

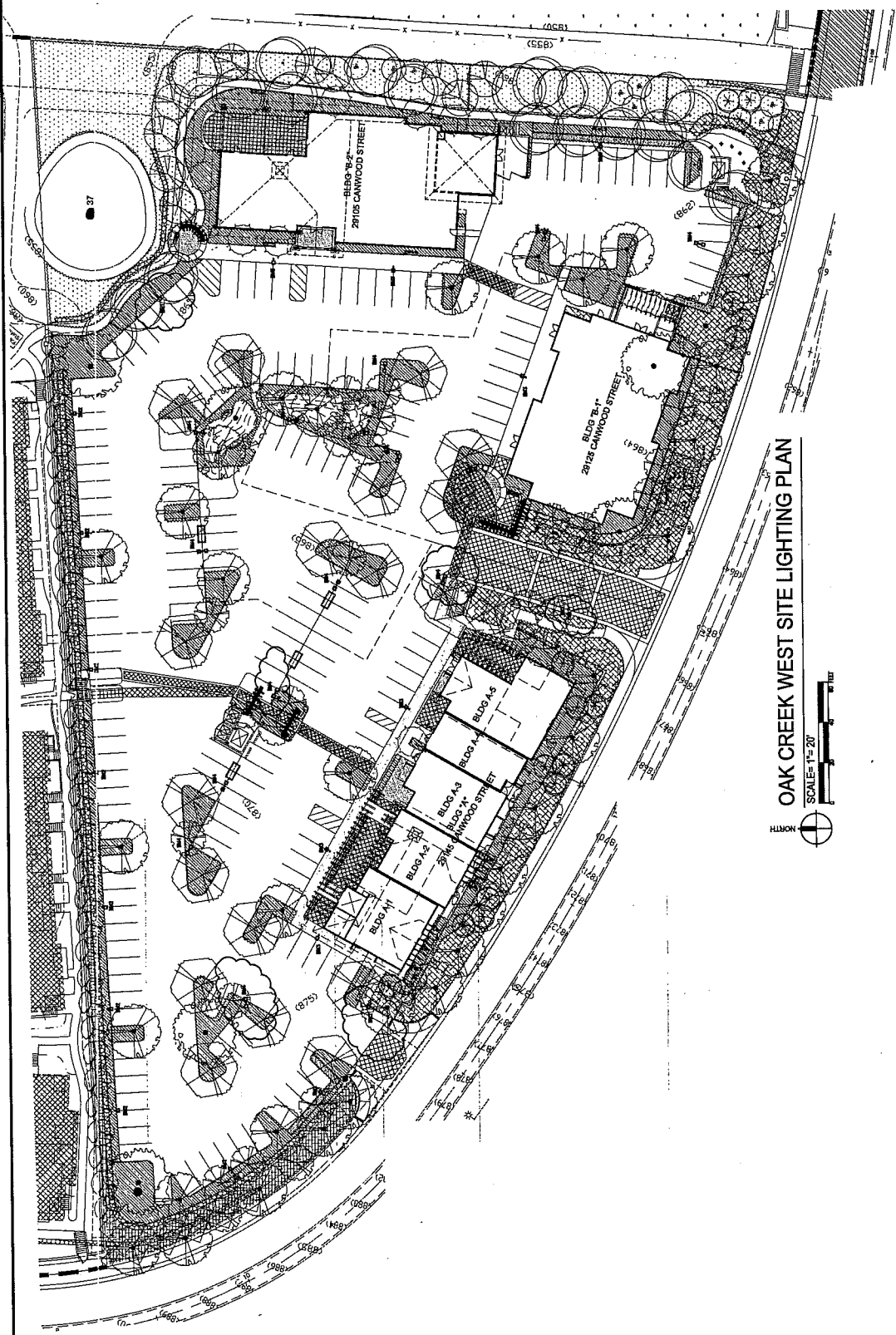
ARCHITECTURE • PLANNING • INTERIORS
VAN TILBURG, BANAVAR & SODERBERG, AIA
 21721 Ventura Blvd., Suite 300, Woodland Hills, CA 91364
 PREPARED FOR:
ADLER
 21721 Ventura Blvd., Suite 300, Woodland Hills, CA 91364
 OWNER:
ADLER REALTY
 21721 Ventura Blvd., Suite 300, Woodland Hills, CA 91364

SHOPS at OAK CREEK
 Parcels 3, 4 & 5
 Canwood Street, City of Agoura Hills, CA

SHOPS at OAK CREEK
 Parcels 3, 4 & 5
 Canwood Street, City of Agoura Hills, CA

NO.	DATE	DESCRIPTION

PROJECT: LD-1.0
 SHEET: 1 OF 1



OAK CREEK WEST SITE LIGHTING PLAN



NOTES
 • PUBLIC ART PIECE TO BE DISPLAYED ON WEST PROPERTY (N.C.)

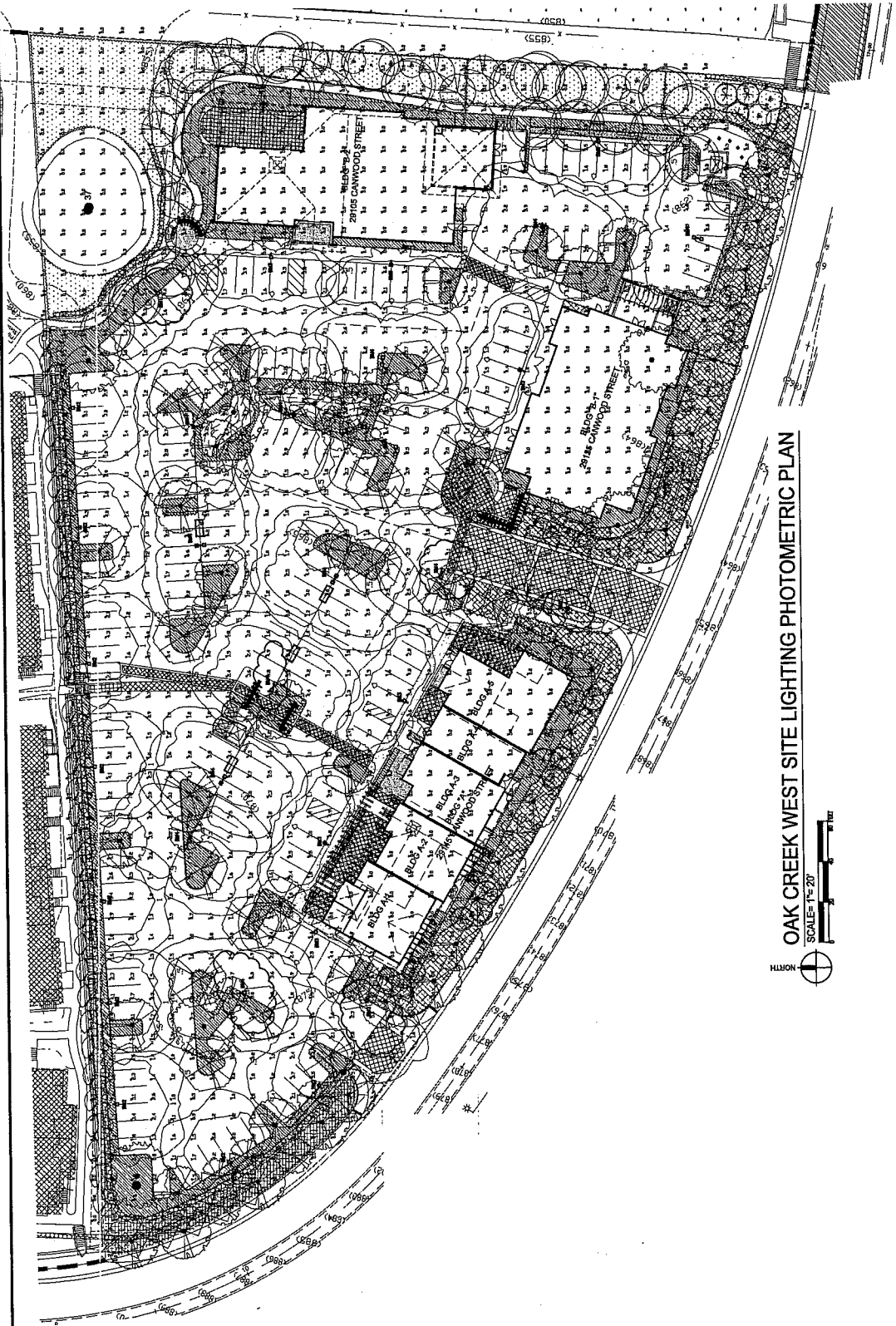
ARCHITECTURE • PLANNING • INTERIORS
YAN TILBURG, HARVARD & SODERBERG, AIA
 1000 MARKET STREET, SUITE 300
 SAN FRANCISCO, CA 94102
 TEL: 415.440.5515 FAX: 415.440.5517
 WWW.YAN-ARCHITECTS.COM

OWNER:
ADLER Realty Investments, Inc.
 21721 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

SHOPS at OAK CREEK
 Parcels 3, 4 & 5
 Canwood Street, City of Agoura Hills, CA
 Prepared for:
ADLER REALTY
 21721 Ventura Blvd, Suite 300, Woodland Hills, CA 91364

DATE	DESCRIPTION

LD-1.0-PH

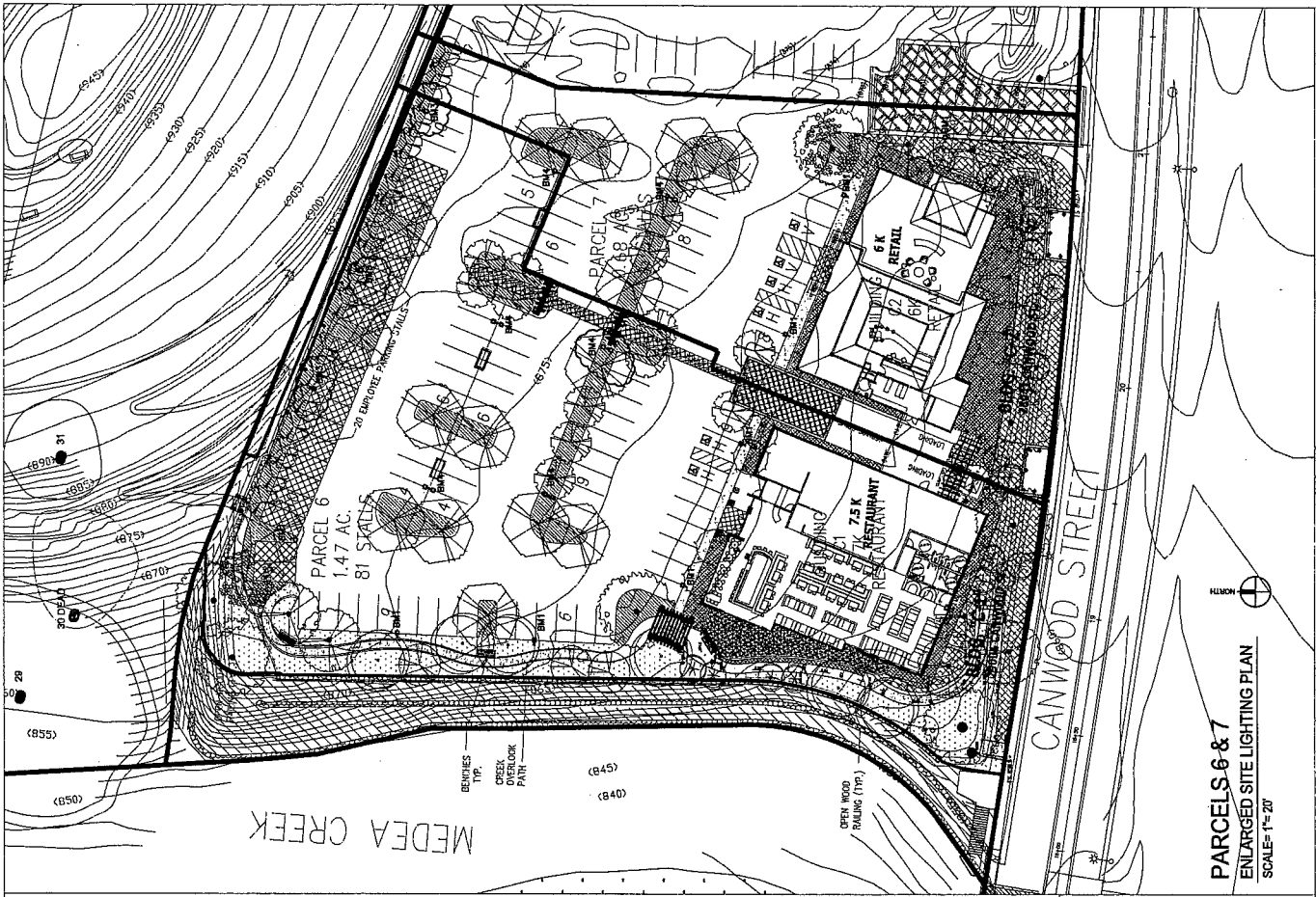


OAK CREEK WEST SITE LIGHTING PHOTOMETRIC PLAN



Luminaires Schedule	Symbol	Qty	Label	Attachment	Lumens	LLF	Description	Units
□	1	1	PK1	SINGLE	46000	0.710	PROV-HB-NORTH-185	90
○	1	1	PK2	SINGLE	46000	0.710	PROV-HB-NORTH-185	90
○	1	1	PK3	SINGLE	46000	0.710	PROV-HB-NORTH-185	90
□	1	1	PK1	SINGLE	46000	0.710	PROV-HB	90

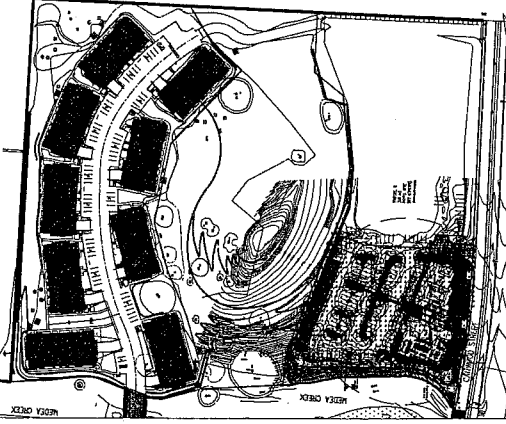
NOTES
 * PUBLIC ART PIECE TO BE DISPLAYED ON WEST PROPERTY (N/C)



PARCELS 6 & 7
 ENLARGED SITE LIGHTING PLAN
 SCALE= 1"=20'

<p>PARCEL 6 (1.42 acres)</p> <p>RESTAURANT @ 15/ 1000 S.F. = 60 SPACES (4000 s.f. actual serving area)</p> <p>PATIO @ 15/ 1000 S.F. = 13 SPACES (850 s.f. total)</p> <p>PARKING REQUIRED BY CITY = 73 SPACES PARKING PROVIDED = 83 SPACES</p>	<p>PARCEL 7 (0.74 acres)</p> <p>RETAIL @ 1/ 200 S.F. = 24 SPACES (6000 s.f.)</p> <p>PATIO @ 0/ 1000 S.F. = 0 SPACES</p> <p>PARKING REQUIRED BY CITY = 24 SPACES PARKING PROVIDED = 24 SPACES</p>
---	---

NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.



