



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001  
AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS.**

**EXHIBIT D**

**PLANNING COMMISSION MINUTES  
FOR JULY 19, 2007**



**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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**MINUTES OF THE REGULAR SCHEDULED MEETING OF  
THE PLANNING COMMISSION  
July 19, 2007**

1. CALL TO ORDER: Chair Rishoff called the meeting to order at 6:37 p.m.
  
2. FLAG SALUTE: Commissioner O'Meara
  
3. ROLL CALL: Commissioner Illece Buckley Weber, Commissioner John O'Meara, Commissioner Phil Ramuno and Chair Steve Rishoff. Vice Chair Curtis Zacuto was absent from the meeting.

Chair Rishoff stated the Commission had received notification of Vice Chair Zacuto's absence prior to the meeting and that he had requested to be excused. Chair Rishoff asked if there were any objections. There were no objections to excusing the absence.

Also present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Assistant Planner Renee Madrigal, Assistant Engineer Kelly Fisher, Oak Tree and Landscape Consultant Kay Greeley, and Recording Secretary Sheila Keckhut.

4. APPROVAL OF MINUTES: June 21, 2007  
  
On a motion by Commissioner Buckley Weber, seconded by Commissioner O'Meara, the Planning Commission moved to approve the Minutes of the June 21, 2007 Planning Commission Meeting. Motion carried 3-0-1. Commissioner Ramuno abstained. Vice Chair Zacuto was absent.

5. COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

6. CONTINUED PUBLIC HEARING:

APPLICANT: Steve and Marguerite Edwards  
718 Admiral Court  
Oak Park, CA 91377

CASE NOS.: 06-CUP-008 and 06-OTP-017

LOCATION: 5952 Lapworth Drive  
(Northeast corner of Balkins Drive and Lapworth  
Drive) (A.P.N. 2055-022-073)

REQUEST: Request for approval of a Conditional Use Permit to construct a 5,246 square foot, two-story, single-family residence with a 919 square foot attached garage, a 347 square foot studio above the garage, a swimming pool, and a 1,446 square foot detached garage and barn; and a request for an Oak Tree Permit to possibly encroach within the protected zone of one (1) Oak tree for the proposed construction.

ENVIRONMENTAL  
DETERMINATION: Exempt from CEQA per Section 15303

RECOMMENDATION: Staff recommended the Planning Commission continue Conditional Use Permit Case No. 06-CUP-008 and Oak Tree Permit Case No. 06-OTP-017 to the August 2, 2007 Planning Commission meeting.

ACTION: On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 06-CUP-008 and Oak Tree Permit Case No. 06-OTP-017 to the August 2, 2007 meeting. Motion carried 4-0. Vice Chair Curtis Zacuto was absent.

7. NEW PUBLIC HEARINGS:

A. APPLICANT: Clive Dawson/Erin Anderson for Rafi and Orit Sharon  
28925 Pacific Coast Highway, #203  
Malibu, CA 90265

CASE NOS.: 06-CUP-001 and 06-OTP-001

LOCATION: 28243 Balkins Drive  
(A.P.N. 2055-022-080)

REQUEST: Request for approval of a Conditional Use Permit to construct a 4,960 square foot, two-story, single-family residence with a 704 square foot attached garage, a swimming pool and spa; and a request for an Oak Tree Permit for the removal of three (3) Oak trees and encroachment within the protected zone of four (4) Oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA per Section 15303

RECOMMENDATION: Staff recommended the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-001 and Oak Tree Permit Case No. 06-OTP-001, subject to conditions, based on the findings of the draft Resolution.

PUBLIC COMMENTS: Chair Rishoff opened the Public Hearing

The following persons spoke in favor of the project.

Rafi Sharon – Applicant

Clive Dawson, Architect representing applicant

Jerry Glazer, Agoura Hills

Ronit Zoldan, Agoura Hills

The following persons spoke in opposition of the project.

Andrea Lux, Agoura Hills

Danny Lux, Agoura Hills

Laurie Turner, Agoura Hills

Vicki Hunter, Agoura Hills

Maria Power, Agoura Hills

The following persons spoke neither for nor against the project.

Gene Rosecrans, Oak Park

Bob Hartman, Agoura Hills

Jon Levin, Agoura Hills

Ronald Cagnon, Agoura Hills

**REBUTTAL:** Clive Dawson, Architect representing applicant gave rebuttal regarding the project and answered additional questions of the Planning Commission.

**RECESS:** Chair Rishoff called for a recess at 8:33 p.m.

**RECONVENE:** Chair Rishoff reconvened the meeting at 8:51 p.m.

**ACTION:** On a motion by Commissioner Ramuno, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 06-CUP-001 and Oak Tree Permit Case No. 06-OTP-001 to the September 6, 2007 meeting. Motion carried 4-0. Vice Chair Curtis Zacuto was absent.

- B. APPLICANT: Keith Blinkinsoph for Mary Thompson  
26228 Alizia Canyon  
Calabasas, CA 91302
- CASE NOS.: 04-CUP-003 & 06-VAR-005
- LOCATION: North side of Lewis Place, east of 28425 Lewis Place  
(A.P.N. 2061-022-029 & 030)
- REQUEST: Request for approval of a Conditional Use Permit to construct a 2,547 square-foot, two-story residence, a 543 square-foot, attached, two-car garage and a 420 square-foot, attached, covered patio; a request for a Variance from Zoning Ordinance Sections 9243.3.D and 9606.2.A. to provide a 17-foot front yard setback instead of the minimum 25 feet and to construct retaining walls in excess of 3.5 feet in height in the front yard area.
- ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA, per Section 15303
- RECOMMENDATION: Staff recommended the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 04-CUP-003 and Variance 06-VAR-005, subject to conditions, based on the findings of the draft Resolutions.
- RECESS: Chair Rishoff called for a recess at 10:04 p.m.
- RECONVENE: Chair Rishoff reconvened the meeting at 10:10 p.m.
- PUBLIC COMMENTS: Chair Rishoff opened the Public Hearing

The following person spoke in favor of the project.

Keith Blinkinsoph – representing applicant Mary Thompson

The following person spoke in opposition of the project.

Jason Ross, Agoura Hills

The following person spoke neither for nor against the project.

Guenter Schmidt, Thousand Oaks

REBUTTAL: Keith Blinkinsoph – representing applicant Mary Thompson, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

RECESS: Chair Rishoff called for a recess at 10:49 p.m.

RECONVENE: Chair Rishoff reconvened the meeting at 11:00 p.m.

ACTION: On a motion by Commissioner Ramuno, seconded by Commissioner O'Meara, the Planning Commission moved to adopt Resolution No. 909, approving Conditional Use Permit Case No. 04-CUP-003 subject to conditions, based on the findings of the draft Resolution. Motion carried 3-1. Commissioner Buckley Weber opposed. Vice Chair Zacuto was absent.

On a motion by Commissioner Ramuno, seconded by Commissioner O'Meara, the Planning Commission moved to adopt Resolution No. 910, approving Variance 06-VAR-005, subject to conditions, based on the findings of the draft Resolution. Motion carried 4-0. Vice Chair Zacuto was absent.

8. ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA:

Commission: None

Staff: None

9. ADJOURNMENT:

At 11:17 p.m., on a motion by Commissioner Buckley Weber, seconded by Commissioner O'Meara, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on August 2, 2007 at 6:30 p.m.



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001  
AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT E**

**JULY 19, 2007 STAFF REPORT**





**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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**DATE:** July 19, 2007

**APPLICANT:** Clive Dawson/Erin Anderson for Rafi and Orit Sharon  
28925 Pacific Coast Highway, #203  
Malibu, CA 90265

**TO:** Planning Commission

**CASE NOS.:** 06-CUP-001 and 06-OTP-001

**LOCATION:** 28243 Balkins Drive  
(A.P.N. 2055-022-080)

**REQUEST:** Request for approval of a Conditional Use Permit to construct a 4,960 square foot, two-story, single-family residence with a 704 square foot attached garage, a swimming pool and spa; and a request for an Oak Tree Permit for the removal of three (3) Oak trees and encroachment within the protected zone of four (4) Oak trees for the proposed construction.

**ENVIRONMENTAL DETERMINATION:** Exempt from CEQA per Section 15303

**RECOMMENDATION:** Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-001 and Oak Tree Permit Case No. 06-OTP-001, subject to conditions, based on the findings of the attached draft Resolution.

**ZONING DESIGNATION:** RV-OA (Very Low Density Residential – Old Agoura Design Overlay)

**GENERAL PLAN DESIGNATION:** RV – (Very Low Density Residential)

## I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Clive Dawson/Erin Anderson representing property owners Rafi and Orit Sharon are requesting approval of a Conditional Use Permit to construct a 4,960 square foot, two-story, single-family residence with a 704 square foot, attached three-car garage, and a swimming pool and spa in the Very Low Density Residential (RV) zone of Old Agoura. The 1.13 acre vacant parcel is located on the north side of Balkins Drive, east of Lapworth Drive at 28243 Balkins Drive. The property is a flag lot served by a 325-foot long driveway from Balkins Drive.

The parcel has an average topographic slope of 22.9%. The Zoning Ordinance requires the Planning Commission's consideration and approval of a Conditional Use Permit for any development on lots that exceed a 10% average topographic slope. The property slopes downward from the north and west of the property in a southeasterly direction. The building pad, which occupies 7% of the lot, is situated at the lower, southeast portion of the 49,276 square foot parcel and has a proposed finish elevation of 101.5 feet, which is 9 feet above the average front (south) property line and 14 feet above Balkins Drive. Existing single-family homes are located to the south and east of the subject property. A recently approved single-family home is under construction to the north, and a vacant parcel is located to the west of the lot.

The proposed single-family residence is a permitted use in the Very Low Density Residential (RV) zone and will meet the required development standards, relative to height and building placement. Listed below are the proposed development data pertaining to the project:

### Pertinent Data

	<u>Proposed</u>	<u>Allowed/ Required</u>
1. Lot Size	1.13 acres (existing) (49,276 sq. ft.)	1 acre min. (43,560 sq. ft.)
2. Building Height	27 ft. (measured at midpoint)	35 ft. max.
3. Building Sizes:		
a. First Floor	2,904 sq. ft.	N/A
b. Second Floor	2,056 sq. ft.	N/A
c. <u>Garage</u>	<u>704 sq. ft.</u>	N/A
Total	5,664 sq. ft.	

Pertinent Data

	<u>Proposed</u>	<u>Allowed/ Required</u>
4. Setbacks:		
a. Front (south)	50 ft.	25 ft. min.
b. Rear (north)	91 ft.	25 ft. min.
c. Left Side (west)	86 ft.	12 ft. min.
d. Right Side (east)	37 ft.	12 ft. min.
5. Lot Coverage		
a. Building Lot Coverage:		
• Residence & Garage	3,608 sq. ft. ( 7.3%)	
• Pool and Spa	936 sq. ft. ( 1.9%)	
• Hardscape	<u>4,475 sq. ft. ( 9.0%)</u>	
Total	9,019 sq. ft. (18.2%) (18.2%)	12,319 sq. ft. max. (25% max.)
b. Additional Lot Coverage:		
• Horse Keeping Area	<u>1,202 sq. ft. ( 2.4%)</u>	
Total	10,221 sq. ft. (20.7%)	
• Graded Areas to be restored to match native vegetation	<u>7,023 sq. ft. (14.3%)</u>	
Total	17,244 sq. ft. (35%)	
• Driveway & Turnaround	<u>7,569 sq. ft. (15.4%)</u>	
Total	24,813 sq. ft. (50.3%)	18,478 sq. ft. max. (37.5% max.)

6. No. of Oak Trees	14 (5 on-site)	N/A
7. Average Topographic Slope	23%	N/A

## II. STAFF ANALYSIS

### Site Plan

The applicant is proposing to construct a two-story residence in the flatter portion of the parcel, near the east end of the property. In addition to the main residence, the applicant is proposing an attached 704 square foot, three-car garage with motor court area to be located in front of the garages between the house and the front (south) property line. The swimming pool is proposed at the southeast corner of the lot, 22 feet from the covered patio. Access to the residence will be taken from Balkins Drive via a private driveway located between two existing residences.

