

Letter from
Geotechnical
Consultant

Date: October 4, 2007
 GDI #: 06.00103.0152

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Doug Hooper

Project Location: Canwood Street, East & West of Medea Creek, Agoura Hills, California

Planning Case #: 06-CUP-007 (Adler Realty Investments)

Building & Safety #: None

Geotechnical Report: ""ABI Engineering Consultants, Inc. (2007), "Oak Creek Development, Uppermost Keystone Wall along East side of Medea Creek Design Review per revised grading plan provided by Westcon Engineering, Inc.," Project No. 76184 dated September 25, 2007.

The J. Byer Group, Inc. (2007), "Addendum Geotechnical Engineering Update, Proposed Five Commercial Buildings, Lots 3-6, and a Portion of Lots 7 and C, Tract 53752, Canwood Street, East and West of Medea Creek, Agoura Hills, California," JB 20408-C, dated July 31, 2007.

The J. Byer Group, Inc. (2006), "Geotechnical Engineering Update, Proposed Five Commercial Buildings, Lots 3-6, and a Portion of Lots 7 and C, Tract 53752, Canwood Street, East and West of Medea Creek, Agoura Hills, California," JB 20408-C, dated May 24, 2007.

The J. Byer Group, Inc. (2006), "Geotechnical Engineering Update, Proposed Five Commercial Buildings, Lots 3-6, and a Portion of Lots 7 and C, Tract 53752, Canwood Street, East and West of Medea Creek, Agoura Hills, California," JB 20408-C, dated August 15, 2006.

The J. Byer Group, Inc. (2006), "Final Compaction Report, Oak Creek Development, Lots 1 - 8, and A - C, 28901 - 29145 Canwood Street, and 28290 - 29143 Oak Creek Lane, Agoura Hills, California," JB 18501-B, dated August 10, 2006.

Plans: Westcon Engineering Inc., (2007), "Conceptual Grading Plan, for CUP Submittal, Canwood Street, East Side of Medea Creek, Sheets 1 through 3," Scale 1"=20', dated January 30, 2007.

Previous Reviews: February 22, 2007, June 28, 2007 and August 2, 2007.

CITY OF AGOURA HILLS
 2007 OCT -9 AM 10:14
 CITY CLERK

FINDINGS

Planning/Feasibility Issues

- Acceptable as Presented
- Response Required

Geotechnical Report

- Acceptable as Presented
- Response Required

REMARKS

ABI Engineering Consultants, Inc. (ABI) provided an evaluation of the existing keystone retaining wall along the east side of Medea Creek, at the proposed development of the site located on Canwood Street, east and west of the Medea Creek, Agoura Hills, California. The proposed development includes the construction of five commercial buildings. About three to six feet of fill will be necessary to reach the finished grade. Grading activities were previously performed at the site. The site was rough graded under the observation of the J Byer Group, Inc. Additional fill is proposed to be placed over the level backfill behind the existing keystone at a 2(h):1(v) gradient.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon a review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case Nos. 06-CUP-007. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Plan-Check Comments

1. The structural engineer for the project should provide a letter indicating that the foundations of all habitable structures are designed for the total and differential settlements (seismic and static accumulatively) in a manner that meets the building code intent.
2. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
3. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
4. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
5. The following note must appear on the grading and foundation plans: *"All cut-slopes should be mapped during grading. Stabilization measures should be applied where future cuts expose adversely oriented joint surfaces or intersections of joint surfaces."*
6. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
7. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
8. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
9. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
10. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
11. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

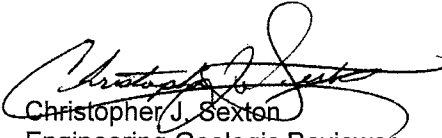
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.

Ali A. Haq

Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)


Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)

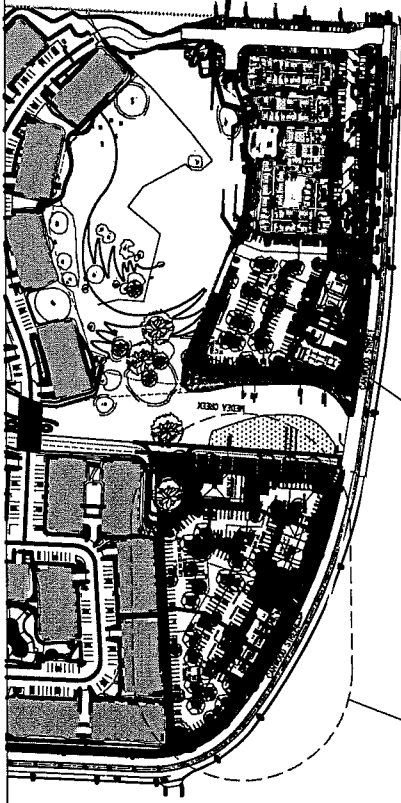
Reduced Copies of Plans

DATE	SCALE	DESCRIPTION

PARCEL 4 (0.61 acres) RETAIL @ 47,1000 S.F. = 24 SPACES (6000 S.F. total) TOTAL SPACES FOR PARCEL 4 = 24 SPACES	PARCEL 5 (1.53 acres) RESTAURANT @ 157,1000 S.F. = 68 SPACES (6635 S.F. x .96 = 4511 S.F. serving area) PATIO @ 157,1000 S.F. = 45 SPACES (956 S.F. total) TOTAL SPACES FOR PARCEL 5 = 83 SPACES PARKING PROVIDED BY CITY = 107 SPACES PARKING PROVIDED = 107 SPACES
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NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.

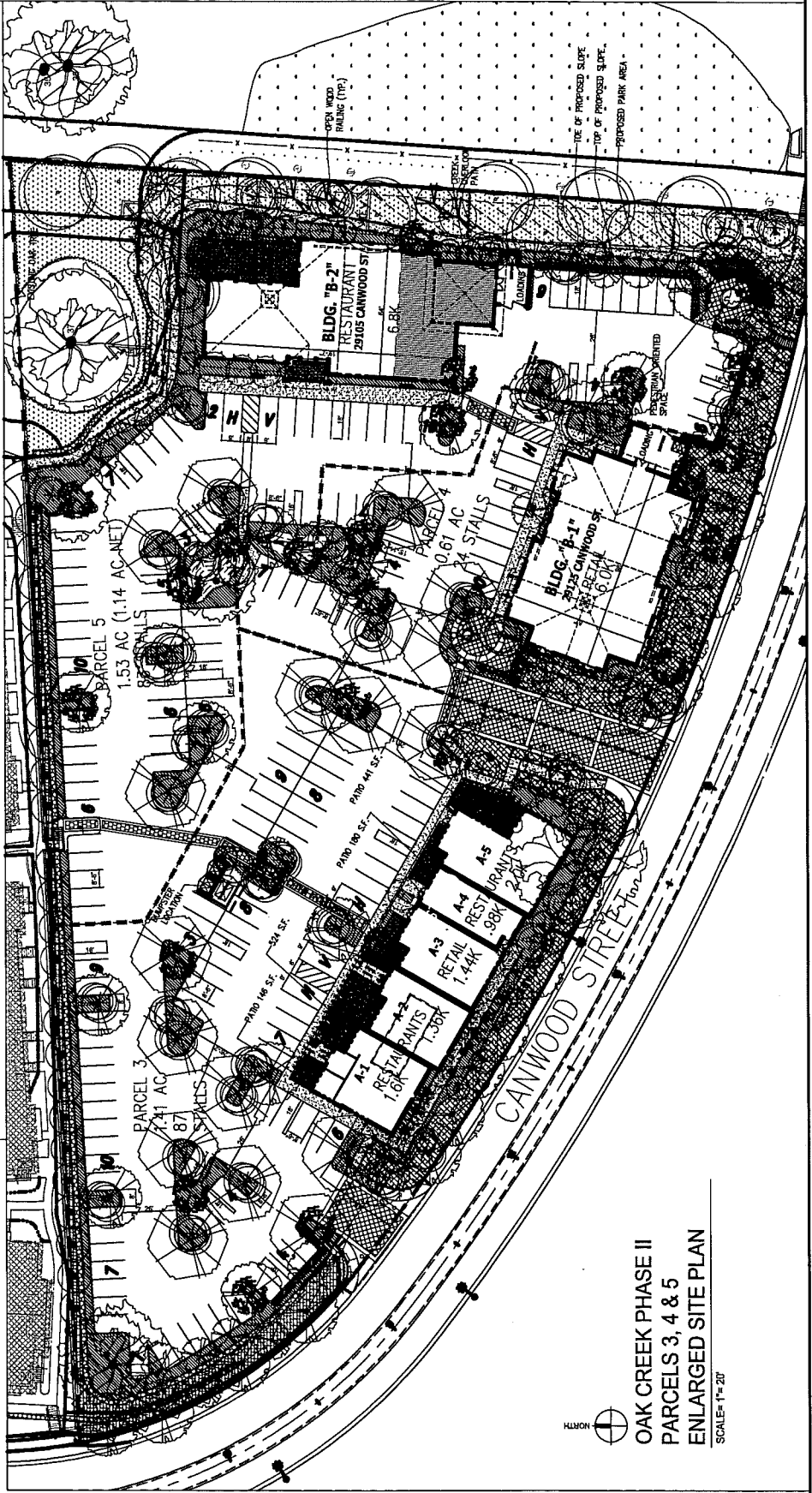
ARCHITECTURAL SHEET INDEX
 A1.0 SITE PLANS
 A5.1 BUILDING A PLANS & DETAILS
 A5.2 BUILDING B-1 PLANS & DETAILS
 A5.3 BUILDING B-2 PLANS & DETAILS
 A6.1 BUILDING A ELEVATIONS
 A6.2 BUILDING B-1 ELEVATIONS
 A6.3 BUILDING B-2 ELEVATIONS