ENLARGED PLAN VIEW

OAK CREEK OVERALL SITE PLAN
 SCALE= 1"=100'

DATE:	ISSUED:	REVISIONS:

NO.	DATE	DESCRIPTION



SITE PHOTOMETRIC PLAN

PARCELS 6 & 7
BUILDING C

SHOPS at OAK CREEK

OWNER: CHIMWOOD GROUP, CITY OF AGORA HILLS, CA 91201

ADLER
ARCHITECTS

12121 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

OWNER: VAN TILBURG, BANAYARD & SODERBERGH, MA

ARCHITECTURE • PLANNING • INTERIORS



PARCELS 6 & 7
ENLARGED SITE PHOTOMETRIC PLAN
SCALE- 1"=20'

NO.	DATE	DESCRIPTION

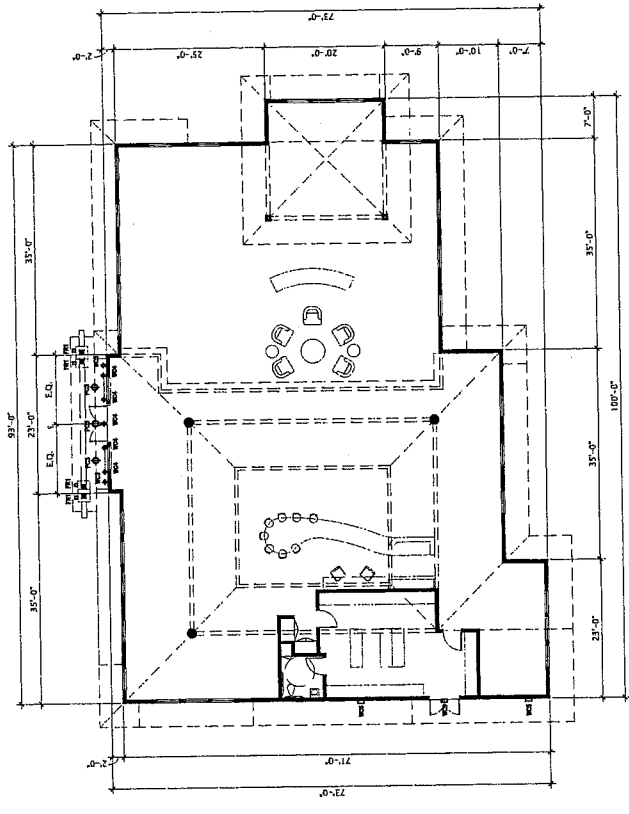
Small print at the bottom of the page, likely containing legal disclaimers or project details.

LD-5.6

NO.	DATE	DESCRIPTION

PROJECT	DATE	STATUS

GROUND FLOOR PLAN
(6,000 SQ. FT. RETAIL)



OAK CREEK BUILDING LIGHTING PLANS - BUILDING C-2

SCALE: 1/8" = 1'-0"
DATE: 1/20/2010
DRAWN: J. K. HUNT

BLDG. LIGHTING PLAN
PARCEL 7
BUILDING C-2

SHOPS at OAK CREEK
CARROLL STREET, CITY OF AGoura Hills, CA 91301

OWNER:
ADLER
Quality Investments, Inc.
21751 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

FOR MORE INFORMATION
CONTACT THE ARCHITECT
OR THE ENGINEER.
PHONE: 916.231.2500
FAX: 916.231.2501

VAN TILBURG, BANAVARD & SODERBERG, AIA
ARCHITECTS • PLANNING • INTERIORS
2000 17th Street, Suite 300
Folsom, CA 95630
PHONE: 916.231.2500
FAX: 916.231.2501

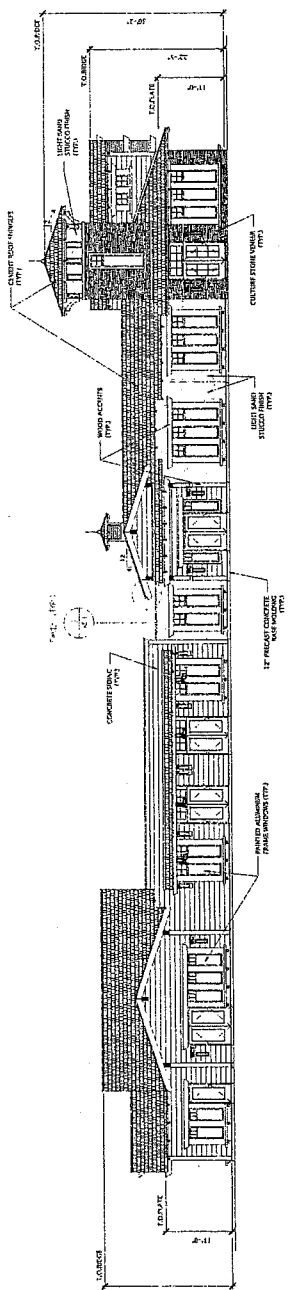
LD-6.1-A
 PHASE II
 PARCEL 3
 BUILDING A

VAN TILBURG, BANY

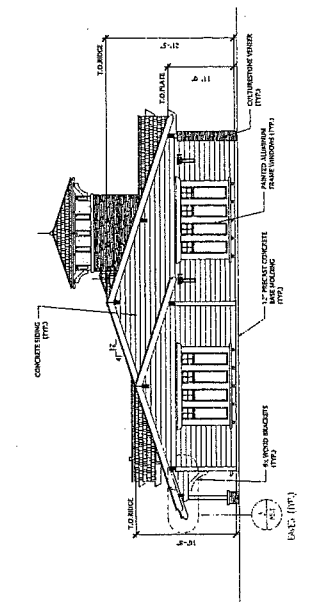
ELEVATIONS

NO.	DATE	DESCRIPTION

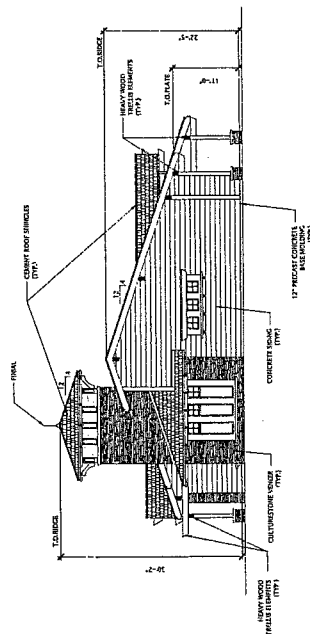
NORTH ELEVATION



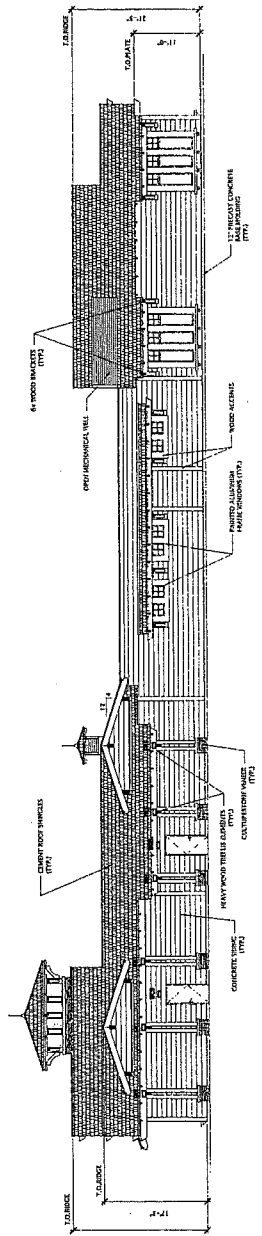
EAST ELEVATION (UNIT A5)



WEST ELEVATION (UNIT A1)



SOUTH ELEVATION (CANWOOD STREET)



LD-6.1-C2

DATE:	
PROJECT:	
DATE:	
PROJECT:	
DATE:	
PROJECT:	

DATE:	
PROJECT:	
DATE:	
PROJECT:	
DATE:	
PROJECT:	



PHASE I
PARCEL 7
BUILDING C2

ELEVATIONS

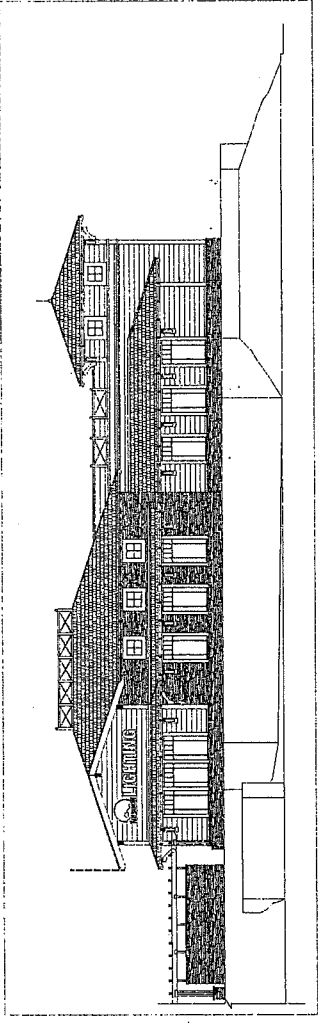
SHOPS at OAK CREEK

ADLER
Realty Investments, Inc.
21721 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

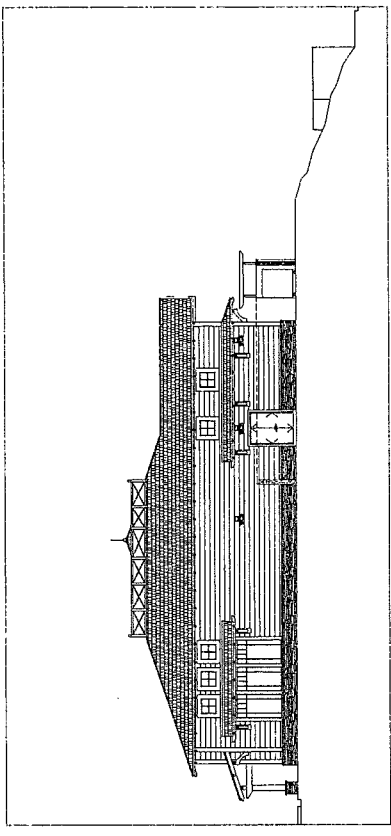
OWNER:
Carmel Street, City of Agoura Hills, CA 91301

ARCHITECT:
VAN TILBURG, BANWARD & SODERBERGH, AIA
ARCHITECTS • PLANNING • INTERIORS

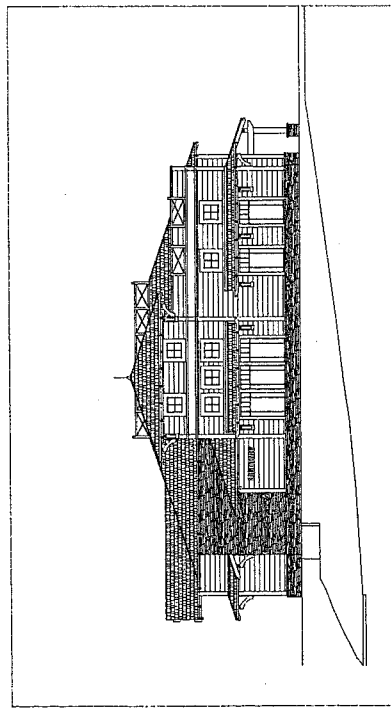
SOUTH ELEVATION
SCALE: 1/8"=1'-0"



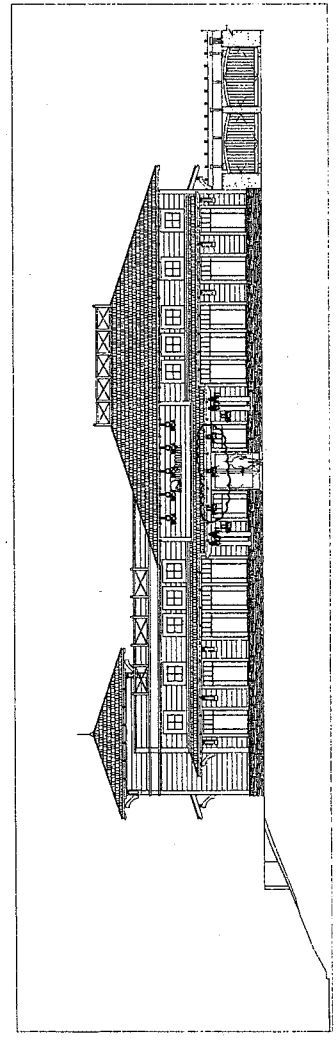
WEST ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

