ACTIVITIES AT THE PROJECT SITE;
 A SITE PLAN (A CONSTRUCTION OR SITE PLAN MAY BE USED) WITH THE FOLLOWING:
 • THE PROJECT BOUNDARY AND/OR LIMITS OF GRADING;
 • STRUCTURE(S) LOCATIONS WHERE CONSTRUCTION MATERIALS, VEHICLES, AND EQUIPMENT WILL BE STORED, USED, MAINTAINED, AND DISPOSED, ALONG WITH LOCATIONS OF STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK AREAS, EXISTING AND FINISH GRADES OF THE SITE;
 • THE LOCATION(S) WHERE RAINFALL FROM THE SITE MAY ENTER STORM DRAINAGE SYSTEMS (E.G., DRAINAGE DITCHES, DRAINAGE CANALS, OR OTHER DELETERIOUS MATERIALS);
 • LOCATION(S) OF SELECTED BMPs WHERE APPROPRIATE.

CERTIFICATION STATEMENT
 AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY, THE PROJECT CONTRACTOR IS AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MAINTAINED, AND OPERATED TO PREVENT EROSION AND TO BE APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.
 COMPLETED PLAN TO BE ATTACHED TO THE LOCAL STORM WATER POLLUTION PREVENTION PLAN.

PRINT NAME: _____ DATE: _____
 SIGNATURE: _____

PREPARED BY: _____ DATE: _____
 PROJECT ENGINEER: _____

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

DEPARTMENT OF BUILDING AND SAFETY
 MINIMUM REQUIREMENTS FOR CONSTRUCTION PROJECTS/
 THE FOLLOWING IS INTENDED AS A GUIDE TO THE CONSTRUCTION/GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL SITES CLASSIFIED AS DEVELOPMENT CONSTRUCTION PROJECTS.
 DEVELOPMENT CONSTRUCTION PROJECTS ARE DEFINED AS PROJECTS WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT AN ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA, MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING PRESENTATION (GR) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.
 ERODED SEDIMENTS AND OTHER SOLID WASTES MUST BE RETAINED, BASKET AND DRAINS, NATURAL DRAINAGE COURSE, OR WIND.
 STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
 FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATER. ALL APPROVED MATERIALS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. EXCESS CONCRETE MAY BE DISPOSED OF AS SOLID WASTE. CONCRETE WASTES MUST BE STORED IN A CONTAINER AND MUST BE DEPOSITED INTO A CONTAINER CAPABLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPOSAL BY WIND.

EROSION CONTROL ATTACHMENTS
 5052 LAPWORTH DR.
 AGOURA HILLS, CA. 91301
 PROJECT NO. _____ SHEET 1 OF 1
 CITY OF AGOURA HILLS ENGINEER

