



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

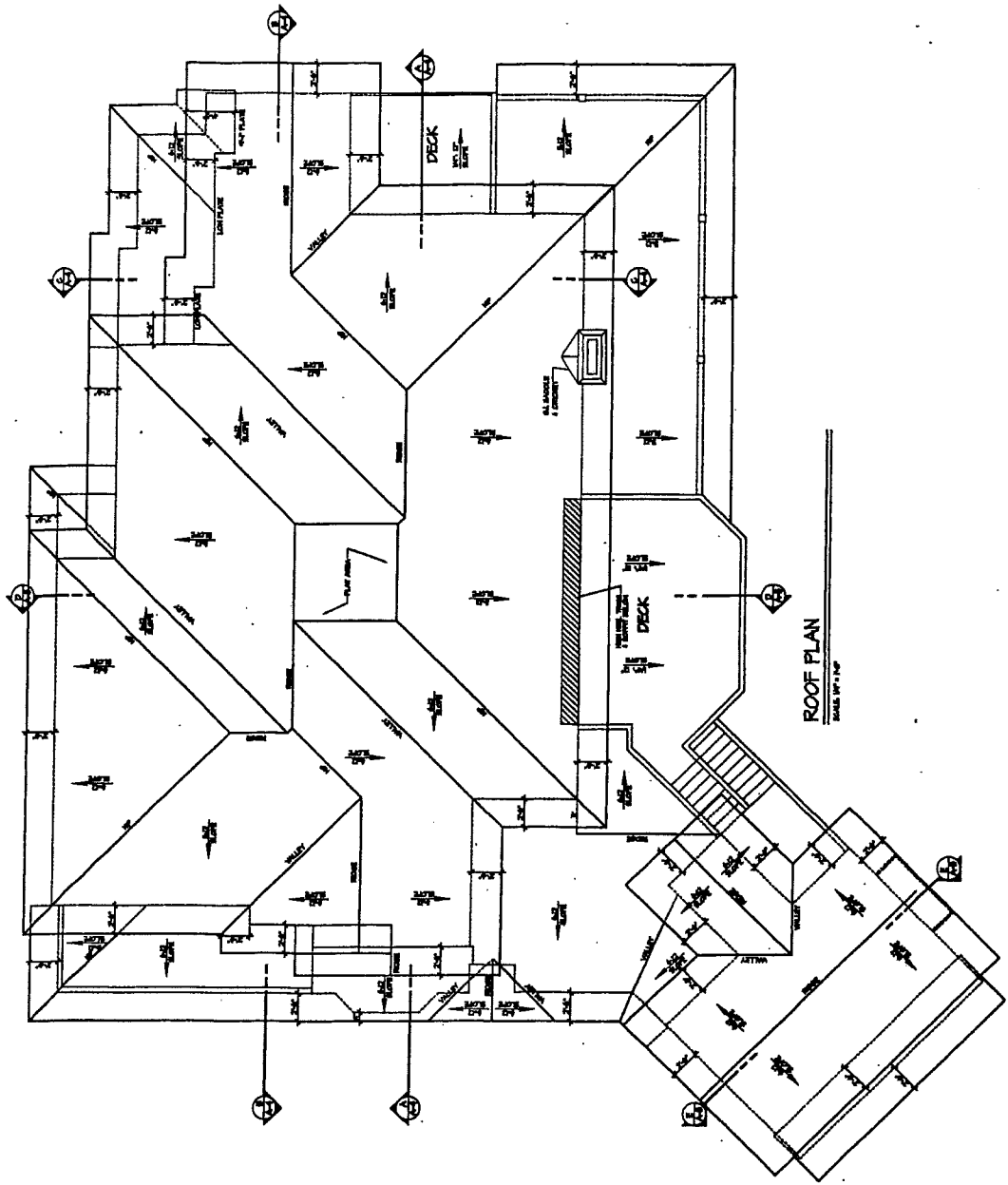
**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT E

AUGUST 2, 2007 STAFF REPORT



NOT FOR CONSTRUCTION



KEN STOCKTON /
BRUCE SHINDLERS
ARCHITECTS
3800 N. REDWOOD AVE. SUITE 200, PALMDALE, CA 93550
(805) 885-1111 Fax: (805) 885-4905

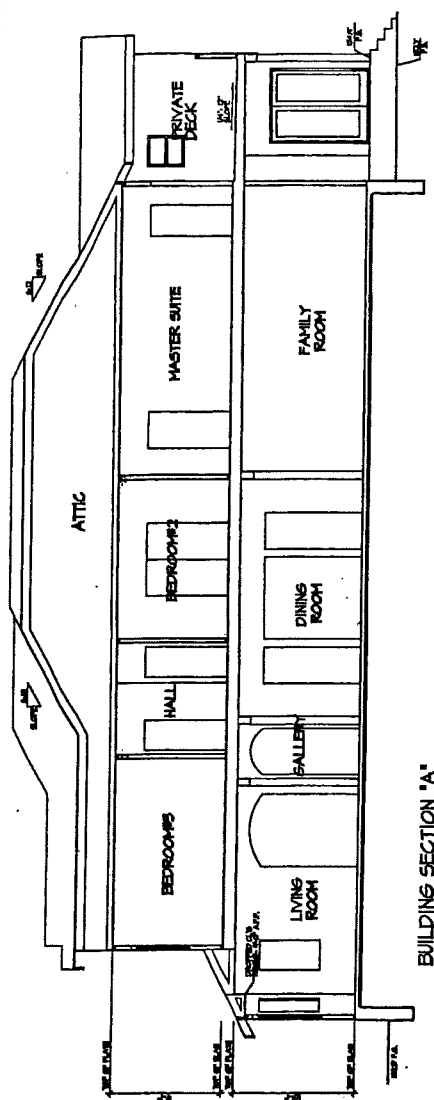
BUILDING CROSS SECTIONS
DATE: 02/27/06
DRAWN: OMS/SON
REVISIONS:

PROJECT NAME:
EDWARDS RESIDENCE
SINGLE FAMILY CUSTOM HOME
LAPORTE & BAKING DR.
ASORA HILLS, CA 91501
DRAWN BY:

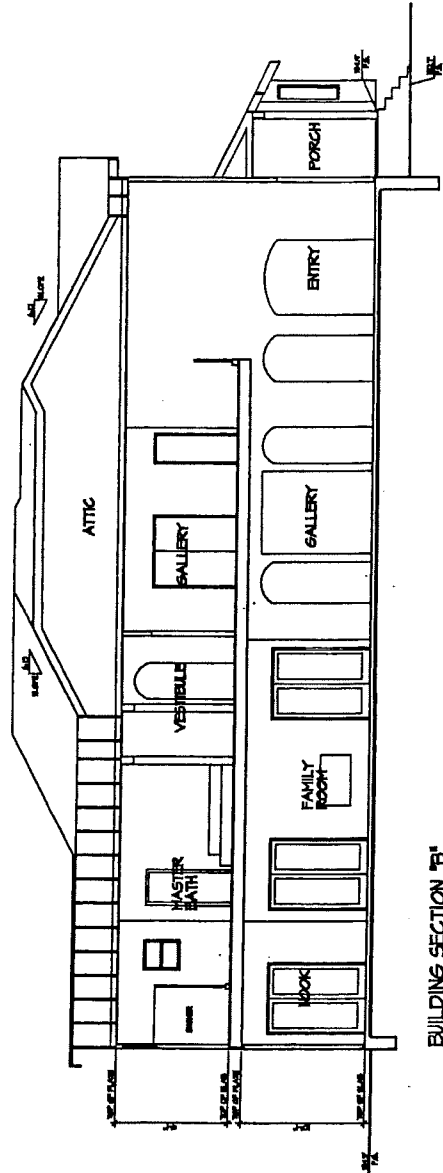


NOT FOR CONSTRUCTION

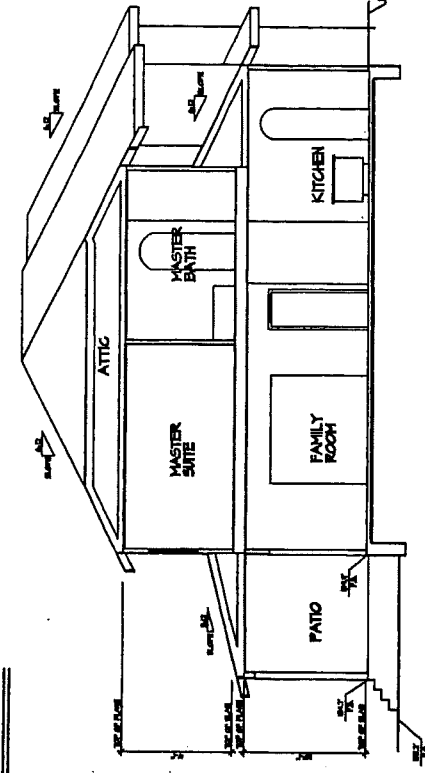
BUILDING SECTION 'A'
SCALE: 1/4" = 1'-0"



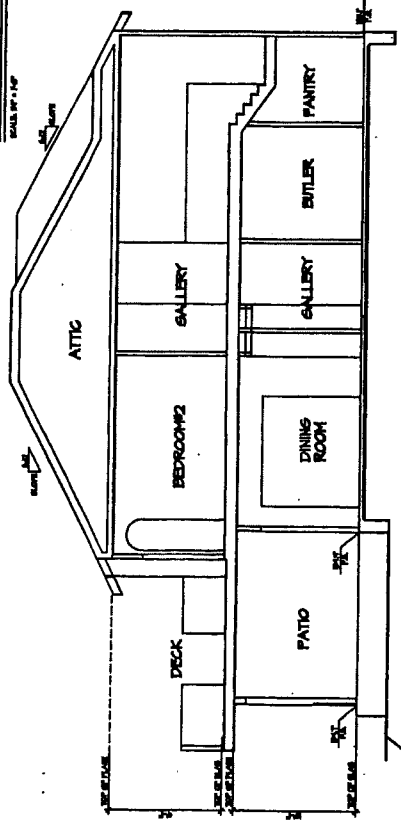
BUILDING SECTION 'B'
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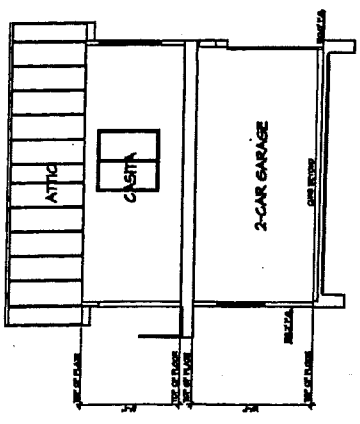
BUILDING SECTION 'C'
SCALE: 1/4" = 1'-0"



BUILDING SECTION 'D'
SCALE: 1/4" = 1'-0"



BUILDING SECTION 'E'
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION



A-C

KEN STOCKTON /
BRUCE SHINDELUS
ARCHITECTS

3800 N. ACORN ROAD, SUITE 100, CHANADA, CA 95007
(916) 385-1000 FAX (916) 385-1007

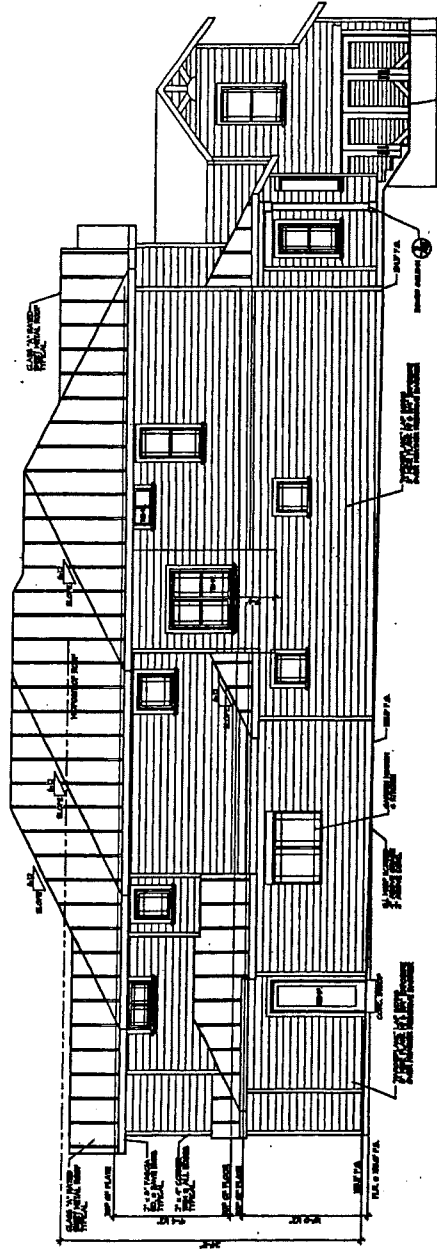
EXTERIOR ELEVATIONS

DATE: 02/27/08
DRAWN: K.R.S.
REVISIONS:

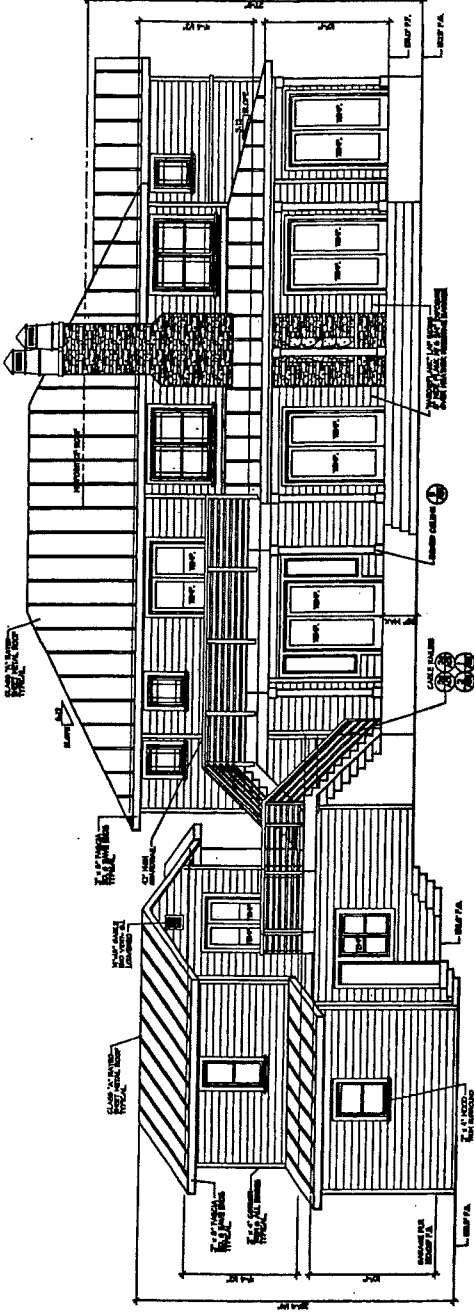
PROJECT NAME: EDWARDS RESIDENCE

PROJECT NAME: EDWARDS RESIDENCE
SINGLE FAMILY CUSTOM HOME
LAWORTH & BLAKINS DR.
ADORN HILLS, CA 91501

DEVELOPER:



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

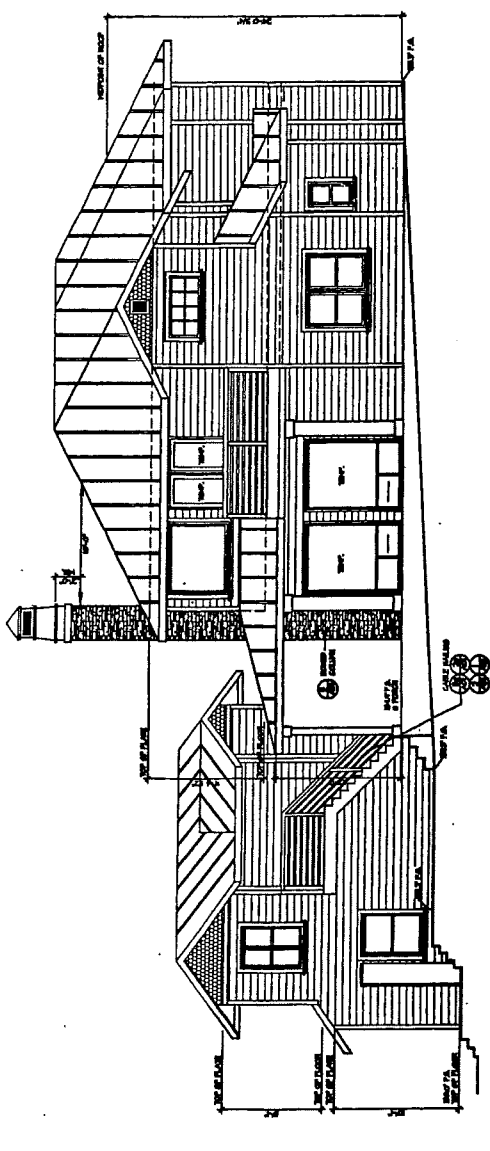


NOT FOR CONSTRUCTION

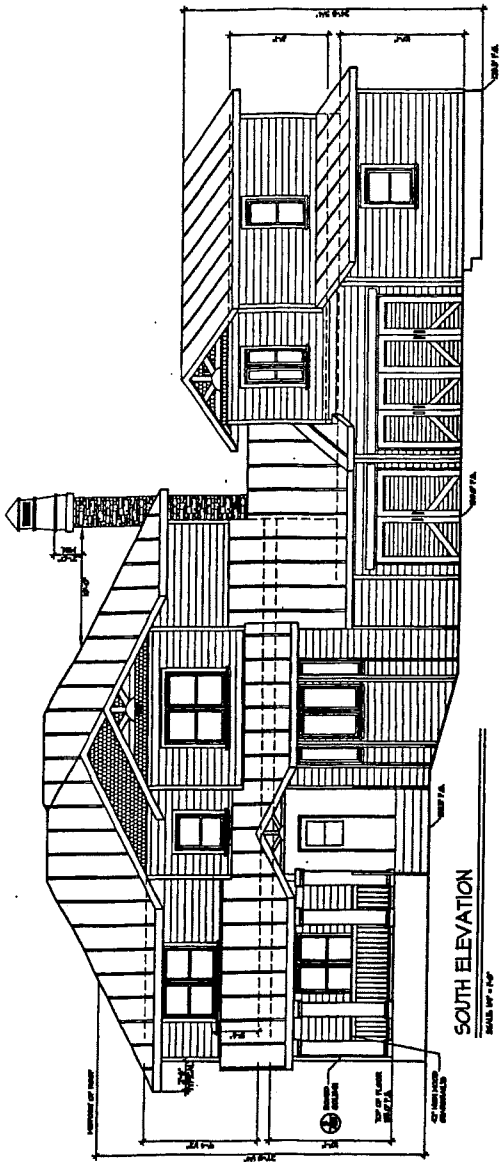
KEN STOCKTON /
 BRUCE SHINDELUS
 ARCHITECTS
 2500 N. AVENUE 108, SUITE 204, CALIFORNIA, CA 90028
 (818) 251-4445 FAX: (818) 251-4425

PROJECT NAME: EDWARDS RESIDENCE
 DRAWN: R.L.S. / DATE: 05/20/04
 CHECKED: / DATE: /
 EXTERIOR ELEVATIONS

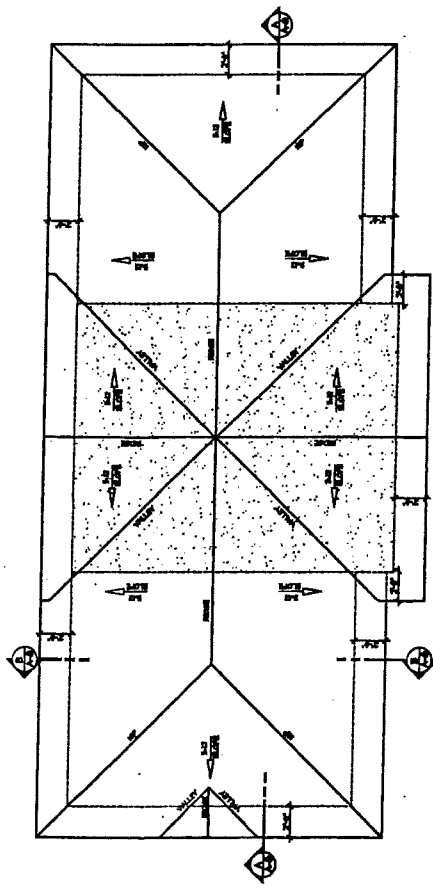
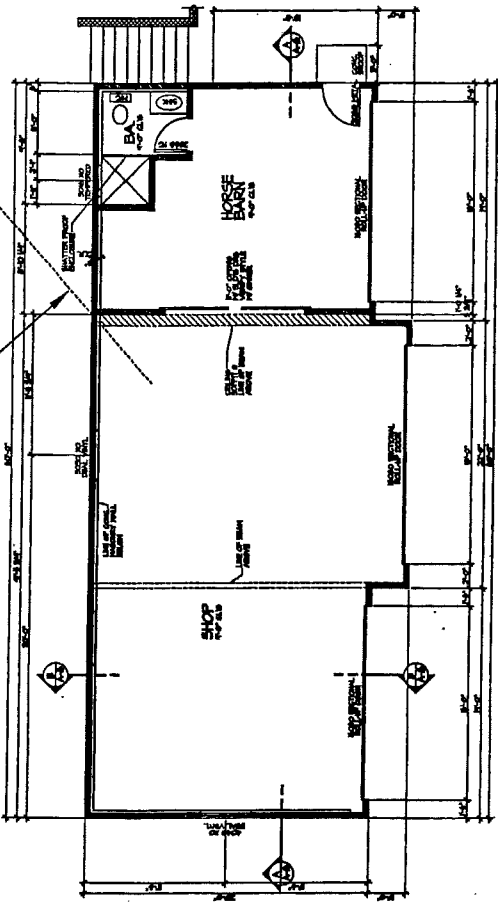
PROJECT NAME: EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 LAFOROTH & BLAKINS DR.
 AGOURA HILLS, CA 91001



NORTH ELEVATION



SOUTH ELEVATION

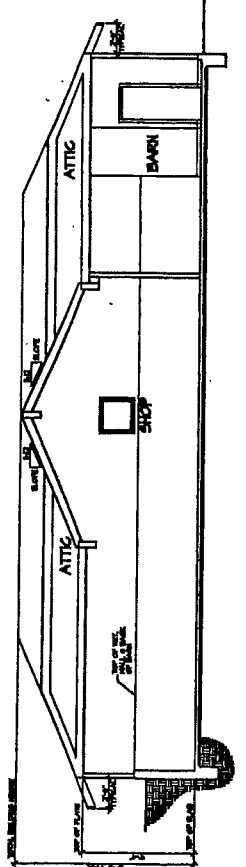
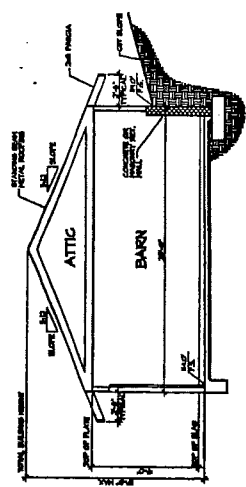


ROOF PLAN NOTES

1. PROVIDE ALL rafters AND JOISTS AS INDICATED AT LOCATIONS AS SHOWN BY DIMENSIONS.
2. ALL rafters TO BE SPACED @ 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
4. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
5. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
6. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
7. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
8. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
9. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.
10. ALL rafters TO BE 2" X 8" UNLESS OTHERWISE NOTED.

ATTIC VENTILATION

TOTAL ATTIC VENTILATION SHALL BE 1% OF THE TOTAL FLOOR AREA OF THE BARN. PROVIDE 1" X 6" VENTILATION SLATS AT THE GABLE ENDS AND 1" X 6" VENTILATION SLATS AT THE RIDGE LINE.



NOT FOR CONSTRUCTION



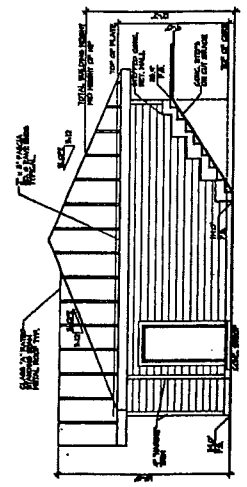
NOT FOR CONSTRUCTION

A-C

KEN STOCKTON /
 ARCHITECTS
 BRUCE SHINDELUS
 2800 N. AGORA ROAD, FIRST FLOOR SUITE 100
 (916) 444-4444 Fax: (916) 444-4443
 ASORA HILLS, CA 91301

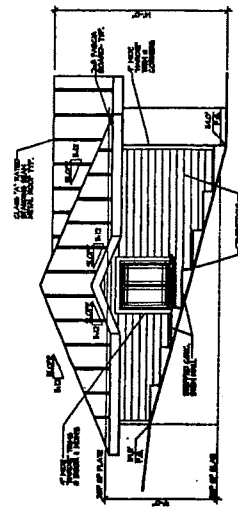
BARND EXTERIOR ELEVATIONS
 DRAWN: R.E.S.
 DATE: 04/20/08
 CHECKED: DR/MS
 PROJECT NO.:
 PLAN NO.:

PROJECT NAME:
 EDWARDS RESIDENCE
 SINGLE FAMILY CUSTOM HOME
 LAYOUTH & ELEVATIONS
 ASORA HILLS, CA 91301



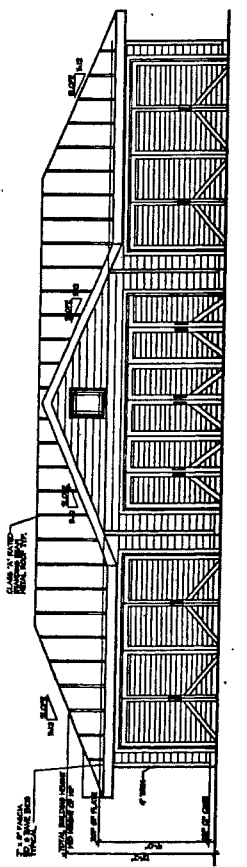
EAST ELEVATION

SCALE: 1/4" = 1'-0"



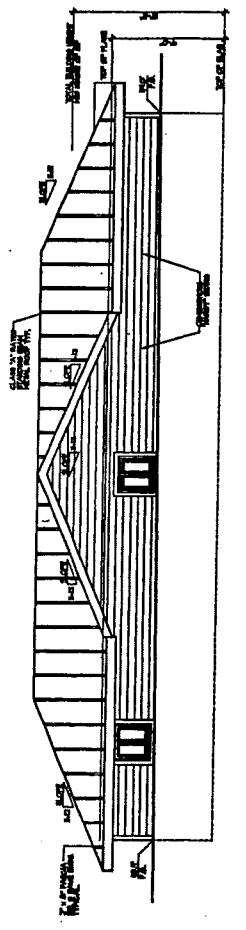
WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

FINISH:
 WOOD SHAKES
 DARK STAIN

NOT FOR CONSTRUCTION

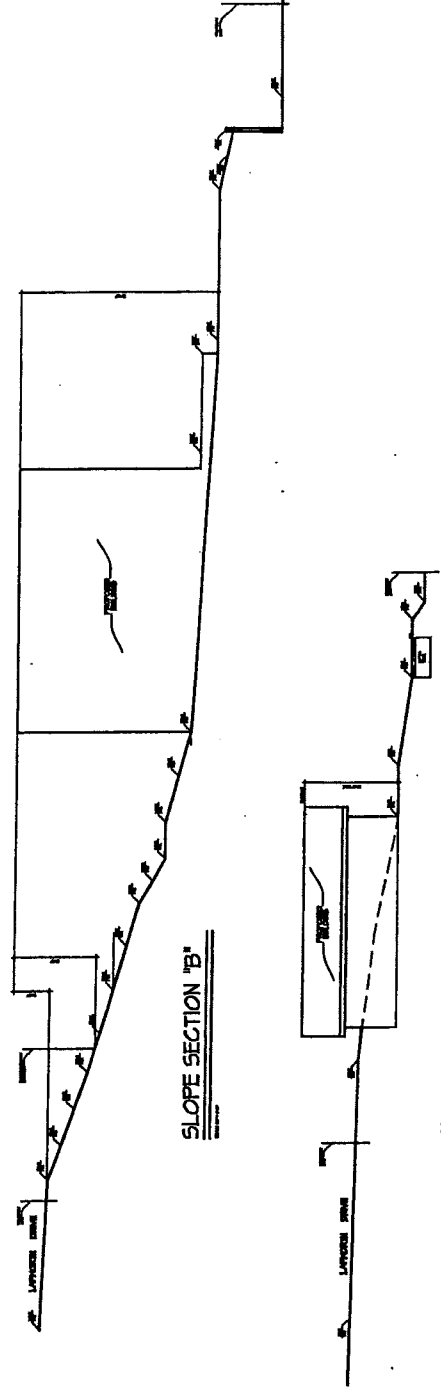


A-10

KEN STOCKTON /
BRUCE SHINDELUS
ARCHITECTS
3800 N. ASPEN ROAD, P.O. BOX 10000, CA 95020
(916) 885-1000 FAX: (916) 885-1004

ARCHITECTURAL SITE PLAN
PROJECT NAME
EDWARDS RESIDENCE
DRAWN BY: R.S.S.
REVISIONS
DATE: 02/20/04
PLAN DATE

DEVELOPER
SINGLE FAMILY CUSTOM HOME
CORNER OF LAFWORTH & BALKINS
OLD ASOCCA, CA 91501



GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 1 OF THE AAGOURA HILLS MUNICIPAL CODE.
2. A PRELIMINARY CONFORMANCE OF ALL UTILITIES AND PAVEMENT SHALL BE MADE PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY PERMITS.
3. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.
4. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.
5. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.
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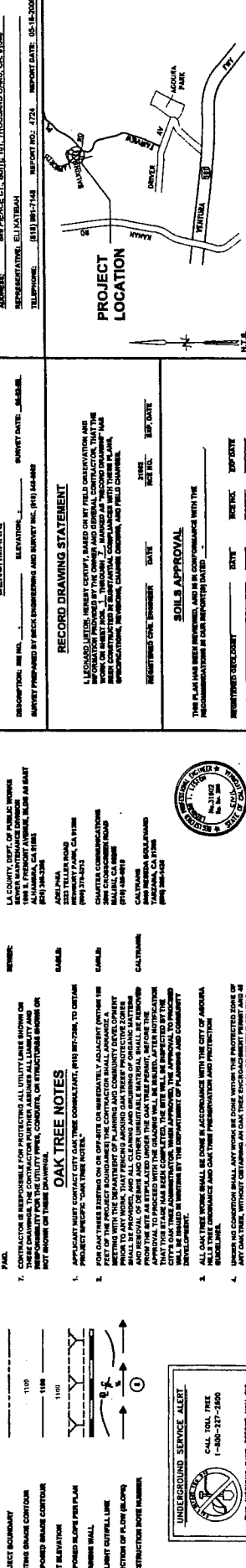
STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE SWPPP PROGRAM AND SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY PERMITS.
2. A PRELIMINARY CONFORMANCE OF ALL UTILITIES AND PAVEMENT SHALL BE MADE PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY PERMITS.
3. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.
4. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.
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9. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.
10. ALL EXISTING UTILITIES SHALL BE RELOCATED TO THE APPROVED BY THE CITY.

