

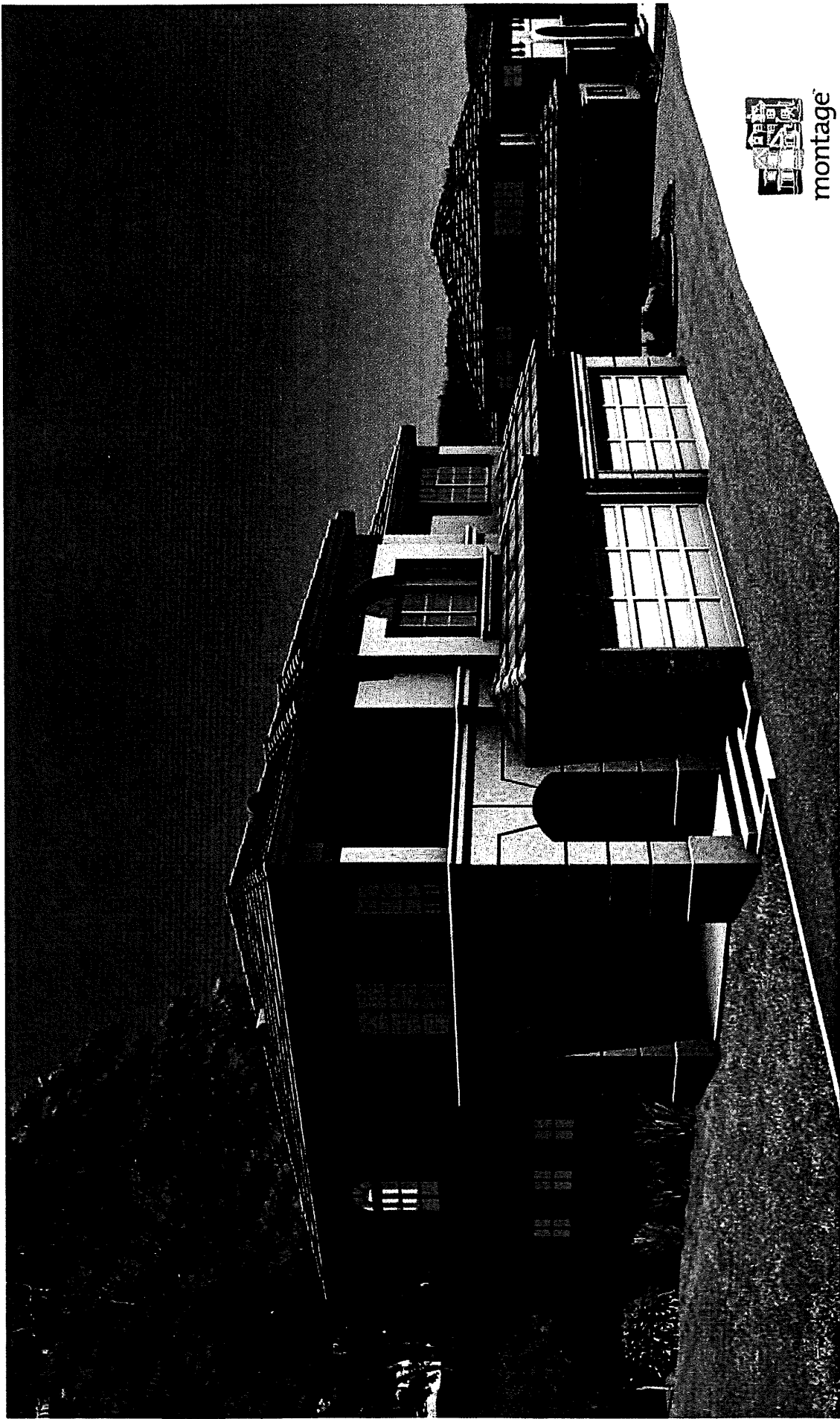


TENTATIVE TRACT MAP NO. 69073

FOR THE PROPERTY LOCATED AT
5310 COLODNY DRIVE, AGOURA HILLS