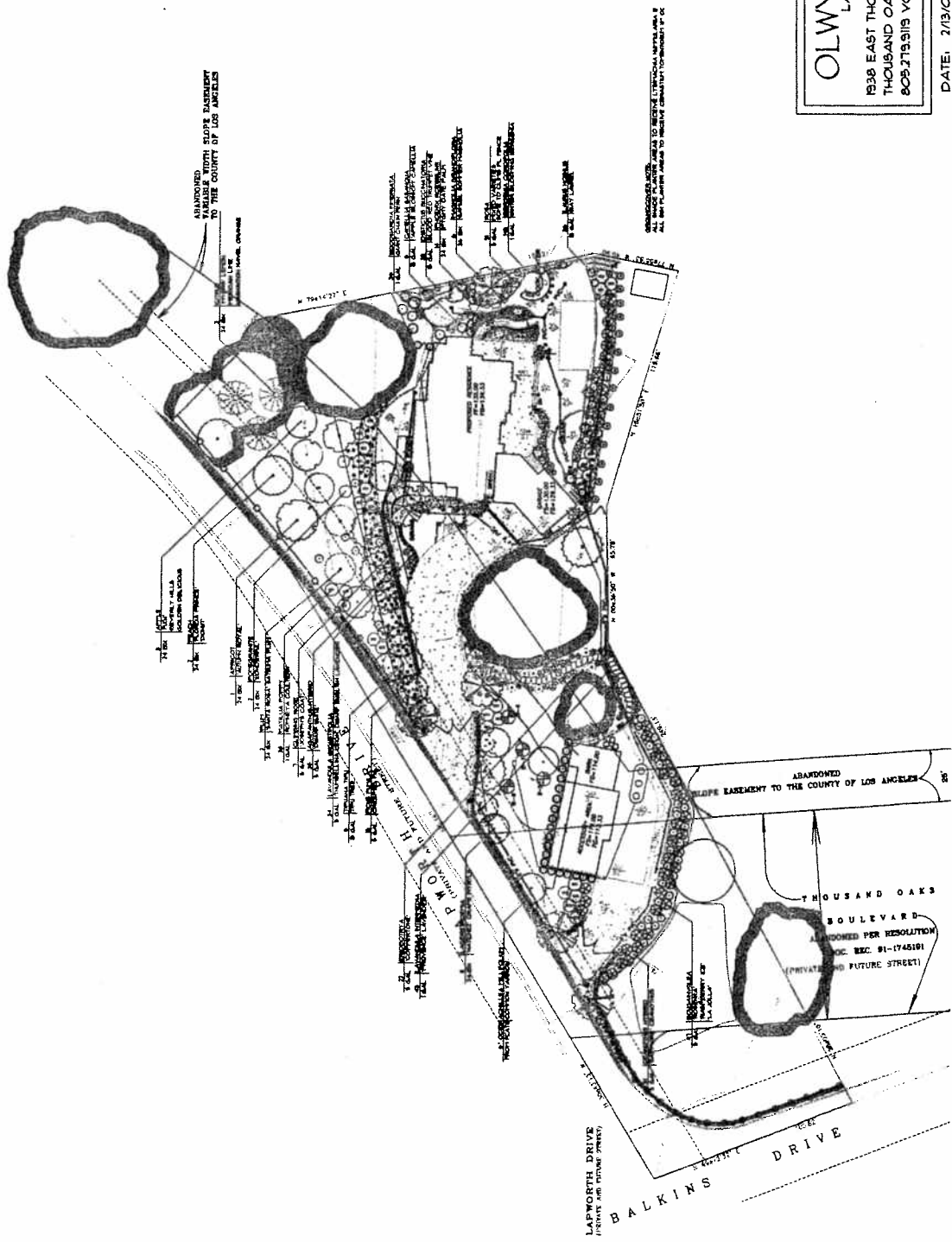


OLWYNKINGERY
LANDSCAPE DESIGN

1938 EAST THOUSAND OAKS BLVD, SUITE B
THOUSAND OAKS, CALIFORNIA 91360
805.279.9119 VOICE 805.434.8918 OFFICE

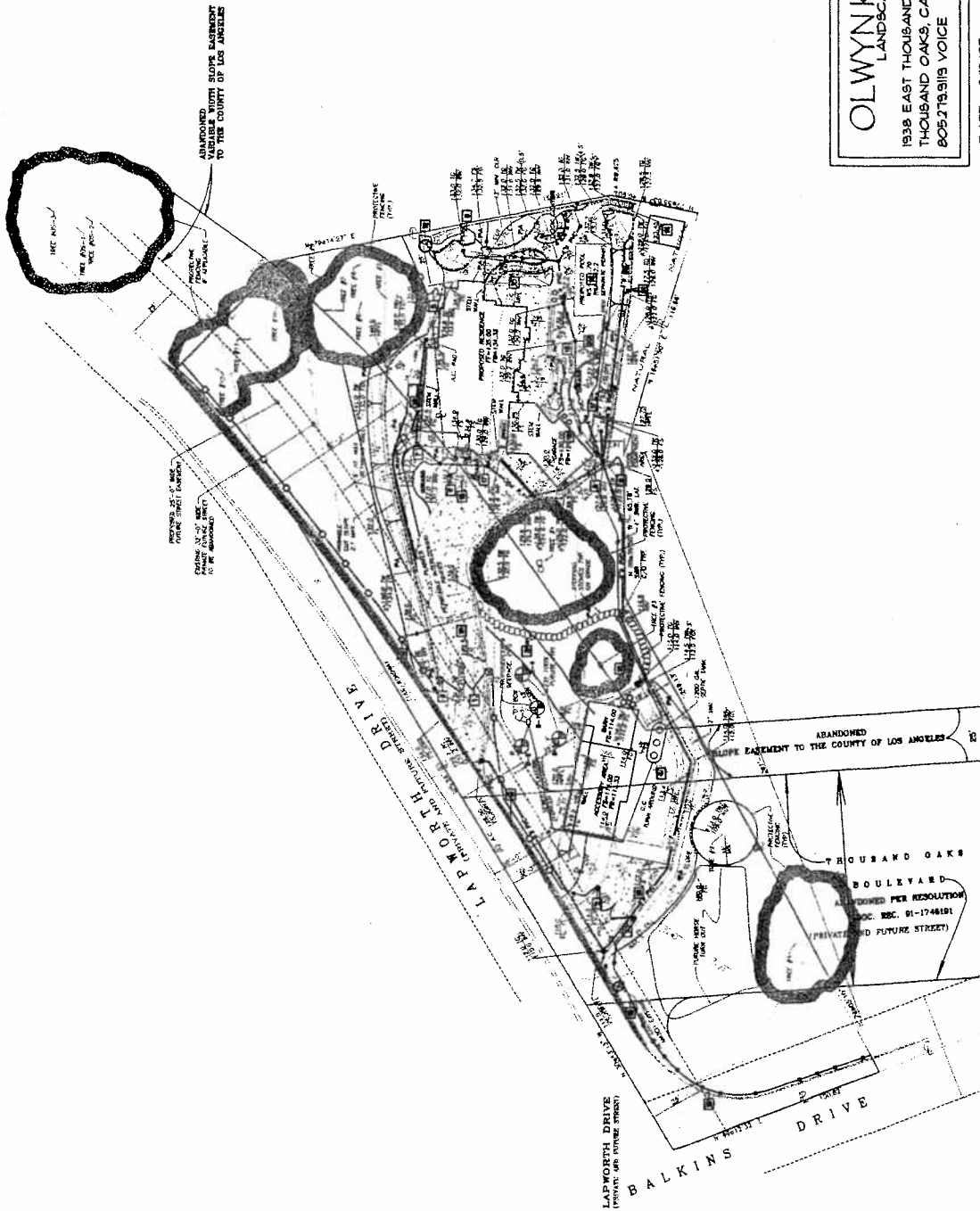
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REVISIONS: 6/13/06 10/10/06 2/13/07
PRINT DATE:

EDWARDS
L-1 LANDSCAPE



OLWYNKINGERY
 LANDSCAPE DESIGN
 1938 EAST THOUSAND OAKS BLVD. SUITE B
 THOUSAND OAKS, CALIFORNIA 91360
 805.278.9119 VOICE 805.494.9918 OFFICE

DATE: 2/13/07
 REVISIONS: 6/13/06 10/10/06 2/13/07
 PRINT DATE:
EDWARDS
L-2 CONSTRUCTION



LEGEND OF MATERIALS

1	ENTRY GATES, 18" WIDE AT CENTER POINT
2	DRIVE TO DRIVEWAY, 18" WIDE AT CENTER POINT
3	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
4	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
5	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
6	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
7	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
8	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
9	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
10	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
11	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
12	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
13	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
14	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
15	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
16	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
17	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
18	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
19	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
20	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
21	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
22	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
23	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
24	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
25	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
26	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
27	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
28	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
29	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
30	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
31	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
32	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
33	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
34	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
35	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
36	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
37	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
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42	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
43	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
44	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
45	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
46	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
47	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
48	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
49	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT
50	DRIVEWAY TO DRIVE, 18" WIDE AT CENTER POINT