PHASE I CONCEPTUAL
 UNDER SEPARATE PERMIT

PARCEL 3 (1.41 acres) RESTAURANT @ 157,1000 S.F. = 59 SPACES (5940 S.F. x .66 = 3920 S.F. serving area) PATIO @ 157,1000 S.F. = 20 SPACES (1291 S.F. total) RETAIL @ 47,1000 S.F. = 6 SPACES (1430 S.F. total) PARKING PROVIDED BY CITY = 86 SPACES PARKING PROVIDED = 87 SPACES	OAK CREEK OVERALL SITE PLAN SCALE: 1" = 100'
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ENLARGED PLAN VIEW -
 PHASE II



OAK CREEK PHASE II
PARCELS 3, 4 & 5
ENLARGED SITE PLAN
 SCALE: 1" = 20'

BLDG. PLANS

SHOPS at OAK CREEK

PHASE II
PARCELS 4 & 5
BUILDING B-1



OWNER:
ADLER
Group Investments, Inc.
20950 C Winton Center Lane, Woodland Hills, CA 91357

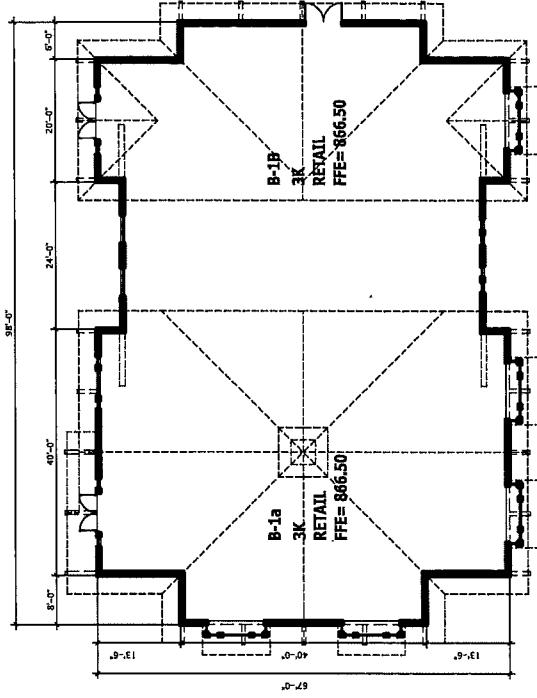
Architect:
Shops at Oak Creek
City of Agoura Hills, CA 91301

ARCHITECTURE - PLANNING - DESIGN
ENGINEERING - CONSTRUCTION - INTERIOR

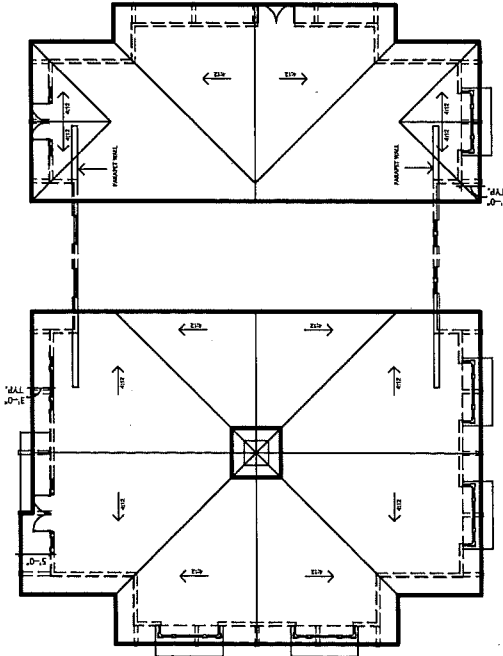


DATE: 10/15/09
SCALE: 1/8" = 1'-0"
PROJECT: SHOPS at OAK CREEK
SHEET: BLDG. PLANS - PHASE II
PARCELS 4 & 5 - BUILDING B-1

A-5.2

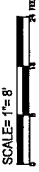


GROUND FLOOR PLAN
(6,000 SQ. FT. RETAIL)



ROOF PLAN

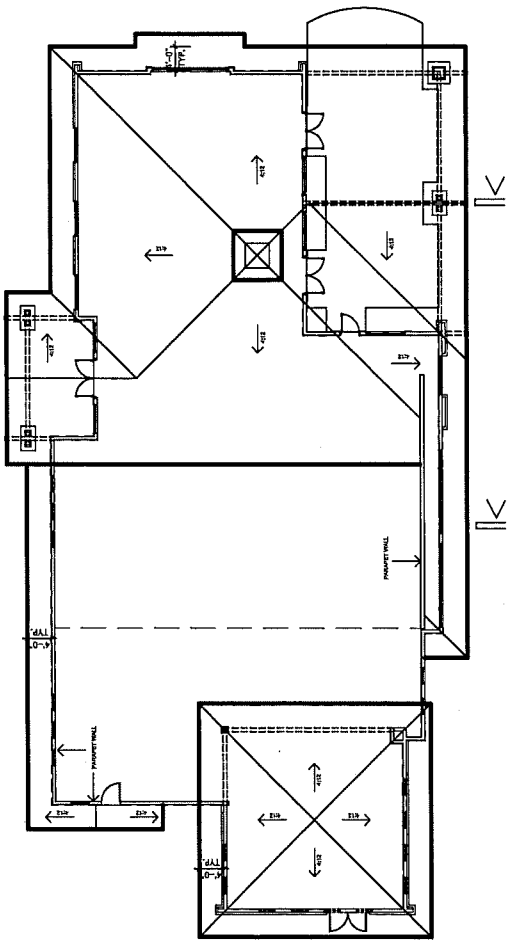
OAK CREEK BUILDING PLAN B
SCALE: 1" = 8'



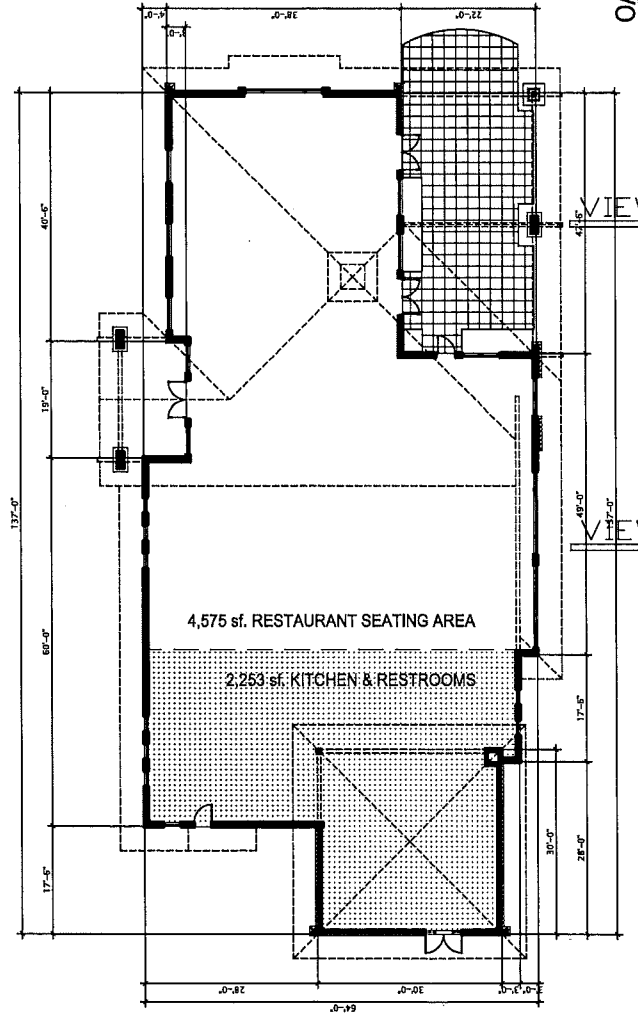


OAK CREEK BUILDING PLANS - BUILDING B-2

SCALE: 1/8" = 1'-0"



ROOF PLAN

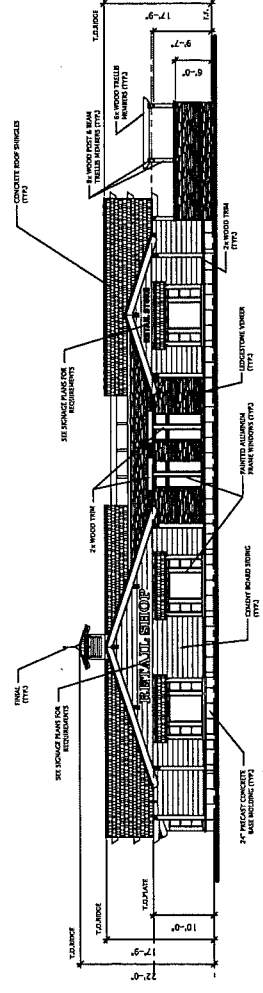


GROUND FLOOR PLAN
 (6,828 SQ. FT. RETAIL)