The Hillside Ordinance requires residentially zoned parcels to retain a minimum percentage of the lot in open space. Lots which have an average slope of 21-25% are required to retain at least 62.5% of the lot in open space. The applicant's parcel has an average slope of 23%. Thus, the maximum amount of lot coverage, including the residence, garage, driveway and yard areas should not exceed 37.5% of the lot (18,479 sq. ft.). In this instance, the lot coverage limitation impacts the feasibility of reasonable development on the site. Section 9652.13.B of the Hillside Ordinance addresses such situations by allowing the development of one residence on the lot in the event that the open space requirement would prohibit the use of the parcel otherwise permitted in the zone. The required findings the Planning Commission must make to allow to exceed the Hillside Ordinance requirement are 1) that the parcel was lawfully created prior to the adoption of Hillside Ordinance in 1991; 2) that a change in ownership since the adoption of the Hillside Ordinance has not resulted in the parcel being merged with another parcel; 3) that a private septic system serving the site is for a lot greater than one acre in size; and 4) that a Conditional Use Permit is granted. The project, as proposed, meets these requirements. The terms of the Conditional Use Permit is to specify the minimum percent of required open space on the lot. Thus, it is the Planning Commission's responsibility to determine the appropriate amount of lot coverage for this parcel including hardscape and grading areas, and no Variance is required if the Planning Commission agrees that the 37.5% lot coverage limitation precludes reasonable residential use of the property.

Staff finds the proposed project design to be appropriate for the site. The applicant proposes to locate the residence in the lower, flatter portion of the site, near the southeast end of the lot. The only useable yard area is the front patio and pool area. The driveway by itself, including a required on-site fire truck turn-around area, would occupy 15% of the maximum lot coverage allowed by the Hillside Ordinance. In addition, the graded slopes to be restored with contoured landscaping to match the native vegetation is an additional 14% lot coverage as well as the horse keeping area of 2% lot coverage combine for 35% of the lot, which would occupy the 37.5% maximum lot coverage allowed by the Hillside Ordinance. Staff

finds that the footprint of the residence, the garages, the swimming pool, and the hardscape total 9,019 square feet or 18% of the lot area. The RV zone allows for a maximum 25% lot coverage for lots that have an average slope of less than 10%.

While it is understandable to require more open space preservation of hillside property, this parcel is truly an infill lot that does not abut public or private open space property. The Hillside Ordinance requires a minimum parcel size of one acre for any new subdivision that has an average slope of 21-25%. The applicant is proposing a residence on a 1.13 acre sized lot that exceeds the Hillside Ordinance requirement. The size of the residence, although larger than most existing homes in the immediate neighborhood, is of a scale that is typically found in recent construction of custom, single-family homes and is quite close in size to a 5,536 square foot, single-family residence that was approved by the Planning Commission on December 1, 2005, which was located on a 0.92 acre parcel at the southeast corner of Lapworth Drive and Balkins Drive, a 5,324 square foot, single-family residence that was approved by the Planning Commission on March 17, 2005, which was located on a 2.56 acre parcel directly north of the property, and a 5,420 square foot, single-family residence that was approved by the Planning Commission on February 17, 2005, which was located on a 1.01 acre parcel on the south side of Balkins, west of Lapworth Drive.

To meet the Old Agoura Design Overlay requirement to allow for equestrian use of the property, the applicant has indicated on the Site Plan a future location for a horse-keeping area to be located to the west of the residence. The proposed 288 square foot (12' X 24') horse structure is a permitted use by the Zoning Ordinance when all requirements are met. The Zoning Ordinance requires that any proposed horse structure would need to be located at a minimum 35 feet from any surrounding habitable residence or street. The Site Plan shows the future horse structure located within a cut area of the lot, 52 feet from the residence and more than 35 feet from the surrounding residences and street. The horse structure is not part of this application and it is shown on the plan for reference only. Since the horse structure requires a separate permit, its size, setbacks, and height will be address at that time when a separate application is filed.

#### Architectural Design

The property is located in the Old Agoura Overlay District. One of the purposes of the Old Agoura Overlay is to preserve the semi-rural character of the community and promote the natural environment with utilization of natural materials, earth tone color palettes and the utilization of native, drought-tolerant materials.

The applicant is proposing earth tone exterior building materials of brown colored stucco and trim, "Tuscan Villa Stone" for the exterior walls of the residence and brown mixed-tone tiles for the hip roofs. The applicant is also proposing stone paving adjacent to the pool, slate textured concrete in tan "Buff" color for the patios, and the wood trellis covered patio at the east elevation will be stained in a dark brown, "Devine Cocoa" color. Primary public views of the 29-foot high residence (27 feet measured at the midpoint of the roof) would be from Lapworth Drive. The residence will likely not be visible from Balkins Drive, as the residence is obscured by existing residences, Oak trees, and landscaping. The project complies with the building height limitation in hillside areas.

The applicant is proposing permeable material to resurface the driveway and the proposed motor court area of decorative sandstone color permeable concrete. Staff recommends that the driveway material, as well as yard hardscape, be subject to approval by the Director of Planning and Community Development to ensure that it is of a permeable or semi-permeable surface material.

The City Architectural Review Panel (ARP) found the architectural style of the proposed residence to be in keeping with the Old Agoura Design Overlay requirements and the City Architectural Design Guidelines and Standards. The proposed residence will be one of the largest in the immediate neighborhood that includes average home sizes of 3,437 square feet. There is no required size limitation on proposed residences, but the issue of neighborhood compatibility should be considered by the Planning Commission. The largest single-family residence in the neighborhood that was recently approved by the Planning Commission was 5,536 square feet in size, on a 0.92 acre parcel at the corner of Lapworth Drive and Balkins Drive.

In an effort to evaluate the compatibility of the proposed size of the home with other Old Agoura properties, a survey of 33 neighboring developed lots was conducted, as shown in an attached exhibit. The results revealed an average lot size of 56,967 square feet and an average dwelling unit size of 3,437 square feet (excluding the garages), resulting in an average floor/area ratio of 0.06. The applicant is proposing a house size of 4,960 square feet on a 49,276 square-foot (1.13 acre) lot, which results in a floor/area ratio of 0.10. The proposal is 1,523 square feet more than the neighborhood average. If the applicant's project is approved, any development of the property beyond what is included on the approved Site Plan would be subject to the Planning Commission's consideration of another Conditional Use Permit.

The Old Agoura Homeowners Association has reviewed the project. A copy of their letter is attached to the report for the Commission's review.

#### Engineering Department

The Engineering Department has reviewed the proposed Grading Plan and is not requiring street improvements for Balkins Drive. Final grading and drainage plans will be subject to approval by the City Engineer prior to issuance of a building permit.

Grading required for the proposed project includes 1,650 cubic yards of cut, 1,900 cubic yards of fill and 250 cubic yards of import to create the building pad elevations and useable yard areas. Retaining walls of no more than six feet in height are proposed on all sides of the residence, around the swimming pool, and horse keeping area.

A private septic system, located on the east side yard, will serve the residence. The location and feasibility of the septic system has been tentatively approved by the Los Angeles County Health Department.

The City's Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective at the planning stage. The City's Geotechnical Consultant's letter dated December 28, 2006 is attached for reference. Construction traffic and related vehicular routes will also be reviewed by the City Engineer prior to the issuance of a grading permit with the intent to minimize impacts to the neighbors.

#### Oak Tree Review

A total of five (5) on-site and nine (9) off-site Oak trees were evaluated for the proposed project. The current proposal potentially requires the removal of three (3) Oak trees, Numbers 23, 24, and 25, to construct the required driveway. Four (4) other Oak trees, Numbers 22, 26, 28, and 29 would also be directly impacted by construction of the driveway and utility installation.

Two of the Oak trees proposed for removal have a trunk diameter of 11 inches and the third Oak tree has a trunk diameter of 2.5 inches, and are located along the west side of the private driveway on the adjacent property. To mitigate the loss of the three Oak trees, the applicant is required to plant Oak trees within the site at a minimum ratio of 4:1.

All trees located on the property are relatively free of disease and insect damage. The health, aesthetic quality, and balance of the majority of the trees are above average; however, Numbers 19, 20, and 21 are located beneath the canopy of Number 22, forcing their crowns to become slightly unbalanced. There is a cavity at the base of Number 22, but otherwise it appears structurally sound.

The proposed single-family residence is located outside the protected zones of all protected Oak trees. The existing access road encroaches upon several existing Oak trees. Due to the configuration of the property, alternative access is not possible; therefore, encroachment within the protected zones of these trees was found by the City Oak Tree Consultant to be unavoidable. The existing road provides the only legal access to the property. The single-family residence was designed to avoid the Oak trees to the maximum extent possible. Permeable material will be used to resurface the access road within the protected zones of the trees and the drainage system will direct flow away from protected trees. The area where the encroachments occur is relatively flat; therefore, grading is expected to be minimal and unlikely to damage the roots of protected trees. The City Oak Ordinance requires that the trees be fenced prior to the start of grading.

#### Landscape Review

Since the topographic slope of the property exceeds 10%, the applicant is required to prepare a landscape plan for the City's review. The preliminary landscape plan was reviewed by the City Landscape Consultant, who recommends that the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Director of Planning and Community Development prior to building permit

issuance, and subject to attached conditions. The final plans will be reviewed for slope stabilization, screening, and the incorporation of native plant species.

### Environmental Review

Based upon review of this project by the City Environmental Analyst, no environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence. A copy of the notice of exemption prepared by the City Environmental Analyst regarding the project is attached.

### **III. RECOMMENDATIONS**

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 06-CUP-001 and Oak Tree Permit Case No. 06-OTP-001, subject to Conditions, based on the findings of the attached Draft Resolution.

### **IV. ATTACHMENTS**

- Draft Resolution and Conditions of Approval
- Exhibit A: Vicinity Map
- Exhibit B: Square Footage Analysis Map
- Exhibit C: Reduced Copies of Plans
- Exhibit D: GeoDynamics Letter of Recommendation
- Exhibit E: Environmental Determination
- Exhibit F: Letter from Old Agoura Homeowners Association
- Exhibit G: Photographs of the Site and Surroundings

Case Planner: Renee Madrigal, Assistant Planner





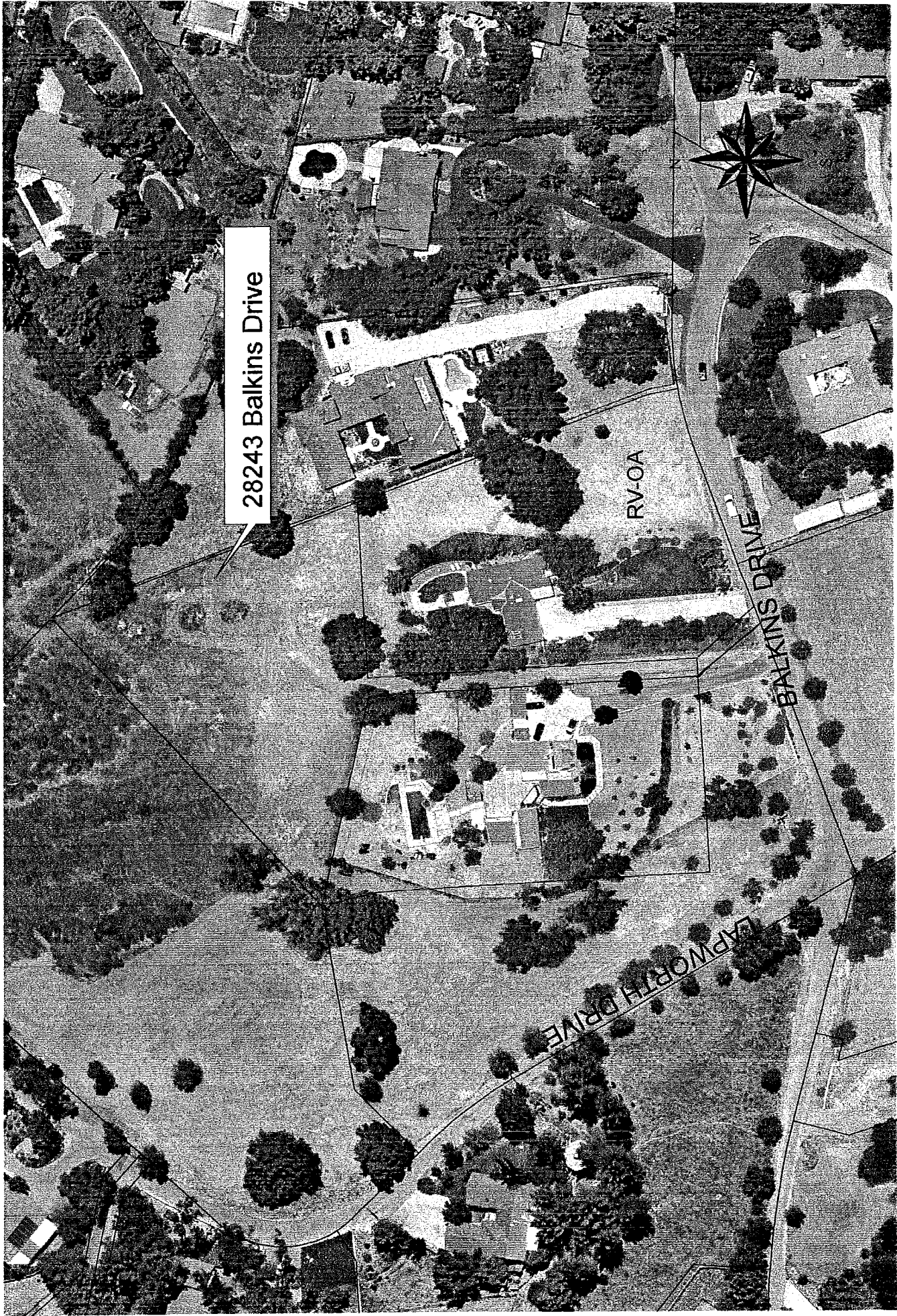
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001  
AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT A**