DETAILS

L-3

SCALE: NTS

EDWARDS RESIDENCE
 952 LAPWORTH DRIVE APOURIA HILLS, CA 91301
 AP# 2055-022-073 LOT# PORTION OF 2 AND 3

OLWYKINGERY
 LANDSCAPE DESIGN

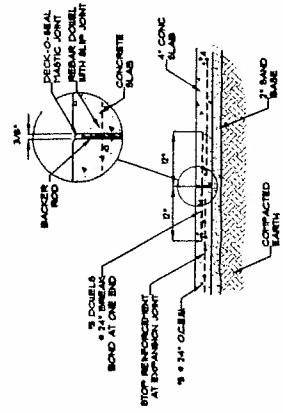
1938 EAST THOUSAND OAKS BLVD, SUITE B
 THOUSAND OAKS, CALIFORNIA 91360
 805.273.9319 VOICE 805.454.8918 OFFICE

DATE: 2/18/07

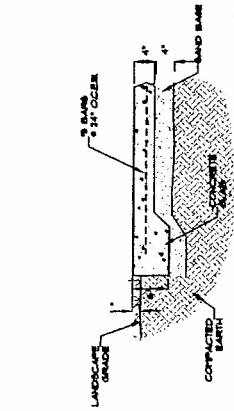
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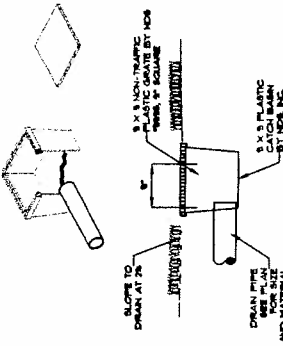
EDWARDS
 L-3 DETAILS



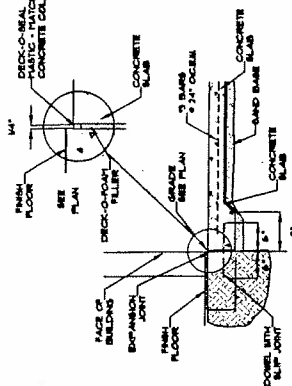
1 DECK DRAIN
 L-3



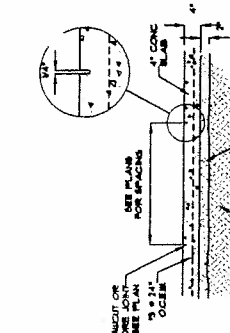
2 CATCH BASIN
 L-3



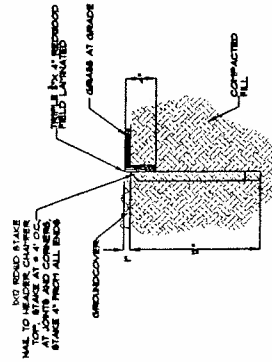
3 EDGE DETAIL AT PLANTING
 L-3



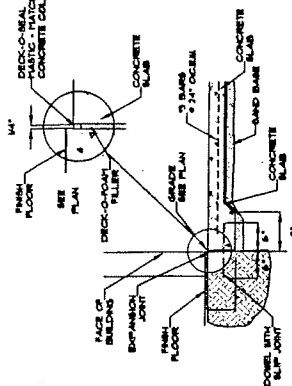
4 EXPANSION JOINT
 L-3



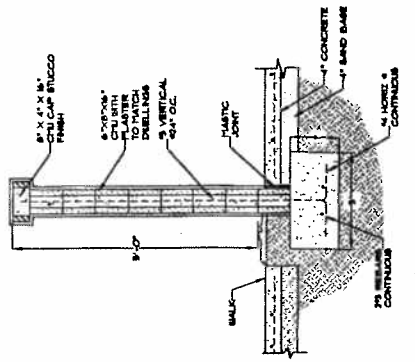
5 SAWCUT OR TOOLED JOINT
 L-3



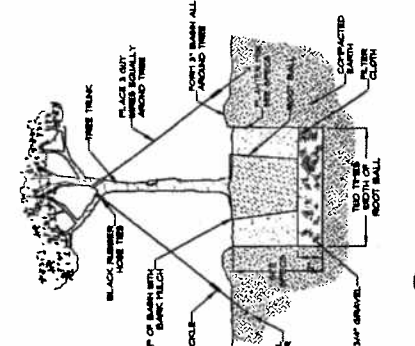
6 LAWN HEADER
 L-3



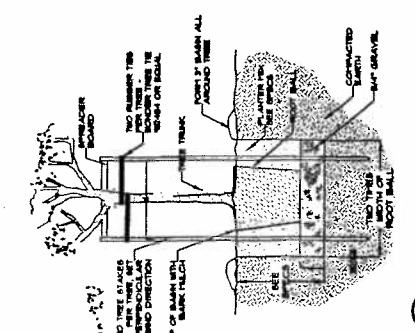
7 EDGE DETAIL AT BUILDING
 L-3



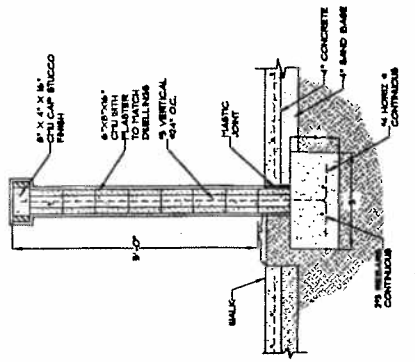
8 SHRUB PLANTING DETAIL
 L-3



9 TREE STAKING DETAIL
 L-3



10 TREE GUYING DETAIL
 L-3



11 GARDEN WALL
 L-3



GENERAL NOTES

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF STEEL BUILDINGS... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED... 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