ELEVATIONS PHASE II PARCEL 4 BUILDING B-1		OWNER: ADLER Quality Interiors, Inc. 2050 C Warner Center Lane, Woodland Hills, CA 91367	ARCHITECT: MOORE ARCHITECTS 2050 C Warner Center Lane, Woodland Hills, CA 91367 DATE: 08/05/11 DRAWN: JTB/MLP CHECKED:	A-6.2
SHOPS at OAK CREEK				

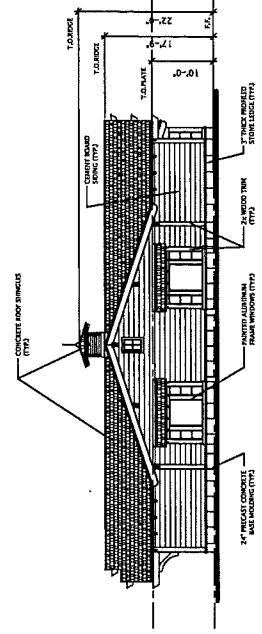
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION (CAMWOOD SIDE)



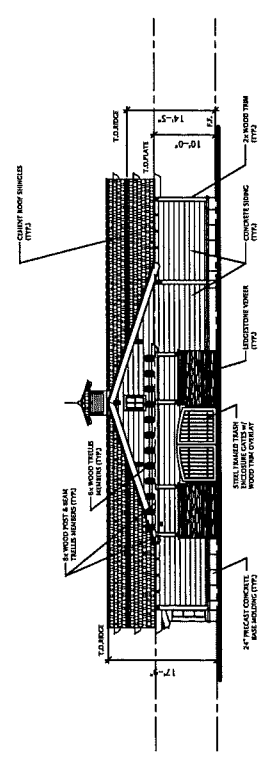
SCALE: 1/8" = 1'-0"

WEST ELEVATION



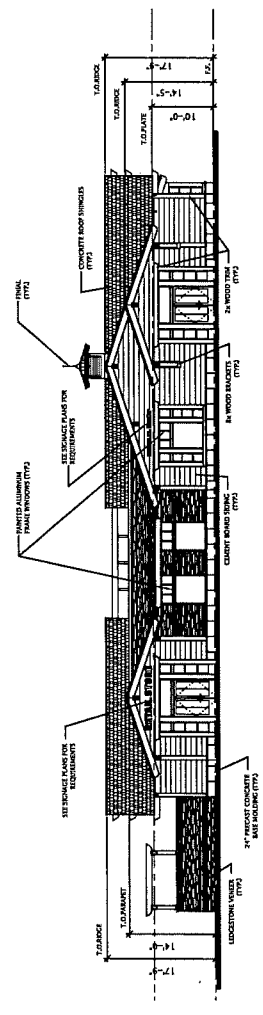
SCALE: 1/8" = 1'-0"

EAST ELEVATION



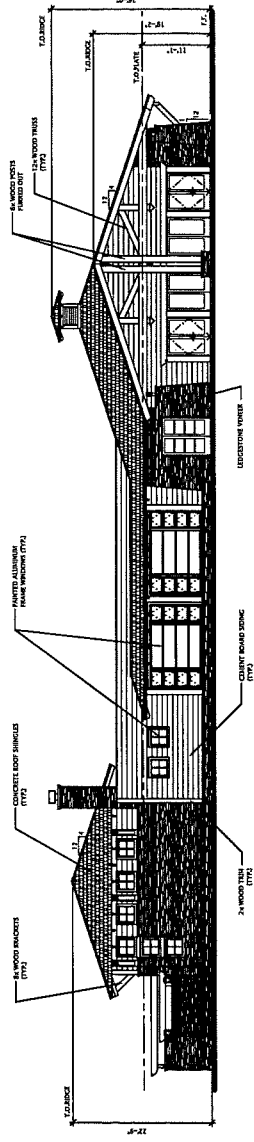
SCALE: 1/8" = 1'-0"

NORTH ELEVATION (ENTRY SIDE)

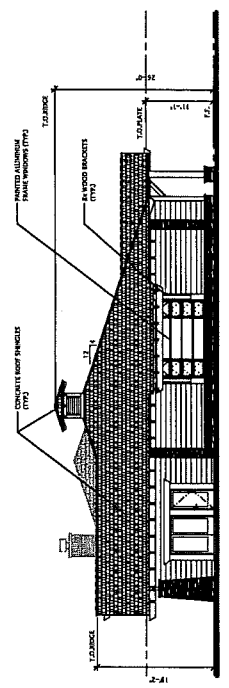


SEE PLANS FOR
 FINISHES, MATERIALS
 AND SYMBOLS TO BE USED
 IN ALL ELEVATIONS
 AND SECTIONS
 UNLESS OTHERWISE
 SPECIFIED

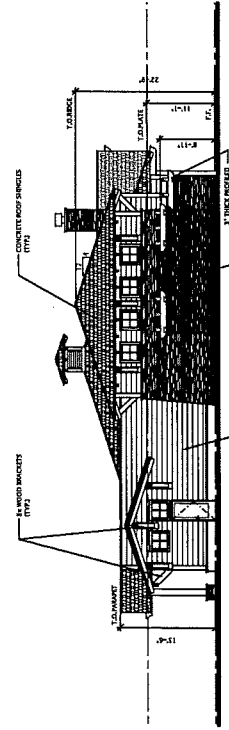
EAST ELEVATION (CREEK SIDE)



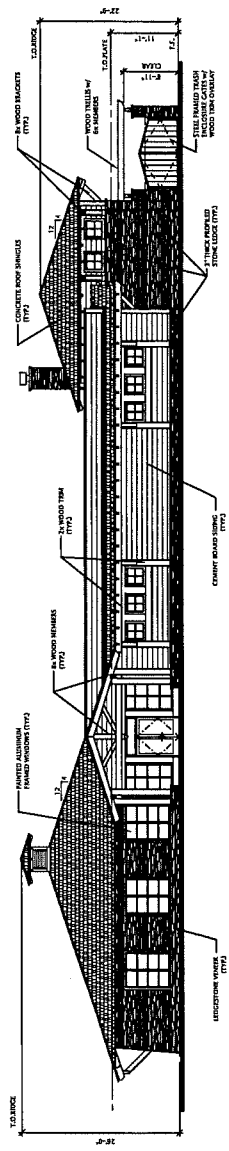
NORTH ELEVATION (OAK TREE SIDE)



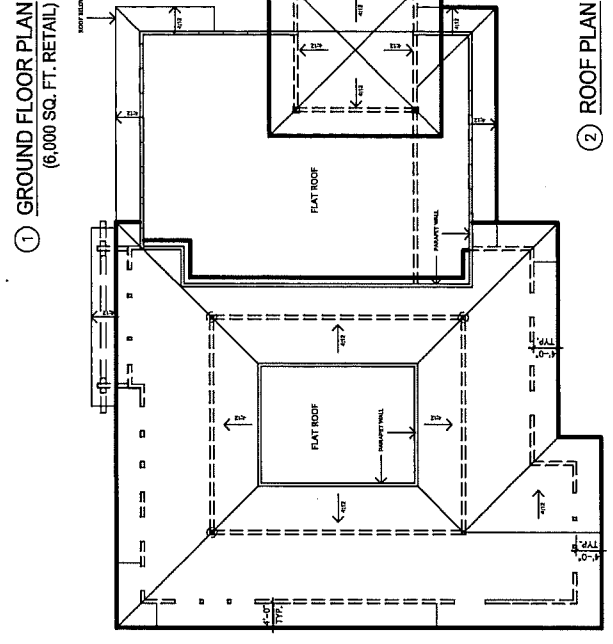
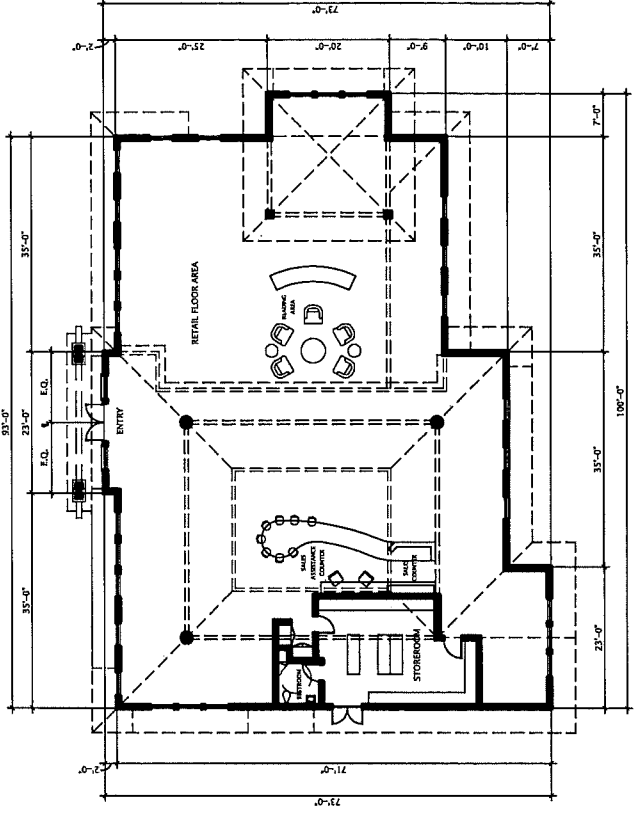
SOUTH ELEVATION