INSPECTION NOTES

1. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.
3. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.
4. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.
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8. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.
9. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.
10. ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEER AT ALL STAGES OF CONSTRUCTION.

LEGEND AND SYMBOLS



UNDERGROUND SERVICE ALERT

UNDERGROUND SERVICE ALERT
CALL 811
1-800-237-1500
TWO WORKING DAYS BEFORE YOU DIG

PROJECT BOUNDARY
DATE: _____
TIME: _____
LOCATION: _____

CONTRACTORS NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE LOCAL AGENCIES (WATER, PUBLIC UTILITIES, AND HEALTH DEPARTMENT) PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED DURING CONSTRUCTION TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE PRIOR TO COMPLETION OF WORK.

ABBREVIATIONS

- AS - ASPHALT CONCRETE
- BS - BOTTOM OF FOOTING
- CC - CLEARANCE
- CE - CENTERLINE
- CD - CLEAR OUT
- CM - CONCRETE MASONRY
- DK - DOWNCAST
- EL - ELEVATION
- FO - FOOTING
- FR - FINISHED FLOOR
- FS - FINISHED SURFACE
- HT - HATCH
- IP - INTERIOR FINISH
- IS - INTERIOR SURFACE
- LS - LUMBER STUDS
- MS - MASONRY
- NS - NON-STRUCTURAL
- PS - PLASTER
- RF - FINISHED FLOOR
- RF - FINISHED FLOOR
- RF - FINISHED FLOOR
- RF - FINISHED FLOOR
- RF - FINISHED FLOOR

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING & DRAINAGE PLAN
3	DETAIL SHEET
4	SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY
5	EROSION CONTROL PLAN COVER
6	EROSION CONTROL PLAN ATTACHMENTS
7	EROSION CONTROL PLAN ATTACHMENTS

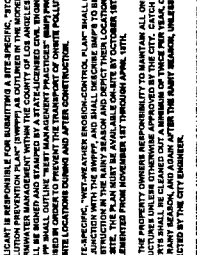
ESTIMATED EARTHWORK QUANTITIES

ESTIMATED DIRT	ESTIMATED ASPHALT	ESTIMATED GRAVEL	ESTIMATED CONCRETE	ESTIMATED REINFORCEMENT	ESTIMATED CEMENT	ESTIMATED IRON
___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.

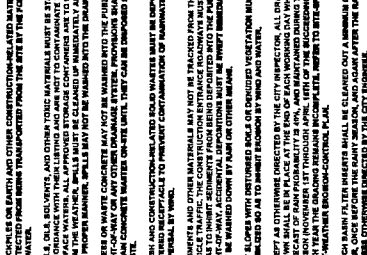
BENCHMARKS

BENCHMARK	DESCRIPTION
BM 1	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH
BM 2	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH
BM 3	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH
BM 4	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH
BM 5	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH

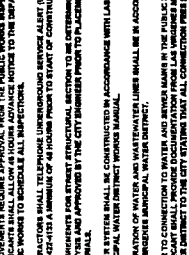
DETAIL NO. 1 DRIVEWAY DETAIL



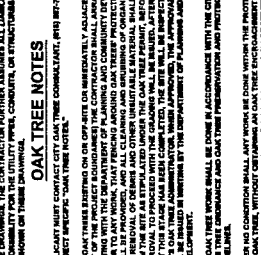
DETAIL NO. 2 CONCRETE SWALE



DETAIL NO. 3



DETAIL NO. 4



INDEX OF DRAWINGS

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4	SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY
5	EROSION CONTROL PLAN COVER
6	EROSION CONTROL PLAN ATTACHMENTS
7	EROSION CONTROL PLAN ATTACHMENTS

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED DIRT	ESTIMATED ASPHALT	ESTIMATED GRAVEL	ESTIMATED CONCRETE	ESTIMATED REINFORCEMENT	ESTIMATED CEMENT	ESTIMATED IRON
___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.	___ C.Y.

BENCHMARKS

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BM 4	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH
BM 5	CONCRETE CORNER 10'-0" DIA. 2'-0" HIGH

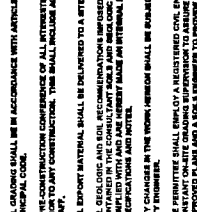
RECORD DRAWING STATEMENT

I, [NAME], CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER. I AM NOT PROVIDING ANY INFORMATION OTHER THAN THAT WHICH IS REQUIRED TO COMPLETE THE PROJECT. I AM NOT PROVIDING ANY INFORMATION OTHER THAN THAT WHICH IS REQUIRED TO COMPLETE THE PROJECT.

SOILS APPROVAL

APPROVED BY	DATE

PROJECT LOCATION



COVER SHEET
5952 LAPWORTH DR.
AAGOURA HILLS, CA. 91301

OWNER: STEVE & MARGUERITE EDWARDS
ADDRESS: 5952 LAPWORTH DR.
TELEPHONE: (951) 484-9263

OWNER: STEVE & MARGUERITE EDWARDS
ADDRESS: 5952 LAPWORTH DR.
TELEPHONE: (951) 484-9263

CIVIL ENGINEER: [NAME]
ADDRESS: [ADDRESS]
TELEPHONE: [PHONE]

GEOTECHNICAL ENGINEER: [NAME]
ADDRESS: [ADDRESS]
TELEPHONE: [PHONE]

APN # 2095-022-072

CONTRACTOR: [NAME]
ADDRESS: [ADDRESS]
TELEPHONE: [PHONE]

DATE: [DATE]

PROJECT BOUNDARY

EXISTING DRAINAGE CONTOUR

PROPOSED DRAINAGE CONTOUR

PROPOSED SLOPE PLAN

STREAM WALL

OUTLET CULVERT LINE

DIRECTION OF FLOW

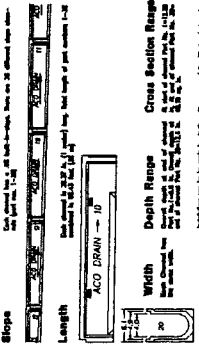
CONSTRUCTION NOTE MARKERS

CITY OF AAGOURA HILLS

COVER SHEET
5952 LAPWORTH DR.
AAGOURA HILLS, CA. 91301

SHEET 1 OF 7

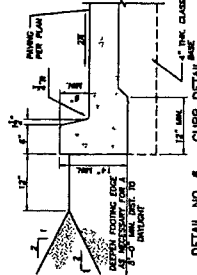
CHANNEL-SLOPE® NW100 Series Channels Sloped Channels



DETAIL NO. 5 CHANNEL SLOPE

Depth At End of Each Channel

Channel No.	Depth (ft)	Channel No.	Depth (ft)
1	0.1	10	0.2
2	0.2	11	0.3
3	0.3	12	0.4
4	0.4	13	0.5
5	0.5	14	0.6
6	0.6	15	0.7
7	0.7	16	0.8
8	0.8	17	0.9
9	0.9	18	1.0
10	1.0	19	1.1
11	1.1	20	1.2
12	1.2	21	1.3
13	1.3	22	1.4
14	1.4	23	1.5
15	1.5	24	1.6
16	1.6	25	1.7
17	1.7	26	1.8
18	1.8	27	1.9
19	1.9	28	2.0
20	2.0	29	2.1
21	2.1	30	2.2
22	2.2	31	2.3
23	2.3	32	2.4
24	2.4	33	2.5
25	2.5	34	2.6
26	2.6	35	2.7
27	2.7	36	2.8
28	2.8	37	2.9
29	2.9	38	3.0
30	3.0	39	3.1
31	3.1	40	3.2
32	3.2	41	3.3
33	3.3	42	3.4
34	3.4	43	3.5
35	3.5	44	3.6
36	3.6	45	3.7
37	3.7	46	3.8
38	3.8	47	3.9
39	3.9	48	4.0
40	4.0	49	4.1
41	4.1	50	4.2
42	4.2	51	4.3
43	4.3	52	4.4
44	4.4	53	4.5
45	4.5	54	4.6
46	4.6	55	4.7
47	4.7	56	4.8
48	4.8	57	4.9
49	4.9	58	5.0
50	5.0	59	5.1
51	5.1	60	5.2
52	5.2	61	5.3
53	5.3	62	5.4
54	5.4	63	5.5
55	5.5	64	5.6
56	5.6	65	5.7
57	5.7	66	5.8
58	5.8	67	5.9
59	5.9	68	6.0
60	6.0	69	6.1
61	6.1	70	6.2
62	6.2	71	6.3
63	6.3	72	6.4
64	6.4	73	6.5
65	6.5	74	6.6
66	6.6	75	6.7
67	6.7	76	6.8
68	6.8	77	6.9
69	6.9	78	7.0
70	7.0	79	7.1
71	7.1	80	7.2
72	7.2	81	7.3
73	7.3	82	7.4
74	7.4	83	7.5
75	7.5	84	7.6
76	7.6	85	7.7
77	7.7	86	7.8
78	7.8	87	7.9
79	7.9	88	8.0
80	8.0	89	8.1
81	8.1	90	8.2
82	8.2	91	8.3
83	8.3	92	8.4
84	8.4	93	8.5
85	8.5	94	8.6
86	8.6	95	8.7
87	8.7	96	8.8
88	8.8	97	8.9
89	8.9	98	9.0
90	9.0	99	9.1
91	9.1	100	9.2
92	9.2	101	9.3
93	9.3	102	9.4
94	9.4	103	9.5
95	9.5	104	9.6
96	9.6	105	9.7
97	9.7	106	9.8
98	9.8	107	9.9
99	9.9	108	10.0
100	10.0		



LEGAL DESCRIPTION:
 PART OF LOT 1 AND LOT 2 OF 19 IN 8811
 APN # 2055-022-073
 TOTAL DISTURBED AREA: 22,045.09 SQ. FT. (0.508 AC.)

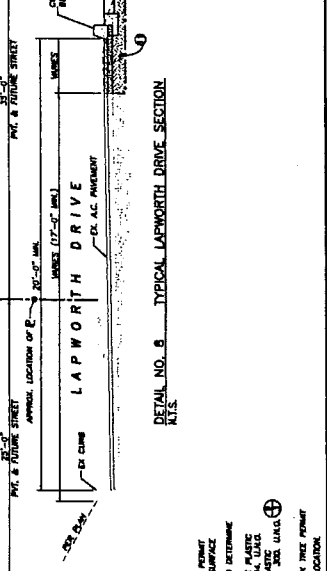
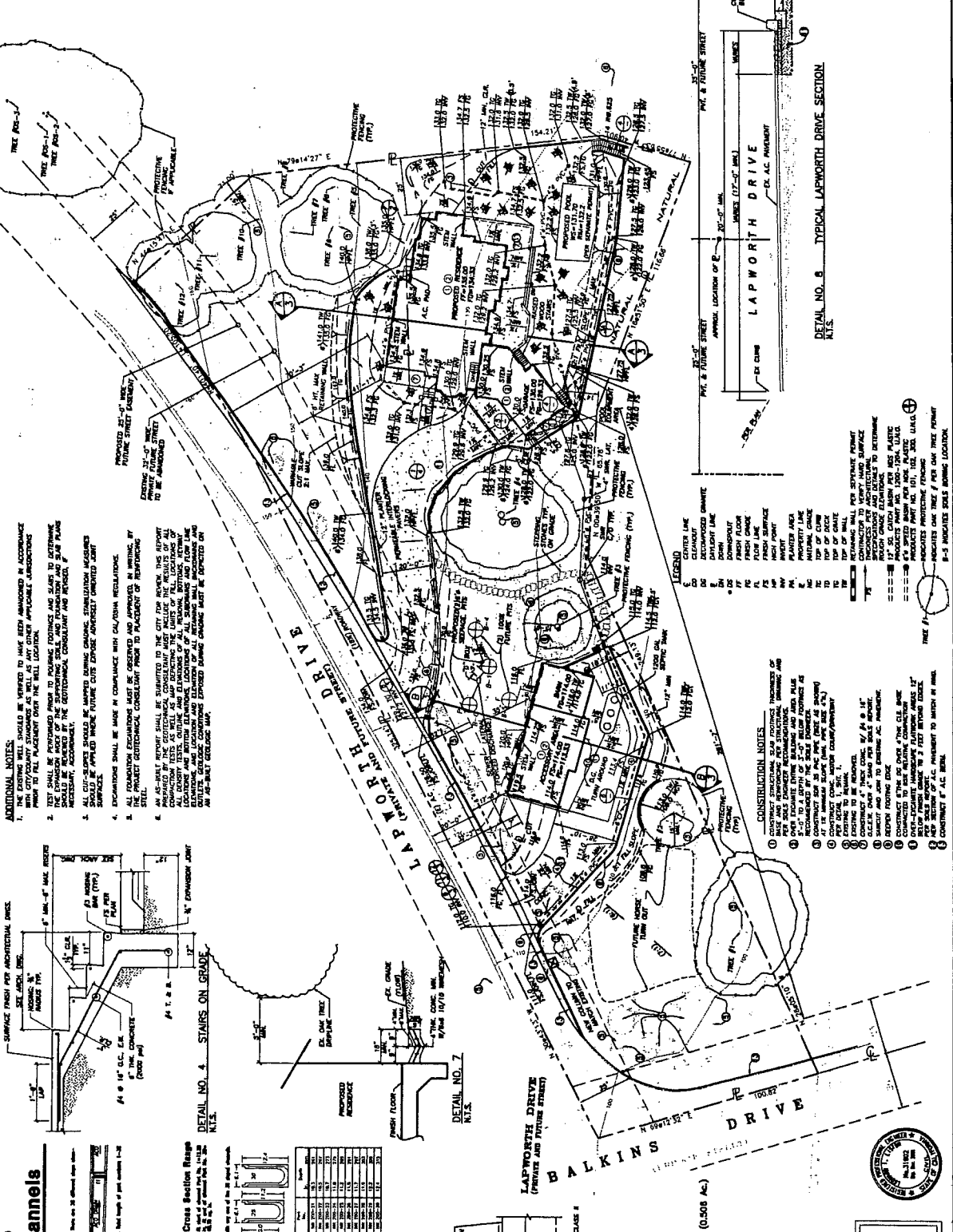
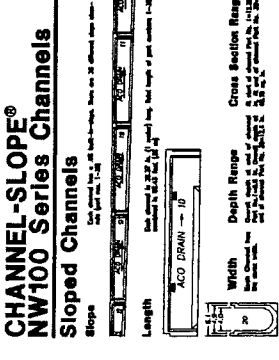
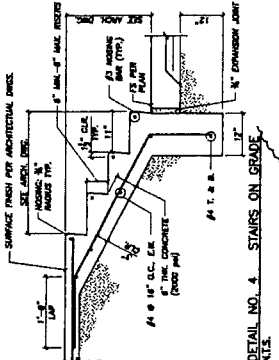
SCALE: 1"=20'

NOTE TO CONTRACTORS:
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
 CONSTRUCTION DETAILS, ELEVATIONS, AND
 DIMENSIONS PRIOR TO ANY CONSTRUCTION.



ADDITIONAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS SPECIFICATIONS FOR PUBLIC WORKS.
2. TEST SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE SOIL BEARING CAPACITY AND TO VERIFY THE LOCATION AND DEPTH OF ALL FOUNDATIONS.
3. ALL UTILITY LINES SHALL BE SHOWN ON THIS PLAN. ANY UNIDENTIFIED UTILITIES SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. ALL UTILITY LINES SHALL BE SHOWN ON THIS PLAN. ANY UNIDENTIFIED UTILITIES SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
5. ALL FOUNDATION EXCAVATIONS MUST BE APPROVED AND APPROVED IN WRITING BY THE PRIVATE GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING.
6. ALL FOUNDATION EXCAVATIONS MUST BE APPROVED AND APPROVED IN WRITING BY THE PRIVATE GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING.
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GRADING AND DRAINAGE PLAN
 5852 LAPWORTH DR.
 AGOURA HILLS, CA. 91301

PROJECT NO. _____ SHEET 1 OF 1

CITY OF AGOURA HILLS ENGINEER INC.

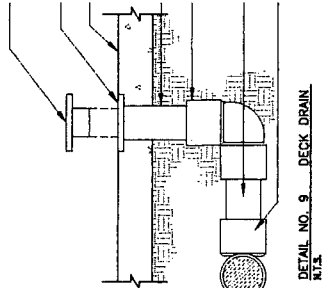
REV.	SYMBOL	DESCRIPTION OF CHANGE	DATE

PREPARED BY: **IC ENGINEERING GROUP, INC.**
 PROJECT ENGINEER: _____ DATE: _____

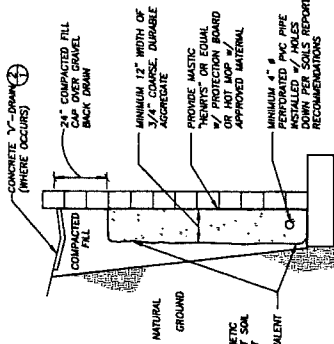
UNDERGROUND SERVICE ALERT
 CALL TOLL FREE
 1-800-327-2800
 TWO WORKING DAYS BEFORE YOU DIG

TYPE-D-BASKIN DRIVE PADS-PLUMB SATIN BRASS (37)
 NATIONAL WATERFLOODED SALES, INC.
 (800) 728-1984-OR APPROVED EQUAL
 RECESS IN FINISH SURFACE TO ALLOW
 DRIVE TO FIT FLUSH.
 FINISH SURFACE-SEE CONSTRUCTION PLAN
 FOR MATERIAL FINISH & THICKNESS.

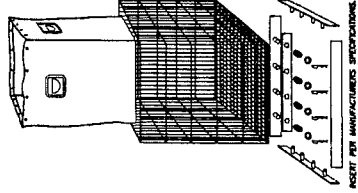
4" PVC DRAIN LINE RISER
 4" 90° ELB.
 4" NIPPLE
 4" Tee OR ELB. CONNECT TO DRAIN LINE-
 INSERT EXPLANATION & MATERIAL.



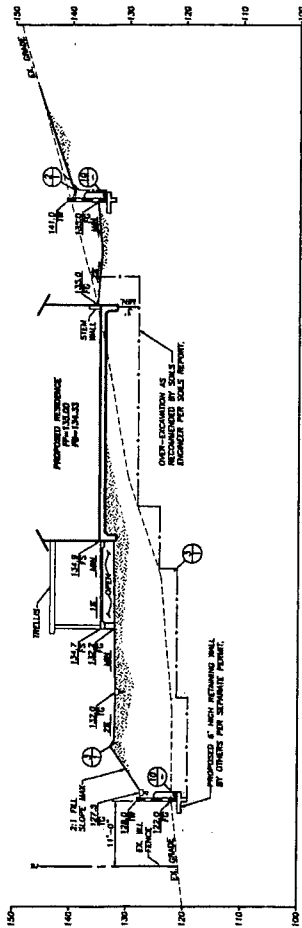
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 N.T.S.



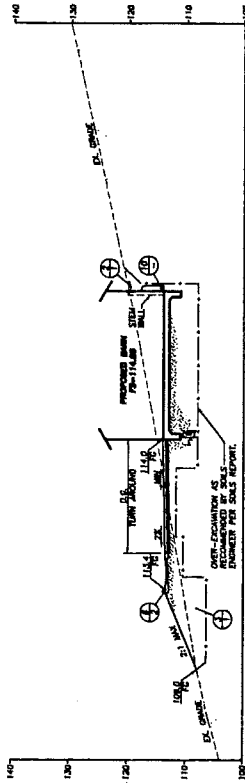
DETAIL NO. 10 BACKFILL
 N.T.S.



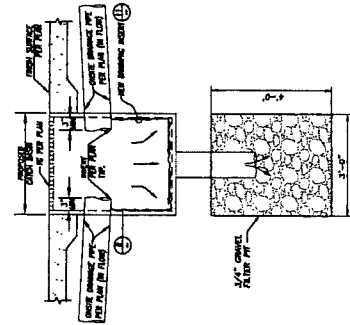
DETAIL NO. 11 DRAINPAC
 N.T.S.



SECTION A
 1/4"=10'



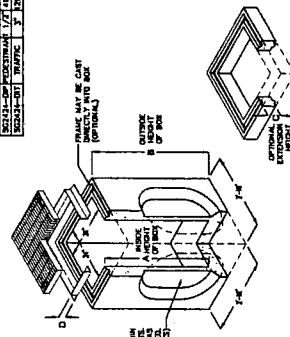
SECTION B
 1/4"=10'



DETAIL NO. 12 SUMP
 N.T.S.

DROP PILE #1	
MODEL NO.	WEIGHT
8242138	18" 2500 LBS.
8242148	18" 2500 LBS.
8242158	18" 2500 LBS.

FRAME AND GRATE	
MODEL NO.	WEIGHT
8242168	18" 2500 LBS.
8242178	18" 2500 LBS.
8242188	18" 2500 LBS.



EXTENSION	
MODEL NO.	WEIGHT
8242198	300 LBS.
8242208	300 LBS.
8242218	300 LBS.

FRAMES AND GRATES AVAILABLE IN 18" OR 24" WIDE FRAME LOGGING.

FRAMES AND GRATES AVAILABLE IN 18" OR 24" WIDE FRAME LOGGING.



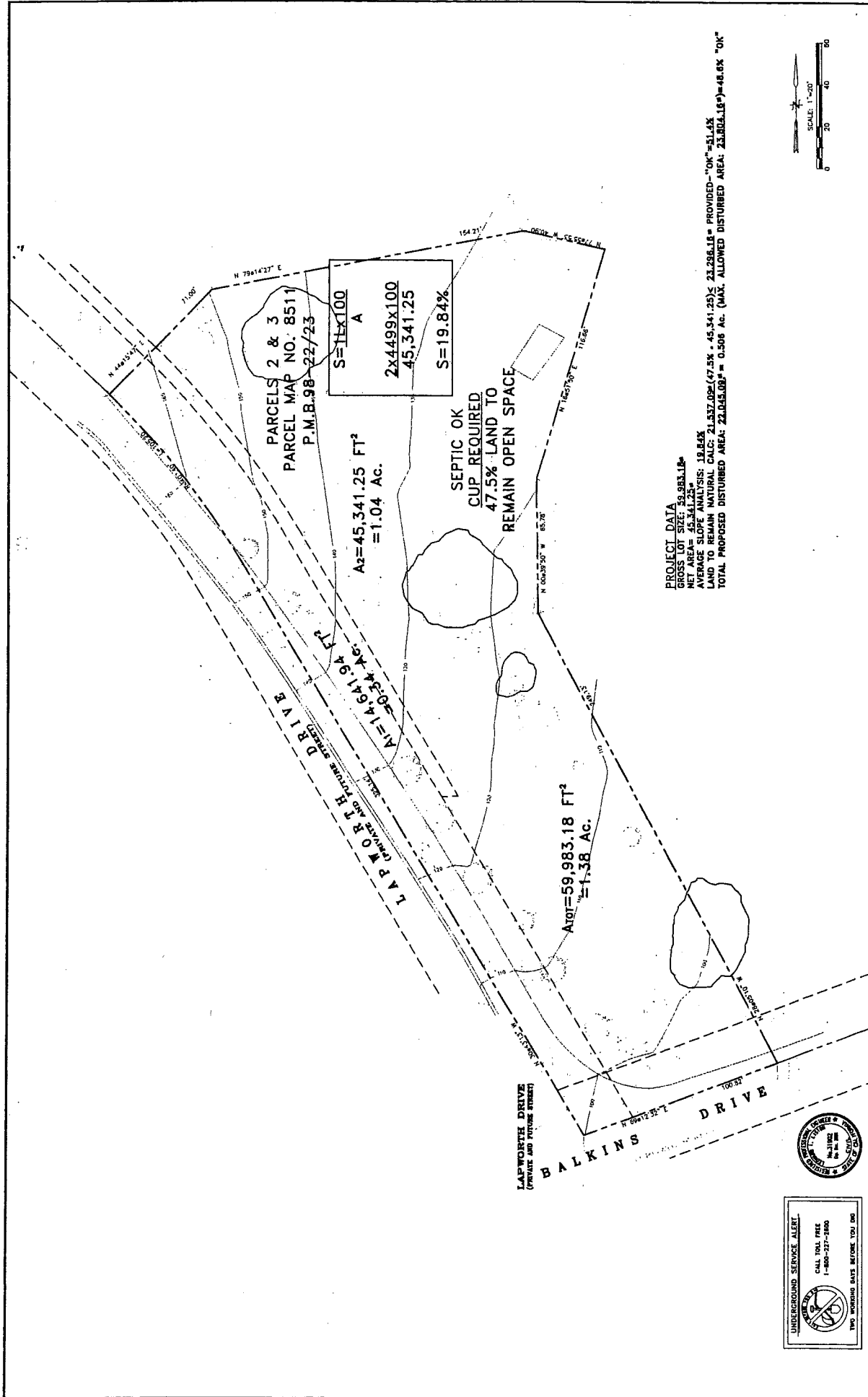
DETAIL NO. 8 DROP INLET
 N.T.S.

PROCESSED BY:
ELC ENGINEERING GROUP, INC.
 PROJECT ENGINEER: _____
 DATE: _____

DESCRIPTION OF CHANGE:
 REV. SYMBOL. _____ DATE _____

CITY OF AGOURA HILLS APPROVAL

SECTIONS & DETAILS
 5852 LAPWORTH DR.
 AGOURA HILLS, CA. 91301
 SHEET 3 OF 1

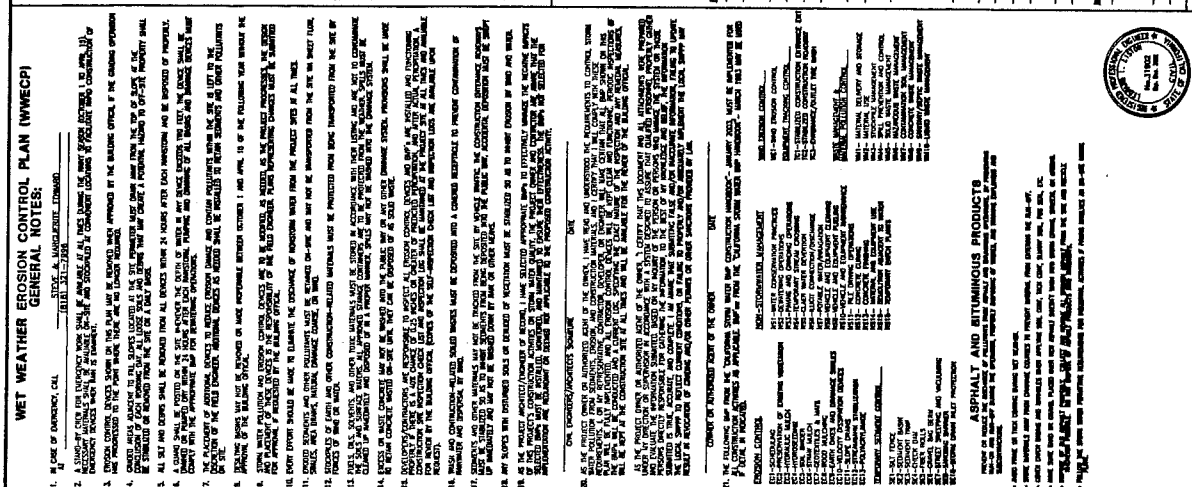
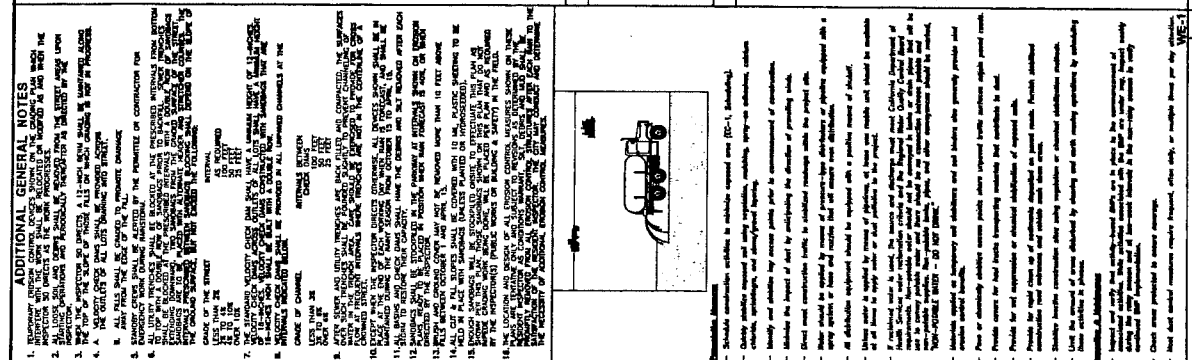
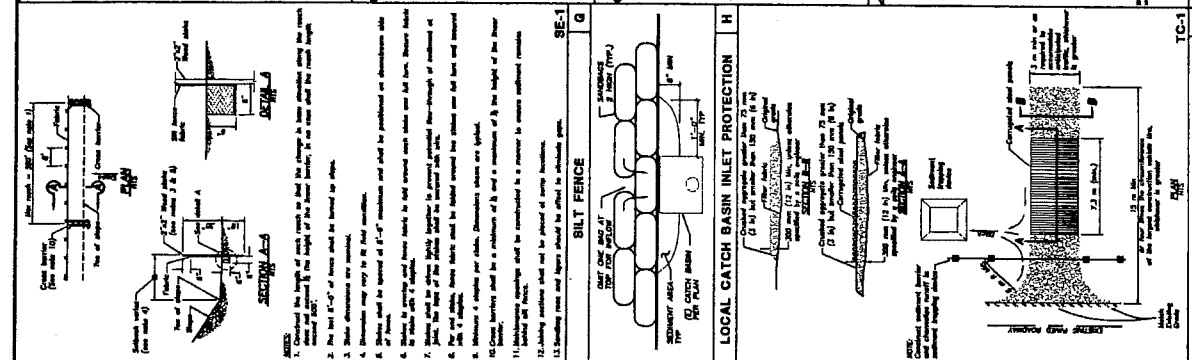
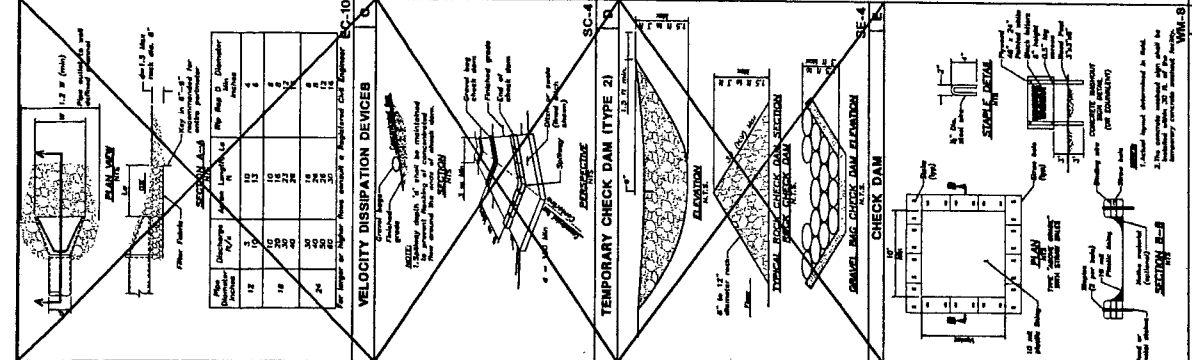
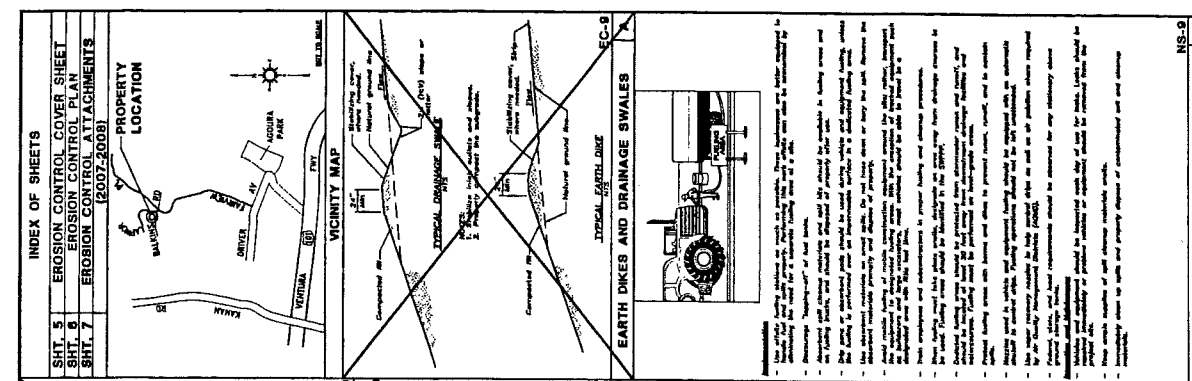