EXHIBIT G

REDUCED COPIES OF PLANS

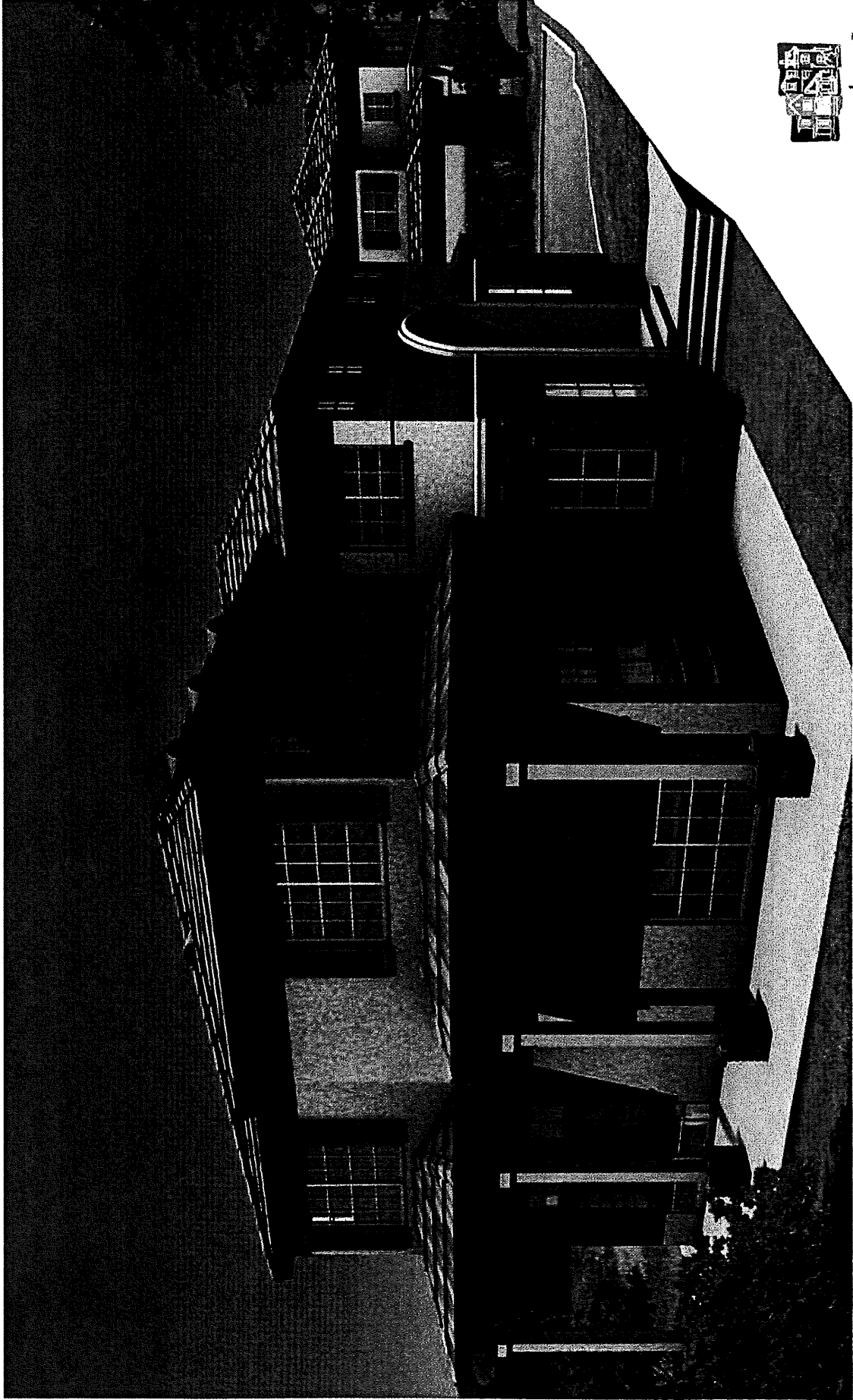


montage

NEIGHBORHOOD BUILDERS™

“COLONY APARTMENTS”