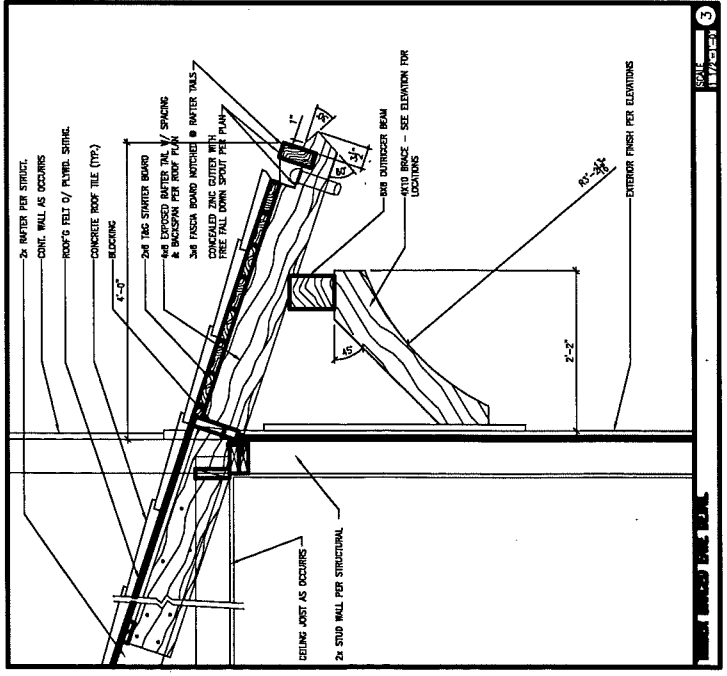
WEST ELEVATION (BERRY SIDE)



NO.	DATE	DESCRIPTION



OAK CREEK BUILDING PLANS - BUILDING C-2
 SCALE: 1/8" = 1'-0"
 NORTH



NO.	DATE	BY	CHKD.	DESCRIPTION



ELEVATIONS

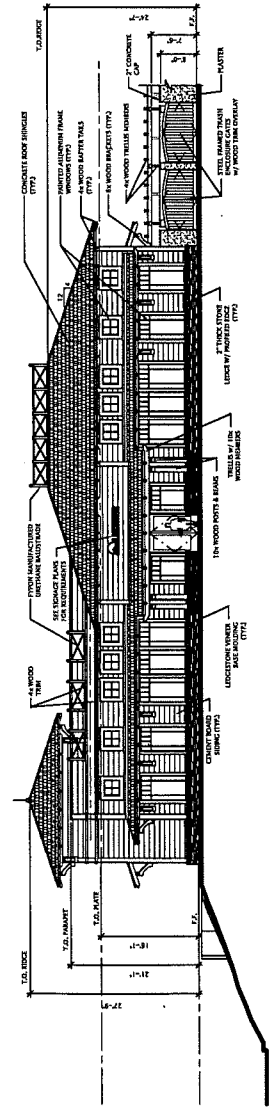
PHASE I
PARCEL 7
BUILDING C2

OWNER:
ADLER
Early Investments, Inc.
20930 C Warner Center Blvd., Woodland Hills, CA 91367

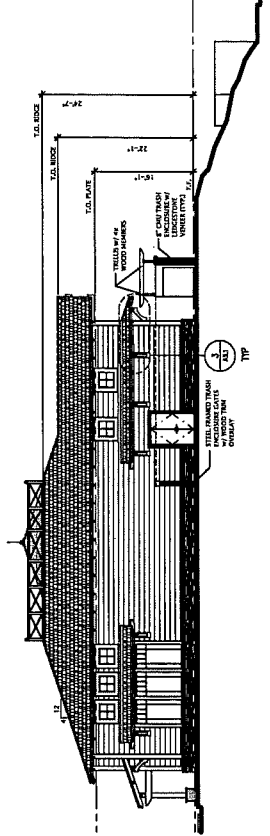
ARCHITECT:
ADLER
ARCHITECTS
15000 BAYVIEW BLVD., SUITE 100
CERRITOS, CA 94508

CONCRETE SHOP AT OAK CREEK

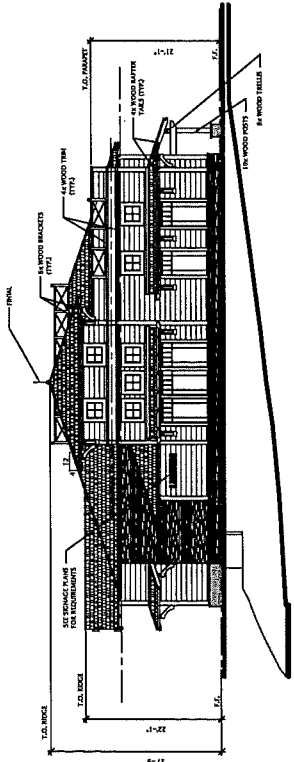
NORTH ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0"



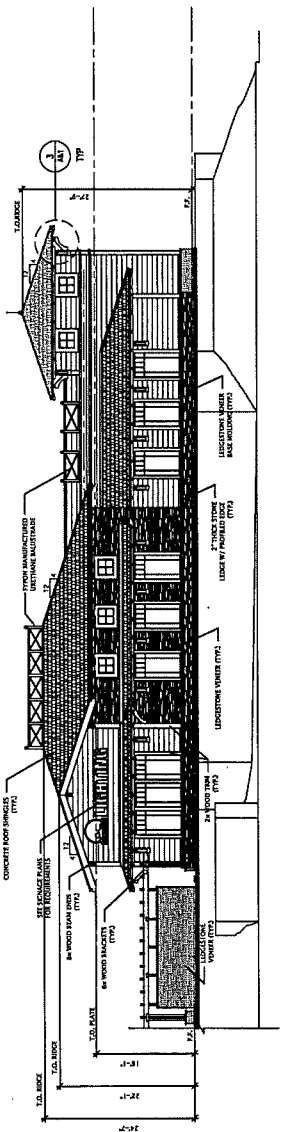
WEST ELEVATION SCALE 1/8"=1'-0"



EAST ELEVATION SCALE 1/8"=1'-0"



SOUTH ELEVATION (CAMWOOD SIDE) SCALE 1/8"=1'-0"



PRELIMINARY PLANT LEGEND

SYMBOL	PLANT SPECIES	SIZE	PLANTING
(Symbol)	AMERICAN WALNUT	24" DBH	100%
(Symbol)	CRISTO COCCONIAS	24" DBH	100%
(Symbol)	LYPTUS	24" DBH	100%
(Symbol)	PLATANUS ALBERTINA	24" DBH	100%
(Symbol)	LAURUS	24" DBH	100%
(Symbol)	QUERCUS ALBERTINA	24" DBH	100%
(Symbol)	QUERCUS PARVIFLORA	24" DBH	100%
(Symbol)	ALICE	24" DBH	100%
(Symbol)	ALICE	24" DBH	100%
(Symbol)	CALIFORNIA SYCAMORE	24" DBH	100%
(Symbol)	WILLOW	24" DBH	100%

CANWOOD STREET PLANTING SPECIFICATIONS

PLANT	PLANTING	PLANTING	PLANTING
AMERICAN WALNUT	1.5 GAL	1.5 GAL	1.5 GAL
CRISTO COCCONIAS	1.5 GAL	1.5 GAL	1.5 GAL
LYPTUS	1.5 GAL	1.5 GAL	1.5 GAL
PLATANUS ALBERTINA	1.5 GAL	1.5 GAL	1.5 GAL
LAURUS	1.5 GAL	1.5 GAL	1.5 GAL
QUERCUS ALBERTINA	1.5 GAL	1.5 GAL	1.5 GAL
QUERCUS PARVIFLORA	1.5 GAL	1.5 GAL	1.5 GAL
ALICE	1.5 GAL	1.5 GAL	1.5 GAL
ALICE	1.5 GAL	1.5 GAL	1.5 GAL
CALIFORNIA SYCAMORE	1.5 GAL	1.5 GAL	1.5 GAL
WILLOW	1.5 GAL	1.5 GAL	1.5 GAL

PARKING LOT PLANTING SPECIFICATIONS

PLANT	PLANTING	PLANTING	PLANTING
AMERICAN WALNUT	1.5 GAL	1.5 GAL	1.5 GAL
CRISTO COCCONIAS	1.5 GAL	1.5 GAL	1.5 GAL
LYPTUS	1.5 GAL	1.5 GAL	1.5 GAL
PLATANUS ALBERTINA	1.5 GAL	1.5 GAL	1.5 GAL
LAURUS	1.5 GAL	1.5 GAL	1.5 GAL
QUERCUS ALBERTINA	1.5 GAL	1.5 GAL	1.5 GAL
QUERCUS PARVIFLORA	1.5 GAL	1.5 GAL	1.5 GAL
ALICE	1.5 GAL	1.5 GAL	1.5 GAL
ALICE	1.5 GAL	1.5 GAL	1.5 GAL
CALIFORNIA SYCAMORE	1.5 GAL	1.5 GAL	1.5 GAL
WILLOW	1.5 GAL	1.5 GAL	1.5 GAL