PROJECT DATA
 GROSS LOT SIZE: 59,983.18
 NET AREA: 45,341.25
 AVERAGE SLOPE ANALYSIS: 19.84%
 LAND TO REMAIN NATURAL CALC: 21,537.05 (47.5% - 45,341.25) / 23.92618 = PROVIDED "OK" = 51.4%
 TOTAL PROPOSED DISTURBED AREA: 21,537.05 * 0.506 AC. (MAX. ALLOWED DISTURBED AREA: 23,826.18) = 48.6% "OK"

UNDERGROUND SERVICE ALERT
 CALL TOLL FREE
 1-800-277-2860
 TWO WEEKS BEFORE YOU DIG



CITY OF AGOURA HILLS APPROVAL		CITY OF AGOURA HILLS ENGINEER, INC.	
SLOPE ANALYSIS AND TOPOGRAPHIC SURVEY		5952 LAPWORTH DR.	
8511 PARCELS 2 & 3		AGOURA HILLS, CA. 91301	
P.M.B. 98-22/23		PROJECT NO. _____	
S=HEX100		SHEET _____ OF _____	
A		DATE _____	
2x4499x100		TIME _____	
45,341.25		PRICE _____	
S=19.84%		DESCRIPTION OF CHANGE _____	
SEPTIC OK		DATE _____	
CUP REQUIRED		DATE _____	
47.5% LAND TO		DATE _____	
REMAIN OPEN SPACE		DATE _____	
A1=14,541.94 FT²		DATE _____	
A2=45,341.25 FT²		DATE _____	
≈ 1.04 AC.		DATE _____	
A Tot=59,983.18 FT²		DATE _____	
≈ 1.38 AC.		DATE _____	



INDEX OF SHEETS

SHT. 5 EROSION CONTROL COVER SHEET
SHT. 6 EROSION CONTROL PLAN
SHT. 7 EROSION CONTROL ATTACHMENTS

PROPERTY LOCATION

VICINITY MAP

TYPICAL EARTH DIKE AND DRAINAGE SWALES (EC-9)

VEHICLE/EQUIPMENT FUELING (NS-9)

EROSION CONTROL PLAN COVER SHEET

8952 LAPWORTH DR.
AGOURA HILLS, CA 91301

SHEET 3 OF 7

VELOCITY DISSIPATION DEVICES (EC-10)

TEMPORARY CHECK DAM (TYPE 2) (SC-4)

LOCAL CATCH BASIN INLET PROTECTION (H)

CONCRETE WASTE MANAGEMENT (F)

STABILIZED CONSTRUCTION ENTRANCE/EXIT (TC-1)

ADDITIONAL GENERAL NOTES

1. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

2. ALL EROSION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM THE PROJECT SITE.

3. THE EROSION CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION BEGINS.

4. THE EROSION CONTROL PLAN SHALL BE REVISITED AND UPDATED AS NECESSARY DURING THE COURSE OF CONSTRUCTION.

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14. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

15. THE EROSION CONTROL PLAN SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION BEGINS.

WIND EROSION CONTROL (J)

STABILIZED CONSTRUCTION ENTRANCE/EXIT (TC-1)

WET WEATHER EROSION CONTROL PLAN (WWECP) GENERAL NOTES

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PROJECT ENGINEER: [Signature]

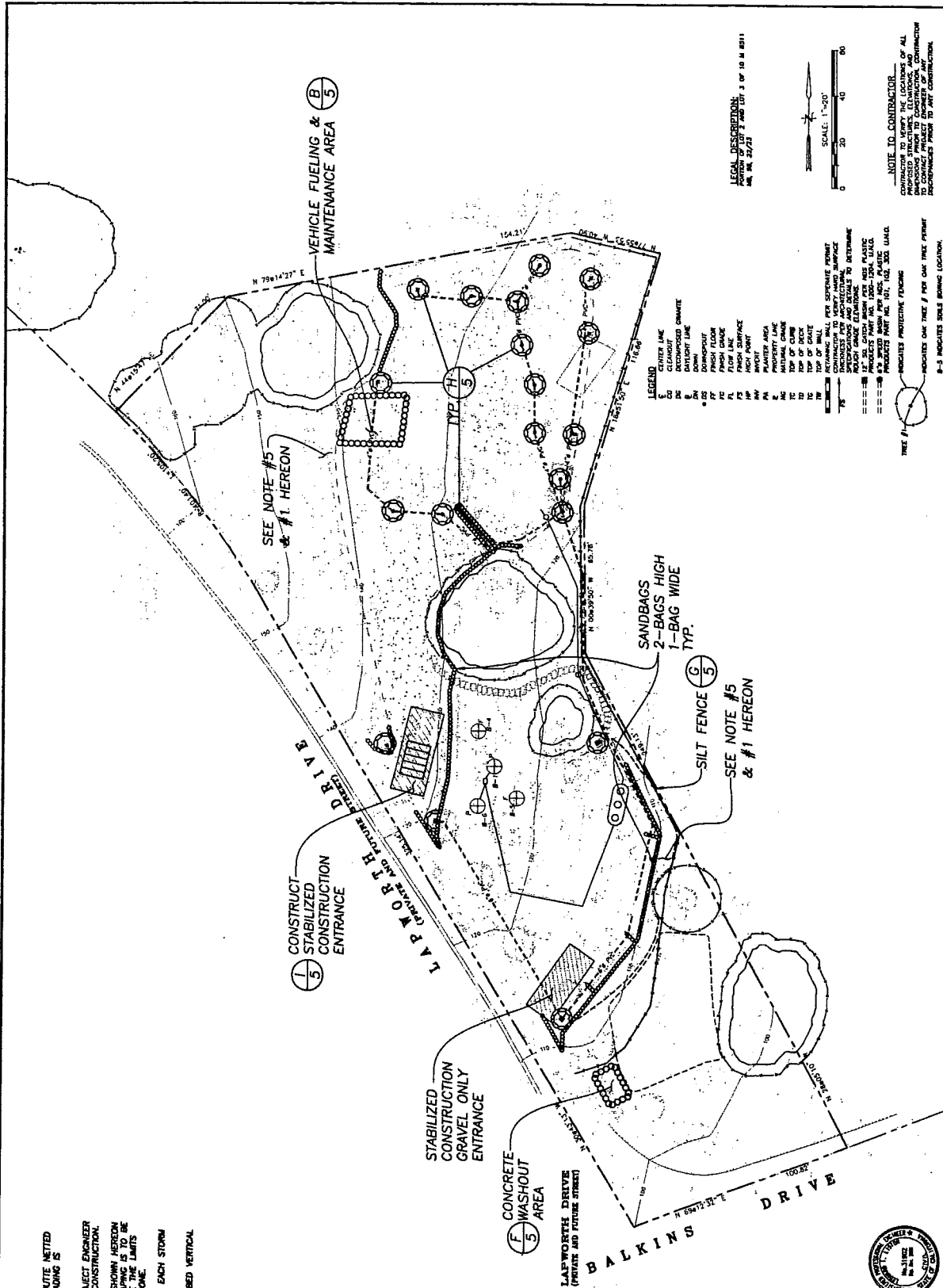
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PROJECT NO. [Number]

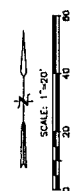
CITY OF AGOURA HILLS

NOTES:

1. ALL GRADED AND DISTURBED AREAS TO BE JUTE NETTED OR PER E.C.M., E.C.M. & E.C.T., AS SOON AS GRADING IS COMPLETE.
2. CONTRACTOR TO REVIEW ALL BMP'S AND PROJECT ENGINEER AS SITE REQUIRES DURING ALL PHASES OF CONSTRUCTION.
3. AREAS BEYOND THE LIMITS OF GRADING AS SHOWN HEREON SHALL BE LEFT UNDISTURBED UNTIL LANDSCAPING IS TO BE DONE. NO STRIPPING OF THE EARTH OUTSIDE THE LIMITS OF GRADING UNTIL LANDSCAPING IS TO BE DONE.
4. ALL SEDIMENT TRAPS TO BE CLEANED AFTER EACH STORM DURING ALL PHASES OF CONSTRUCTION.
5. PROVIDE 4'-HALL VESSELS OVER ALL DISTURBED VERTICAL EXCAVATIONS AND SLOPE AREAS.



LEGAL DESCRIPTION:
 PART OF LOT 7 AND LOT 3 OF 10 IN 4811
 44. 00. 22.25



NOTE TO CONTRACTOR:
 SHOWS THE LOCATIONS OF ALL EROSION CONTROL STRUCTURES TO BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION. DISSEMINATED PRIOR TO ANY CONSTRUCTION.

- LEGEND**
- 1. CONCRETE WALL PER SPECIFIED PERMIT
 - 2. DECOMPOSED GRANITE
 - 3. SANDBAGS
 - 4. SANDBAGS
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AGOURA HILLS

EROSION CONTROL PLAN
 5852 LAPWORTH DR.
 AGOURA HILLS, CA. 91301

PROJECT NO. _____ SHEET _____ OF _____

CITY OF AGOURA HILLS APPROVAL _____

PREPARED BY: **IC ENGINEERING GROUP, INC.**
 PROJECT ENGINEER: _____ DATE: _____

NO.	SYMBOL	DESCRIPTION OF CHANGE	DATE

UNDERGROUND SERVICE ALERT:
 CALL TOLL FREE 1-800-527-2846
 TWO WORKING DAYS BEFORE YOU DIG

AGOURA HILLS ENGINEERING GROUP, INC.
 15151 AGOURA HILLS ROAD, SUITE 100, AGOURA HILLS, CA 91301
 (951) 271-2846

LOCAL SWPPP BMP SELECTION WORKSHEET

BMP DESCRIPTION	WILL BMP BE USED?		COMMENTS
	YES	NO	
SITE PLANNING CONSIDERATIONS			
SCHEDULING			
CONSERVATION OF EXISTING VEGETATION			
CONSTRUCTION PRACTICES			
DEMATERING OPERATIONS			
PAVING OPERATIONS			
STRUCTURE CONSTRUCTION & PAINT			
DUST CONTROL			
VEHICLE & EQUIPMENT MANAGEMENT			
VEHICLE & EQUIP. CLEANING			
VEHICLE & EQUIP. PAELING			
VEHICLE & EQUIP. MAINTENANCE			
TRACKING CONTROL			
STABILIZED CONSTRUCTION ENTRANCE			
CONTRACTOR TRAINING			
EMPLOYEE/SUBCONTRACTOR TRNG.			
MATERIAL MANAGEMENT			
MATERIAL DELIVERY AND STORAGE			
MATERIAL USE			
SOIL PREVENTION AND CONTROL			
WASTE MANAGEMENT			
SOLID WASTE MANAGEMENT			
HAZARDOUS WASTE MANAGEMENT			
CONTAMINATED SOIL MANAGEMENT			
CONCRETE WASTE MANAGEMENT			
SEWAGE/SEPTIC WASTE MANAGEMENT			

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM ON SITE SELF-INSPECTION CHECKLIST

TO BE ATTACHED TO THE LOCAL SWPPP INSPECTED BY: _____ PERMIT # _____ CONTRACTOR: _____

CITY OF AGOURA HILLS APPROVAL

DATE: _____

CHECK "YES" OR "NO" OR "N/A" IF NOT APPLICABLE

- 1. HAS THERE BEEN AN ABSENCE OF RAIN SINCE THE LAST INSPECTION?
- 2. ARE ALL SEDIMENT BARRIERS (E.G., SANDBAGS, STYRM BALES, AND SALT FENCES) IN PLACE ACCORDANCE WITH THE SWPPP?
- 3. ARE ALL EXPOSED SLOPES PROTECTED FROM EROSION THROUGH THE IMPLEMENTATION OF ACCEPTABLE SOIL STABILIZATION PRACTICES?
- 4. IF PRESENT, ARE ALL SEDIMENT TRAPS BASINS INSTALLED AND FUNCTIONING PROPERLY (IF APPLICABLE)?
- 5. ARE ALL MATERIAL, MATERIAL AND STORAGE AREAS COVERED TO PREVENT WIND-BLOWN DUST, SPILLS, LEAKS, OR OTHER POLLUTANTS FROM ENTERING THE STORM DRAIN SYSTEM?
- 6. ARE ALL MATERIALS AND EQUIPMENT PROPERLY COVERED?
- 7. ARE ALL EXTERNAL DISCHARGE POINTS (E.G., STORM DRAIN ALLEYS) PROTECTED WITH INLET PROTECTION?
- 8. ARE ALL EXTERNAL DISCHARGE POINTS PROTECTED FREE OF ANY SIGNIFICANT EROSION OR SEDIMENT TRANSPORT?
- 9. ARE ALL STRUCTURAL CONTROL PRACTICES IN GOOD REPAIR AND MAINTAINED IN FUNCTIONING ORDER?
- 10. ARE ALL ON-SITE TRAFFIC ROUTES, PARKING, AND LOADING AREAS DESIGNATED IN THE SWPPP FOR THESE USES?
- 11. ARE ALL LOCATIONS OF TEMPORARY SOIL STOCKPILES OR CONSTRUCTION MATERIALS IN APPROVED AREAS MAINTAINED?
- 12. ARE SEDIMENT TREATMENT CONTROLS IN PLACE AT DISCHARGE POINTS FROM THE SITE?
- 13. ARE SLOPES FREE OF SIGNIFICANT EROSION?
- 14. ARE ALL POINTS OF INGRESS AND EGRESS FROM THE SITE PROVIDED WITH STABILIZED CONSTRUCTION ENTRANCES?
- 15. IS SEDIMENT, DEBRIS, OR MUD BEING CLEARED FROM PUBLIC ROADS AT INTERSECTIONS WITH SITE ACCESS ROADS?
- 16. DOES THE PLAN REFLECT CURRENT SITE CONDITIONS?