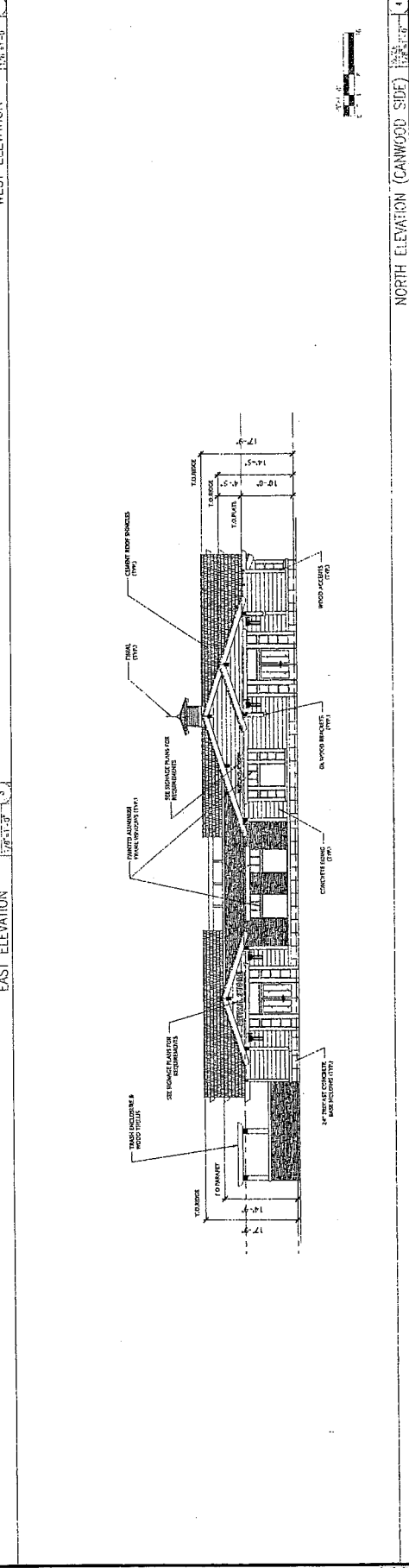
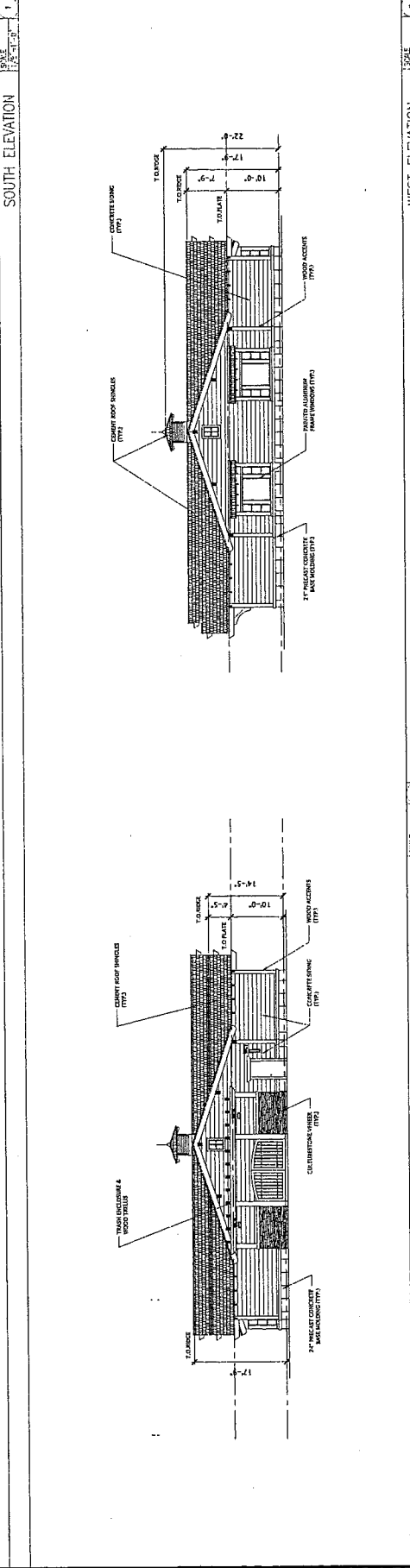
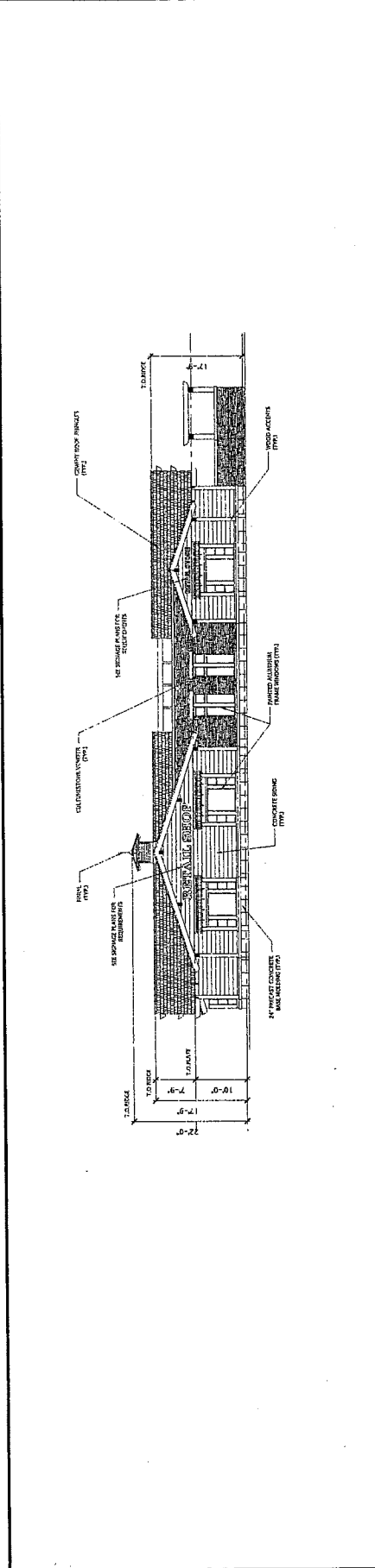


NORTH ELEVATION
SCALE: 1/8"=1'-0"



DATE: 11/27/2018
PROJECT: SHOPS AT OAK CREEK
DRAWN BY: J. SODERBERGH

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NO.	REVISION	DATE	BY	CHECKED

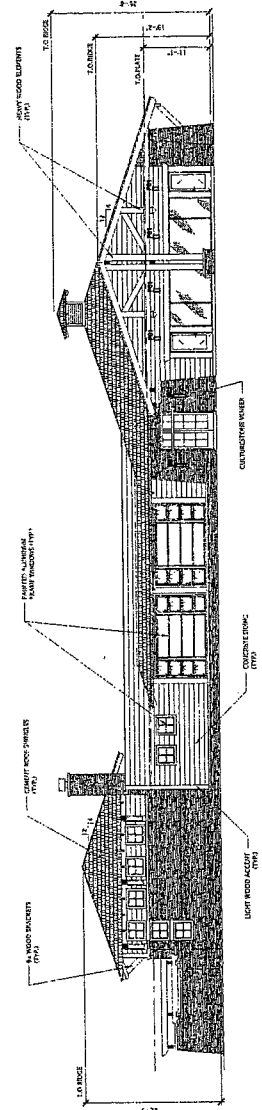
ELEVATIONS

PHASE II
PARCEL 5
BUILDING B-2

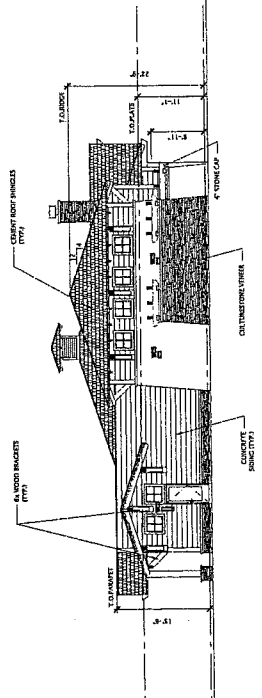
SHOPS at OAK CREEK

OWNER: ADLER REALTY CORPORATION, 2171 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364
 ARCHITECT: VAN TILBURG, BANARD & SODERBERG, AIA
 ARCHITECTURE • PLANNING • INTERIORS
 2005 TW 5th Street, Suite 200, Los Angeles, CA 90013
 TEL: (310) 551-2222 FAX: (310) 551-2222

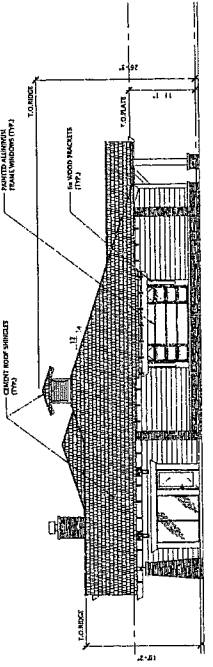
EAST ELEVATION
SCALE: 1/8" = 1'-0"



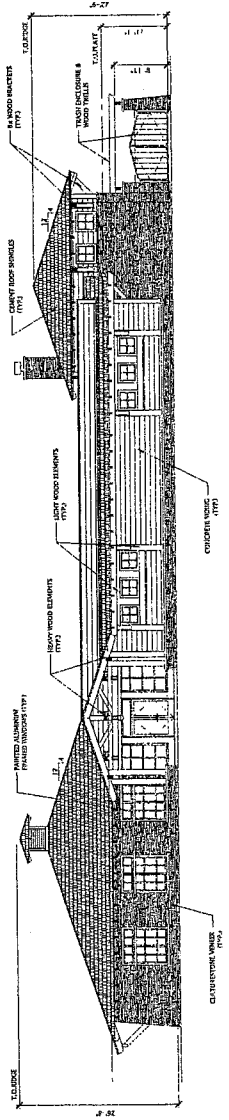
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"




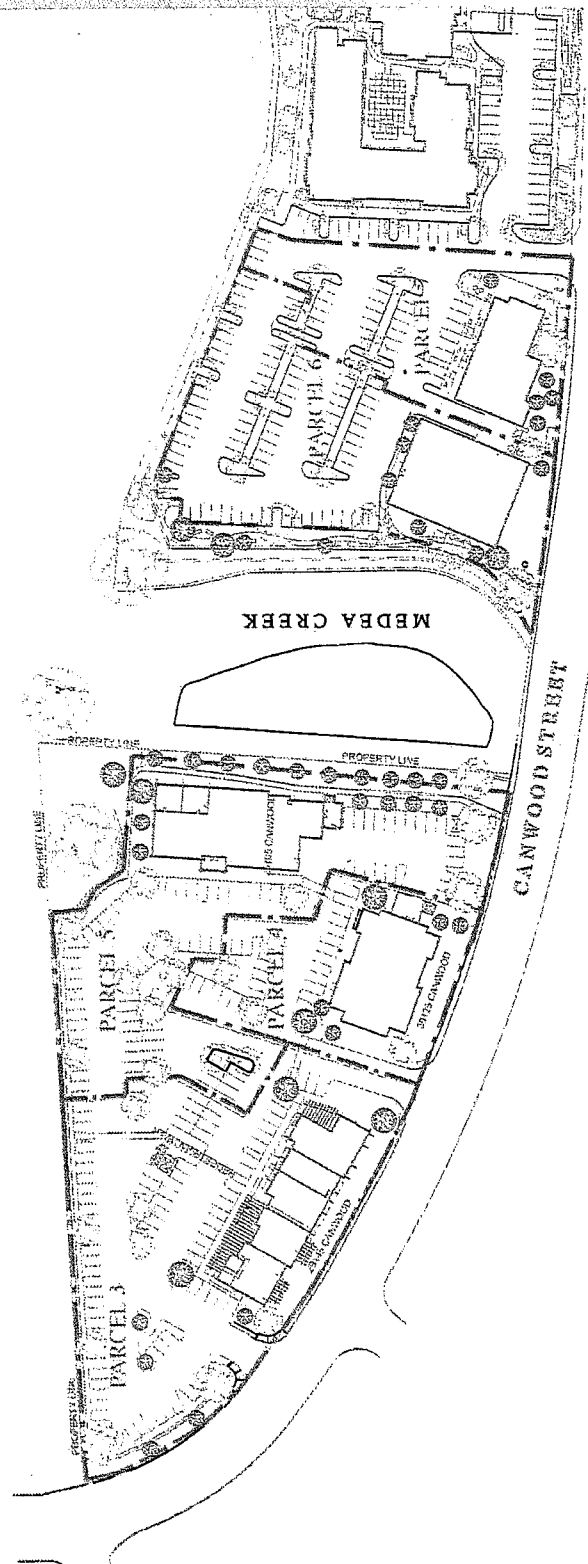
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION (CANWOOD SIDE)
SCALE: 1/8" = 1'-0"




OAK CREEK
 PLANNED
 SIGN PROGRAM
 FOR SIGN AND
 BUILDING SIGNS
 PARCELS
 3, 4, 5, 6, 7
 10000 W. WILSON AVENUE
 SUITE 100
 MILWAUKEE, WI 53224
 TEL: 414.774.1100
 FAX: 414.774.1101
 WWW.OAKCREEKDESIGN.COM



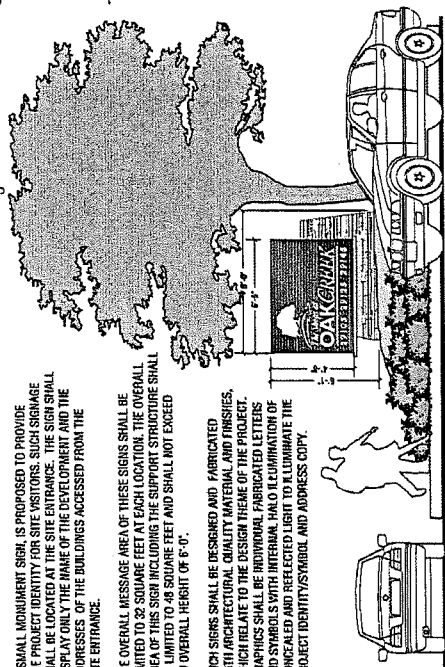
SKA
 DESIGN

SITE/ADDRESS IDENTITY MONUMENT SIGNAGE

A SMALL MONUMENT SIGN, IS PROPOSED TO PROVIDE THE PROJECT IDENTITY FOR VISITORS. SUCH SIGNAGE SHALL BE LOCATED AT THE SITE ENTRANCE. THE SIGN SHALL DISPLAY ONLY THE NAME OF THE DEVELOPMENT AND THE ADDRESSES OF THE BUILDINGS ACCESSED FROM THE SITE ENTRANCE.