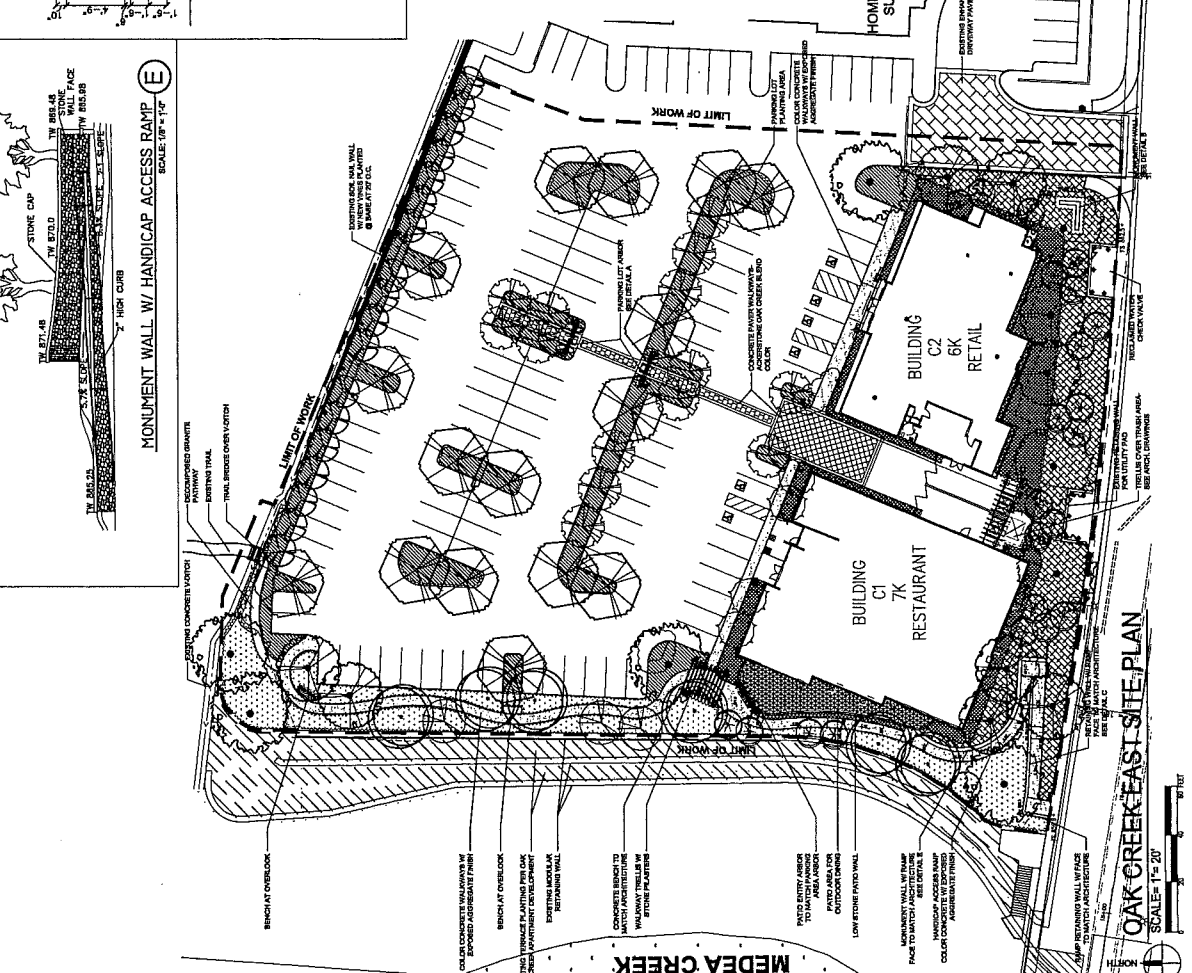
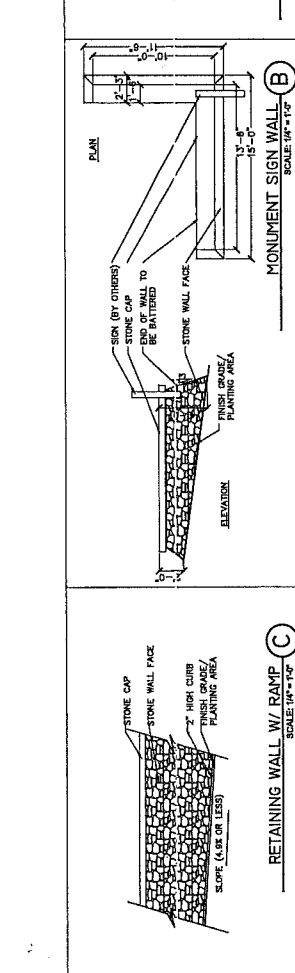
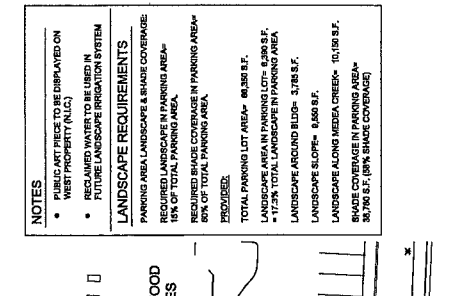
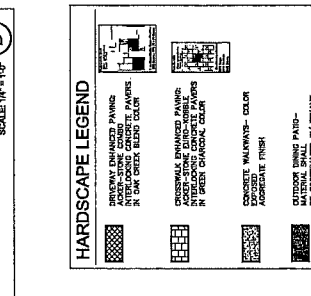
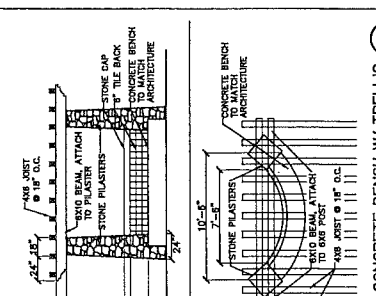
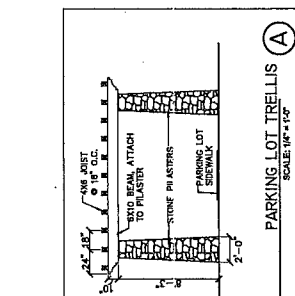
CREOSOTE FINISHES SPECIFICATIONS

FINISH	PLANTING	PLANTING	PLANTING
AMERICAN WALNUT	1.5 GAL	1.5 GAL	1.5 GAL
CRISTO COCCONIAS	1.5 GAL	1.5 GAL	1.5 GAL
LYPTUS	1.5 GAL	1.5 GAL	1.5 GAL
PLATANUS ALBERTINA	1.5 GAL	1.5 GAL	1.5 GAL
LAURUS	1.5 GAL	1.5 GAL	1.5 GAL
QUERCUS ALBERTINA	1.5 GAL	1.5 GAL	1.5 GAL
QUERCUS PARVIFLORA	1.5 GAL	1.5 GAL	1.5 GAL
ALICE	1.5 GAL	1.5 GAL	1.5 GAL
ALICE	1.5 GAL	1.5 GAL	1.5 GAL
CALIFORNIA SYCAMORE	1.5 GAL	1.5 GAL	1.5 GAL
WILLOW	1.5 GAL	1.5 GAL	1.5 GAL

L.A. GROUP
LANDSCAPE ARCHITECTURE
2110 Cleveland St., Suite 302
Woodland Hills, CA 91367
818.23.9718 FAX 818.23.9719
www.lagroupinc.net

SHOPS at OAK CREEK
Parcels 6 & 7
Carwood Street, City of Agoura Hills, CA
Prepared for:
12721 Ventura Blvd, Suite 200, Woodland Hills, CA 91364

PRELIMINARY LANDSCAPE PLAN
DATE: JANUARY 2007
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]
SCALE: 1" = 20'
JOB NO. 2971
SHEET NO. L-2



1 of 3 sheets

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES 4 OF THE ANAHEIM HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD AT LEAST TWO WORKING DAYS IN ADVANCE OF THE START OF CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY DEPARTMENTS AND AGENCIES.
3. ALL EXISTING UTILITIES SHALL BE DELIVERED TO A STATE APPROVED BY THE CITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND STATE AGENCIES.

PUBLIC UTILITIES / SERVICES

- WATER: LAS VEGAS MUNICIPAL WATER DISTRICT, 3300 LAS VEGAS ROAD, LAS VEGAS, NV 89166
ELECTRICAL: SOUTHERN CALIFORNIA EDISON, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
TELEPHONE: SBC PAC BELL, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
GAS: SOUTHERN CALIFORNIA GAS, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
SEWER: LAS VEGAS SEWER DISTRICT, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
CABLE: SOUTHERN CALIFORNIA TELEVISION, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
CABLE: SOUTHERN CALIFORNIA TELEVISION, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
CABLE: SOUTHERN CALIFORNIA TELEVISION, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
CABLE: SOUTHERN CALIFORNIA TELEVISION, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166
CABLE: SOUTHERN CALIFORNIA TELEVISION, 1000 POWER STREET, P.O. BOX 1000, LAS VEGAS, NV 89166

RECLAIMED WATER

USE RECLAIMED WATER FOR IRRIGATION AND OTHER NON-POTABLE PURPOSES. RECLAIMED WATER SHALL BE USED IN ACCORDANCE WITH THE CITY OF ANAHEIM HILLS RECLAIMED WATER ORDINANCE.