**VICINITY MAP**

CONDITIONAL USE PERMIT CASE NO. 06-CUP-001 AND  
OAK TREE PERMIT CASE NO. 06-OTP-001 (SHARON)



28243 Balkins Drive

RV-0A

BALKINS DRIVE

CAPWORTH DRIVE



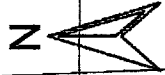
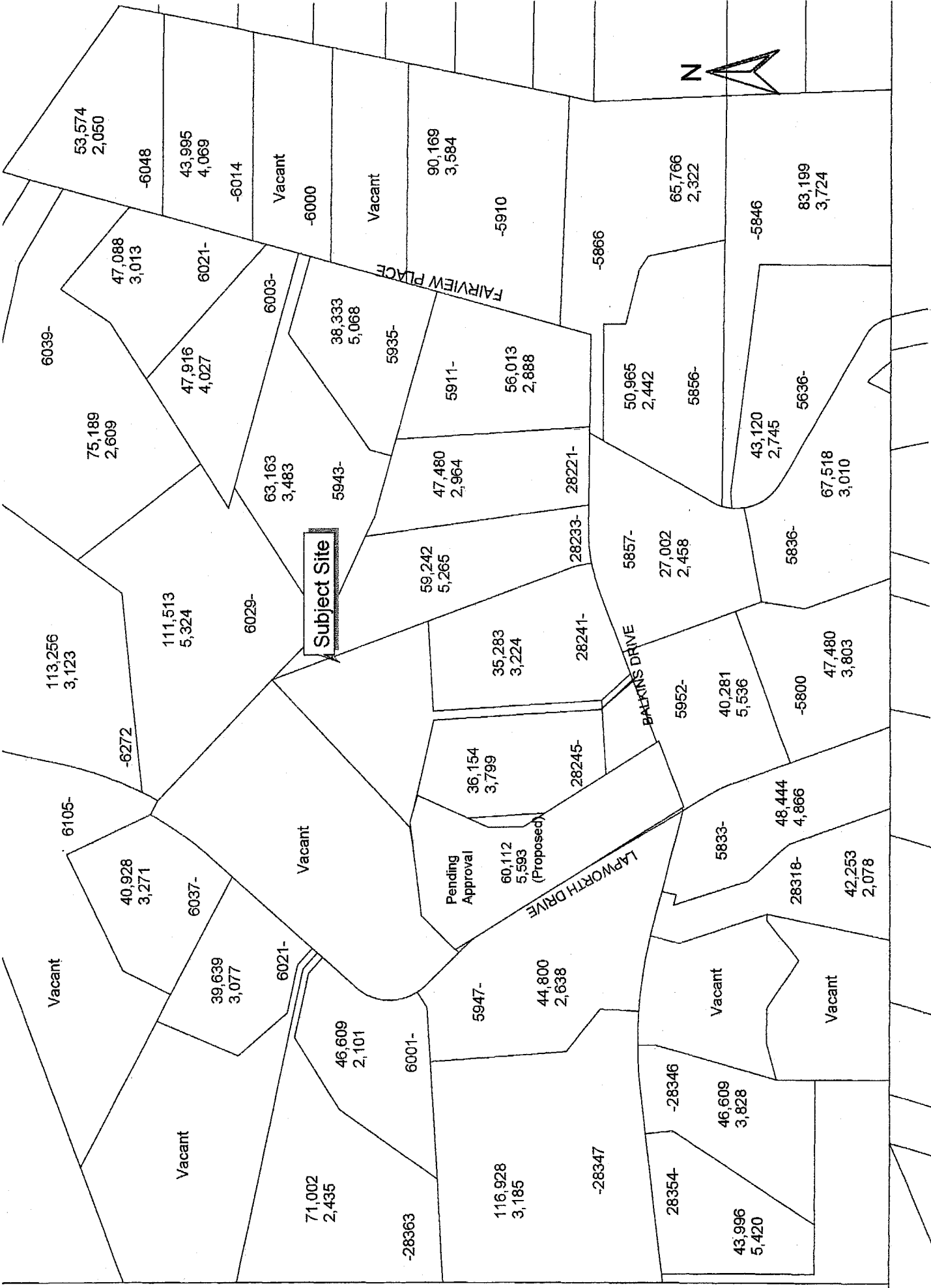
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001  
AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT B**

**SQUARE FOOTAGE ANALYSIS MAP**

**SQUARE FOOTAGE ANALYSIS MAP**  
**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001 AND OAK TREE PERMIT CASE NO. 06-OTP-001 (2055-022-080)**





**CONDITIONAL USE PERMIT CASE NO. 06-CUP-001  
AND OAK TREE PERMIT NO. 06-OTP-001**

**FOR THE PROPERTY LOCATED AT  
28243 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT C**

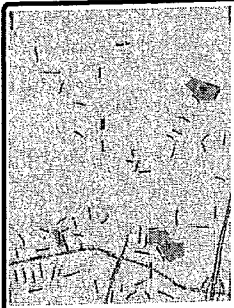
**REDUCED COPIES OF PLANS**

REVISION	BY	DATE
APRIL 2006	EA	
JULY 2006	EA	
JAN 2007	EA	
MAR 2007	EA	

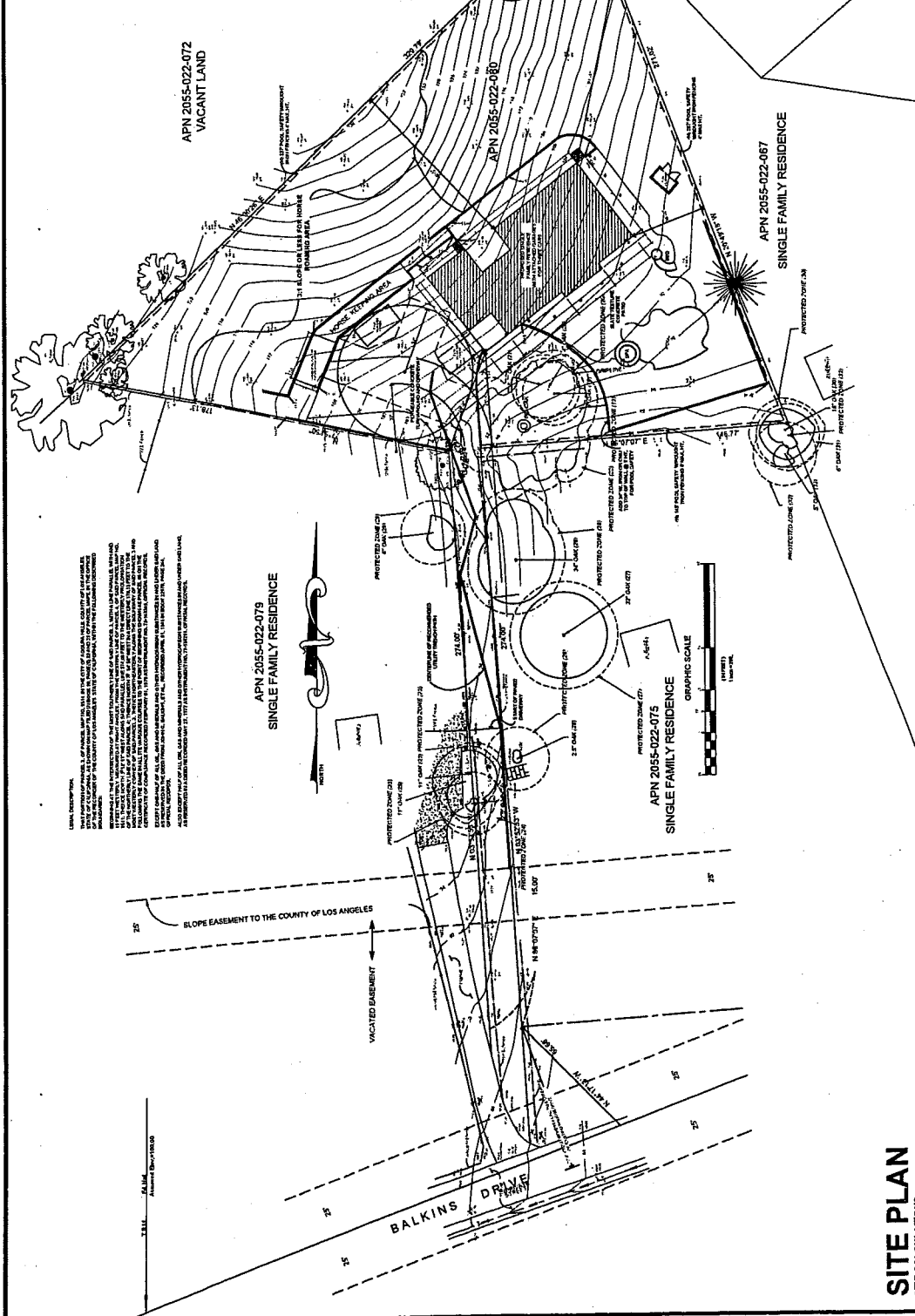
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
**RAFI AND ORIT SHARON**  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.T.A.**  
 architecture and planning  
 7895 Pacific Coast Highway, Malibu, California 90265 310.389.1921

DATE	1
PROJECT	
NO.	
DATE	
BY	
DATE	
BY	
DATE	
BY	



**VICINITY MAP**



**OWNER INFORMATION**

RAFI AND ORIT SHARON  
 382 ROCKEDGE DRIVE  
 OAK PARK, CA. 91377  
 PHONE: 818.397.8533

**PROJECT INFORMATION**

ASSESSOR'S PARCEL NUMBER: 2055-022-080  
 ZONING: R1-COA  
 NUMBER OF PARKING SPACES REQUIRED: 3 COVERED, 2 UNCOVERED  
 RESIDENCE SQUARE FOOTAGE: 2,894 SQ. FT., 704 SQ. FT., 2,628 SQ. FT., 5,684 SQ. FT., 13,732 SQ. FT.  
 PROPOSED FIRST LEVEL GARAGE  
 PROPOSED SECOND LEVEL GARAGE  
 PROPOSED IMPERMEABLE COVERAGE (INCLUDING PAVED DRIVEWAY AND TURNAROUND)

**LOT COVERAGE ANALYSIS**

FOOTPRINT OF RESIDENCE: 2,894 SQ. FT., 704 SQ. FT., 4,475 SQ. FT., 938 SQ. FT., 7,033 SQ. FT., 1,202 SQ. FT., 17,244 SQ. FT., 17,244 SQ. FT., 49,276 SQ. FT. = 35%  
 DEVELOPED AREA: 17,244 SQ. FT. = 35% DEVELOPED AREA  
 DEVELOPED AREA/ TOTAL LOT AREA = 35%  
 DRIVEWAY AND TURNAROUND REQUIRED BY FIRE DEPT.