THE OVERALL MESSAGE AREA OF THESE SIGNS SHALL BE LIMITED TO 32 SQUARE FEET AT EACH LOCATION. THE OVERALL AREA OF THIS SIGN INCLUDING THE SUPPORT STRUCTURE SHALL BE LIMITED TO 48 SQUARE FEET AND SHALL NOT EXCEED AN OVERALL HEIGHT OF 6'-0".

SUCH SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE INDIVIDUAL FABRICATED LETTERS AND SYMBOLS WITH INTERIOR, HIKO RECOMMENDATION OF CONCALED AND REFRIGERATED LIGHT TO ILLUMINATE THE PROJECT IDENTIFY SYMBOL AND ADDRESS CITY.



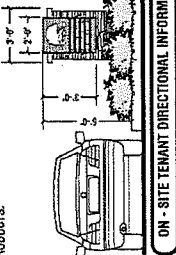
OAK CREEK PROJECT IDENTIFICATION MONUMENT SIGN (ONE SIGN AT EACH SITE ENTRANCE)

ON-SITE DIRECTIONAL INFORMATION SIGNAGE

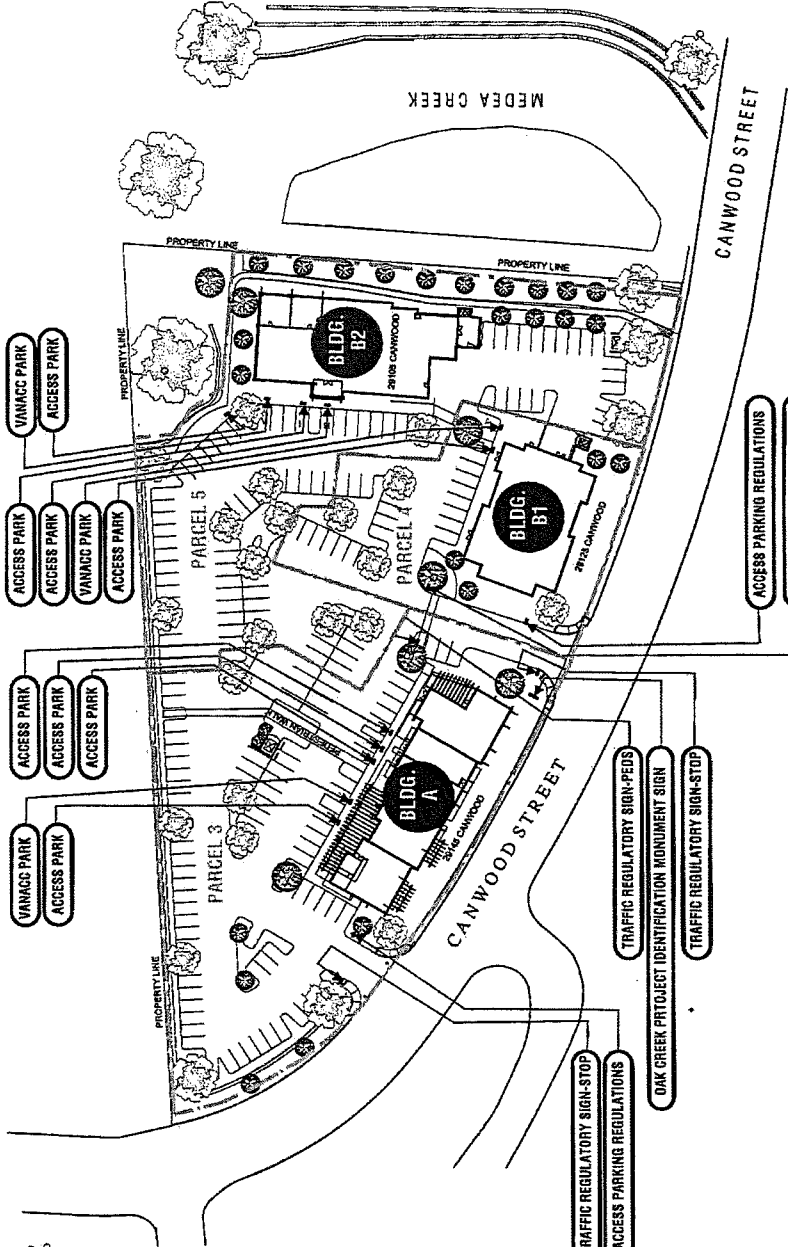
PROPOSED TO PROVIDE ON-SITE DIRECTIONAL INFORMATION FOR VISITORS ARE SMALL MONUMENT SIGNS, TO BE LOCATED AS MAY BE REQUIRED, AT THE OWNER'S OPTION.

TYPICALLY, THESE SIGNS WILL INCLUDE THE NAME OF THE DEVELOPMENT AND UP TO ENRIT (0) NAMES OF TENANTS WHO MAY BE FOUND ON THE SITE. THE OVERALL MESSAGE AREA OF THE SIGN IS LIMITED TO 8 SQUARE FEET AT EACH LOCATION. THE OVERALL SIGN AREA INCLUDING SUPPORT STRUCTURE SHALL BE LIMITED TO 12 SQUARE FEET. THE SIGN SHALL NOT EXCEED AN OVERALL HEIGHT OF 5'-4".

THESE SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE ILLUMINATED WITH THE USE OF REFLECTIVE VINYL GRAPHIC PRODUCTS.



ON - SITE TENANT DIRECTIONAL INFORMATION SIGN (OPTIONAL BY OWNER)



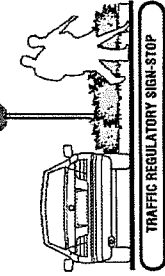
TRAFFIC REGULATORY SIGN-STOP
ACCESS PARKING REGULATIONS

TRAFFIC REGULATORY SIGN-STOP
OAK CREEK PROJECT IDENTIFICATION MONUMENT SIGN
TRAFFIC REGULATORY SIGN-STOP

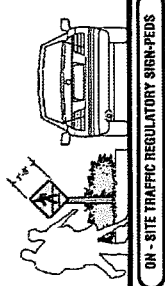
ACCESS PARKING REGULATIONS
SITE DIRECTIONAL INFORMATION

ON-SITE DIRECTIONAL INFORMATION SIGNAGE

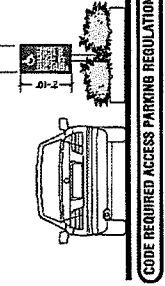
PROPOSED TO PROVIDE ON-SITE TRAFFIC AND PARKING REGULATORY SIGNAGE AND INFORMATION FOR VISITORS ARE POST AND PANEL SIGNS WITH CUSTOM DESIGNED GRAPHICS EXECUTED WITH REFLECTIVE VINYL MATERIALS.



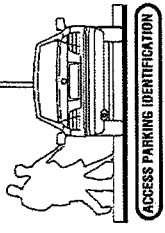
TRAFFIC REGULATORY SIGN-STOP



ON - SITE TRAFFIC REGULATORY SIGN-PEDS



CODE REQUIRED ACCESS PARKING REGULATIONS



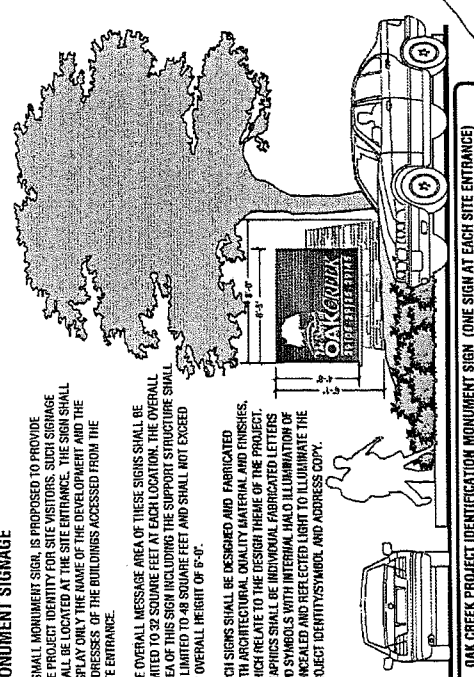
ACCESS PARKING IDENTIFICATION

SITE/ADDRESS IDENTITY MONUMENT SIGNAGE

A SMALL MONUMENT SIGN, IS PROPOSED TO PROVIDE THE PROJECT IDENTITY FOR SITE VISITORS. SUCH SIGNAGE SHALL BE LOCATED AT THE SITE ENTRANCE. THE SIGN SHALL DISPLAY ONLY THE NAME OF THE DEVELOPMENT AND THE ADDRESSES OF THE BUILDINGS ACCESSED FROM THE SITE ENTRANCE.

THE OVERALL MESSAGE AREA OF THESE SIGNS SHALL BE LIMITED TO 20 SQUARE FEET AT EACH LOCATION. THE OVERALL AREA OF THIS SIGN INCLUDING THE SUPPORT STRUCTURE SHALL BE LIMITED TO 48 SQUARE FEET AND SHALL NOT EXCEED AN OVERALL HEIGHT OF 8'-0".

SUCH SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE INDIVIDUAL FABRICATED LETTERS AND SYMBOLS WITH INTERNAL HALO ILLUMINATION OF CONCAVED AND REFLECTED LIGHT TO ILLUMINATE THE PROJECT IDENTITY/SYMBOL AND ADDRESS COPY.



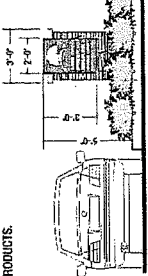
OAK CREEK PROJECT IDENTIFICATION MONUMENT SIGN (ONE SIGN AT EACH SITE ENTRANCE)

ON-SITE DIRECTIONAL INFORMATION SIGNAGE

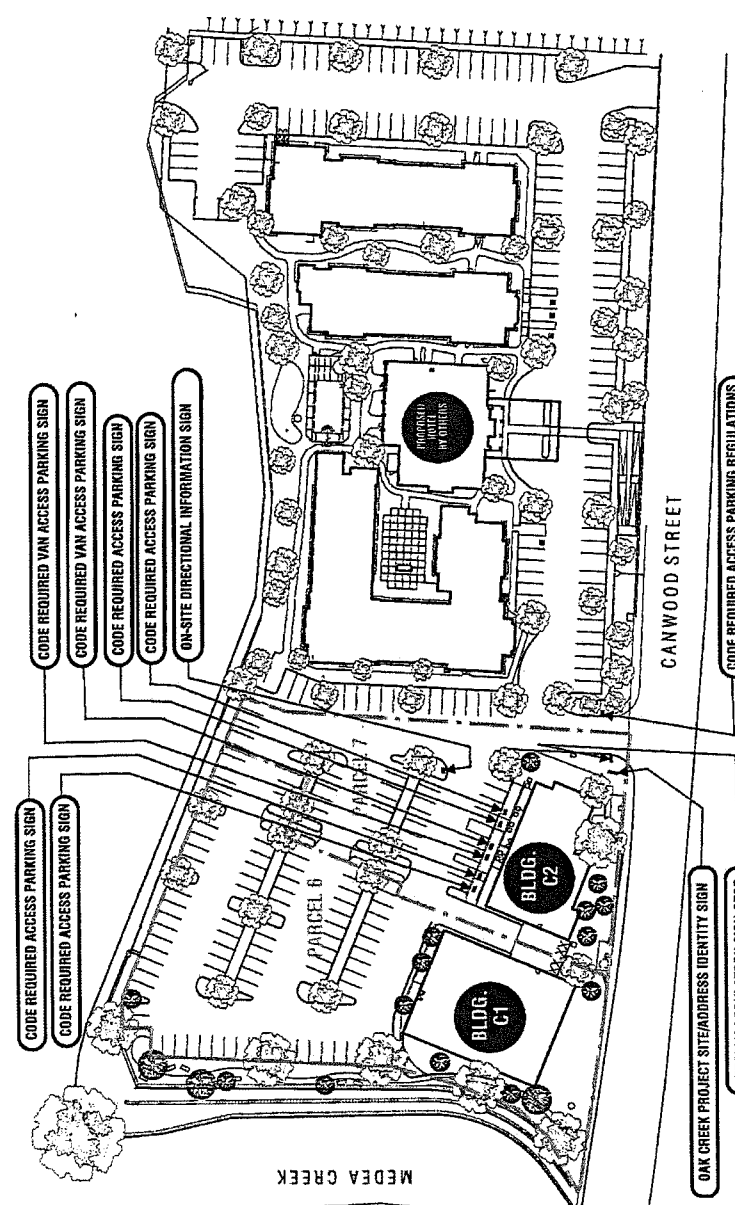
PROPOSED TO PROVIDE ON-SITE DIRECTIONAL INFORMATION FOR VISITORS, THESE SIGNS SHALL BE REQUIRED, AT THE OWNER'S OPTION.

TYPICALLY, THESE SIGNS WILL INCLUDE THE NAME OF THE DEVELOPMENT AND UP TO EIGHT (8) NAMES OF TENANTS WHO MAY BE FOUND ON THE SITE. THESE SIGNS SHALL BE LIMITED TO 15 SQUARE FEET AND TO 8 FEET IN HEIGHT. THE OVERALL SIGN AREA INCLUDING SUPPORT STRUCTURE SHALL BE LIMITED TO 15 SQUARE FEET AND THE SIGN SHALL NOT EXCEED AN OVERALL HEIGHT OF 8'-0".

THESE SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE INDIVIDUAL FABRICATED LETTERS AND SYMBOLS WITH INTERNAL HALO ILLUMINATION OF CONCAVED AND REFLECTED LIGHT TO ILLUMINATE THE PROJECT IDENTITY/SYMBOL AND ADDRESS COPY.

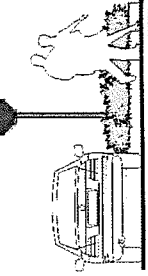


ON-SITE DIRECTIONAL INFORMATION SIGN (OPTIONAL BY OWNER)

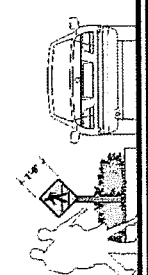


ON-SITE DIRECTIONAL INFORMATION SIGNAGE

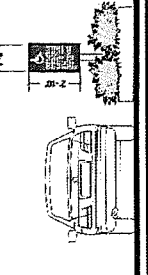
PROPOSED TO PROVIDE ON-SITE TRAFFIC AND PARKING REGULATORY SIGNAGE AND INFORMATION FOR VISITORS ARE POST AND PANEL SIGNS WITH CUSTOM DESIGNED GRAPHICS EXECUTED WITH REFLECTIVE VINYL MATERIALS.