CONSTRUCTION NOTES

- 1. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
2. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
3. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
4. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
5. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
6. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
7. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
8. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
9. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.
10. CONSTRUCT 18" DIA. 12' DEEP GRAVE AND FRAME ASBESTOS OR EQUAL, WITH DRAINAGE INLET FILTER.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE ENGINEER AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF THE START OF CONSTRUCTION.

ABBREVIATIONS

- AC - ASPHALTIC CONCRETE
AD - ADJUSTMENT
AS - ASPHALT SURFACE
CA - CONCRETE
CB - CONCRETE BASE
CC - CONCRETE CURB
CD - CONCRETE DRIVE
CE - CONCRETE EDGE
CF - CONCRETE FINISH
CG - CONCRETE GROUND
CH - CONCRETE HATCH
CI - CONCRETE INTERLOCK
CJ - CONCRETE JOINT
CK - CONCRETE KEY
CL - CONCRETE LATCH
CM - CONCRETE MASONRY
CN - CONCRETE NAIL
CO - CONCRETE OILING
CP - CONCRETE PAVING
CQ - CONCRETE QUARRY
CR - CONCRETE REINFORCEMENT
CS - CONCRETE SURFACE
CT - CONCRETE TIE
CU - CONCRETE UNDERLAYMENT
CV - CONCRETE VENEER
CW - CONCRETE WALL
CX - CONCRETE X-CURB
CY - CONCRETE Y-CURB
CZ - CONCRETE Z-CURB

LEGAL DESCRIPTION

PARCEL 1: LOTS 3, 4, 5 AND 6 OF TRACT NO. 2072, IN THE CITY OF ANAHEIM HILLS, IN THE COUNTY OF LOS ANGELES, CALIFORNIA, AS SHOWN ON THE MAP OF THE CITY OF ANAHEIM HILLS, CALIFORNIA, AS FILED FOR RECORD IN THE COUNTY CLERK'S OFFICE OF THE COUNTY OF LOS ANGELES, CALIFORNIA, ON JUNE 15, 1987, IN BOOK 20000 PAGE 104, VITAL RECORDS.

INDEX OF DRAWINGS

Table with 2 columns: SHEET NO. and DESCRIPTION. Includes sheets for GRADING SHEET, BOUNDARY/EASEMENT SHEET, and ESTIMATED EARTHWORK QUANTITIES.

ESTIMATED EARTHWORK QUANTITIES

Table with 2 columns: ESTIMATED CUT and ESTIMATED OVER-EARTHWORK. Includes values for 4,224 CY CUT and 2,021 CY OVER-EARTHWORK.

RECORD DRAWING STATEMENT

I, THE ENGINEER, HEREBY CERTIFY THAT THE INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK SHOWN ON THIS SET OF DRAWINGS IS ACCURATE AND COMPLETE, AND THAT THE INFORMATION IS TRUE AND CORRECT.

STORMWATER POLLUTION NOTES

- 1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC STORMWATER POLLUTION MANAGEMENT PLAN TO THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES SWPPP REGULATIONS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL EROSION CONTROL MEASURES SHALL BE REMOVED AND RESTORED TO ORIGINAL OR BETTER CONDITION UPON COMPLETION OF CONSTRUCTION.

TOPOGRAPHY NOTE

TOPOGRAPHY BELOW HORIZON WAS DERIVED AND COMPILED BY: [Name]

OAK TREE NOTE

TOPOGRAPHY BELOW HORIZON WAS DERIVED AND COMPILED BY: [Name]



LEGEND AND SYMBOLS

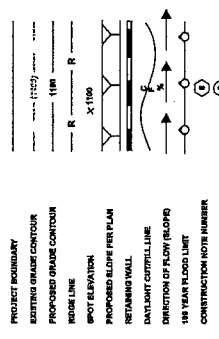


Table with 2 columns: REV and DESCRIPTION OF CHANGE. Includes revision history for the drawing.

PREPARED BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

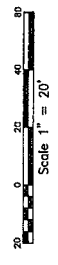
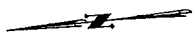
SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED AND IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA SOILS ADOPTED IN 1995.



CONCEPTUAL GRADING PLAN FOR C.U.P. SUBMITTAL CANWOOD STREET - EAST SIDE OF MEDEA CREEK

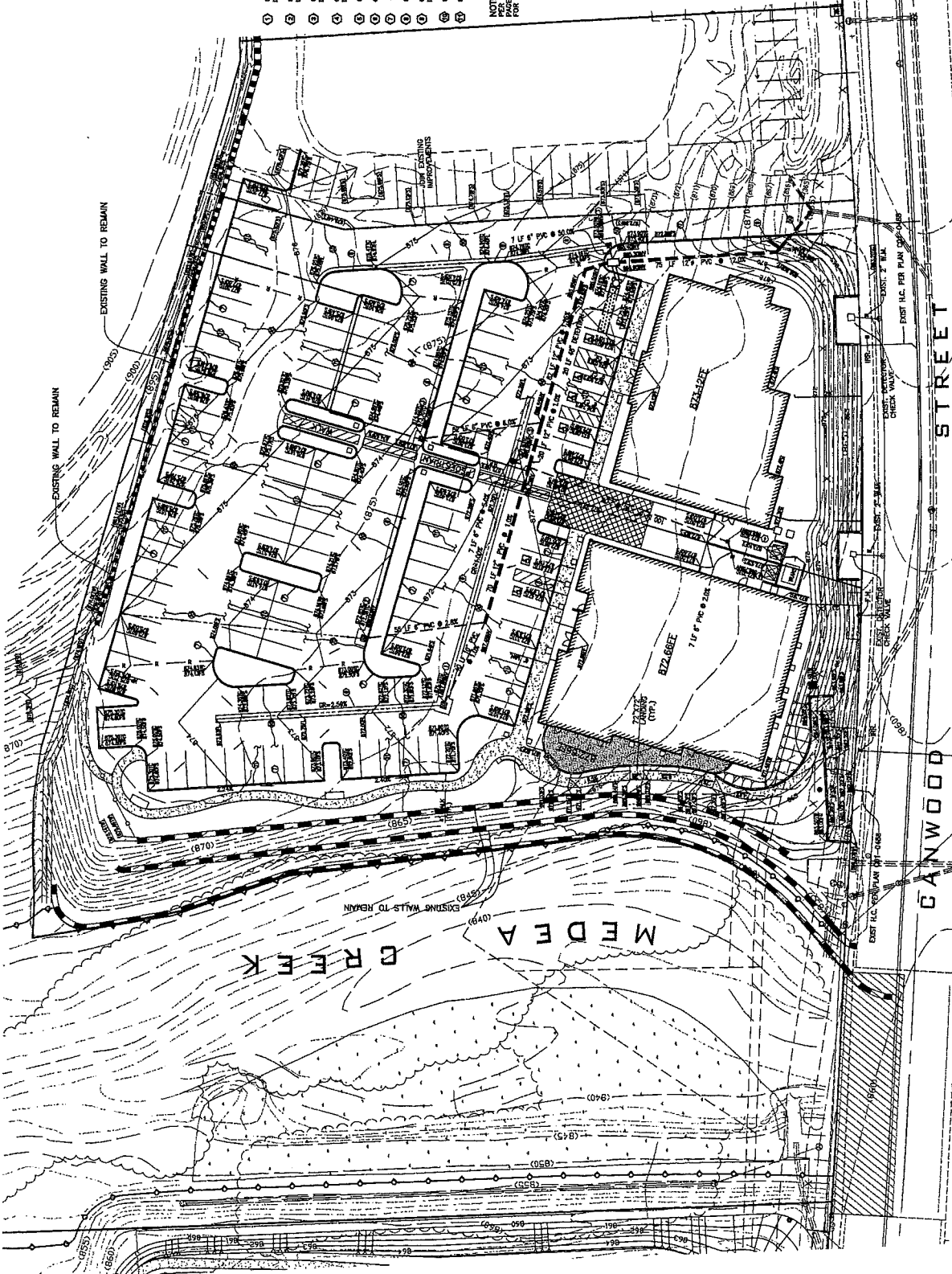
VICINITY MAP
THOMAS GUIDE PAGE 250, GRID 46 AND 56
SHEET 1 OF 3



CONSTRUCTION NOTES

1. CONSTRUCT 24" X 24" APC GRATE AND FRAME ASHS OR EQUAL, WITH 1/2" DIA. PERFORATED PLATE ON TOP.
2. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
3. CONSTRUCT 24" X 24" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
4. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
5. CONSTRUCT CONCRETE CURB RAMP PER APWA STD. 1114 CURB B TYPE 1.
6. CONSTRUCT CONCRETE CURB RAMP PER APWA STD. 1224, W/4" DIA. MANHOLE.
7. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
8. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
9. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
10. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
11. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
12. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
13. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
14. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
15. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
16. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
17. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
18. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
19. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.
20. CONSTRUCT 18" X 18" APC GRATE AND FRAME ASHS OR EQUAL, WITH DRAINAGE INLET FILTER.

NOTE:
 PER. SCALE REPORT FROM THE J. BYER GROUP DATED MAY 24, 2007.
 THE EXISTING GROUND SURFACE IS SHOWN BY THE DOTTED LINE.
 FOR THE BUILDINGS OR PLANTWORK ON THIS SITE.