CONCRETE UNIT MASONRY

- 1. CONCRETE UNIT MASONRY SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF CONCRETE UNIT MASONRY... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

CAST IN PLACE CONCRETE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF CAST IN PLACE CONCRETE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

IRON FENCE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF IRON FENCE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

BRIGATION SPECIFICATIONS

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRIGATION... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

PLANTING

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF PLANTING... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

POST MAINTENANCE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF POST MAINTENANCE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

SWIMMING POOL AND SPA

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF SWIMMING POOL AND SPA... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

CARPENTRY

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF CARPENTRY... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

CAST IN PLACE CONCRETE

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POST MAINTENANCE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF POST MAINTENANCE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

EDWARDS RESIDENCE

1932 LAPWORTH DRIVE AGOURA HILLS, CA 91301
APN# 2055-022-013 LOT# PORTION OF 2 AND 3

OLWYN KINGERY
LANDSCAPE DESIGN
1938 EAST THOUSAND OAKS BLVD. SUITE B
THOUSAND OAKS, CALIFORNIA 91360
805.218.9119 VOICE 805.454.9318 OFFICE

DATE: 2/18/07
REVISIONS: 6/13/06 10/10/06 2/18/07
PRINT DATE:

L-4 SPECIFICATIONS

EDWARDS

L-4 SPECIFICATIONS

GENERAL NOTES

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF SWIMMING POOL AND SPA... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

CARPENTRY

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF CARPENTRY... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

CAST IN PLACE CONCRETE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF CAST IN PLACE CONCRETE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

IRON FENCE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF IRON FENCE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

BRIGATION SPECIFICATIONS

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PLANTING

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF PLANTING... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...

POST MAINTENANCE

- 1. ALL WORKMANSHIP SHALL BE ACCORDING TO THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF POST MAINTENANCE... 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED...



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT F

**LETTER FROM OLD AGOURA
HOMEOWNERS ASSOCIATION**

DATE: August 4, 2006
RE: Review of Proposed Project
FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association
TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills
SUBJECT: 06-CUP-008 AND 06-OTP-017 (Edwards, Steve and Marguerite)

Description

Application to build a 4,950 sq. ft., 2 story single family house w/ a 908 sq. ft. attached 3-car garage, and a 1,502 sq. ft. barn/accessory structure.

Comment

The architecture of the house, with its wrap-around porches and metal roof, evokes a Western style of rural architecture and is well-suited to the neighborhood. The house and accessory structure have been set back from the streets and turned at angles to them, a placement that will help to create a sense of space between buildings. Taken together, the size of house and accessory structure are at the limit of what the Committee considers appropriate for the neighborhood, but the Committee also finds the scale acceptable. The accessory structure, whatever its use, reads architecturally as a Western barn and should be easily converted to horse-keeping as it is integrated with a set-aside for a future corral.

We are happy to recommend this project.

Should you have questions about these comments please contact Robert Evren, Chair, Planning and Zoning Committee, Old Agoura Homeowners Association: 865-9003, 448-2556 cell, robtevren@aol.com.

We hope this is of help to you.

CC: Valerie Darbouze, Assistant Planner



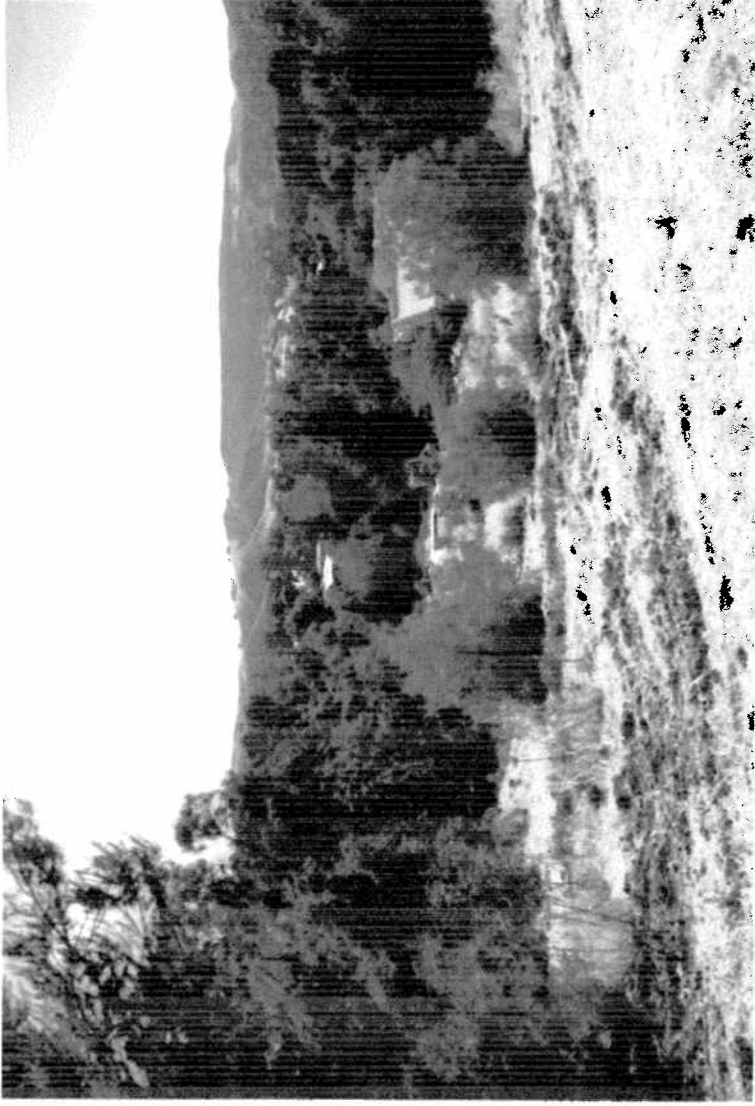
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