**SITE CALCULATIONS**

GRADE LOT AREA = 49,276 SQ. FT. (1.13 ACRES)  
 NET LOT AREA = 49,276 SQ. FT. (1.13 ACRES)  
 MAXIMUM HEIGHT OF STRUCTURE: 35 FT.  
 AVERAGE GRADE AT REAR SETBACK LINE = 104.52' - 110.00' / 2 = 111.75'  
 MAX. HT. OF STRUCTURE = AVG. GRADE AT REAR SETBACK LINE + 15'  
 AVERAGE SLOPE PERCENTAGE CALCULATION:  
 S = H x 100 / A  
 WHERE H = 4' - L = 250', AND A = 49,276 SQ. FT.  
 S = 4' (CAD) X 100 / 49,276 SQ. FT.  
 S (AVERAGE PERCENT SLOPE) = 21.4%  
 DEVELOPMENT AREA:  
 MINIMUM OF 62.5% OF PARCEL TO REMAIN IN OPEN SPACE IF PERCENT SLOPE IS WITHIN 21-25%  
 62.5% OF PARCEL = 30,778 SQ. FT.  
 11,478 SQ. FT. ALLOWED DEVELOPMENT

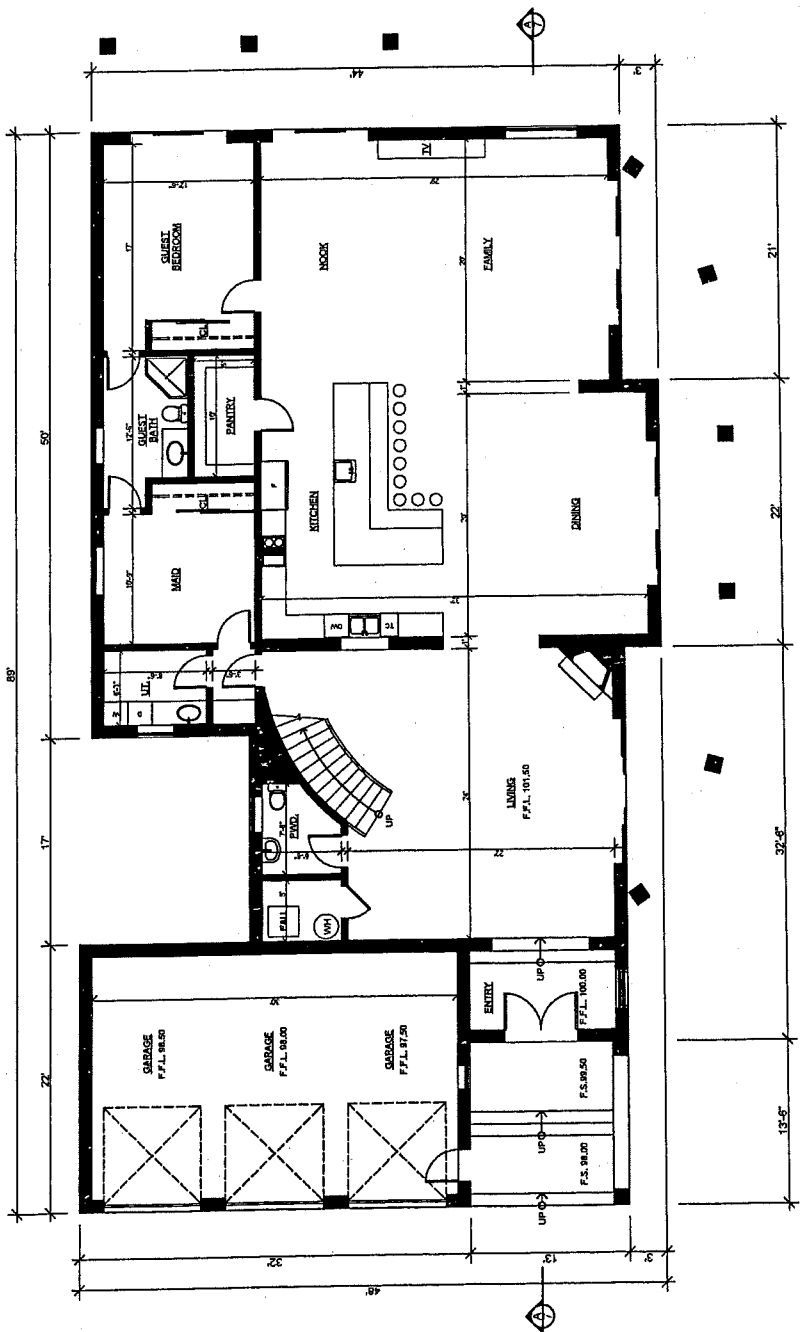


REVISION	BY	DATE
	EA	APRIL 2005
	EA	OCT 2008

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	2
BY	
DATE	
APPROVED	
DATE	
PROJECT	



**FIRST LEVEL 2,904 SQ. FT.**  
**GARAGE 704 SQ. FT.**



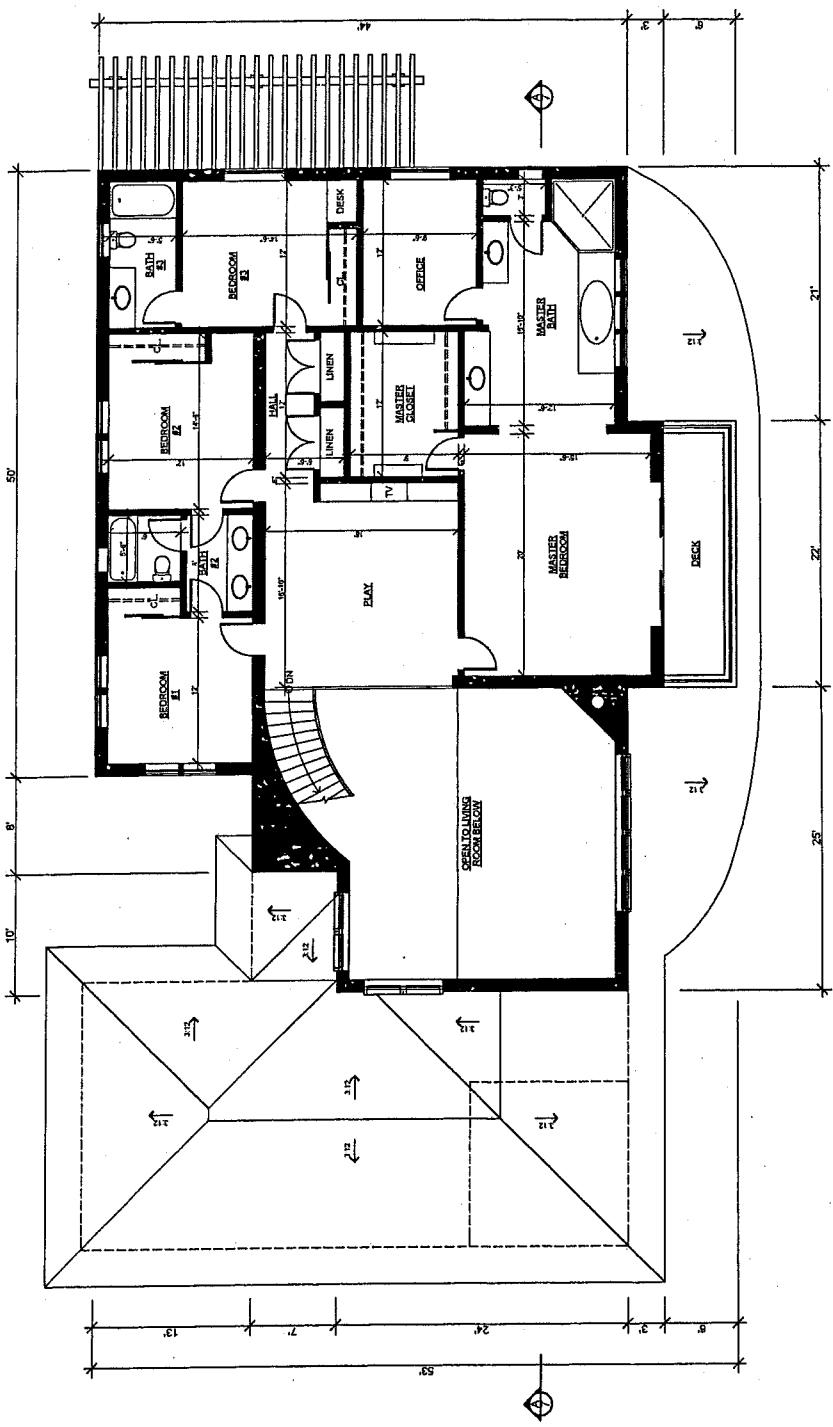
DATE	DESCRIPTION
12/15/04	ISSUED FOR PERMIT
08/26/04	REVISED
08/26/04	REVISED
11/14/04	REVISED
DEC 2005	REVISED
2011	REVISED

3

**CLIVE DAWSON A.I.A.**  
 architect and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

REVISION	DATE
5A	APRIL 2006
5B	OCT 2006



SECOND LEVEL 2,056 SQ. FT.

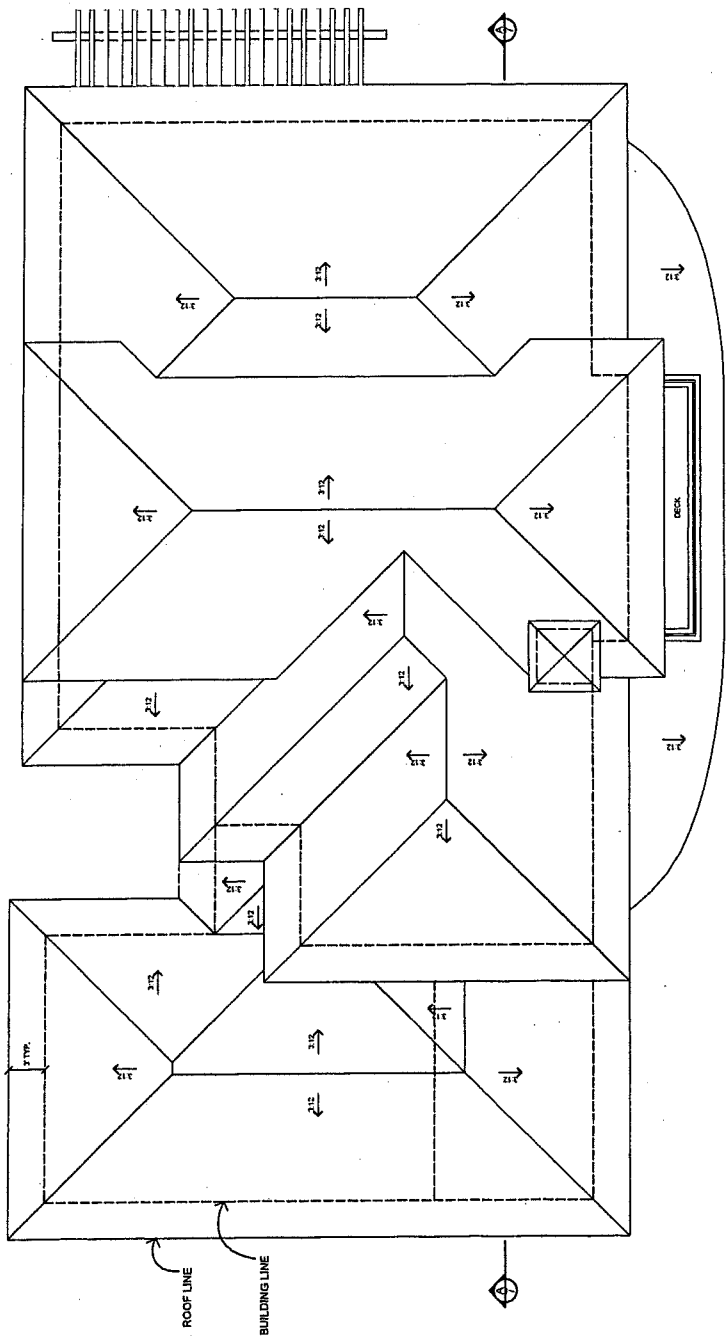


REVISION	BY	DATE
APRIL 2008	EL	
OCT 2008	EA	

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	4
CHECKED	
DATE	
APPROVED	
DATE	
CHECKED	
DATE	