CITY OF AGOURA HILLS

CONCEPTUAL GRADING PLAN
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDEA CREEK

SHEET 2 OF 3

PREPARED BY: **WESTON ENGINEERING, INC.**
 10000 WILSON AVENUE, SUITE 100
 WESTON, CALIFORNIA 91385
 TEL: (661) 251-1111 FAX: (661) 251-1112
 WWW.WESTONENGINEERING.COM

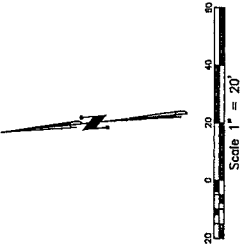
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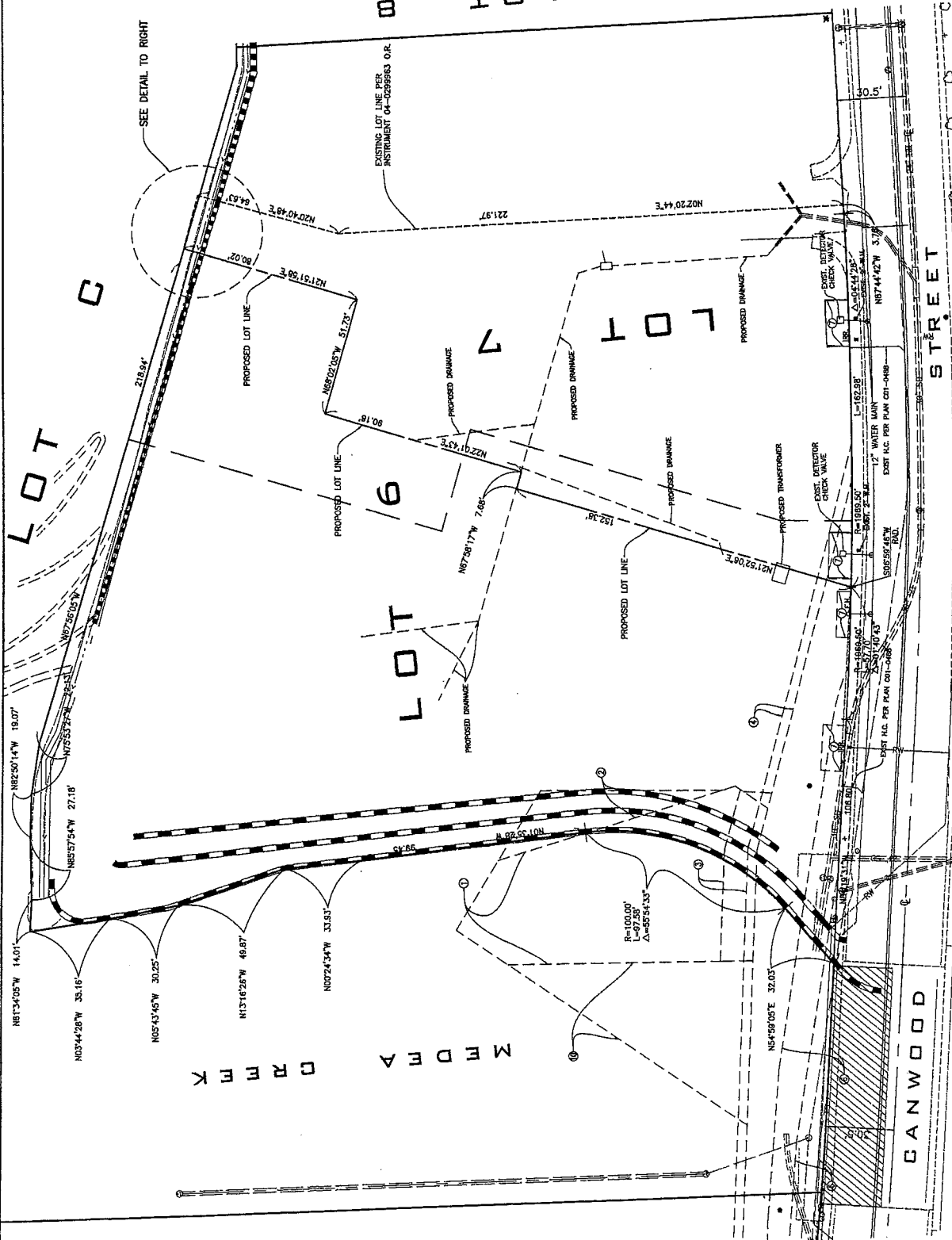
DATE: _____

DATE: _____

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE



- EASEMENTS:**
- DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT NO. 1275 IN BOOK D1988 PAGE 335 O.R.
 - DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT NO. 1365 IN BOOK D1834 PAGE 731 O.R.
 - PIPE LINE EASEMENT OF LAMHO RECORDED AS INSTRUMENT NO. 875 IN BOOK D2231 PAGE 148
 - PIPE LINE EASEMENT OF LAMHO RECORDED AS INSTRUMENT NO. 1287 IN BOOK D2302 PAGE 292 O.R.
 - SEWER EASEMENT OF THE CITY OF AGOURA HILLS RECORDED IN MAP OF TRACT NO. 83732 BOOK 1282 PAGES 61 TO 57 INCLUSIVE OF MAPS
 - STORM DRAIN EASEMENT OF THE CITY OF AGOURA HILLS RECORDED IN MAP OF TRACT NO. 83732 BOOK 1282 PAGES 61 TO 57 INCLUSIVE OF MAPS
 - WATERLINE EASEMENT OF LAMHO RECORDED AS INSTRUMENT NO. 03-3182368
 - UTILITY EASEMENT OF SOUTHERN CALIFORNIA GAS COMPANY RECORDED AS INSTRUMENT NO. 03-3384181 (NOT DEFINED IN DOCUMENT)
 - UTILITY EASEMENT OF SOUTHERN CALIFORNIA GAS COMPANY RECORDED AS INSTRUMENT NO. 03-332744 (NOT DEFINED IN DOCUMENT)
 - RAINAGE EASEMENT OF THE CITY OF AGOURA HILLS RECORDED AS INSTRUMENT 1254 AND 1253 IN BOOK D-1710 PAGE 471 AND D-1710 PAGE 474 O.R.



**BOUNDARY/EASEMENT SHEET
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDFA CREEK**



06-CUP-007

CITY OF AGOURA HILLS APPROVAL

PREPARED BY: **WESTON ENGINEERING, INC.**
 1000 1/2 WEST 10TH STREET, SUITE 200
 AGOURA HILLS, CA 91301
 PHONE: (818) 476-1111 FAX: (818) 476-1122
 WWW.WESTONENGINEERING.COM

DATE: _____

DATE: _____

DATE: _____

DATE: _____

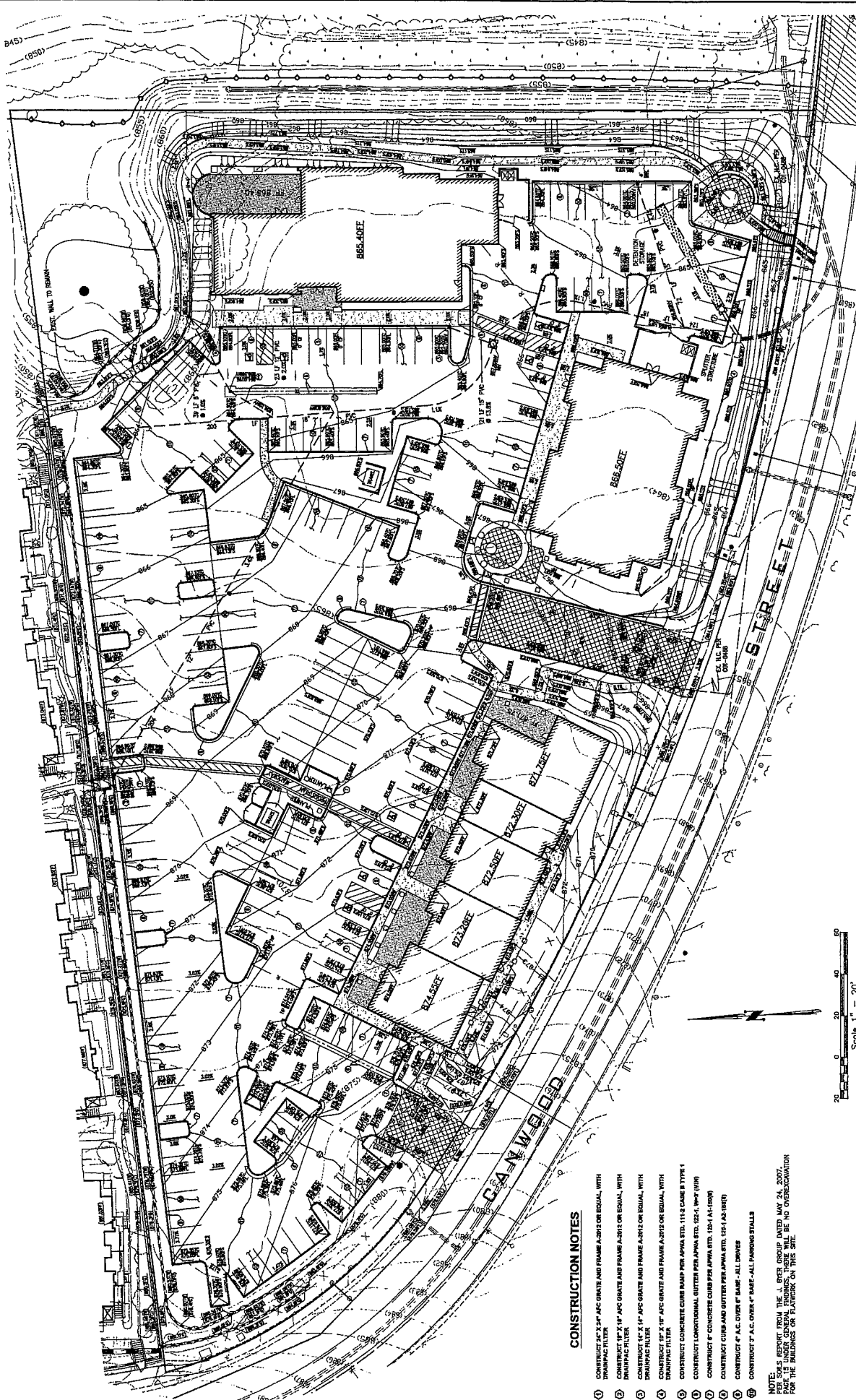
DATE: _____

DATE: _____

DATE: _____

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY	DATE

18 - 01 (03/2002) (2004) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)