Rendering by THOMAS SCOTT NIELSON
1305 524745@montagebuilders.net ©2006



Rendering by THOMAS SCOTT NELSON
(805) 252-7149 neighborhoodbuilders.com

"COLODNY APARTMENTS"



montage

NEIGHBORHOOD BUILDERS™



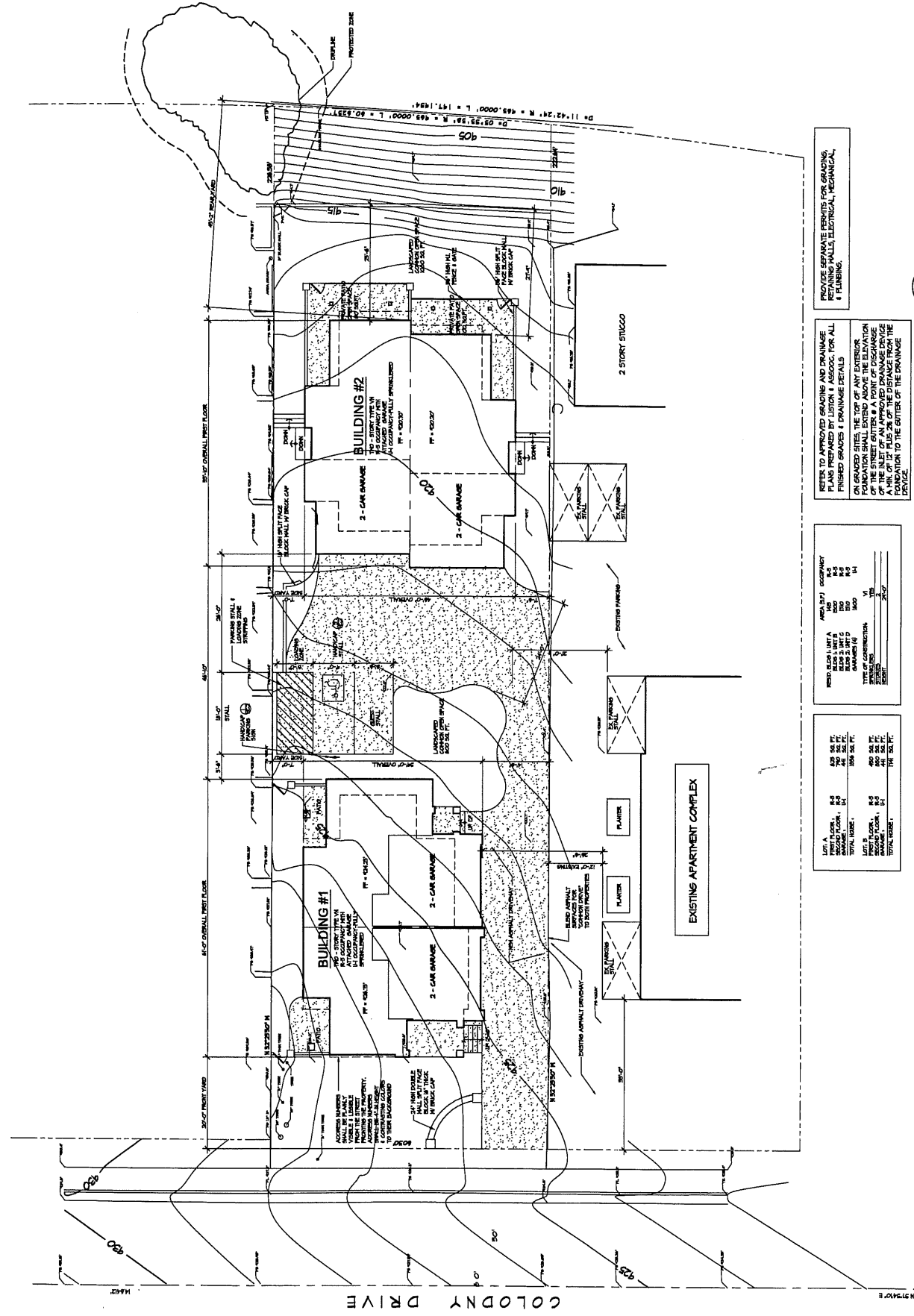
KEN STOCKTON ARCHITECT
 2000 N. AVENUE 100, SUITE 100, SAN ANTONIO, TEXAS 78201
 (214) 343-4444 FAX (214) 343-4444

PROJECT NAME
COLONY APARTMENTS
 4 UNIT APARTMENT
 3510 COLONY DRIVE
 OLD MEXICO, CALIFORNIA

DEVELOPER
MONTAGE DEVELOPMENT INC.
 6545 BALBOA BLVD. #155 BUILDING III
 BIRMGHAM, CALIFORNIA 91716

SITE PLAN

DATE:	10/20/03
PLN CHK:	
REVISIONS:	
DRWN. BY:	



REFER TO APPROVED GRADING AND DRAINAGE PLANS PREPARED BY LISTON & ASSOC. FOR ALL FINISHED GRADES & DRAINAGE DETAILS.