ROOF PLAN

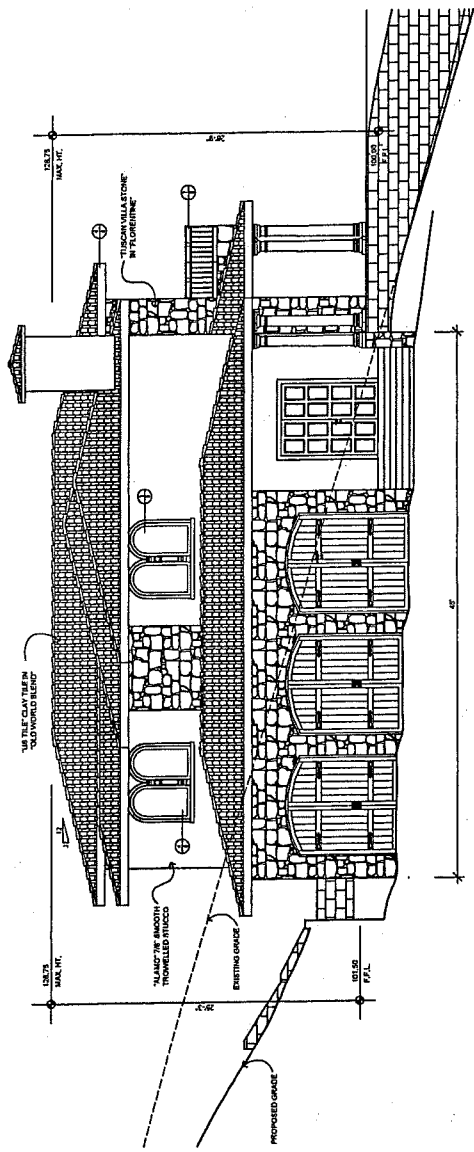


DATE: 10/10/08  
 DRAWN BY: J. DAWSON  
 CHECKED BY: J. DAWSON  
 PROJECT: 08-001  
 SHEET: 5 OF 5

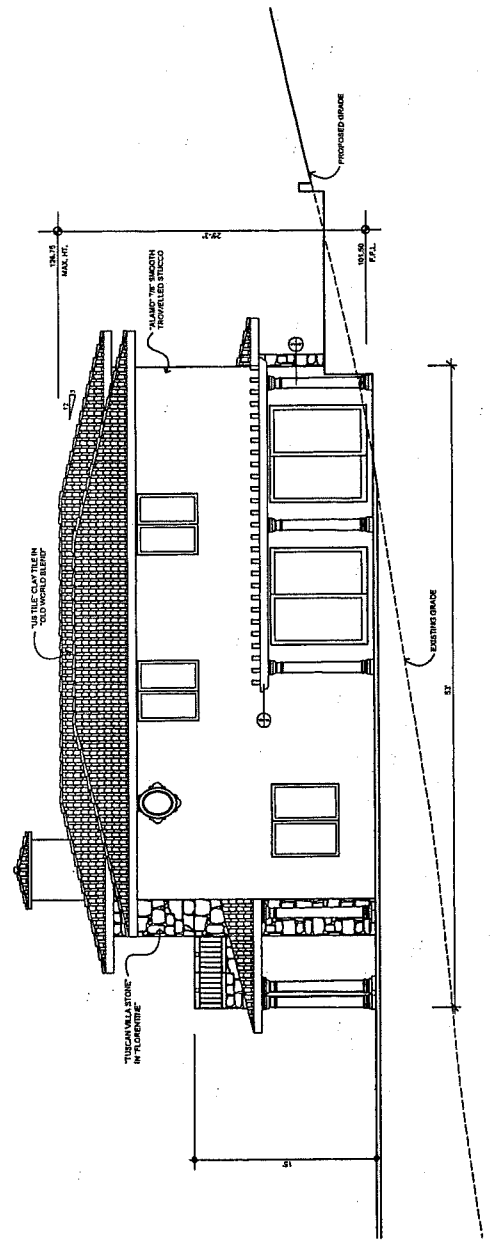
**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.569.1921

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA, 91301

REVISIONS	DATE	BY
	APRIL 2008	EA
	OCT 2008	EA



WEST ELEVATION



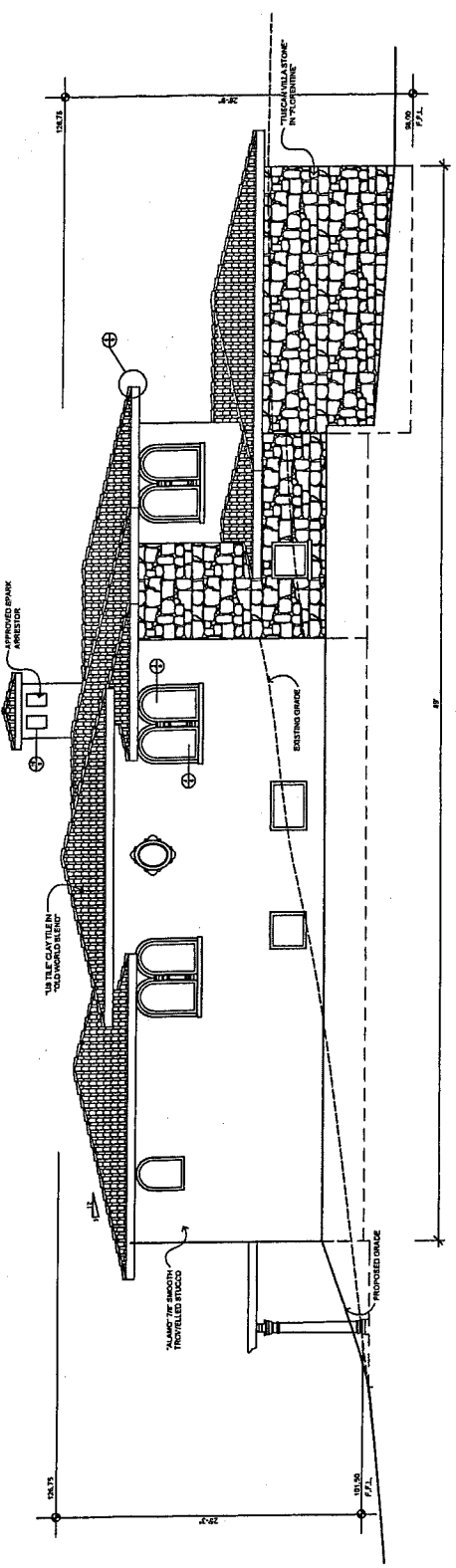
EAST ELEVATION

REVISION	BY	DATE

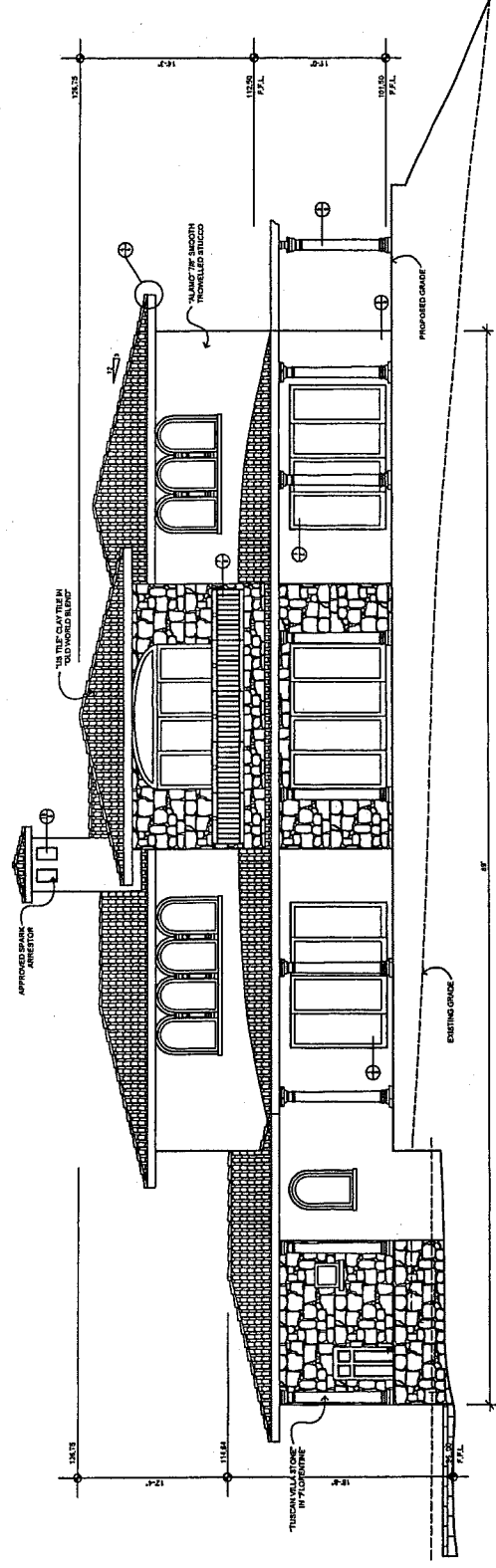
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 2843 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.I.A.**  
 architect and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	9
DESCRIPTION	
BY	
CHECKED	
DATE	
SCALE	
PROJECT	
OWNER	
DATE	



NORTH ELEVATION



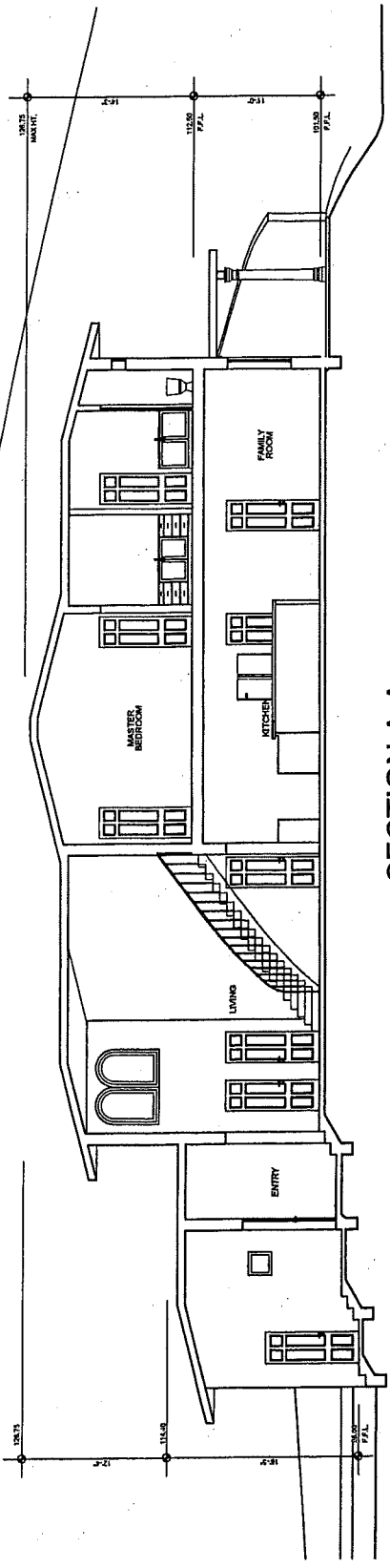
SOUTH ELEVATION

REVISIONS	BY	DATE
	EA	APRIL 2008
	EA	OCT 2008

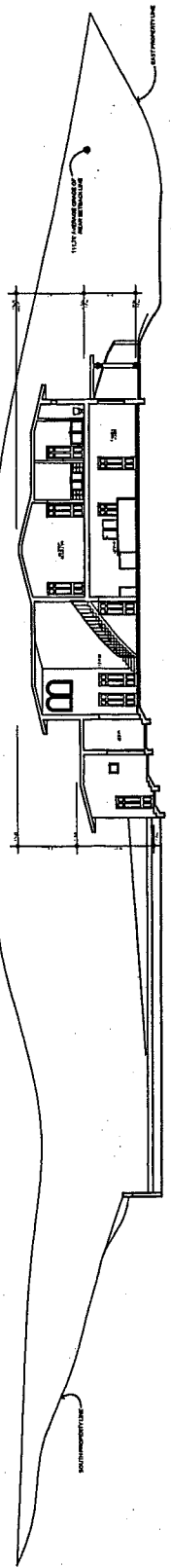
PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA. 91301

**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	7
DRAWN	
CHECKED	
DATE	
DESIGNED	
DATE	
PROJECT	
CLIENT	



SECTION A-A



SECTION A-A THROUGH ENTIRE SITE  
 SCALE 1" = 10'-0"