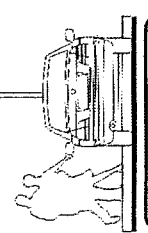
TRAFFIC REGULATORY SIGN-STOP



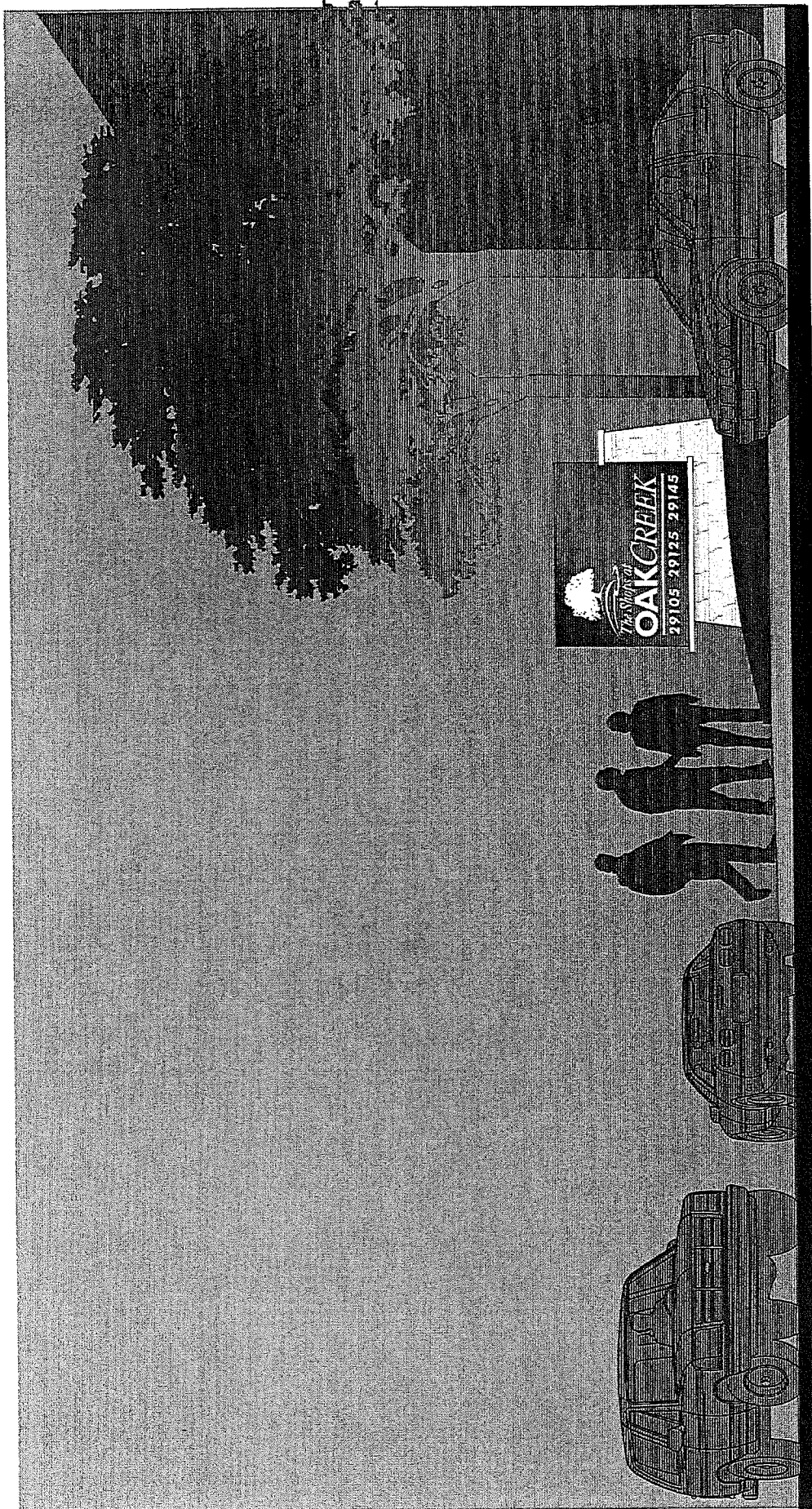
ON-SITE TRAFFIC REGULATORY SIGN-PEDS



CODE REQUIRED ACCESS PARKING REGULATIONS

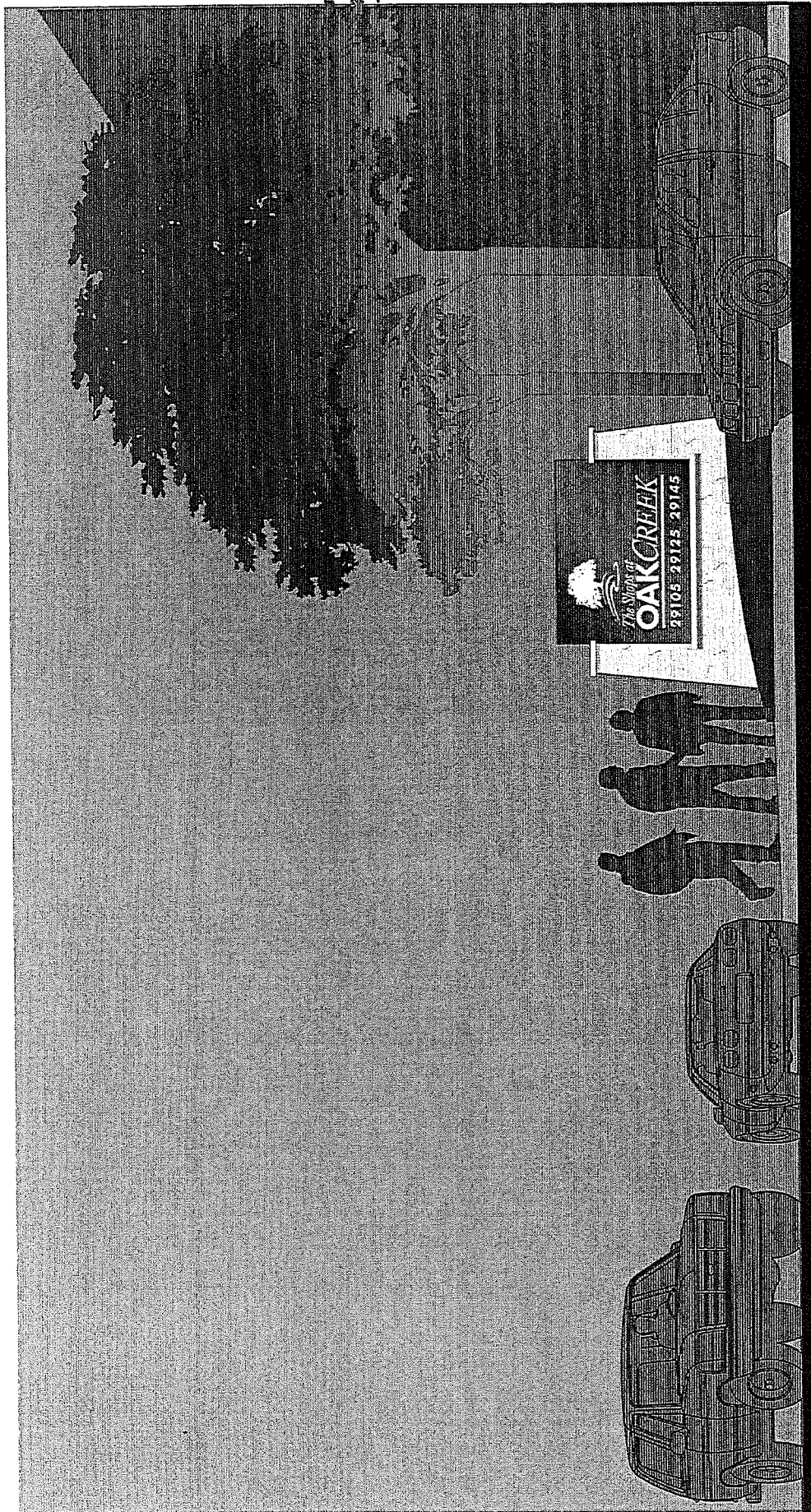


ACCESS PARKING IDENTIFICATION



OAK CREEK

SKA | The Shops at Oak Creek, Agoura Hills
DESIGN | Project Identity Monument Sign Scheme A



OAK CREEK

SKA | The Shops at Oak Creek, Agoura Hills
DESIGN | Project Identity Monument Sign Scheme B



PRIMARY TENANT IDENTITY- BUILDING WALL SIGNS

TENANT IDENTIFICATION WALL SIGNAGE SHALL BE ALLOWED UNDER THE PROVISIONS OF THE DESIGN CRITERIA ESTABLISHED HEREIN, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER, THE CITY OF AGOURA HILLS, PLANNING DEPARTMENT AND THE CITY OF AGOURA HILLS DESIGN COMMISSION.

PRIMARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ON CANWOOD STREET. END CAP TENANTS THAT HAVE ELEVATIONS WITH FRONTAGE ALONG SITE ACCESS DRIVERWAYS MAY HAVE ONE (1) ADDITIONAL TENANT IDENTITY WALL SIGN LOCATED ON SUCH ELEVATIONS.

TYPICALLY, TENANT IDENTITY SIGNAGE SHALL BE LIMITED TO THE MARKETING OR BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE UPON WHICH THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL SIGN AREA OF A TENANT IDENTITY WALL SIGN SHALL BE LIMITED TO AN AREA EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE THAT ENCLOSES A DEMISED TENANT SPACE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA OF ALL SUCH SIGNS ALLOWED FOR EACH TENANT, EXCEED A MAXIMUM OF 50 SQUARE FEET OF TOTAL SIGN AREA.

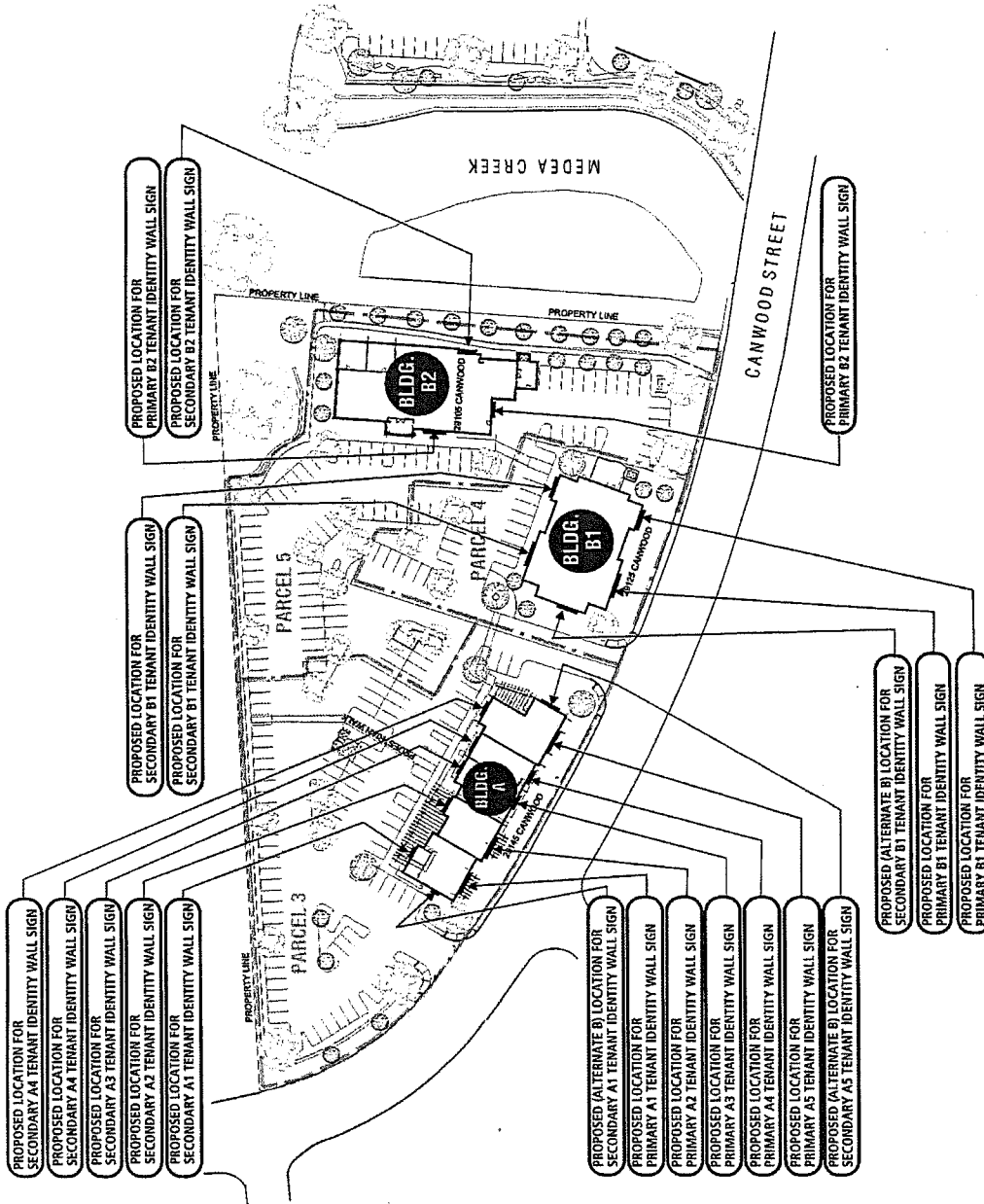
TENANT IDENTITY WALL SIGNS SHALL BE FABRICATED WITH QUALITY MATERIAL AND FINISHES. CREATIVITY IS ENCOURAGED IN THE DESIGN AND EXECUTION OF SUCH SIGNAGE, WITH ELEMENTS INCLUDING SYMBOLS AND LETTERS THAT EXHIBIT DEPTH AND DIMENSIONALITY.