CONCEPTUAL GRADING PLAN
FOR C.U.P. SUBMITTAL
CANWOOD ST. - WEST SIDE OF MEDEA CREEK

SHEET 2 OF 3



CITY OF AGOURA HILLS APPROVAL

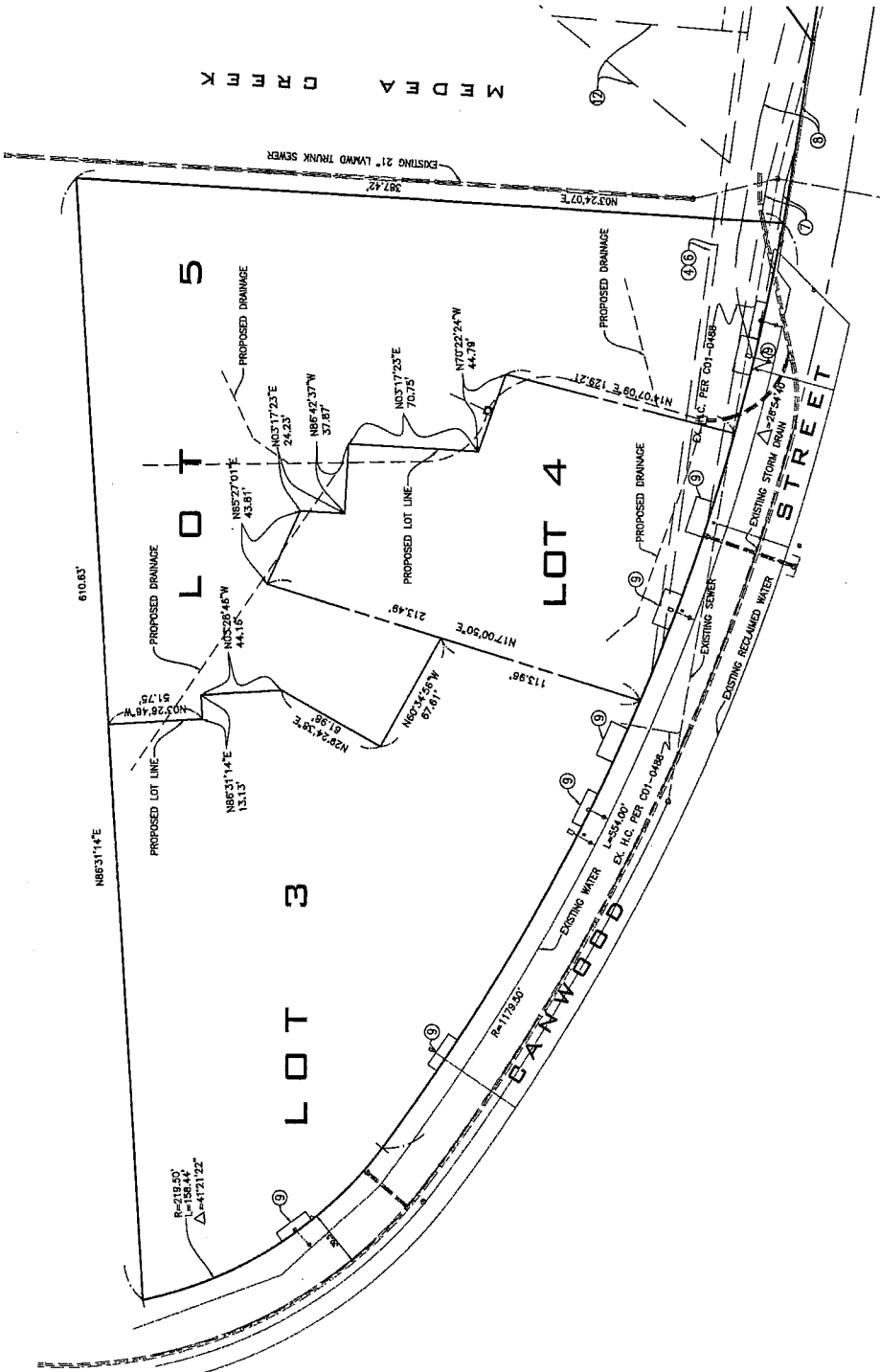
PREPARED BY:
WESTON ENGINEERING, INC.
 1000 WESTON DRIVE
 SUITE 100
 AGOURA HILLS, CA 91301
 (805) 451-1000
 www.westoneng.com

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	DATE	DATE	DATE

CONSTRUCTION NOTES

1. CONSTRUCT 24" X 24" A.C. GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER.
2. CONSTRUCT 24" X 18" A.C. GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER.
3. CONSTRUCT 18" X 18" A.C. GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER.
4. CONSTRUCT 18" X 12" A.C. GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER.
5. CONSTRUCT CONCRETE CURB RAMP PER APWA STD. 111-52, CASE B TYPE 1.
6. CONSTRUCT LONGITUDINAL GUTTER PER APWA STD. 122-1, 10" (10M).
7. CONSTRUCT C-CONCRETE CURB PER APWA STD. 124-4 (A)-(10M).
8. CONSTRUCT CURB AND GUTTER PER APWA STD. 105-1 (A)-(10M).
9. CONSTRUCT 4" A.C. OVER 4" BASE - ALL DRIVES.
10. CONSTRUCT 7" A.C. OVER 4" BASE - ALL PARKING STALLS.

NOTE: ALL REPORT FROM THE J. BESS GROUP DATED MAY 24, 2007. PAGE 15 UNDER GENERAL FININGS, THERE WILL BE NO OVERCROWDING FOR THE BUILDING OR PLAYGROUND ON THIS SITE.



M F D M A
C R M E K

EASEMENTS:

- ① DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT NO. 1275 IN BOOK D188 PAGE 180 O.R.
- ② DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT NO. 1565 IN BOOK D184 PAGE 174 O.R.
- ③ EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT NO. 179 IN BOOK D2321 PAGE 146 O.R.
- ④ UTILITY EASEMENT OF LANDS RECORDED AS INSTRUMENT NO. 192 IN BOOK D2224 PAGE 488 O.R.
- ⑤ PIPE LINE EASEMENT OF LANDS RECORDED AS INSTRUMENT NO. 1287 IN BOOK D2302 PAGE 202 O.R.
- ⑥ PIPE LINE EASEMENT OF LANDS RECORDED AS INSTRUMENT NO. 1285 IN BOOK D2302 PAGE 208 O.R.
- ⑦ SEWER EASEMENT OF CITY OF AGOURA HILLS RECORDED IN MAP OF TRACT NO. 52752 BOOK 1232 PAGES 31 TO 37 INCLUSIVE OF MAPS
- ⑧ STORM DRAIN EASEMENT OF CITY OF AGOURA HILLS RECORDED IN MAP OF TRACT NO. 52752 AS PER MAP RECORDED IN BOOK 1232 PAGES 31 TO 37 INCLUSIVE OF MAPS
- ⑨ WATERLINE EASEMENT OF LANDS RECORDED AS INSTRUMENT NO. 03-3192368
- ⑩ UTILITY EASEMENT OF SOUTHERN CALIFORNIA Edison COMPANY RECORDED AS INSTRUMENT NO. 03-3384191 (NOT DEFINED IN DOCUMENT)
- ⑪ UTILITY EASEMENT OF SOUTHERN CALIFORNIA GAS COMPANY RECORDED AS INSTRUMENT NO. 03-3312744 (NOT DEFINED IN DOCUMENT)
- ⑫ DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT NO. 1719 IN BOOK D-1710 PAGE 471 AND D-1710 PAGE 474 O.R.

**BOUNDARY/EASEMENT SHEET
FOR C.U.P. SUBMITTAL
CANWOOD ST. - WEST SIDE OF MEDIA CREEK**



CITY OF AGOURA HILLS APPROVAL

06-CUP-007

PREPARED BY:
WESTON ENGINEERING, INC.
1400 WESTON DRIVE
AGOURA HILLS, CA 91301
TEL: (818) 297-1111
WWW.WESTONENGINEERING.COM

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	DATE	DATE