ON GRADED SITES, THE TOP OF ANY EXTERIOR FINISHED GRADE SHALL BE AT LEAST 18" ABOVE THE FINISH GRADE OF THE STREET ATTERS & A POINT OF DISCHARGE OF THE INLET OF AN APPROVED DRAINAGE DEVICE SHALL BE AT LEAST 18" ABOVE THE FINISH GRADE OF THE STREET ATTERS & A POINT OF DISCHARGE OF THE DRAINAGE DEVICE.

PROVIDE SEPARATE PERMITS FOR GRADING, RETAINING WALLS, ELECTRICAL, MECHANICAL, & PLUMBING.

AREA SCHEDULE

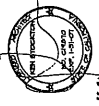
AREA SCHEDULE	AREA (SQ. FT.)	PERCENTAGE
RESID. BLDG. UNIT A	1000	10.00
RESID. BLDG. UNIT B	1000	10.00
RESID. BLDG. UNIT C	1000	10.00
RESID. BLDG. UNIT D	1000	10.00
RESID. BLDG. UNIT E	1000	10.00
RESID. BLDG. UNIT F	1000	10.00
RESID. BLDG. UNIT G	1000	10.00
RESID. BLDG. UNIT H	1000	10.00
RESID. BLDG. UNIT I	1000	10.00
RESID. BLDG. UNIT J	1000	10.00
RESID. BLDG. UNIT K	1000	10.00
RESID. BLDG. UNIT L	1000	10.00
RESID. BLDG. UNIT M	1000	10.00
RESID. BLDG. UNIT N	1000	10.00
RESID. BLDG. UNIT O	1000	10.00
RESID. BLDG. UNIT P	1000	10.00
RESID. BLDG. UNIT Q	1000	10.00
RESID. BLDG. UNIT R	1000	10.00
RESID. BLDG. UNIT S	1000	10.00
RESID. BLDG. UNIT T	1000	10.00
RESID. BLDG. UNIT U	1000	10.00
RESID. BLDG. UNIT V	1000	10.00
RESID. BLDG. UNIT W	1000	10.00
RESID. BLDG. UNIT X	1000	10.00
RESID. BLDG. UNIT Y	1000	10.00
RESID. BLDG. UNIT Z	1000	10.00

SITE PLAN

LEGAL DESCRIPTION: LOT AREA = 15724 SQ. FT.
 TOTAL NUMBER OF UNITS = 4
 LOT # 11
 DENSITY = 1 UNIT PER 2144 SQ. FT.
 TRACT # 8461
 APN # 2025-007-028
 PARKING PROVIDED = 10 STALLS

SCALE: 1/8" = 1'-0"