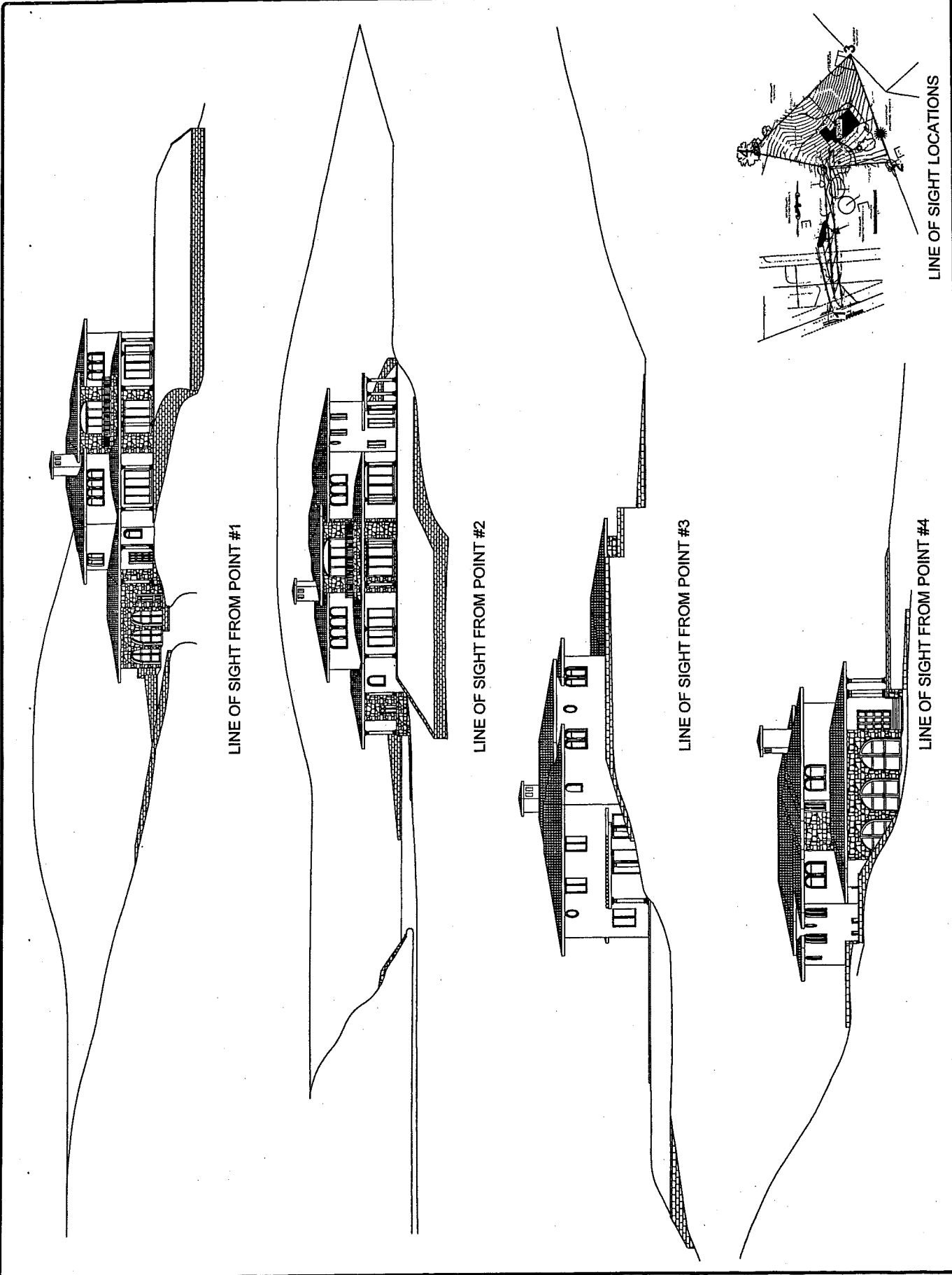


REVISED	
MAY 2008	EA
OCT 2008	EA

PROPOSED RESIDENTIAL DEVELOPMENT FOR:  
 RAFI AND ORIT SHARON  
 28243 BALKINS DRIVE  
 AGOURA HILLS, CA 91301

**CLIVE DAWSON A.I.A.**  
 architecture and planning  
 28925 Pacific Coast Highway, Malibu, California 90265 310.589.1921

DATE	
DRAWN	
CHECKED	
DATE	
SCALE	
PROJECT NO.	
DATE	
SHEET NO.	
TOTAL SHEETS	

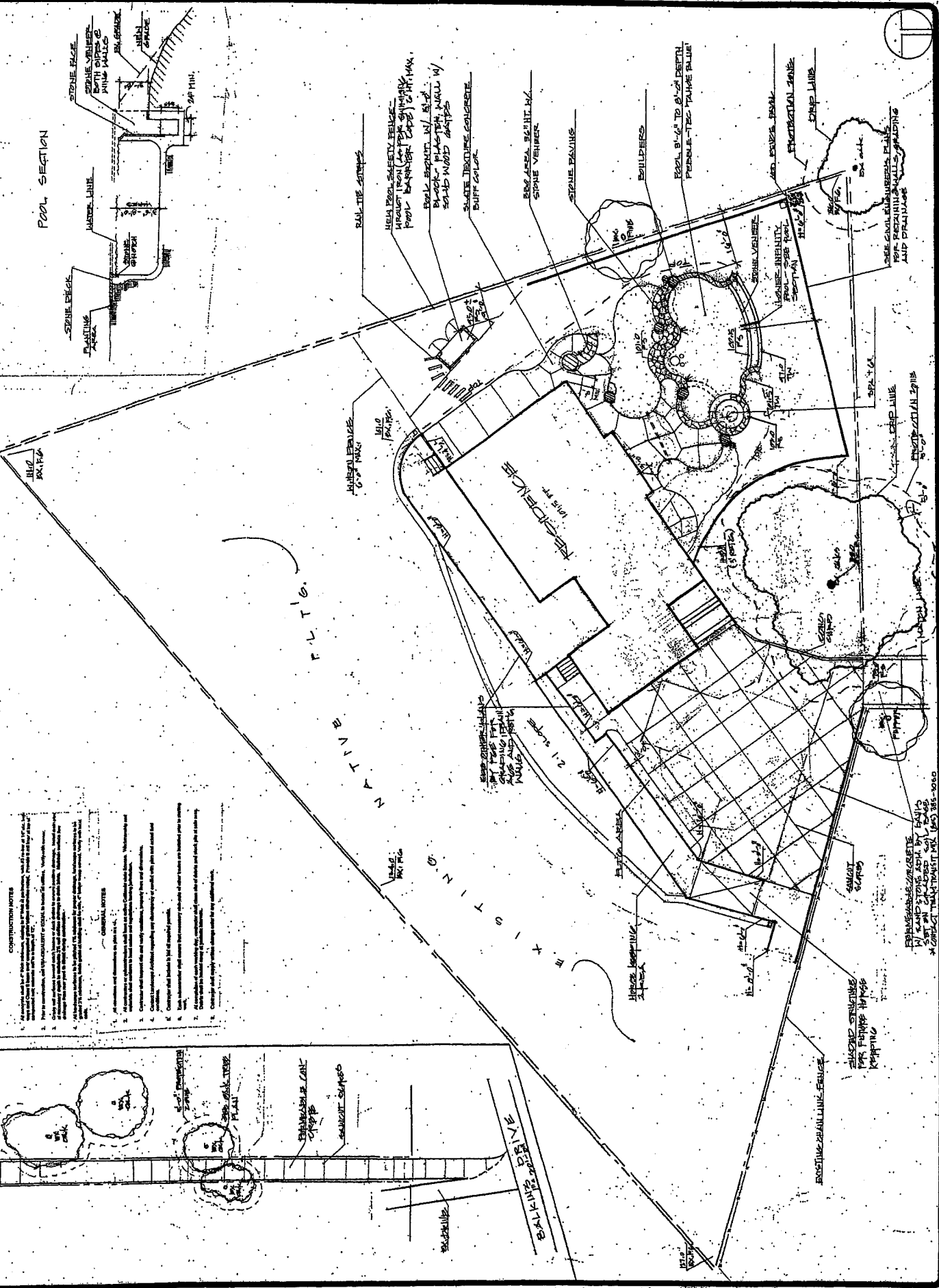


DATE	12-14-05
REVISIONS	5-25-06 10-11-06 3-27-07
DRAWN	REVISED BY
CHECKED	DATE
SCALE	1" = 10'-0"
PROJECT NO.	10-11-06

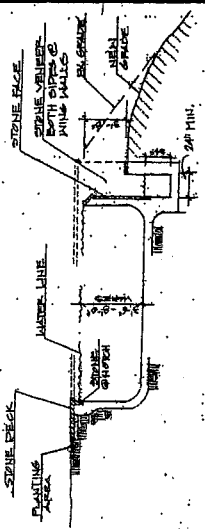
CONSTRUCTION PLAN

STANONZ REVISIONS  
 BALKINS DRIVE  
 KYLE'S HILLS LOCAL 31201

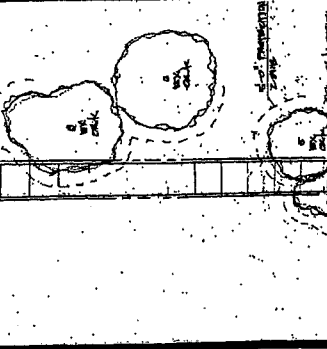
Gregg Toland  
 Landscape Architect  
 1048 Freedom Way, Camarillo, CA 93015  
 Telephone (805) 491-3433



POOL SECTION



- CONSTRUCTION NOTES**
1. All materials shall be of high quality. All stone veneer shall be of the same color and texture as the natural stone. All concrete shall be of the same strength and finish as the natural concrete.
  2. All materials shall be installed in accordance with the manufacturer's instructions. All materials shall be installed in accordance with the manufacturer's instructions.
  3. All materials shall be installed in accordance with the manufacturer's instructions. All materials shall be installed in accordance with the manufacturer's instructions.
  4. All materials shall be installed in accordance with the manufacturer's instructions. All materials shall be installed in accordance with the manufacturer's instructions.
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  10. All materials shall be installed in accordance with the manufacturer's instructions. All materials shall be installed in accordance with the manufacturer's instructions.