SUCH SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED. LIGHTING TECHNIQUES WHICH PROVIDE INTERNALLY TRANSMITTED (THRU THE FACE) ILLUMINATION ARE STRICTLY PROHIBITED. ILLUMINATION OF SUCH SIGNS SHALL BE LIMITED TO HALO ILLUMINATION AFFECTS WITH LETTER AND GRAPHIC FORMS. PROVIDING REFLECTED PERIMETER LIGHTING, WHEREIN REVERSE CHANNEL LETTER FORMS ARE OUTLINED BY LIGHTING CONCEALED WITHIN THE LETTER THAT REFLECTS OFF OF THE WALL SURFACE UPON WHICH THE SIGN IS ATTACHED. EXTERNAL ILLUMINATION OF TENANT SIGNS SHALL ALLOWED AND SHALL BE EXECUTED WITH ARCHITECTURAL QUALITY SIGN LIGHTING LIGHTING FIXTURES, WHICH HAVE BEEN APPROVED BY THE OWNER AND THE ARCHITECT FOR THE PROJECT.

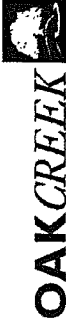
SECONDARY TENANT IDENTITY- BUILDING WALL SIGNS

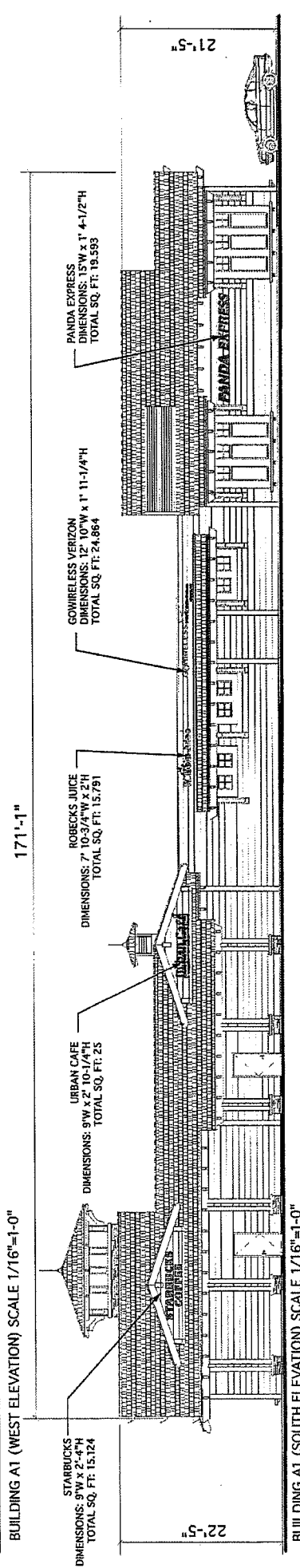
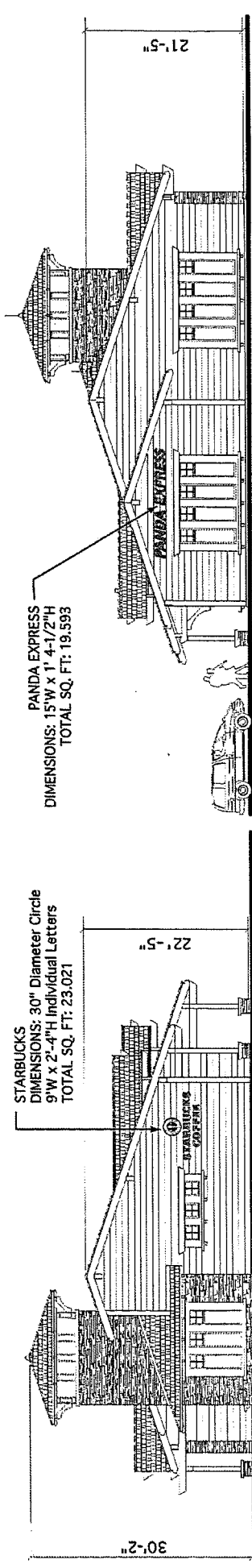
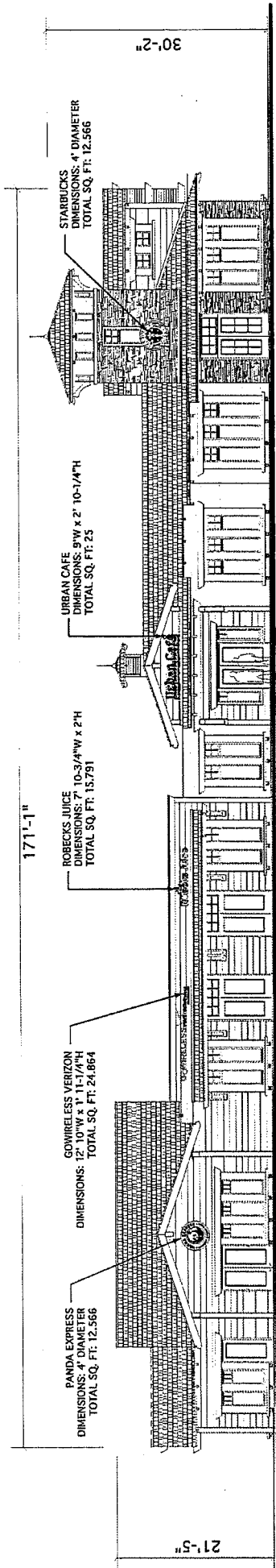
SECONDARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ALONG SITE PARKING AREAS AND WITH FRONTAGE ALONG MEDA CREEK OR AT THE PUBLIC ENTRANCE TO A DEMISED TENANT SPACE WHERE SUCH ENTRANCES MAY NOT BE OBVIOUSLY SEEN FROM SITE PARKING AREAS. SUCH SIGNAGE SHALL BE LIMITED TO THE BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE WHERE THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL AGGREGATE SIGN AREA OF SUCH TENANT IDENTITY WALL SIGNS SHALL BE LIMITED TO AN AREA WHICH IS EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA ALLOWED FOR EACH DEMISED TENANT SPACE, EXCEED 50 SQUARE FEET OF TOTAL SIGN AREA FOR ALL BUILDING ELEVATIONS, WHICH ARE PROPOSED TO BE SIGNED BY EACH TENANT.



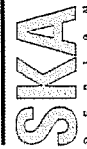
**The Shops at Oak Creek, Agoura Hills
Proposed Tenant Identity Building Sign Location Plan**

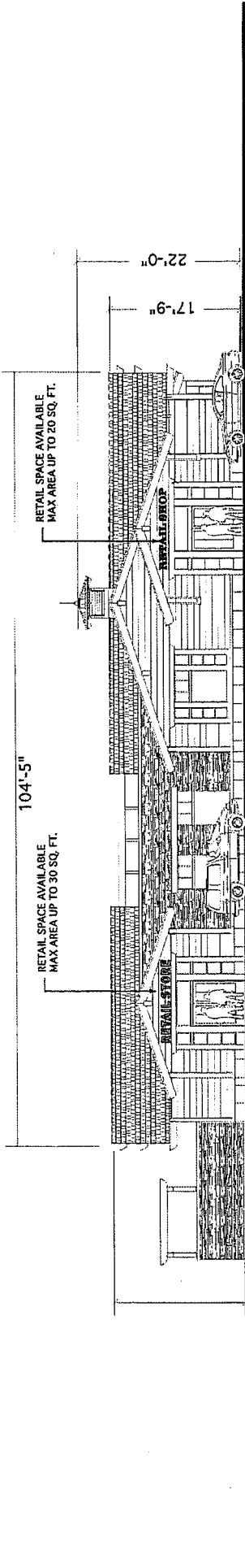




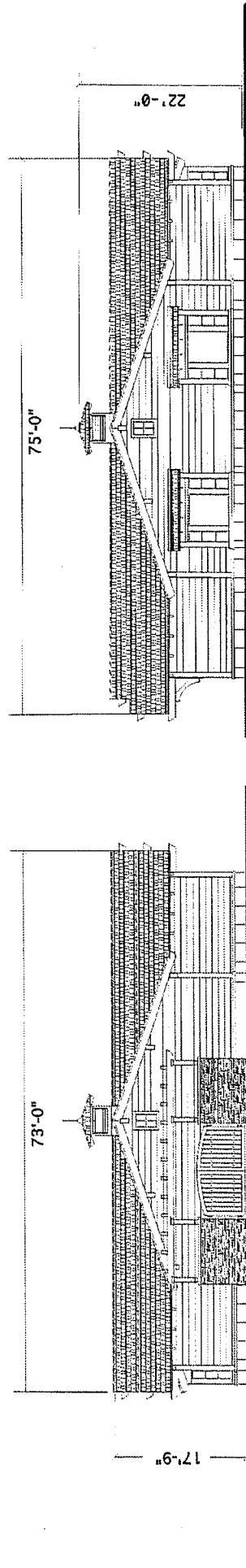
OAKCREEK

The Shops at Oak Creek, Agoura Hills
Building A1 Elevations, Proposed Wall Sign Location Plans

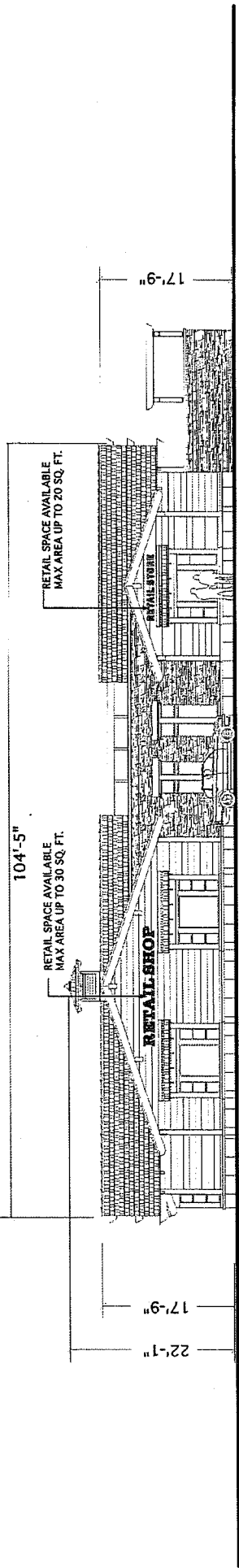




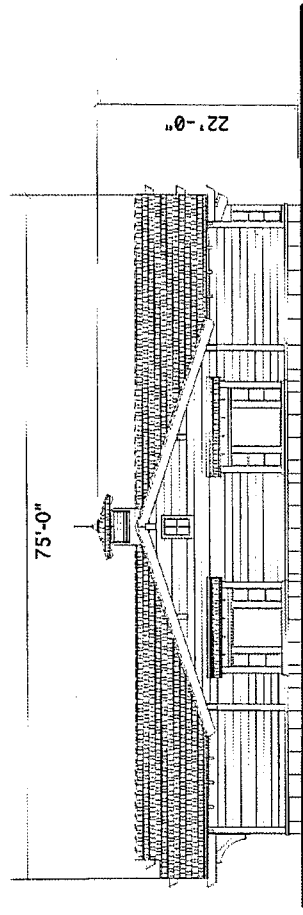
BUILDING B1 PARKING LOT (NORTH ELEVATION) SCALE 1/16"=1'-0"



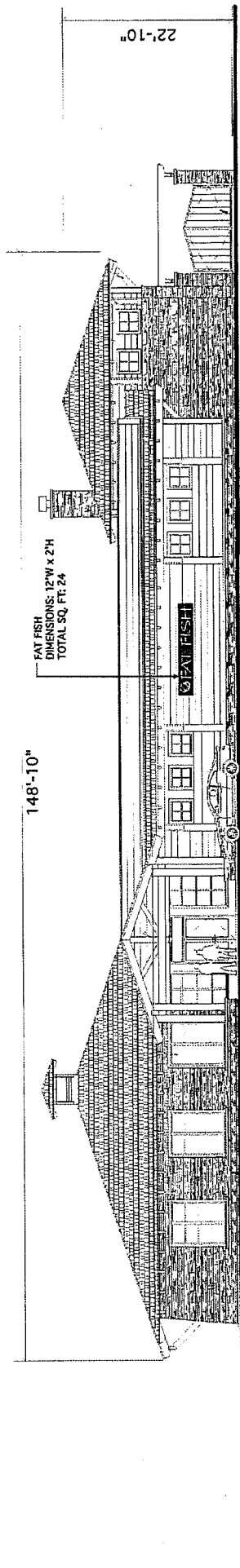
BUILDING B1 (WEST ELEVATION) SCALE 1/16"=1'-0"



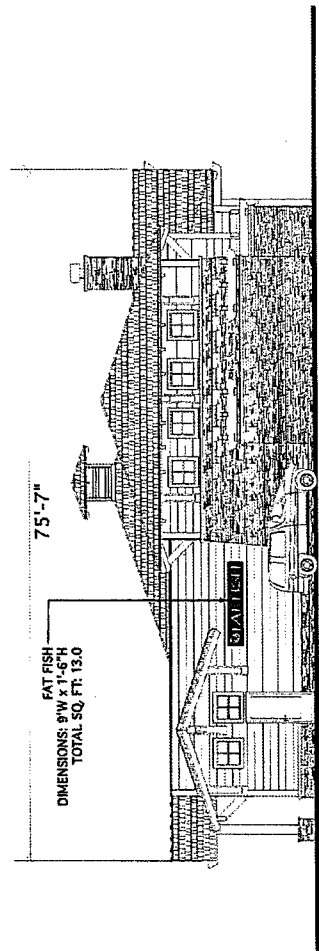
BUILDING B1 CANWOOD STREET (SOUTH ELEVATION) SCALE 1/16"=1'-0"



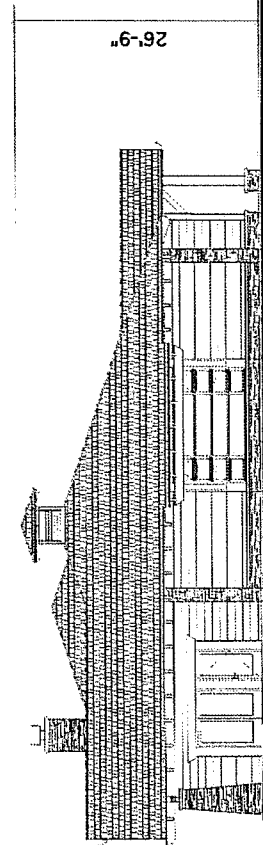
BUILDING B1 (EAST ELEVATION) SCALE 1/16"=1'-0"