II. ATTACHMENTS TO LOCAL SWPPP
 CERTIFICATION STATEMENT TO THE RESIDENCE OF A BUILDING OR GRADING PERMIT, A CERTIFICATION SIGNED BY THE OWNER OR AUTHORIZED AGENT OF THE OWNER MUST BE SUBMITTED. SUCH CERTIFICATION SHALL STATE THAT THE SWPPP HAS BEEN REVIEWED AND APPROVED FOR THE PROJECT.
 GENERAL NOTES (ATTACHMENT 2)
 SELF INSPECTION TO ENSURE THAT BMPs ARE PROPERLY IMPLEMENTED AND MAINTAINED AND TO IDENTIFY MAINTENANCE AND REPAIR NEEDS. INSPECTIONS SHALL BE RECORDED ON THE ATTACHED FORM AND MADE AVAILABLE TO CITY INSPECTORS WHEN REQUESTED. (ATTACHMENT 3)
 SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADS MUST BE TO THE PUBLIC WAS. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
 AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE LOCAL SWPPP, THE SWPPP, THE SWPPP, AND THE LOCAL SWPPP AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: _____ DATE: _____
 SIGNATURE: _____

INSPECTION LOG

THE SITE SHALL BE INSPECTED BEFORE AND AFTER STORM EVENTS WITH 0.5 INCHES OF RAIN OR MORE. THE LOCAL SWPPP SHALL BE ATTACHED TO THE FIELD SET OF PLANS. CHECKLIST INCIDENTS OF NON-COMPLIANCE MUST BE REPORTED TO THE ENGINEER.

DATE	INSPECTOR	TYPE OF INSPECTION	OBSERVATIONS	
			ROUTINE	POST-STORM

JOB ADDRESS: _____ PERMIT # _____

STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM PRIORITY PROJECTS

CERTIFICATION STATEMENT
 AS THE OWNER OR AUTHORIZED AGENT OF THE OWNER, I CERTIFY THAT THE SWPPP HAS BEEN REVIEWED AND APPROVED FOR THE PROJECT. THE PROJECT CONTRACTOR IS AWARE THAT THE SWPPP HAS BEEN REVIEWED AND APPROVED FOR THE PROJECT. THE SWPPP HAS BEEN REVIEWED AND APPROVED FOR THE PROJECT. THE SWPPP HAS BEEN REVIEWED AND APPROVED FOR THE PROJECT.

PRINT NAME: _____ DATE: _____
 SIGNATURE: _____

PRIORITY PROJECTS

THIS MANUOIT IS TO PROVIDE ASSISTANCE FOR APPLICANTS TO COMPLY WITH THE LOCAL SWPPP. PRIORITY PROJECTS SHALL BE CLASSIFIED AS PRIORITY PROJECTS ARE:

- SITES OF GREATER THAN TWO ACRES BUT LESS THAN FIVE ACRES OF
- LOCATED IN DESIGNATED HILLSIDE AREAS
- ADJOINING OR LOCATED IN ENVIRONMENTAL SENSITIVE AREAS OR
- THE REQUIREMENT TO IMPLEMENT A STORMWATER DEVELOPMENT CONSTRUCTION PROGRAM IS TO SHOW ALL BEST MANAGEMENT PRACTICES (BMPs) NECESSARY TO PREVENT POLLUTION FROM THE PROJECT. THE LOCAL SWPPP SHALL BE ATTACHED TO THE FIELD SET OF PLANS.

REQUIREMENTS

- THE LOCAL SWPPP SHALL CONTAIN THE FOLLOWING:
 - THE ADDRESS OF THE PROJECT;
 - A BRIEF DESCRIPTION OF THE PROJECT;
 - THE OWNER/DEVELOPER'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S);
 - THE CONTRACTOR'S NAME, ADDRESS, PHONE NUMBER, AND CONTACT PERSON(S), IF AVAILABLE AT ISSUANCE OF PERMIT;
 - A LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE, AND ACTIVITIES AT THE PROJECT SITE;
 - A SITE PLAN (A CONSTRUCTION OR SITE PLAN MAY BE USED) WITH THE FOLLOWING:
 - THE FOOTPRINT OF EXISTING AND PROPOSED BUILDING(S) OR STRUCTURE(S);
 - THE LOCATION(S) OF EXISTING AND PROPOSED BARRIERS, VEHICLES, AND EQUIPMENT WILL BE STORED, USED, MAINTAINED, AND DISPOSED, ALONG WITH LOCATIONS OF STRUCTURAL MEASURES THAT WILL BE USED TO PROTECT EXISTING AND FINISH GRADES OF THE SITE;
 - THE LOCATION(S) WHERE RUMPOFF FROM THE SITE MAY ENTER STORM DRAIN SYSTEMS (WITH RECEIVING WATERS);
 - A LISTING OF BMPs SELECTED FOR THE PROJECT;
 - LOCATION(S) OF SELECTED BMPs WHERE APPROPRIATE.

EROSION CONTROL ATTACHMENTS
 5952 LAPPWORTH DR.
 AGOURA HILLS, CA. 91301
 PROJECT NO. _____ SHEET ____ OF ____

AGOURA HILLS
 CITY OF AGOURA HILLS, CA

REVISIONS

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

PREPARED BY: _____ DATE: _____
 PROJECT ENGINEER: _____ DATE: _____

LANDSCAPE

L-1

SCALE: 1"=20'-0"

APN# 2055-022-013 LOT# PORTION OF 2 AND 3

EDWARDS RESIDENCE

OLWYNKINGERY
LANDSCAPE DESIGN

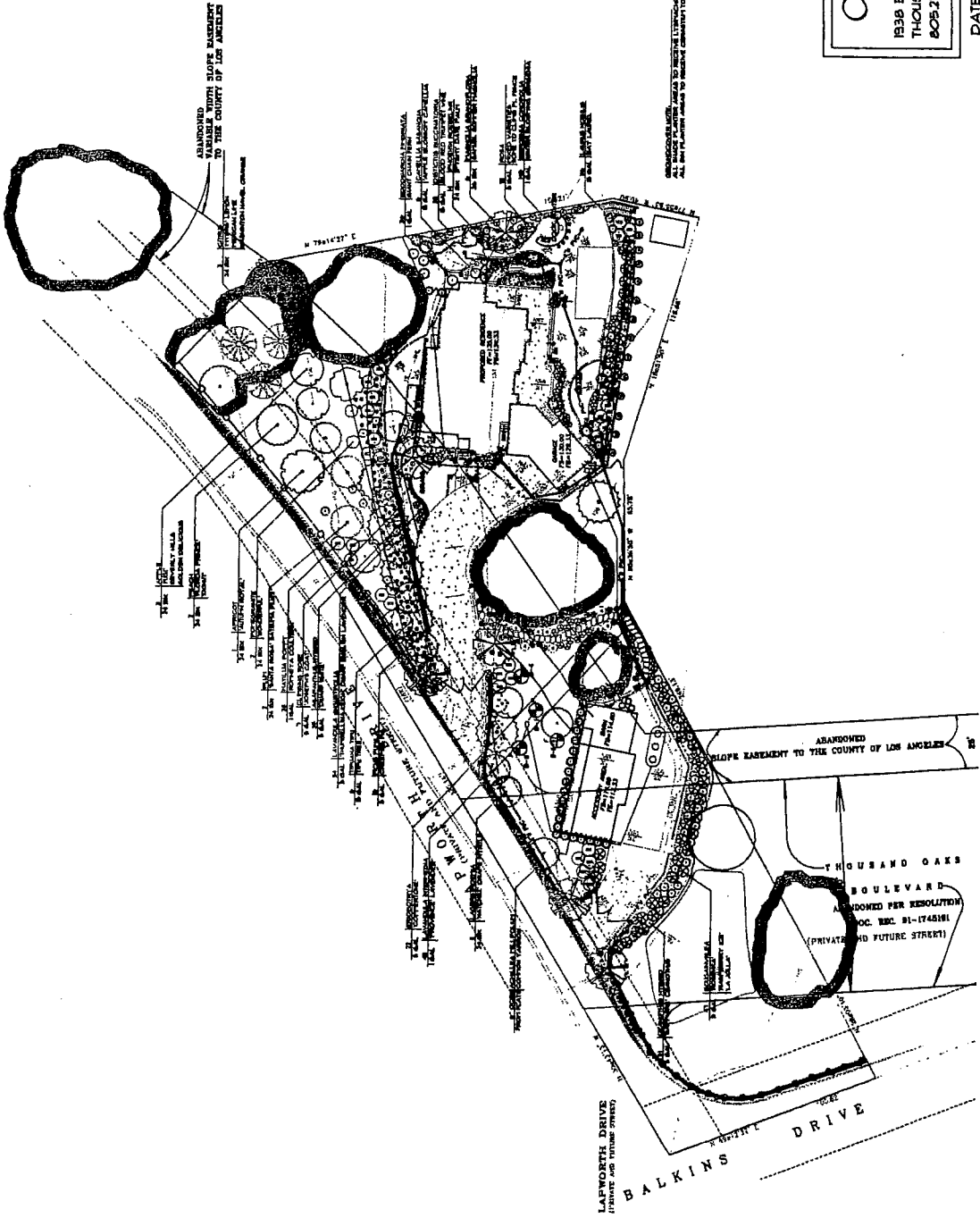
1938 EAST THOUSAND OAKS BLVD. SUITE B
THOUSAND OAKS, CALIFORNIA 91360
805.273.9118 VOICE 805.494.8918 OFFICE

DATE: 2/13/07

REVISIONS: 6/13/06 10/10/06 2/13/07

PRINT DATE:

EDWARDS
L-1 LANDSCAPE

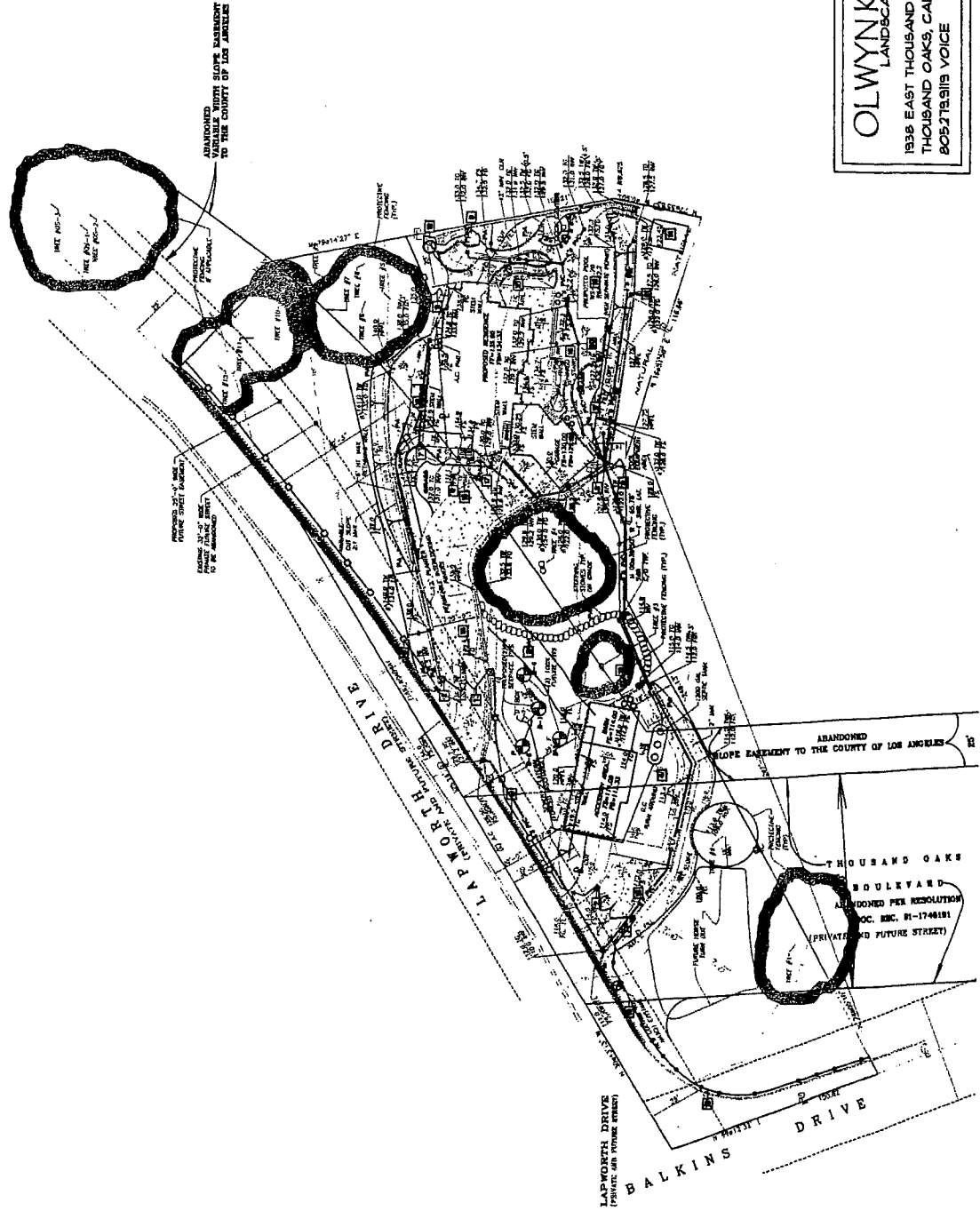


EDWARDS RESIDENCE

OLWYNKINGERY
 LANDSCAPE DESIGN
 1938 EAST THOUSAND OAKS BLVD. SUITE B
 THOUSAND OAKS, CALIFORNIA 91360
 805.278.9119 VOICE 805.434.8918 OFFICE