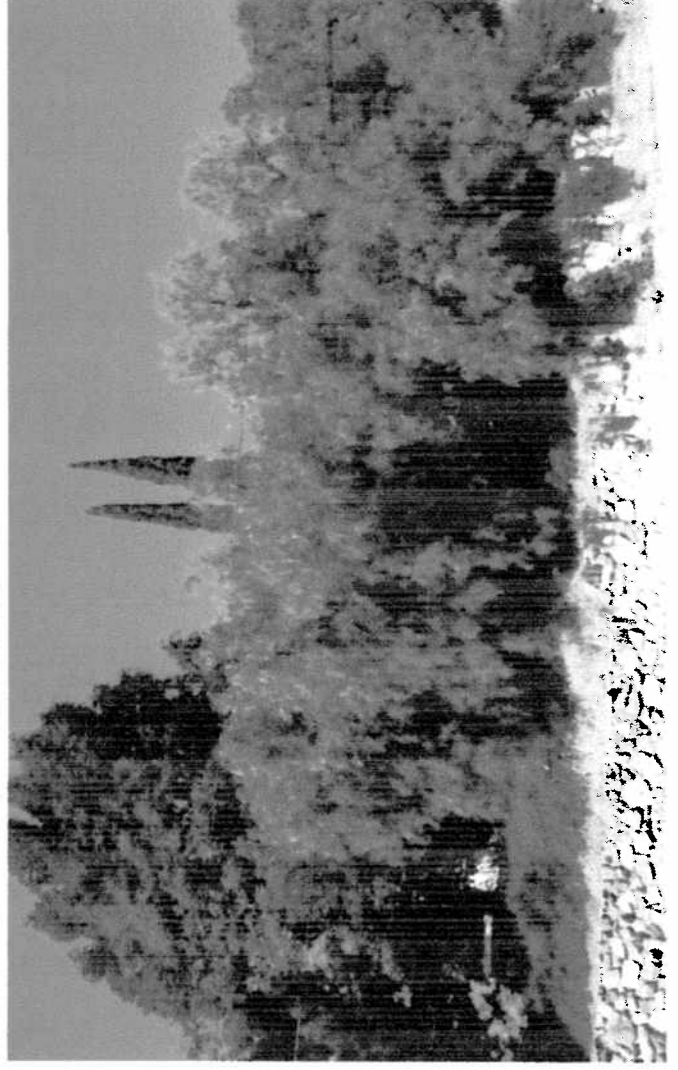
EXHIBIT G

**PHOTOGRAPHS OF THE SITE AND
SURROUNDINGS**

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH



WEST P/L LOOKING EAST DOWN ON
HOUSE SITE



FROM WEST P/L LOOKING WEST

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH

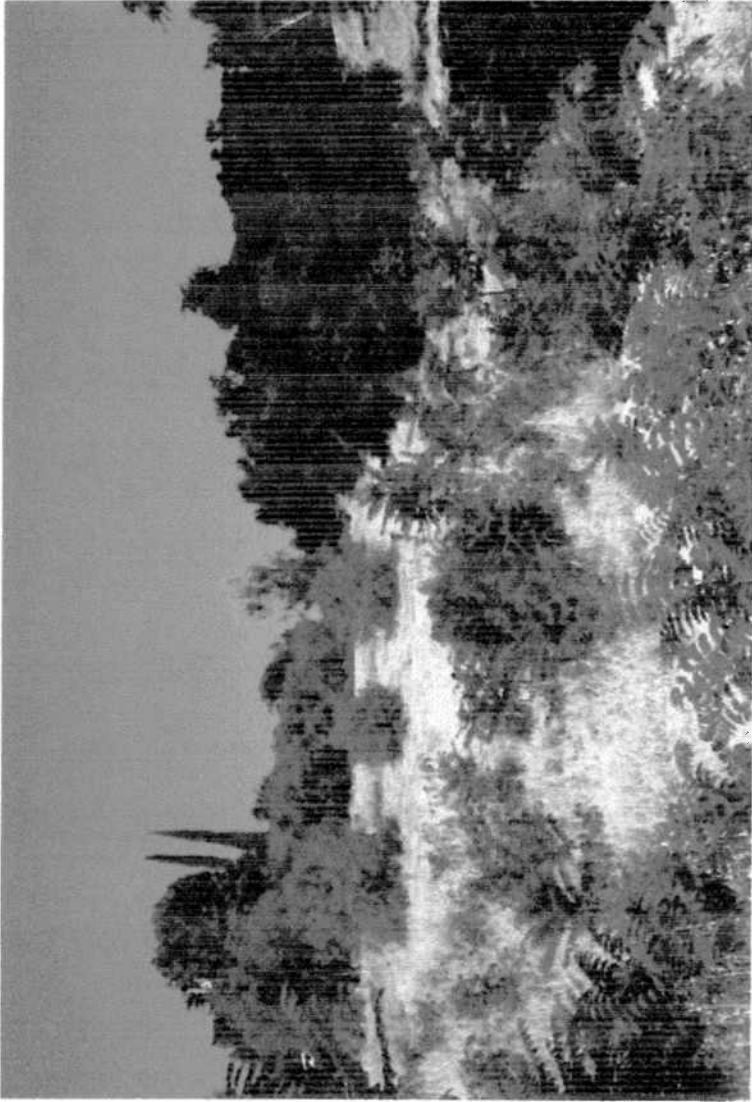


EAST P/L LOOKING WEST AT HOUSE SITE



NORTH P/L LOOKING SOUTH AT HOUSE SITE

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH



FROM EAST P/L LOOKING WEST UP TO
HOUSE SITE



VIEW FROM EAST P/L LOOKING EAST

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH



FROM SOUTH P/L LOOKING NORTH



FROM SOUTH P/L LOOKING SOUTH



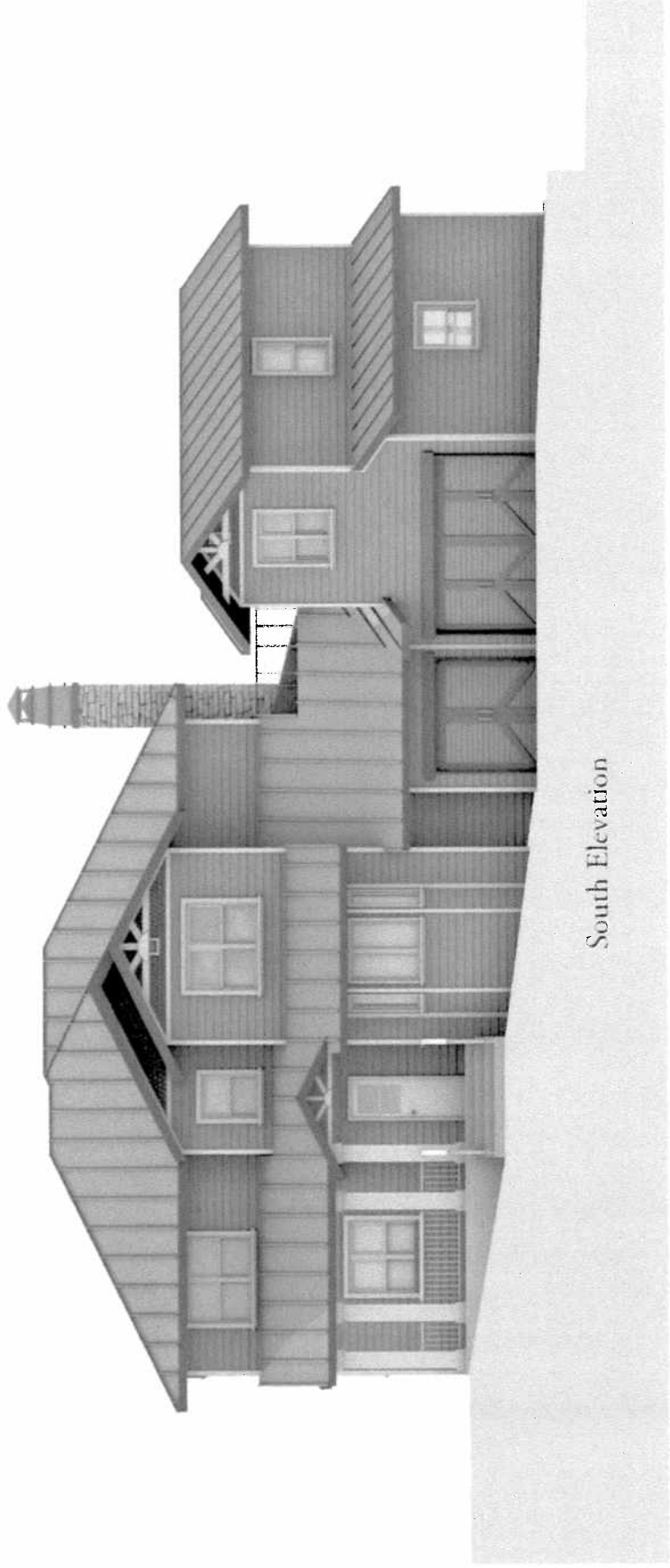
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT H