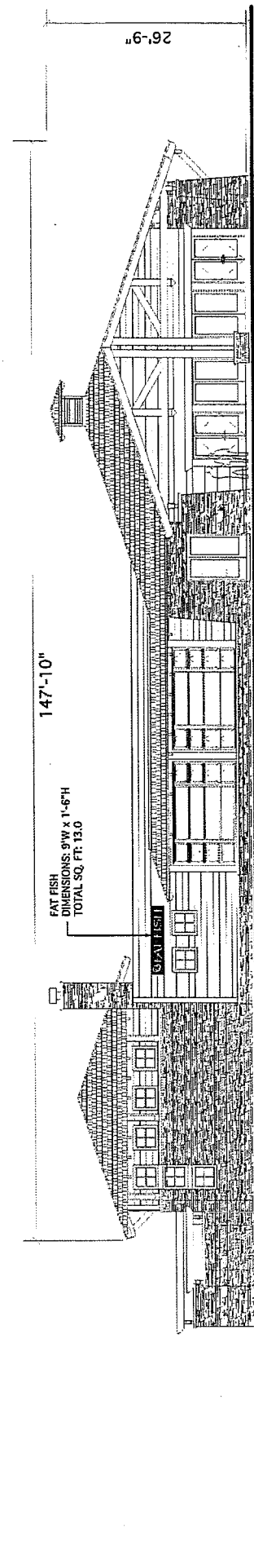
BUILDING B2 PARKING LOT (WEST ELEVATION) SCALE 1/16"=1'-0"



BUILDING B2 PARKING LOT (NORTH ELEVATION) SCALE 1/16"=1'-0"



BUILDING B2 (SOUTH ELEVATION) SCALE 1/16"=1'-0"



BUILDING B2 MEADE CREEK (EAST ELEVATION) SCALE 1/16"=1'-0"



PRIMARY TENANT IDENTITY- BUILDING WALL SIGNS

TENANT IDENTIFICATION WALL SIGNAGE SHALL BE ALLOWED UNDER THE PROVISIONS OF THE DESIGN CRITERIA ESTABLISHED HEREIN, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER, THE CITY OF AGOURA HILLS, PLANNING DEPARTMENT AND THE CITY OF AGOURA HILLS DESIGN COMMISSION.

PRIMARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ON CANWOOD STREET. END CAP TENANTS THAT HAVE ELEVATIONS WITH FRONTAGE ALONG SITE ACCESS DRIVEWAYS MAY HAVE ONE (1) ADDITIONAL TENANT IDENTITY WALL SIGN LOCATED ON SUCH ELEVATIONS.

TYPICALLY, TENANT IDENTITY SIGNAGE SHALL BE LIMITED TO THE MARKETING OR BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE UPON WHICH THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL SIGN AREA OF A TENANT IDENTITY WALL SIGN SHALL BE LIMITED TO AN AREA EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE THAT ENCLOSES A DEMISED TENANT SPACE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA OF ALL SUCH SIGNS ALLOWED FOR EACH TENANT, EXCEED A MAXIMUM OF 50 SQUARE FEET OF TOTAL SIGN AREA.

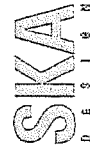
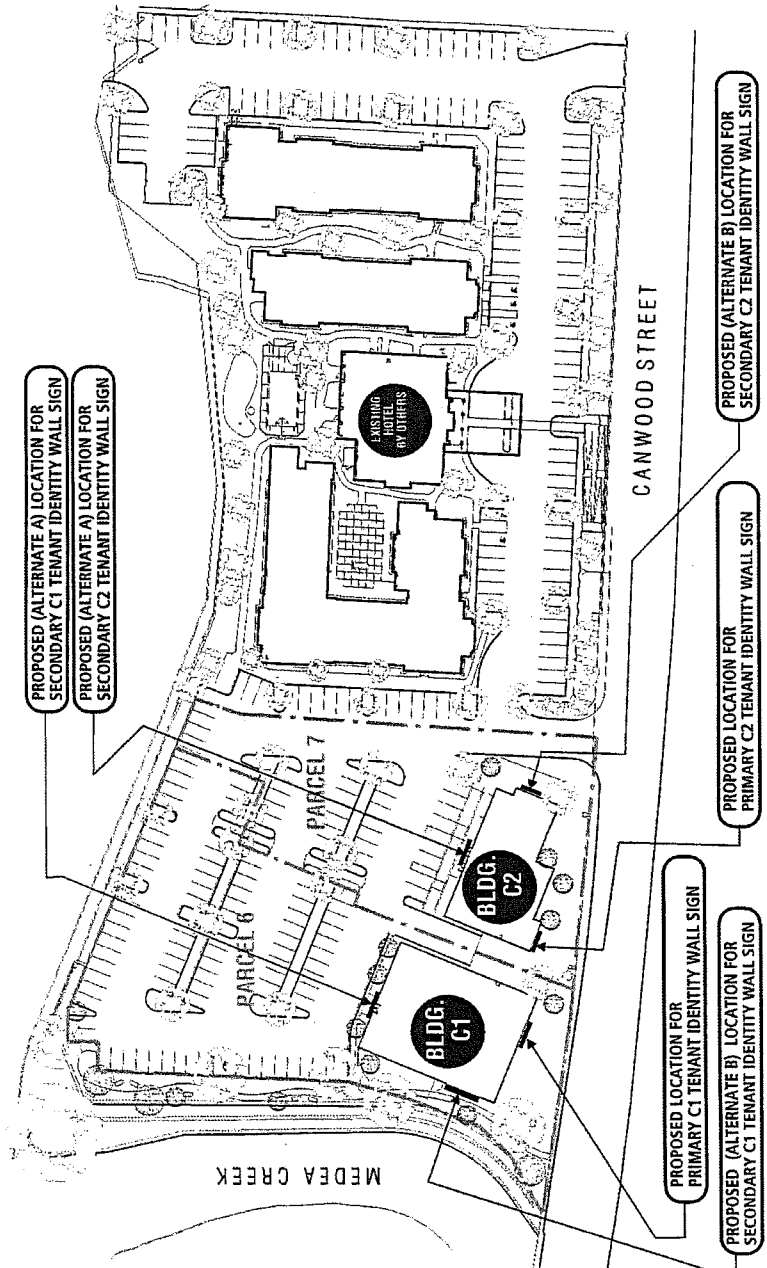
TENANT IDENTITY WALL SIGNS SHALL BE FABRICATED WITH QUALITY MATERIAL AND FINISHES. CREATIVITY IS ENCOURAGED IN THE DESIGN AND EXECUTION OF SUCH SIGNAGE, WITH ELEMENTS INCLUDING SYMBOLS AND LETTERS THAT EXHIBIT DEPTH AND DIMENSIONALITY.

SUCH SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED. LIGHTING TECHNIQUES WHICH PROVIDE INTERNALLY TRANSMITTED (THRU THE FACE) ILLUMINATION ARE STRICTLY PROHIBITED. ILLUMINATION OF SUCH SIGNS SHALL BE LIMITED TO HALO ILLUMINATION AFFECTS WITH LETTER AND GRAPHIC FORMS PROVIDING REFLECTED PERIMETER LIGHTING, WHEREIN REVERSE CHANNEL LETTER FORMS ARE OUTLINED BY LIGHTING CONCEALED WITHIN THE LETTER THAT REFLECTS OFF OF THE WALL SURFACE UPON WHICH THE SIGN IS ATTACHED. EXTERNAL ILLUMINATION OF TENANT SIGNS SHALL ALLOWED AND SHALL BE EXECUTED WITH ARCHITECTURAL QUALITY SIGN LIGHTING LIGHTING FIXTURES, WHICH HAVE BEEN APPROVED BY THE OWNER AND THE ARCHITECT FOR THE PROJECT.

SECONDARY TENANT IDENTITY- BUILDING WALL SIGNS

SECONDARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ALONG SITE PARKING AREAS AND WITH FRONTAGE ALONG MEDA CREEK OR AT THE PUBLIC ENTRANCE TO A DEMISED TENANT SPACE WHERE SUCH ENTRANCES MAY NOT BE OBVIOUSLY SEEN FROM SITE PARKING AREAS. SUCH SIGNAGE SHALL BE LIMITED TO THE BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE WHERE THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL AGGREGATE SIGN AREA OF SUCH TENANT IDENTITY WALL SIGNS SHALL BE LIMITED TO AN AREA, WHICH IS EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA ALLOWED FOR EACH DEMISED TENANT SPACE, EXCEED 50 SQUARE FEET OF TOTAL SIGN AREA FOR ALL BUILDING ELEVATIONS, WHICH ARE PROPOSED TO BE SIGNED BY EACH TENANT.



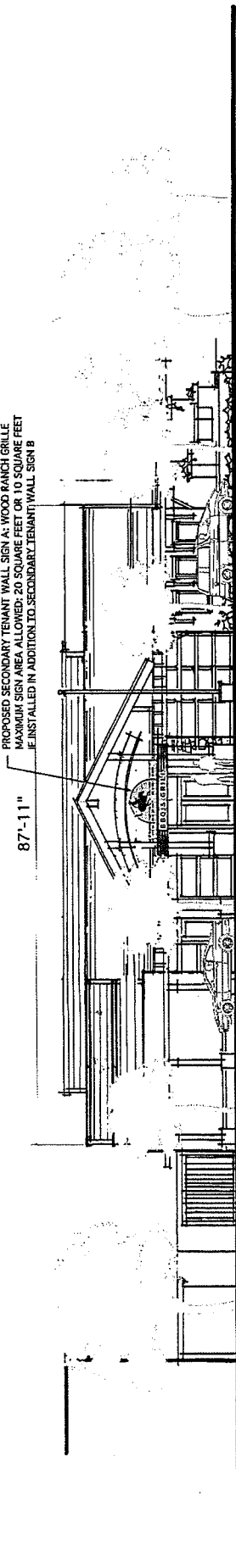
**The Shops at Oak Creek, Agoura Hills
Proposed Tenant Identity Building Wall Sign Location Plan**



OAK CREEK

PROPOSED SECONDARY TENANT WALL SIGN A: WOOD RANCH GRILLE
 MAXIMUM SIGN AREA ALLOWED: 20 SQUARE FEET OR 10 SQUARE FEET
 IF INSTALLED IN ADDITION TO SECONDARY TENANT WALL SIGN B

87'-11"

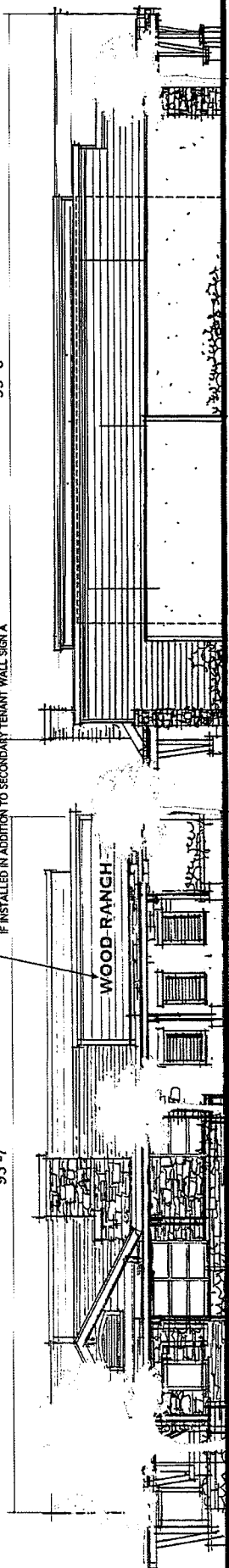


BUILDING C1 PARKING LOT (NORTH ELEVATION) SCALE 1/8"=1'-0"

PROPOSED SECONDARY TENANT WALL SIGN B: WOOD RANCH GRILLE
 MAXIMUM SIGN AREA ALLOWED: 20 SQUARE FEET OR 10 SQUARE FEET
 IF INSTALLED IN ADDITION TO SECONDARY TENANT WALL SIGN A

95'-7"

99'-8"

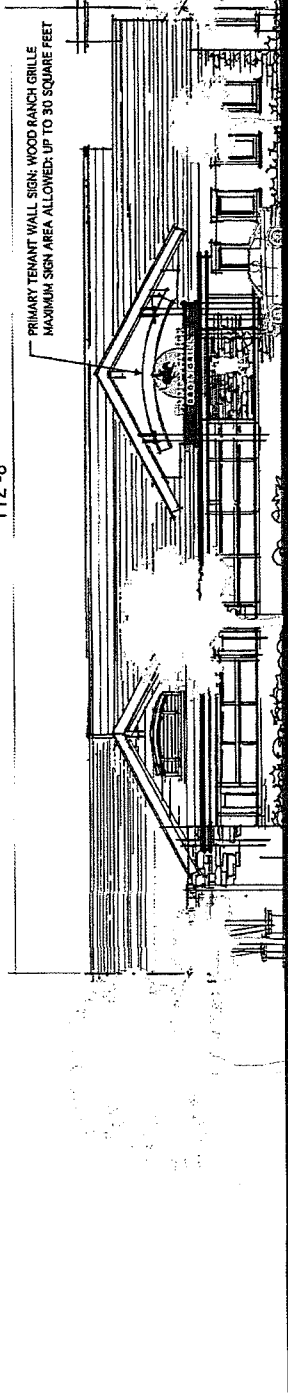


BUILDING C1 (WEST ELEVATION) SCALE 1/8"=1'-0"

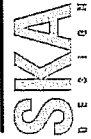
BUILDING C1 (EAST ELEVATION) SCALE 1/8"=1'-0"

112'-8"

PRIMARY TENANT WALL SIGN: WOOD RANCH GRILLE
 MAXIMUM SIGN AREA ALLOWED: UP TO 30 SQUARE FEET



BUILDING C1 CANWOOD STREET (SOUTH ELEVATION) SCALE 1/8"=1'-0"