DATE: 2/13/07
 REVISIONS: 6/13/06 10/10/06 2/13/07
 PRINT DATE:

EDWARDS
L-2 CONSTRUCTION



LEGEND OF MATERIALS

- 1 CITY WATER 30\"/>
- 2 METAL COULING TO MATCH EXISTING
- 3 PLANTATION TREES
- 4 UNPAVED DRIVEWAY & COURTYARD
- 5 ASPHALT DRIVEWAY
- 6 METAL COULING TO MATCH EXISTING
- 7 PLANTATION TREES
- 8 POOL, BENCHES, FOUNTAINS
- 9 MULTIMATERIAL POOL, SPACER
- 10 METAL COULING TO MATCH EXISTING
- 11 COLLECTOR DRAINAGE
- 12 COLLECTOR DRAINAGE
- 13 COLLECTOR DRAINAGE
- 14 COLLECTOR DRAINAGE
- 15 COLLECTOR DRAINAGE
- 16 COLLECTOR DRAINAGE
- 17 COLLECTOR DRAINAGE
- 18 COLLECTOR DRAINAGE
- 19 COLLECTOR DRAINAGE
- 20 COLLECTOR DRAINAGE
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- 23 COLLECTOR DRAINAGE
- 24 COLLECTOR DRAINAGE
- 25 COLLECTOR DRAINAGE

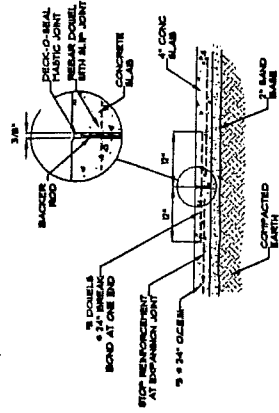


EDWARDS RESIDENCE
5952 LAPWORTH DRIVE AGOURA HILLS, CA 91301
APN# 2055-022-073 LOT# PORTION OF 2 AND 3

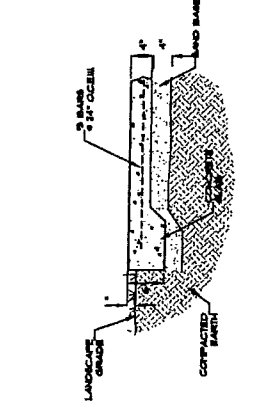
OLWYKINGERY
LANDSCAPE DESIGN
1838 EAST THOUSAND OAKS BLVD. SUITE B
THOUSAND OAKS, CALIFORNIA 91360
805.273.9191 VOICE 805.494.8918 OFFICE

DATE: 2/18/07
REVISIONS: 6/13/06 10/10/06 2/18/07
PRINT DATE:

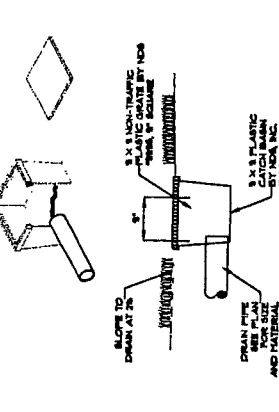
EDWARDS
L-3 DETAILS



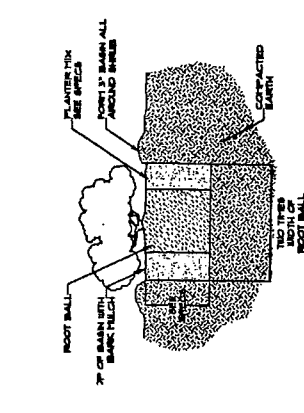
1 DECK DRAIN
L-3



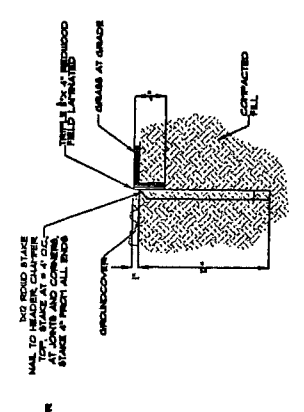
2 CATCH BASIN
L-3



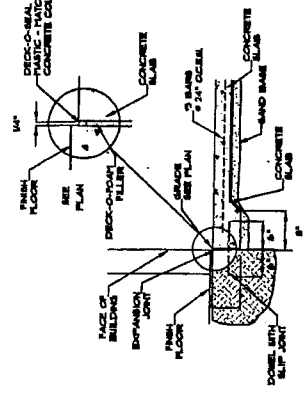
3 EDGE DETAIL AT PLANTING
L-3



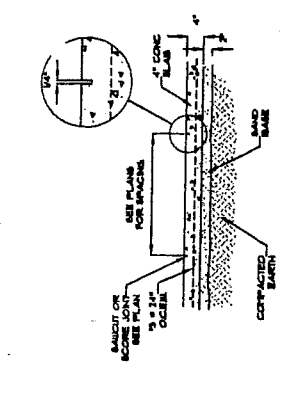
4 EXPANSION JOINT
L-3



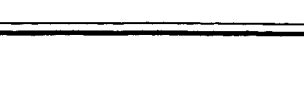
5 SAWCUT OR TOOLED JOINT
L-3



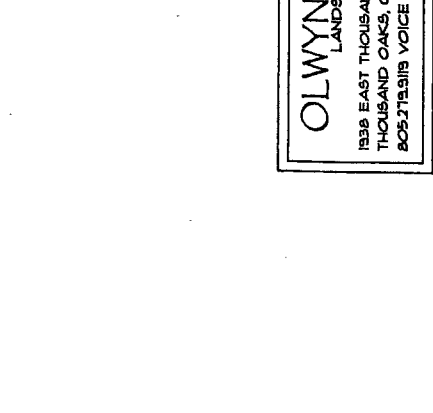
6 EDGE DETAIL AT BUILDING
L-3



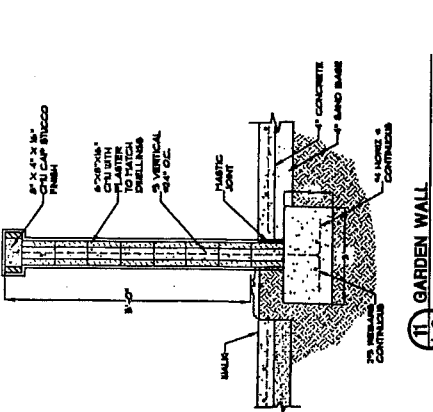
7 LAWN HEADER
L-3



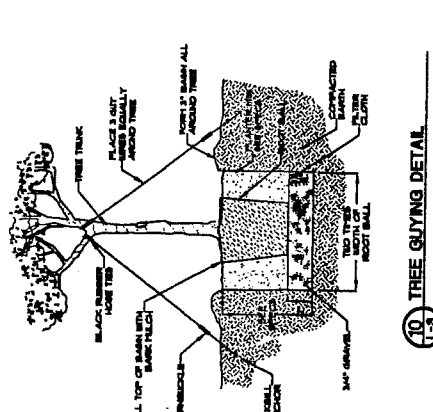
8 SHRUB PLANTING DETAIL
L-3



9 TREE STAKING DETAIL
L-3



10 TREE GUYING DETAIL
L-3



11 GARDEN WALL
L-3





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT F

**LETTER FROM OLD AGOURA
HOMEOWNERS ASSOCIATION**

DATE: August 4, 2006
RE: Review of Proposed Project
FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association
TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills
SUBJECT: 06-CUP-008 AND 06-OTP-017 (Edwards, Steve and Marguerite)

Description

Application to build a 4,950 sq. ft., 2 story single family house w/ a 908 sq. ft. attached 3-car garage, and a 1,502 sq. ft. barn/accessory structure.

Comment

The architecture of the house, with its wrap-around porches and metal roof, evokes a Western style of rural architecture and is well-suited to the neighborhood. The house and accessory structure have been set back from the streets and turned at angles to them, a placement that will help to create a sense of space between buildings. Taken together, the size of house and accessory structure are at the limit of what the Committee considers appropriate for the neighborhood, but the Committee also finds the scale acceptable. The accessory structure, whatever its use, reads architecturally as a Western barn and should be easily converted to horse-keeping as it is integrated with a set-aside for a future corral.

We are happy to recommend this project.

Should you have questions about these comments please contact Robert Evren, Chair, Planning and Zoning Committee, Old Agoura Homeowners Association: 865-9003, 448-2556 cell, robtevren@aol.com.

We hope this is of help to you.

CC: Valerie Darbouze, Assistant Planner



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

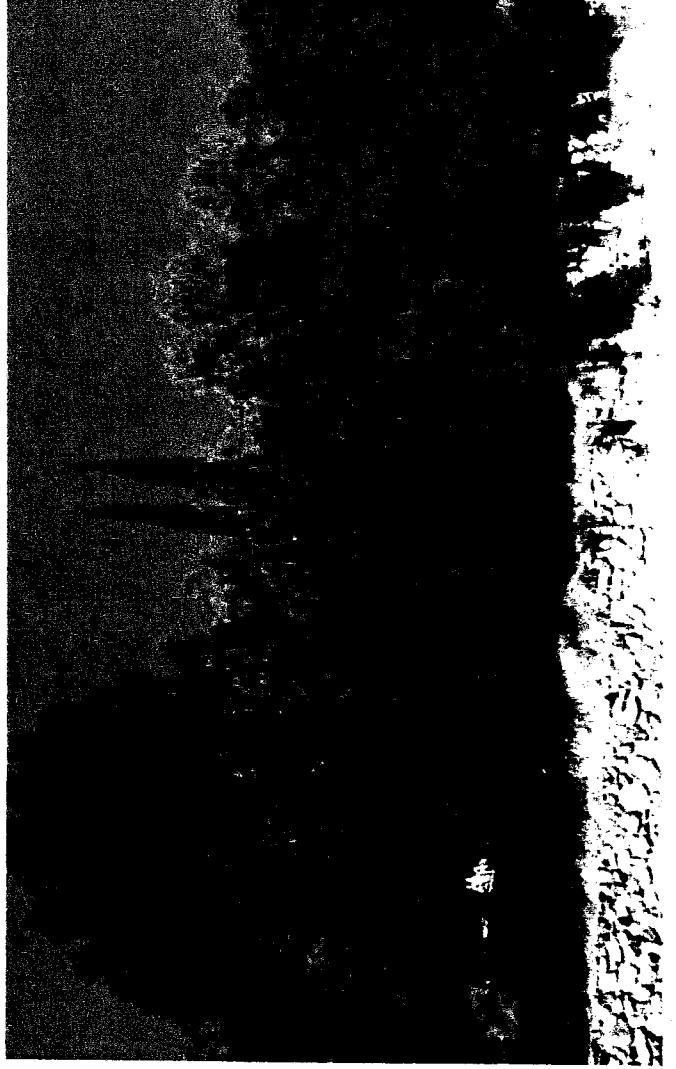
EXHIBIT G

**PHOTOGRAPHS OF THE SITE AND
SURROUNDINGS**

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH

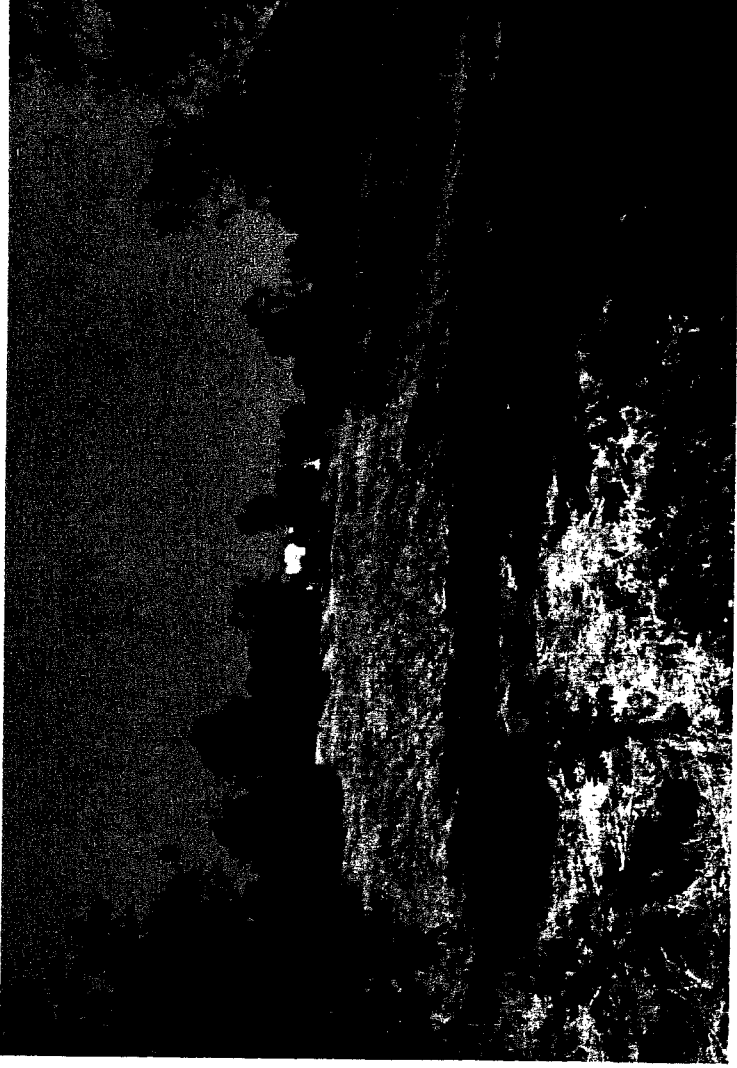


WEST P/L LOOKING EAST DOWN ON
HOUSE SITE



FROM WEST P/L LOOKING WEST

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH



EAST P/L LOOKING WEST AT HOUSE SITE



NORTH P/L LOOKING SOUTH AT HOUSE SITE

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH



FROM EAST P/L LOOKING WEST UP TO
HOUSE SITE



VIEW FROM EAST P/L LOOKING EAST

EDWARDS' RESIDENCE
5952 LAPWORTH DRIVE
NE CORNER BALKINS & LAPWORTH



FROM SOUTH P/L LOOKING NORTH



FROM SOUTH P/L LOOKING SOUTH



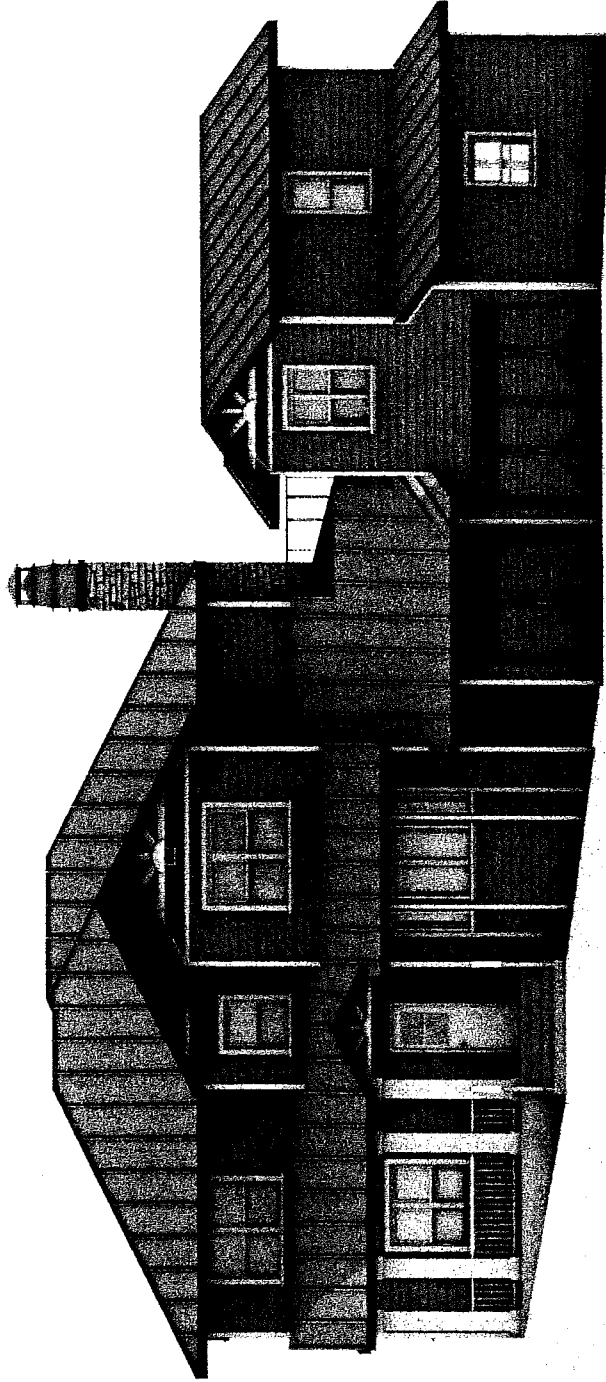
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT H