BUILDING #1
FOR CONSTRUCTION

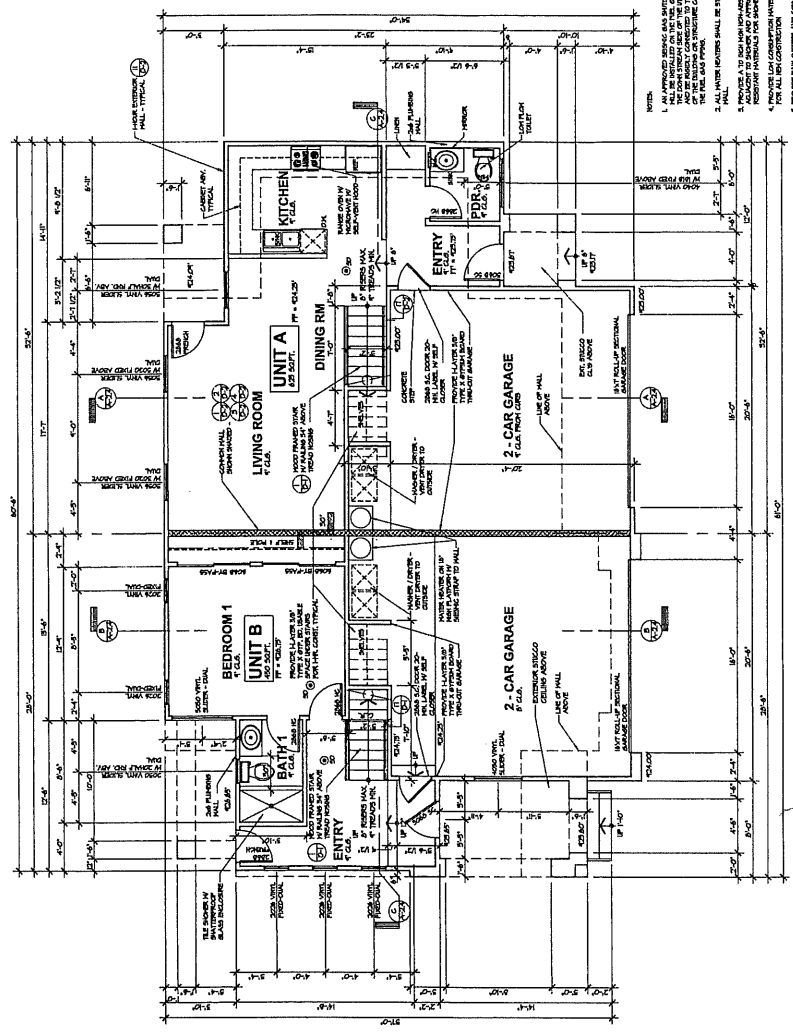
A-2

KEN STOCKTON
ARCHITECT
2500 N AGORA ROAD, P.O. BOX 444, CALAHESS, CA 91302
(805) 888-4444 FAX: (805) 888-4004

PROJECT:	FIRST FLOOR PLAN - BUILDING #1
DATE:	10/20/09
REVISIONS:	1/10/10
DESIGNER:	KS
PROJECT NAME:	COLONY APARTMENTS
DEVELOPER:	MONTAGE DEVELOPMENT INC.

COLONY APARTMENTS
4 UNIT APARTMENT
550 COLONY DRIVE
CALAHESS, CALIFORNIA

MONTAGE DEVELOPMENT INC.
6345 BALBOA BLVD., 555 BUILDING III
ENCINO, CALIFORNIA 91436



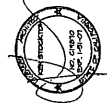
FIRST FLOOR PLAN - BUILDING #1

SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL APPROVED WORKING DRAWINGS SHALL BE PRINTED ON 24" X 36" ARCHITECTURAL PAPER AND SHALL BE SUBMITTED TO THE LOCAL BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE FEE IS \$400 PER SET.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2007 CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
 3. ALL MATERIALS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
 4. PROVIDE A 1/2" RADIUS ROUNDOFF AT ALL CORNERS AND AT ALL INTERSECTIONS OF WALLS AND FLOORS.
 5. PROVIDE A 1/2" RADIUS ROUNDOFF AT ALL CORNERS AND AT ALL INTERSECTIONS OF WALLS AND FLOORS.
 6. PROVIDE A 1/2" RADIUS ROUNDOFF AT ALL CORNERS AND AT ALL INTERSECTIONS OF WALLS AND FLOORS.
 7. PROVIDE A 1/2" RADIUS ROUNDOFF AT ALL CORNERS AND AT ALL INTERSECTIONS OF WALLS AND FLOORS.
 8. PROVIDE A 1/2" RADIUS ROUNDOFF AT ALL CORNERS AND AT ALL INTERSECTIONS OF WALLS AND FLOORS.

UNIT TABULATION

UNIT A	1,500 SQ. FT.
UNIT B	1,500 SQ. FT.
TOTAL	3,000 SQ. FT.