SEE CIVIL ENGINEER'S PLAN FOR RETAINING WALLS, FENCING AND DRAINAGE

SEE CIVIL ENGINEER'S PLAN FOR PERENNIALS, ANNUALS, MULCH AND PLANTING

PERMANENT CONCRETE FOR FORMS TO BE KEPT IN PLACE FOR 28 DAYS

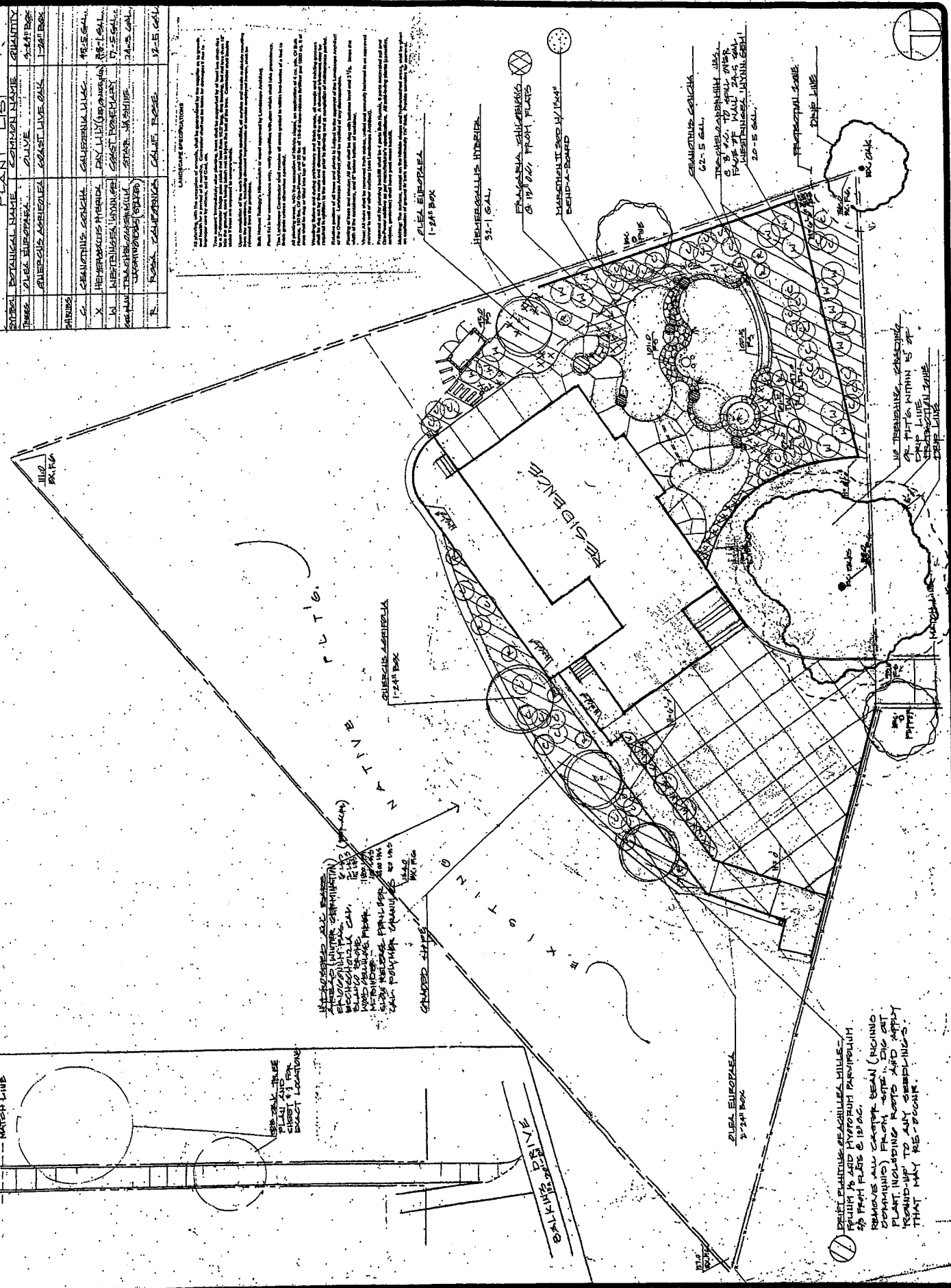
CONTRACT: 10-11-06 (REV) 12-14-05

DATE	12-14-85
DRAWN	5-25-86
CHECKED	10-11-86
SCALE	1" = 10'-0"
REVISED	2-27-87
STAMP NO.	2
REV. NO.	4

**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY
○	OLEA EUROPAEA	OLIVE	5-24" BOX
○	QUERCUS AGRIFFOLIA	COAST LIVE OAK	1-24" BOX
○	CECYPHARIA GONGALA	CALIFORNIA LILAC	12-5 GAL.
X	HEBESCAZALLUS HYBRIDA	PRY LILY (HEBESCAZALLUS)	18-1 GAL.
○	HEBESCAZALLUS HYBRIDA	COAST ROSEMARY	12-5 GAL.
○	QUERCUS AGRIFFOLIA	COAST LIVE OAK	1-24" BOX
○	QUERCUS AGRIFFOLIA	COAST LIVE OAK	1-24" BOX

**NOTES:**  
 1. All plants are to be installed by the contractor. The contractor shall be responsible for the proper installation, watering, and maintenance of all plants.  
 2. The contractor shall be responsible for the removal of all plants and materials from the site upon completion of the project.  
 3. The contractor shall be responsible for the protection of all existing plants and structures on the site.  
 4. The contractor shall be responsible for the maintenance of all plants and materials on the site during the project.  
 5. The contractor shall be responsible for the maintenance of all plants and materials on the site during the project.



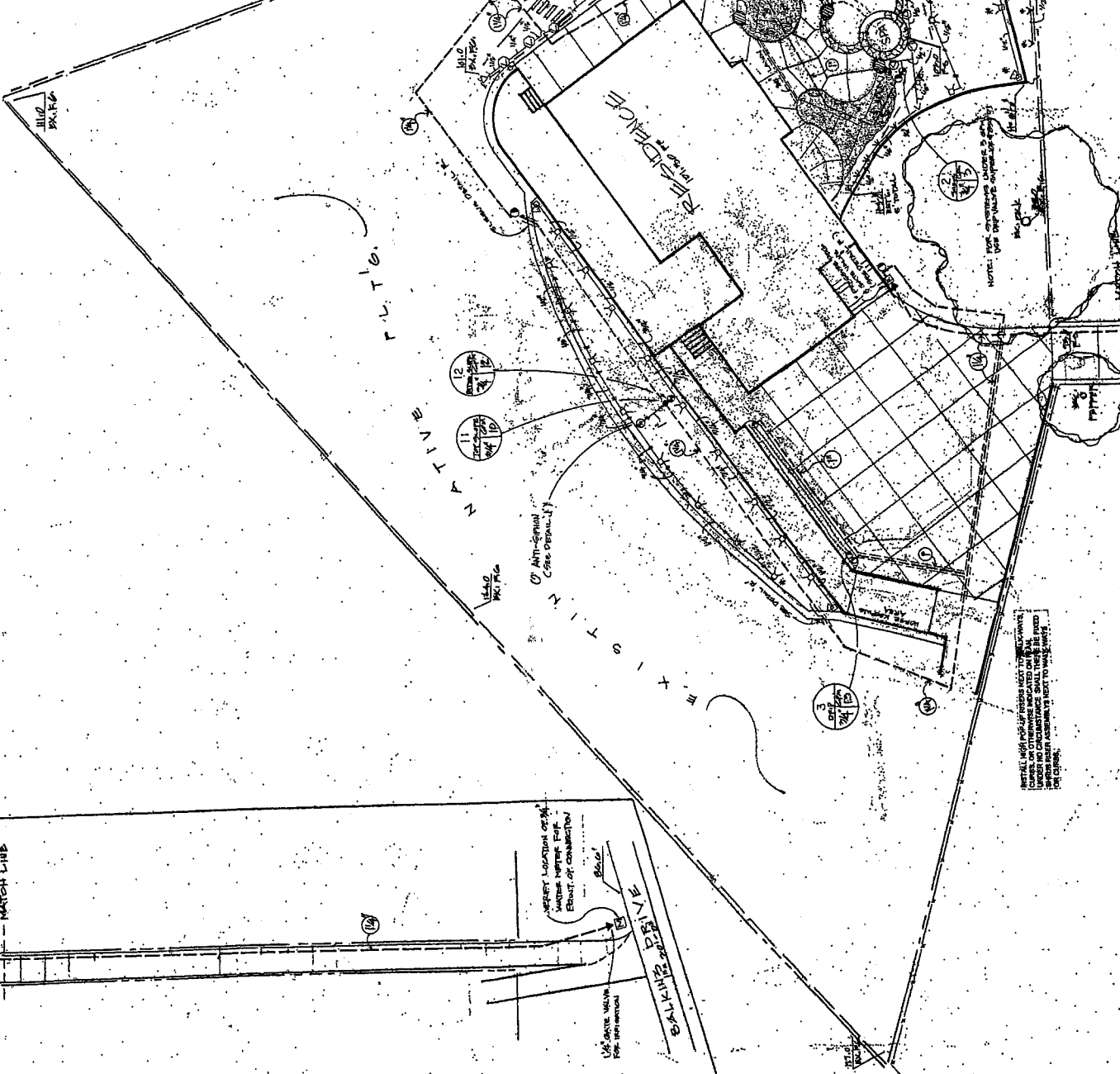


Scale 1" = 10'-0"  
 Checked: [Signature]  
 Date 12-14-05  
 Revisions: [List of revisions]  
 Sheet No. 014  
 3 of 4

**PLANTING SCHEDULE**

PLANT	QUANTITY	DATE	PLANTING	PLANTING	PLANTING
PLANT	QUANTITY	DATE	PLANTING	PLANTING	PLANTING
1. [Plant Name]	10	12/15/05	12/15/05	12/15/05	12/15/05
2. [Plant Name]	15	12/15/05	12/15/05	12/15/05	12/15/05
3. [Plant Name]	20	12/15/05	12/15/05	12/15/05	12/15/05
4. [Plant Name]	25	12/15/05	12/15/05	12/15/05	12/15/05
5. [Plant Name]	30	12/15/05	12/15/05	12/15/05	12/15/05
6. [Plant Name]	35	12/15/05	12/15/05	12/15/05	12/15/05
7. [Plant Name]	40	12/15/05	12/15/05	12/15/05	12/15/05
8. [Plant Name]	45	12/15/05	12/15/05	12/15/05	12/15/05
9. [Plant Name]	50	12/15/05	12/15/05	12/15/05	12/15/05
10. [Plant Name]	55	12/15/05	12/15/05	12/15/05	12/15/05
11. [Plant Name]	60	12/15/05	12/15/05	12/15/05	12/15/05
12. [Plant Name]	65	12/15/05	12/15/05	12/15/05	12/15/05
13. [Plant Name]	70	12/15/05	12/15/05	12/15/05	12/15/05
14. [Plant Name]	75	12/15/05	12/15/05	12/15/05	12/15/05
15. [Plant Name]	80	12/15/05	12/15/05	12/15/05	12/15/05
16. [Plant Name]	85	12/15/05	12/15/05	12/15/05	12/15/05
17. [Plant Name]	90	12/15/05	12/15/05	12/15/05	12/15/05
18. [Plant Name]	95	12/15/05	12/15/05	12/15/05	12/15/05
19. [Plant Name]	100	12/15/05	12/15/05	12/15/05	12/15/05
20. [Plant Name]	105	12/15/05	12/15/05	12/15/05	12/15/05

1. ALL PLANTS TO BE PLANTED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION.  
 2. ALL PLANTS TO BE PLANTED AT THE TIME OF CONSTRUCTION.  
 3. ALL PLANTS TO BE PLANTED AT THE TIME OF CONSTRUCTION.  
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**GRADING NOTES**

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES OF THE AGOURA HILLS MUNICIPAL CODE.
2. ANY CONSTRUCTION CONTRACTOR OF ALL INTERESTED PARTIES SHALL BE HELD RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF AGOURA HILLS.
3. ALL EXISTING UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
4. ALL UTILITIES SHALL BE LOCATED BY A SITE APPROPRIATE TO THE CITY OF AGOURA HILLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF AGOURA HILLS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF AGOURA HILLS.
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23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FROM THE CITY OF AGOURA HILLS.

**PUBLIC UTILITIES / SERVICES**

- WATER: LAS VEGAS MUNICIPAL WATER DISTRICT, 3225 SOUTHERN CALIFORNIA AVENUE, CALADANA, CA 91204 (951) 884-1111
- ELECTRICAL: SOUTHERN CALIFORNIA Edison, 1000 FOOTBALL DRIVE, SHERMANTON, CA 91781 (951) 442-1212
- TELEPHONE: SBC (SBC BELL), 1000 SOUTHERN CALIFORNIA AVENUE, CALADANA, CA 91204 (951) 377-8889
- GAS: SOUTHERN CALIFORNIA GAS, 404 DUNDAS AVENUE, CALADANA, CA 91204 (951) 791-5271
- SEWER: LA COUNTY DEPT. OF PUBLIC WORKS, SEWER MAINTENANCE DIVISION, 1000 SOUTHERN CALIFORNIA AVENUE, CALADANA, CA 91204 (951) 884-2528
- CABLE: AIRTELINX, 2225 TELLER ROAD, CALADANA, CA 91204 (951) 377-8777
- CABLE: CHARTER COMMUNICATIONS, 3045 CHALCOTT ROAD, CALADANA, CA 91204 (951) 641-2111
- CELEBRITY: 2800 REDBANK BOULEVARD, THOUSAND OAKS, CA 91320 (805) 281-0308

**UNDERGROUND SERVICE ALERT**

CALL TOLL FREE 1-800-327-3889

TWO WORKING DAYS BEFORE YOU DIG

**STORMWATER POLLUTION NOTES**

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE SPECIFIC, STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
2. THE SWPPP SHALL BE AVAILABLE ON SITE THROUGHOUT CONSTRUCTION.
3. THE SWPPP SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
4. THE SWPPP SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
5. THE SWPPP SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
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**UNDERGROUND SERVICE ALERT**

CALL TOLL FREE 1-800-327-3889

TWO WORKING DAYS BEFORE YOU DIG

**LEGEND AND SYMBOLS**

- PROJECT BOUNDARY  
EXISTING GRADE CONTOUR  
PROPOSED GRADE CONTOUR  
PROPOSED SLOPE PRELIMINARY  
RETAINING WALL  
SLOPE CUT/FILL LINE  
DIRECTION OF FLOW (ARROWS)  
CONSTRUCTION NOTE NUMBER