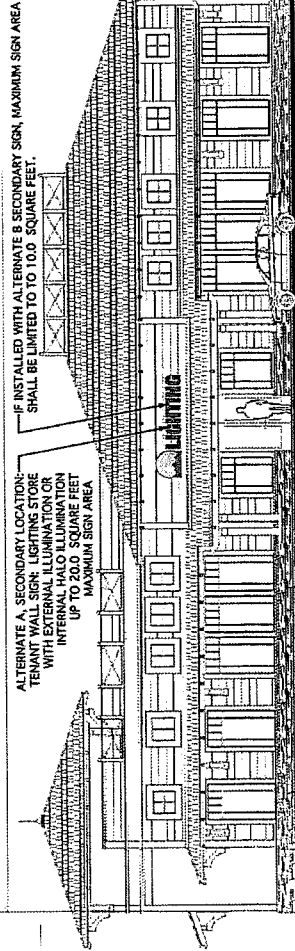


The Shops at Oak Creek, Agoura Hills
 Building C1 Elevations, Proposed Wall Sign Location Plans



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100'-3"

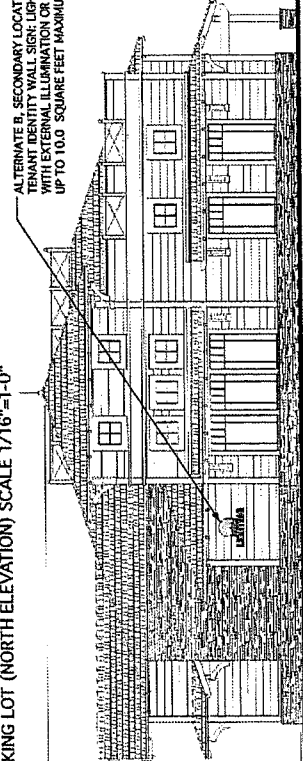


ALTERNATE A, SECONDARY LOCATION:
 TENANT WALL SIGN, LIGHTING STORE
 WITH EXTERNAL ILLUMINATION OR
 INTERNAL HALO ILLUMINATION
 UP TO 20.0 SQUARE FEET
 MAXIMUM SIGN AREA

IF INSTALLED WITH ALTERNATE B SECONDARY SIGN, MAXIMUM SIGN AREA
 SHALL BE LIMITED TO 10.0 SQUARE FEET.

BUILDING A1 PARKING LOT (NORTH ELEVATION) SCALE 1/16"=1'-0"

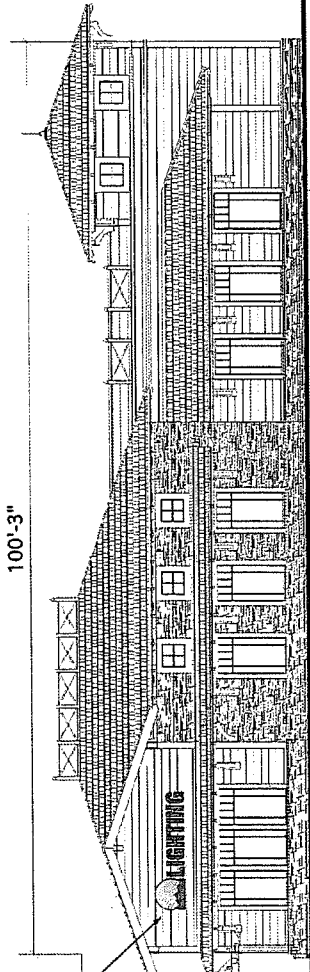
ALTERNATE B, SECONDARY LOCATION:
 TENANT IDENTITY SIGN, STORE
 WITH EXTERNAL ILLUMINATION OR INTERNAL HALO ILLUMINATION
 UP TO 10.0 SQUARE FEET MAXIMUM SIGN AREA;



ALTERNATE B, SECONDARY LOCATION:
 TENANT IDENTITY SIGN, STORE
 WITH EXTERNAL ILLUMINATION OR INTERNAL HALO ILLUMINATION
 UP TO 10.0 SQUARE FEET MAXIMUM SIGN AREA;

BUILDING C2 (WEST ELEVATION) SCALE 1/16"=1'-0"

100'-3"



PRIMARY LOCATION:
 TENANT IDENTITY WALL SIGN, LIGHTING STORE
 WITH EXTERNAL ILLUMINATION
 OR INTERNAL HALO ILLUMINATION
 MAXIMUM SIGN AREA 30.0 SQUARE FEET

BUILDING C2 (EAST ELEVATION) SCALE 1/16"=1'-0"

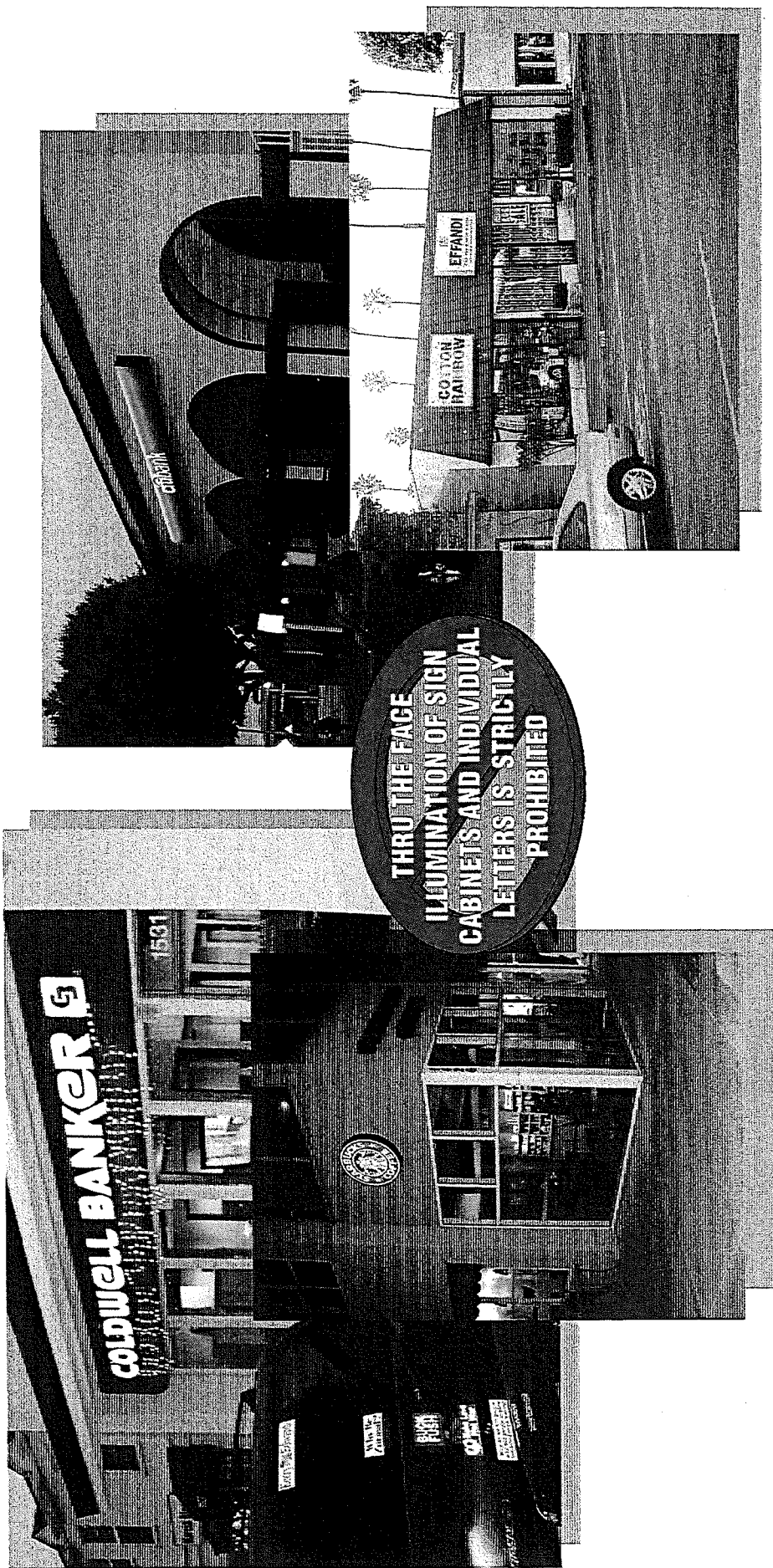
BUILDING A1 CANWOOD STREET (SOUTH ELEVATION) SCALE 1/16"=1'-0"



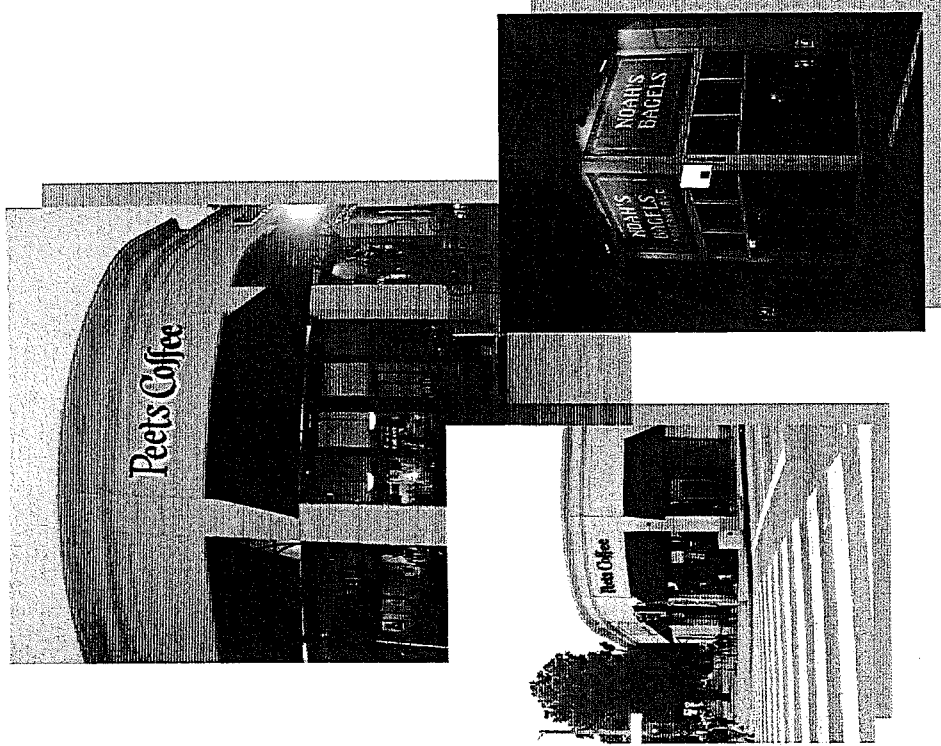
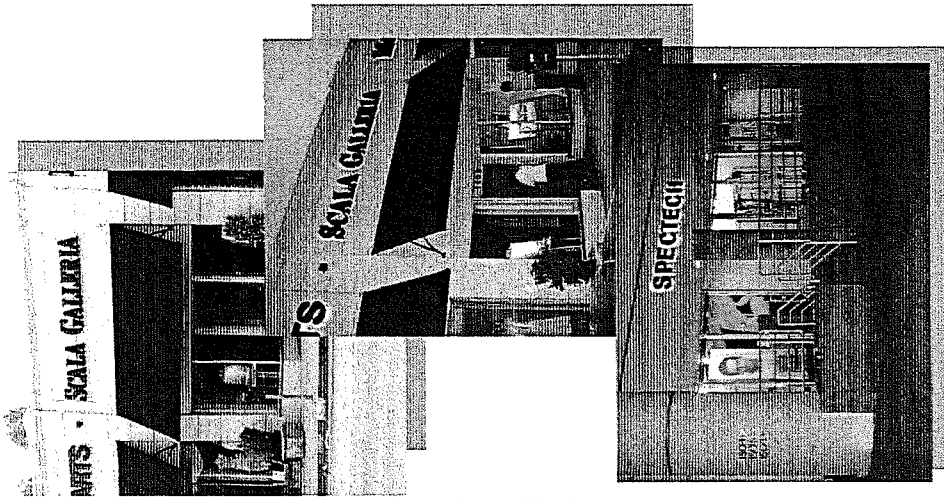
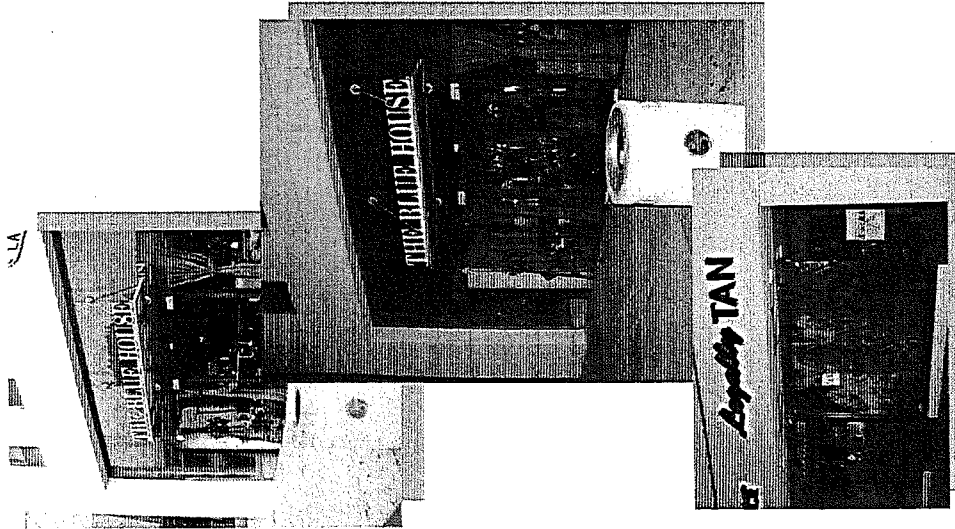
OAKCREEK

SKA | The Shops at Oak Creek, Agoura Hills
 Building C2 Elevations, Proposed Wall Sign Location Plans

DESIGN



The Shops at Oak Creek, Agoura Hills
 Examples of Prohibited Sign Types and Sign Lighting



SKA
DESIGN

The Shops at Oak Creek, Agoura Hills
Examples of Acceptable Signs and Sign Lighting



OAK CREEK

Vicinity Map



Shops at Oak Creek