**COLOR RENDERING OF
RESIDENCE AND BARN**

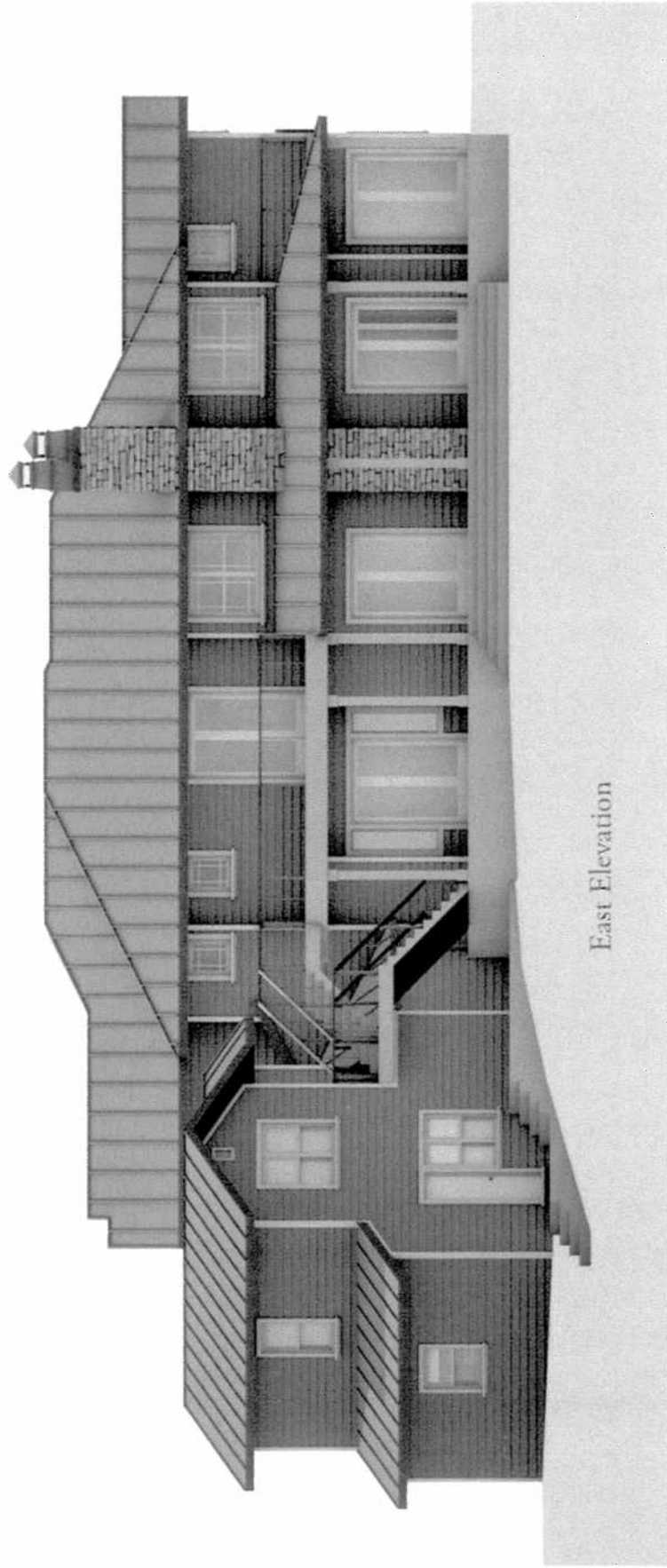
Edwards Residence



Kenneth Architecture
1000 Broadway
New York, NY 10003
Tel: 212-279-1111

Edwards Residence
1000 Broadway
New York, NY 10003

Edwards Residence

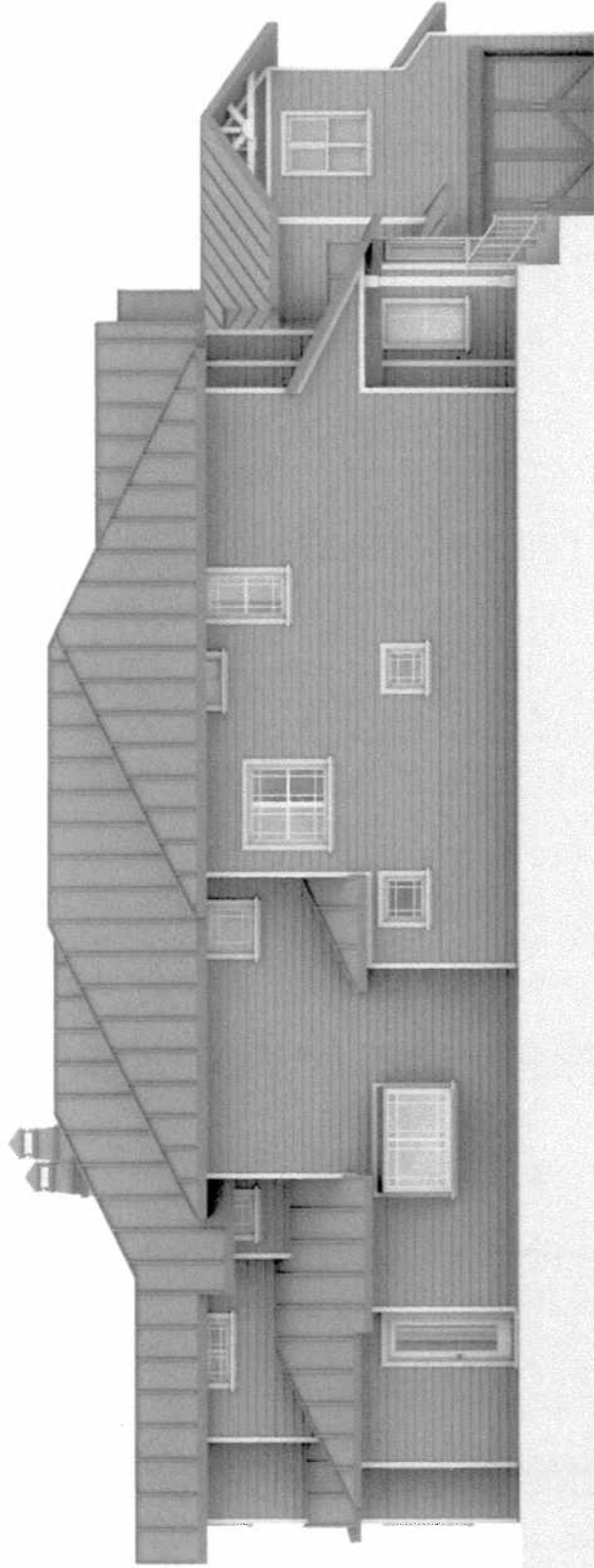


East Elevation

Kenneth Johnson / Bruce Shindler Inc.
Architects
5501 North 101st Ave. (318) 888-9000