**COLOR RENDERING OF
RESIDENCE AND BARN**

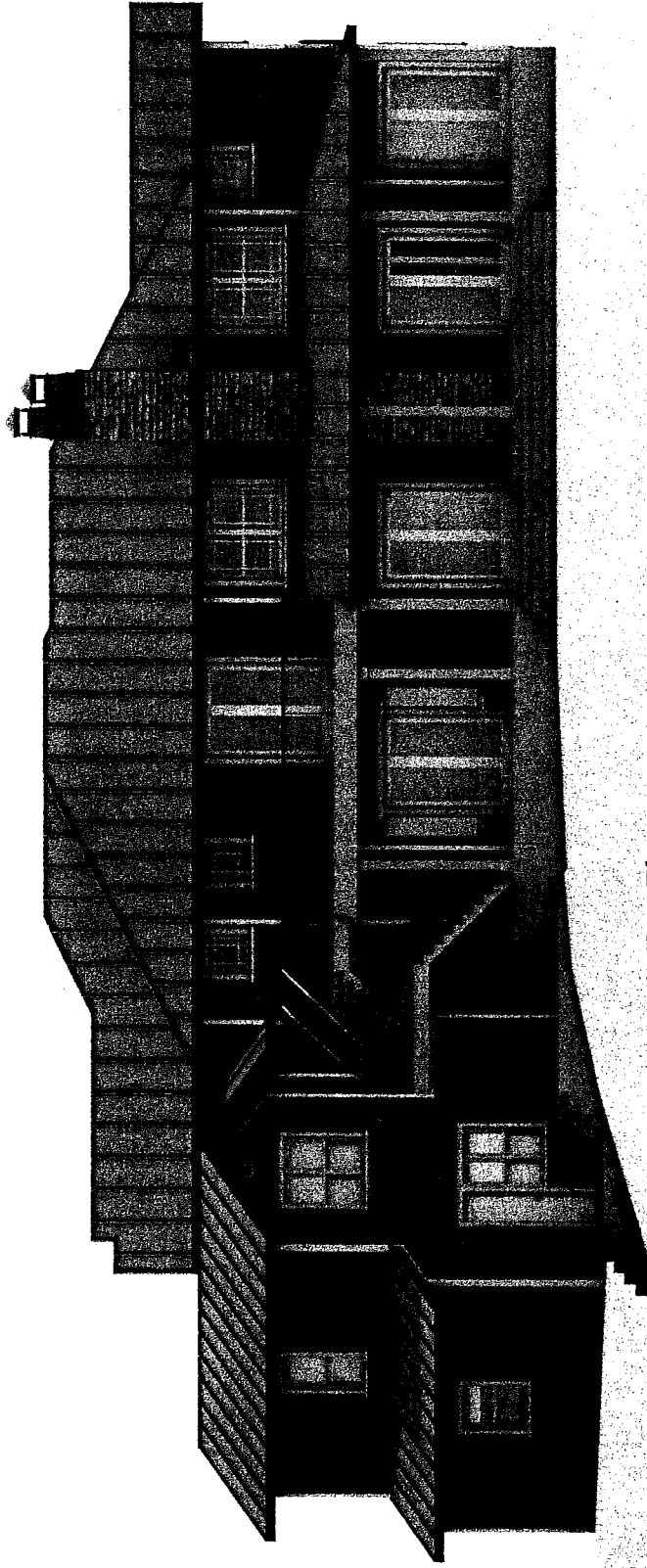
Edwards Residence



South Elevation

Edwards Residence, 1890s
Architect: [illegible]
[illegible]

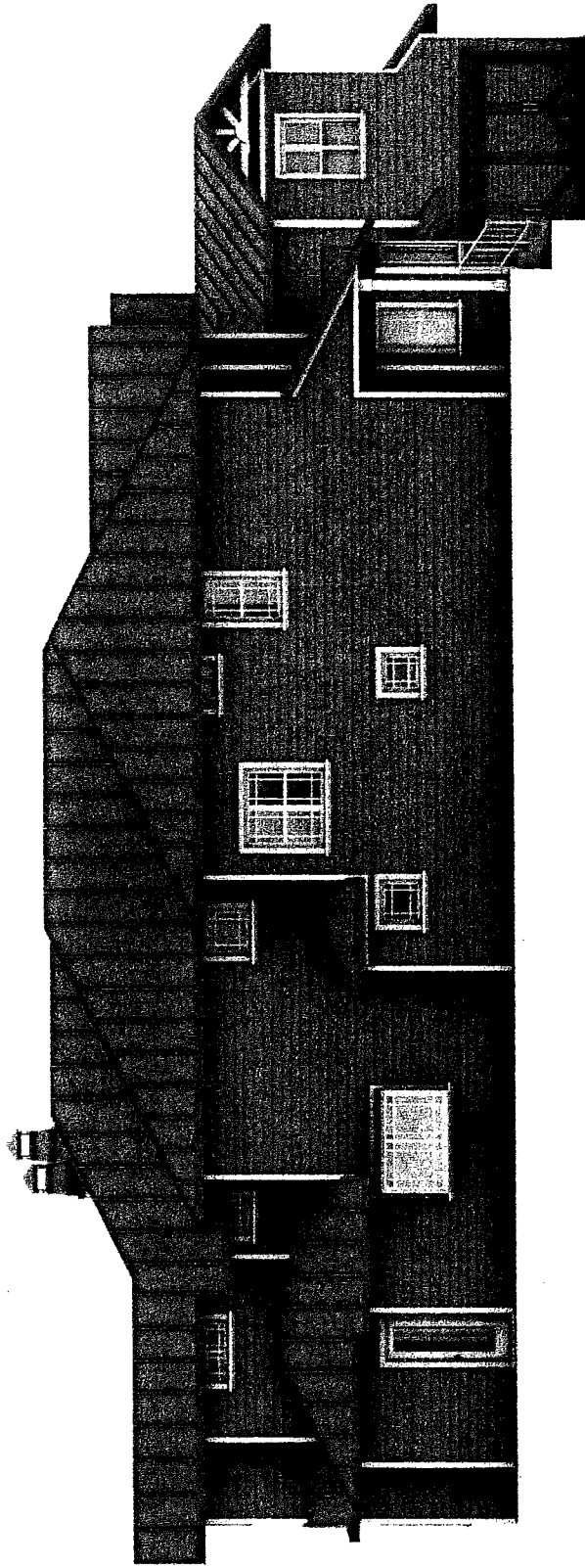
Edwards Residence



East Elevation

Ken Woodson / Bruce Shandhu
Architects
©2014 Ken Woodson / Bruce Shandhu Architects

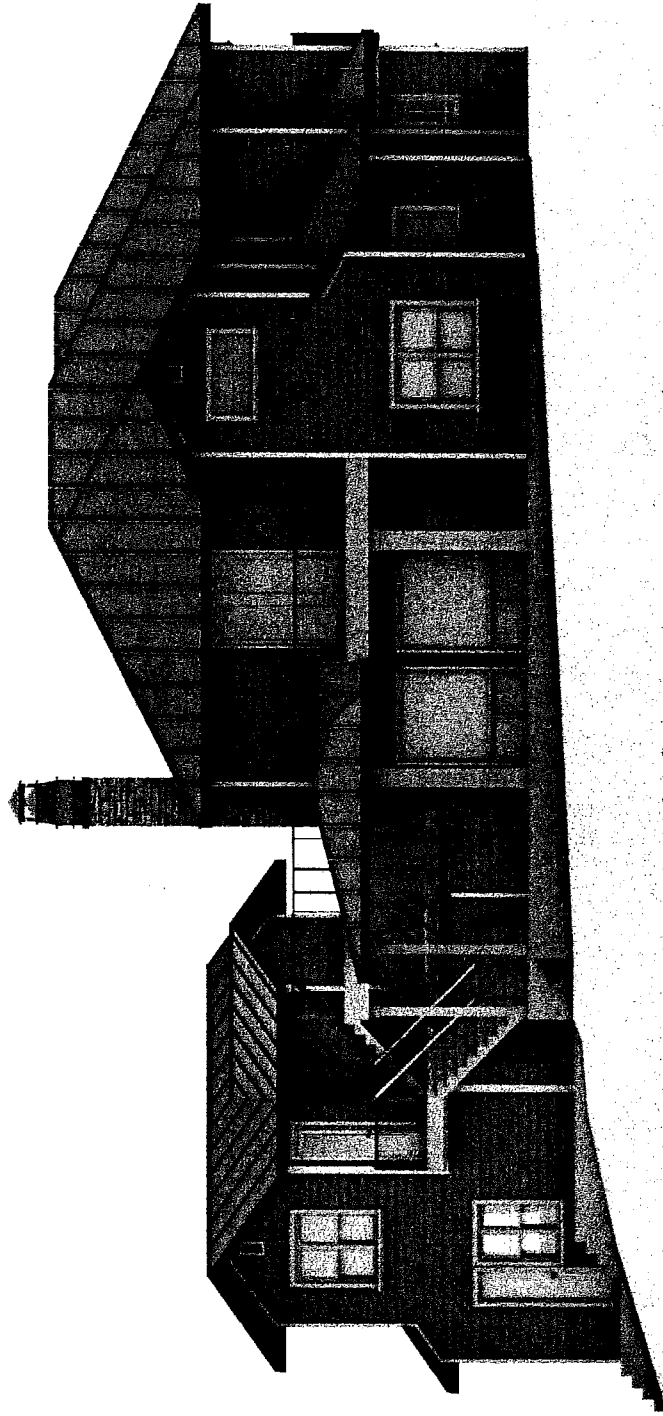
Edwards Residence



West Elevation

Edwards Residence
Architect
1910

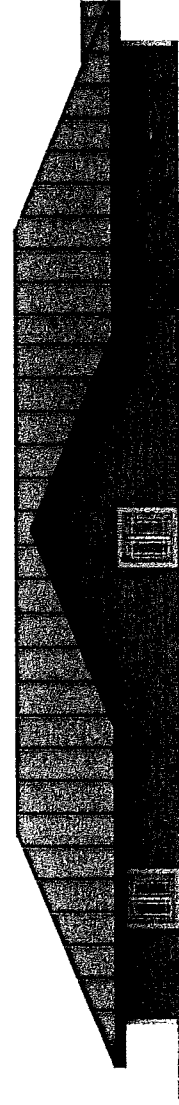
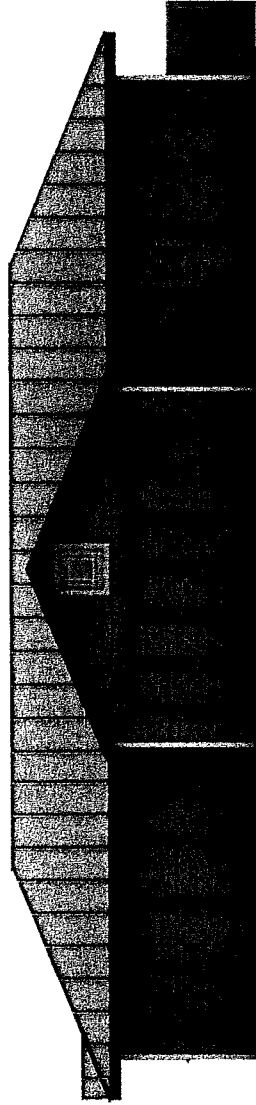
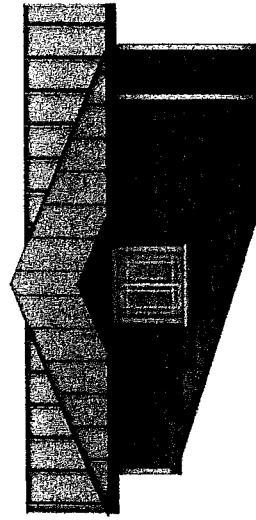
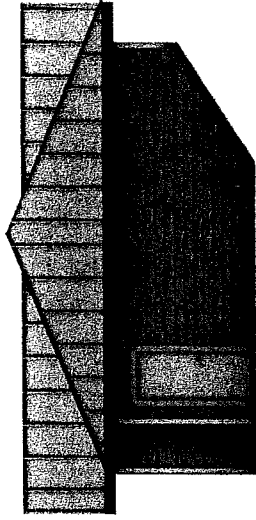
Edwards Residence



North Elevation

Edward T. Bruce / Bruce Shucklin Inc.
Architects
1000 S. 10th St. - 4th Floor - Seattle, WA 98104

Edwards Residence



Barn Elevations



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT G

RENDERINGS OF RESIDENCE AND BARN



Ken Stockton / Bruce Shindelue



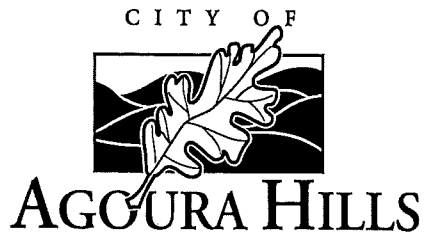
Ken Stockton / Bruce Shindelar



Ken Stockton / Bruce Shindler



Ken Stockton / Bruce Shindler



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT NO. 06-OTP-017**

**FOR THE PROPERTY LOCATED AT
5952 LAPWORTH DRIVE, AGOURA HILLS**

EXHIBIT F

VICINITY MAP

**CONDITIONAL USE PERMIT CASE NO. 06-CUP-008
AND OAK TREE PERMIT CASE NO. 06-OTP-017 (2055-022-073) EDWARDS**