BUILDING #1
FOR CONSTRUCTION

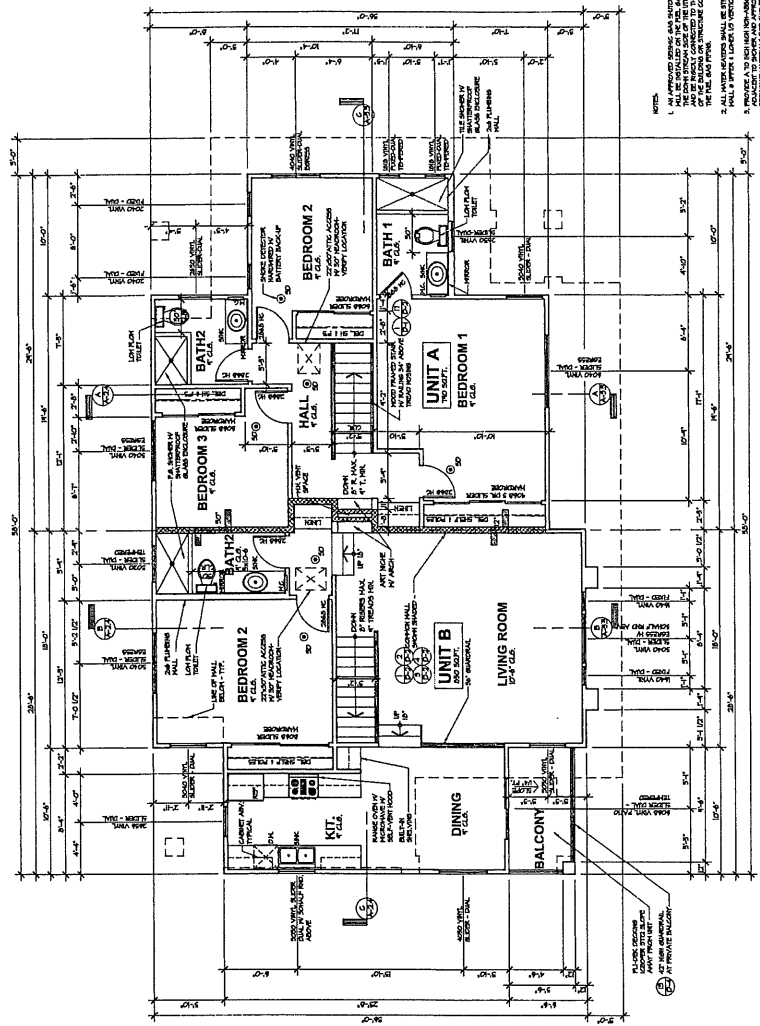
A-2.1
SHEET NO.

KEN STOCKTON
ARCHITECT
2800 R. AUSTIN ROAD, P.O. BOX 844, CALIFORNIA, CA 91022
(909) 850-1143 FAX: (909) 850-9004

PROJECT NAME
COLODNY APARTMENTS
4 UNIT APARTMENT
350 COLONY DRIVE
DIP, MOUNTAIN VIEW, CALIFORNIA

DEVELOPER
MONTAGE DEVELOPMENT INC.
6345 BALBOA BLVD., 1155 BUILDING III
EMERY, CALIFORNIA 91516

DATE 10/30/03
REVISIONS
3/17/04
3/17/04



SECOND FLOOR PLAN - BUILDING #1

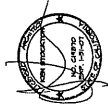
SCALE: 1/4" = 1'-0"

NOTES:
1. ALL UNITS SHALL HAVE AN OPERABLE AREA OF NOT LESS THAN 25 SQ. FT. A. ALL UNITS SHALL BE PROVIDED WITH A BALCONY NOT MORE THAN 4' ABOVE THE FLOOR.
2. ALL UNITS SHALL HAVE A BATH AND BATHING FACILITIES.
3. ALL UNITS SHALL HAVE A KITCHEN WITH A SINK AND STOVE.
4. ALL UNITS SHALL HAVE A LIVING ROOM AND A DINING AREA.
5. ALL UNITS SHALL HAVE A BEDROOM AND A BATHING AREA.
6. ALL UNITS SHALL HAVE A HALL AND A CLOSET.
7. ALL UNITS SHALL HAVE A BALCONY.
8. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.
9. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.
10. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.

UNIT TABULATION

UNIT NO.	SQ. FT.
UNIT A	1,000 SQ. FT.
UNIT B	1,000 SQ. FT.
TOTAL	2,000 SQ. FT.

NOTES:
1. ALL UNITS SHALL HAVE A BALCONY.
2. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.
3. ALL UNITS SHALL HAVE A KITCHEN WITH A SINK AND STOVE.
4. ALL UNITS SHALL HAVE A LIVING ROOM AND A DINING AREA.
5. ALL UNITS SHALL HAVE A BEDROOM AND A BATHING AREA.
6. ALL UNITS SHALL HAVE A HALL AND A CLOSET.
7. ALL UNITS SHALL HAVE A BALCONY.
8. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.
9. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.
10. ALL UNITS SHALL HAVE A PRIVATE BATHING AREA.