Prepared for: Kenneth Johnson / Bruce Shindler Inc.
Date: 01/14/01

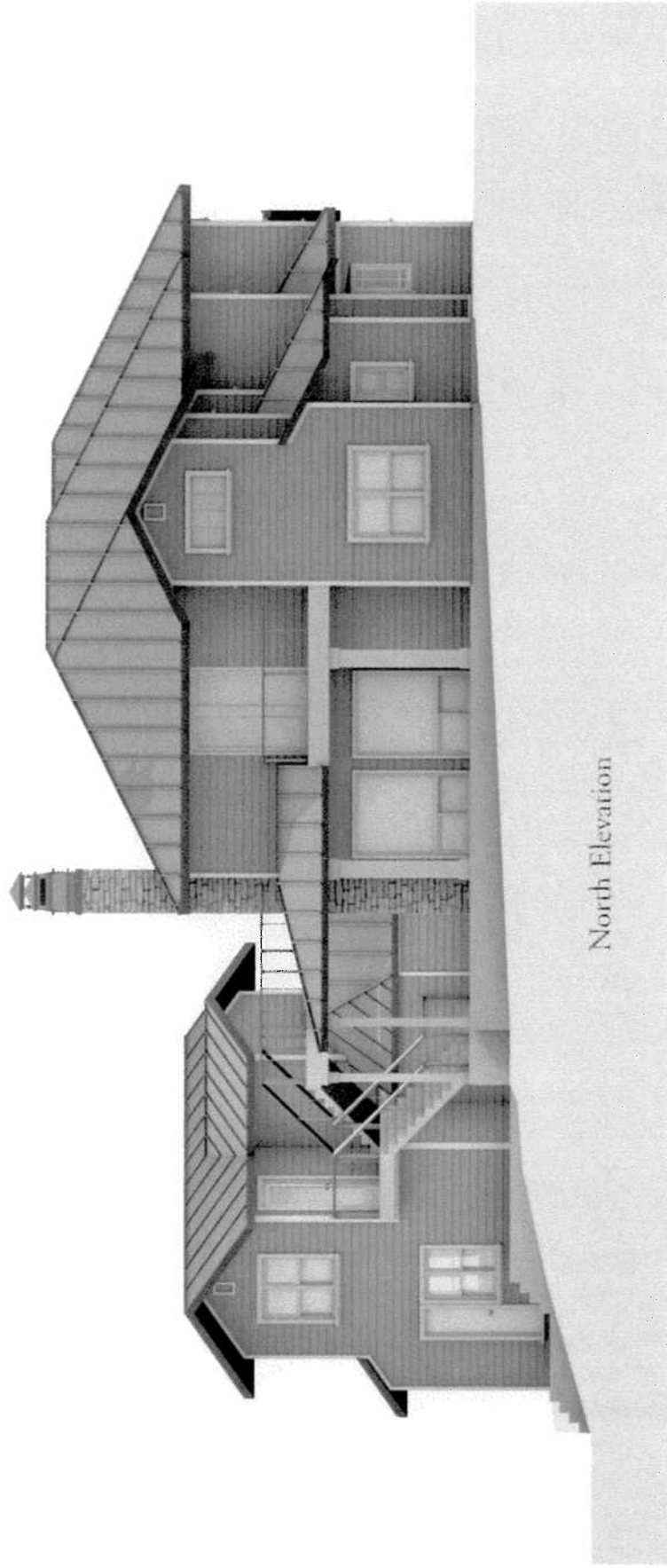
Edwards Residence



West Elevation

Edwards Residence
Architects
2011 and 2012 by [unreadable]

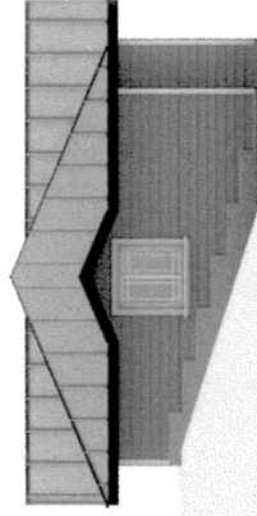
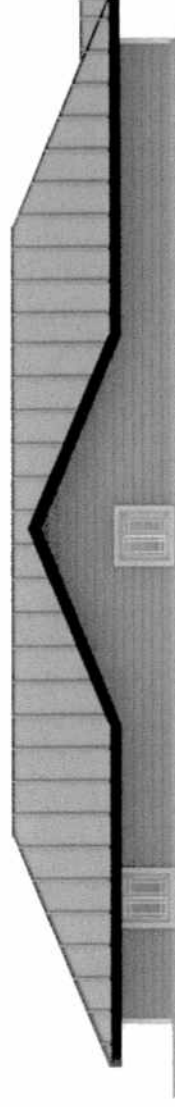
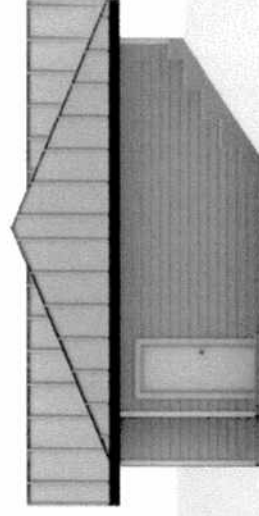
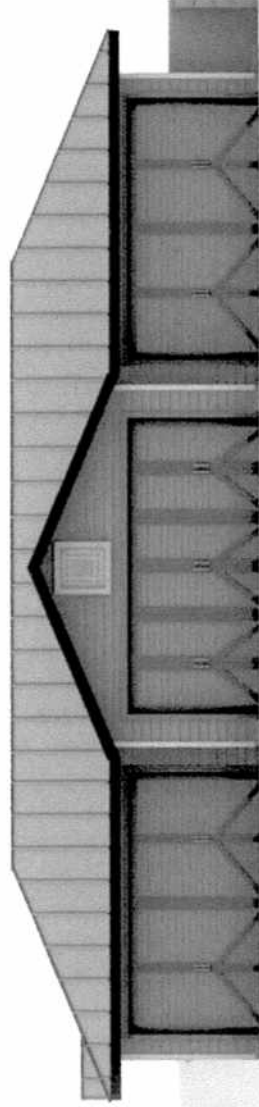
Edwards Residence



Kenneth S. Johnson / Bruce Marchant
Architects
(410) 866-7411 • (410) 866-7005

Rendered by: David S. N. ...
www.kennethjohnson.com

Edwards Residence



Barn Elevations

Ken Seefeldt / House Sketches
Architects
18180 65th Street - Fort Collins, CO 80504
Tel: (970) 586-9603

Architect: Ken Seefeldt
Architect: Ken Seefeldt