**ABBREVIATIONS**

- AC - AUTOMATIC CONCRETE  
BT - BOTTOM OF FOOTING  
CB - CATCH BASIN  
C - CENTERLINE  
CLF - CHAIN LINE/ENCLOSURE  
CR - CATCH BASIN  
DB - DRAIN BASIN  
EL - ELEVATION  
EP - EDGE OF PAVEMENT  
F - FINISH FLOOR  
FG - FINISH GRADE  
FH - FINISH FINISH GRADE  
H - HANDICAP RAMP  
HW - HORIZONTAL  
INT - INTERSECT

**INDEX OF DRAWINGS**

SHEET NO.	DESCRIPTION
1	GENERAL NOTES
2	EXISTING GRADE CONTOUR
3	PROPOSED GRADE CONTOUR
4	PROPOSED SLOPE PRELIMINARY
5	RETAINING WALL
6	SLOPE CUT/FILL LINE
7	DIRECTION OF FLOW (ARROWS)
8	CONSTRUCTION NOTE NUMBER
9	SWALE DETAIL
10	OUTLET ENERGY DISSIPATOR

**ESTIMATED EARTHWORK QUANTITIES**

ESTIMATED CUT	ESTIMATED FILL	ESTIMATED EXPORT	ESTIMATED IMPORT
1.886 CY	1.886 CY	0.000 CY	0.000 CY
ESTIMATED OVER-DIG/UNDER-DIG:	0.000 CY		
BENCHMARK:			
DESCRIPTION:	BENCHMARK	ELEVATION:	MARKING DATE:

**RECORD DRAWING STATEMENT**

HEREBY CERTIFY THAT THIS RECORD DRAWING WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT ACCURATELY REPRESENTS THE FIELD CONDITIONS AND THE WORK AS PERFORMED. I HAVE BEEN ADVISED BY THE CONTRACTOR THAT THE INFORMATION PROVIDED BY THE OWNER AND DESIGNER CONTRACTOR WAS TRUE AND CORRECT. I HAVE CONDUCTED A VISUAL GENERAL CHECK OF THIS DRAWING FOR CONFORMANCE WITH THESE STATEMENTS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT ACCURATELY REPRESENTS THE FIELD CONDITIONS AND THE WORK AS PERFORMED.

**SOILS APPROVAL**

THE PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED: \_\_\_\_\_

REGISTERED CIVIL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOLOGIST: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

**NEAREST CITY ENGINEER**

REGISTERED CIVIL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOLOGIST: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

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**ESTIMATED EARTHWORK QUANTITIES**

ESTIMATED CUT	ESTIMATED FILL	ESTIMATED EXPORT	ESTIMATED IMPORT
1.886 CY	1.886 CY	0.000 CY	0.000 CY
ESTIMATED OVER-DIG/UNDER-DIG:	0.000 CY		
BENCHMARK:			
DESCRIPTION:	BENCHMARK	ELEVATION:	MARKING DATE:

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REGISTERED CIVIL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOLOGIST: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

**NEAREST CITY ENGINEER**

REGISTERED CIVIL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOLOGIST: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

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**ESTIMATED EARTHWORK QUANTITIES**

ESTIMATED CUT	ESTIMATED FILL	ESTIMATED EXPORT	ESTIMATED IMPORT
1.886 CY	1.886 CY	0.000 CY	0.000 CY
ESTIMATED OVER-DIG/UNDER-DIG:	0.000 CY		
BENCHMARK:			
DESCRIPTION:	BENCHMARK	ELEVATION:	MARKING DATE:

**RECORD DRAWING STATEMENT**

HEREBY CERTIFY THAT THIS RECORD DRAWING WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT ACCURATELY REPRESENTS THE FIELD CONDITIONS AND THE WORK AS PERFORMED. I HAVE BEEN ADVISED BY THE CONTRACTOR THAT THE INFORMATION PROVIDED BY THE OWNER AND DESIGNER CONTRACTOR WAS TRUE AND CORRECT. I HAVE CONDUCTED A VISUAL GENERAL CHECK OF THIS DRAWING FOR CONFORMANCE WITH THESE STATEMENTS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT ACCURATELY REPRESENTS THE FIELD CONDITIONS AND THE WORK AS PERFORMED.

**SOILS APPROVAL**

THE PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED: \_\_\_\_\_

REGISTERED CIVIL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOLOGIST: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

**NEAREST CITY ENGINEER**

REGISTERED CIVIL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOLOGIST: \_\_\_\_\_ DATE: \_\_\_\_\_

REGISTERED GEOTECHNICAL ENGINEER: \_\_\_\_\_ DATE: \_\_\_\_\_

**OWNER**

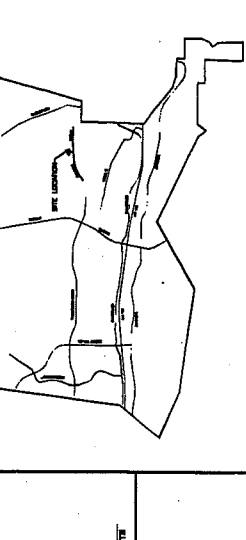
NAME: BALDWIN & SON, INC.  
ADDRESS: 302 ROCK EDGE DR., ONE PARK CA #1277  
CITY: AGOURA HILLS, CA 91201  
TELEPHONE: (951) 884-1111

**CIVIL ENGINEER**

NAME: JAMES E. THORSEN  
ADDRESS: 12345 MARKET ST., SUITE 200, AGOURA HILLS, CA 91201  
TELEPHONE: (951) 791-2100

**GEOTECHNICAL ENGINEER**

NAME: C.V. BROTHICK  
ADDRESS: 12345 MARKET ST., SUITE 200, AGOURA HILLS, CA 91201  
TELEPHONE: (951) 884-1111



**VICINITY MAP**

AGOURA HILLS  
BALDWIN & SON, INC.  
PROJECT NO. 04-09-242  
SHEET 1 OF 5  
CITY OF AGOURA HILLS DIV. NO. \_\_\_\_\_

**CITY OF AGOURA HILLS**

**PREPARED BY:** PEG PROJECT ENGINEER

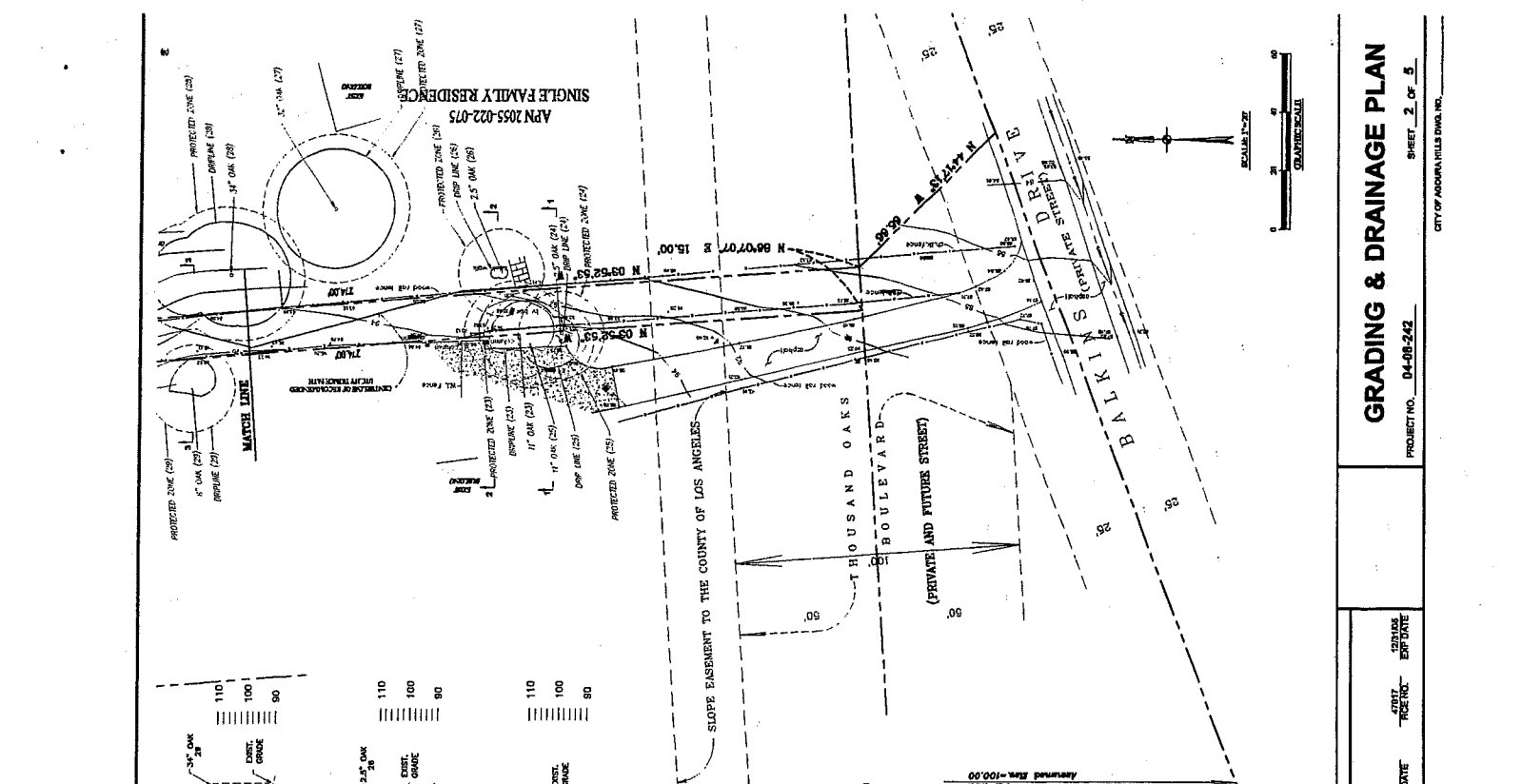
**DATE:** 01-11-07

**REVIEWED BY:** JAMES E. THORSEN CITY ENGINEER

**DATE:** \_\_\_\_\_

**REVISIONS:**

REV.	SYMBOL	DESCRIPTION OF CHANGE



**LEGEND:**  
 E.S. FINISHED SURFACE ELEVATION  
 P.S. PROPOSED SURFACE ELEVATION  
 P.L. FINISH LINE ELEVATION  
 F.F. FISH FLOOR  
 T.C. TOP OF CURB  
 T.O. TOP OF OBER  
 L.P. LOW POINT  
 G.B. GRADE BREAK  
 T.O. TOP OF DRIVE ELEVATION  
 H.E. HIGHT ELEVATION  
 C.E. EXISTING ELEVATION  
 P.L. PROPERTY LINE  
 T.O. TOP OF WALL  
 C.F. & F.L. TRANSITION  
 D.L. DIVISION LINE  
 P.C. PROPOSED CONTOUR LINE  
 E.L. EXISTING CONTOUR LINE  
 O.D. ORIGIN OF DRIVE  
 O.D. ORIGIN OF ROAD  
 P.V. P.V. DATA PIVE 813.5 H.A.L.  
 15' x 15' PVC CATCH BASIN  
 R.R. PROPOSED RETAINING WALL  
 P.W. PROPOSED WALL

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	REVIEWED BY	DATE	APPROVED BY	DATE

PREPARED BY: **PEG** PROJECT ENGINEER  
 CHECKED BY: **MARCO ANTONI** PROJECT ENGINEER  
 REVIEWED BY: **JAMES E. THORSEN** CITY ENGINEER  
 DATE: **08/07/2009**  
 APPROVED BY: **08/07/2009**  
 CITY OF AGOURA HILLS APPROVAL

**GRADING & DRAINAGE PLAN**  
 PROJECT NO. 04-08-242  
 SHEET 2 OF 5  
 CITY OF AGOURA HILLS DWA. NO.

APN 2055-022-075  
 SINGLE FAMILY RESIDENCE  
 SLOPE EASEMENT TO THE COUNTY OF LOS ANGELES  
 THOUSAND OAKS BOULEVARD  
 BALKINS DRIVE  
 (PRIVATE AND FUTURE STREET)  
 SCALE: 1"=20'  
 GRAPHIC SCALE