BUILDING #1
FOR CONSTRUCTION

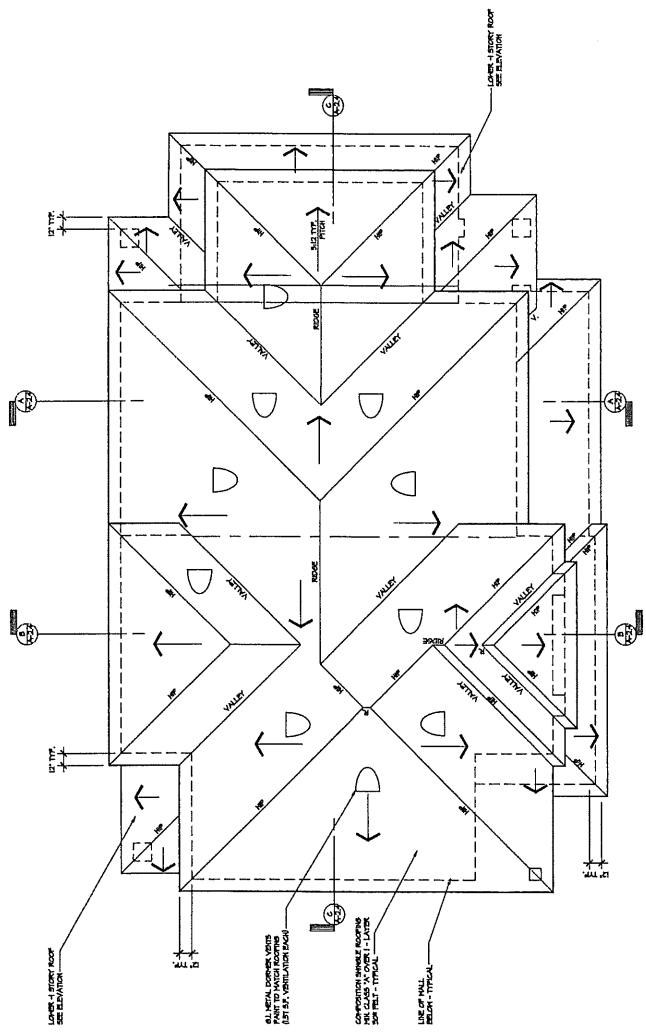
SHEET NO.
A-2.2

KEN STOCKTON
ARCHITECT
2800 N. ADELINA ROAD, P.O. BOX 944, CALIFORNIA, CA 90024
(818) 888-4443 FAX (818) 888-4041

PROJECT:	
PLAN CHK:	
DATE:	10/30/09
REVISIONS:	5/7/09
DRAWN BY:	
PROJECT NAME:	ROOF PLAN - BUILDING #1

PROJECT NAME:
COLODNY APARTMENTS
4 UNIT APARTMENT
5510 COLONY DRIVE
OLD MONTANA, CALIFORNIA

DEVELOPER:
MONTAGE DEVELOPMENT INC.
6345 BALBOA BLVD., 4155 BUILDING III
BIRMINGHAM, CALIFORNIA 91316



ROOF PLAN - BUILDING #1
SCALE: 1/8" = 1'-0"

NOTE:
ALL ROOF SLOPES TO BE 3:12
TYPICAL UNLESS OTHERWISE NOTED

1. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.
2. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.
3. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.
4. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.
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8. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.
9. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.
10. ALL ROOF SLOPES SHALL BE 3:12 UNLESS OTHERWISE NOTED.

- 1. LAYERS - 4 SECOND ROOF SEE ELEVATION
- 2. LAYERS - 1 SECOND ROOF SEE ELEVATION
- 3. COMPOSITION SHINGLE ROOFING OVER SLAND VAPOR BARRIER LAYER
- 4. FLASHING - TYPICAL
- 5. LINE OF WALL FLASHING - TYPICAL
- 6. FLASHING - TYPICAL
- 7. FLASHING - TYPICAL
- 8. FLASHING - TYPICAL
- 9. FLASHING - TYPICAL
- 10. FLASHING - TYPICAL



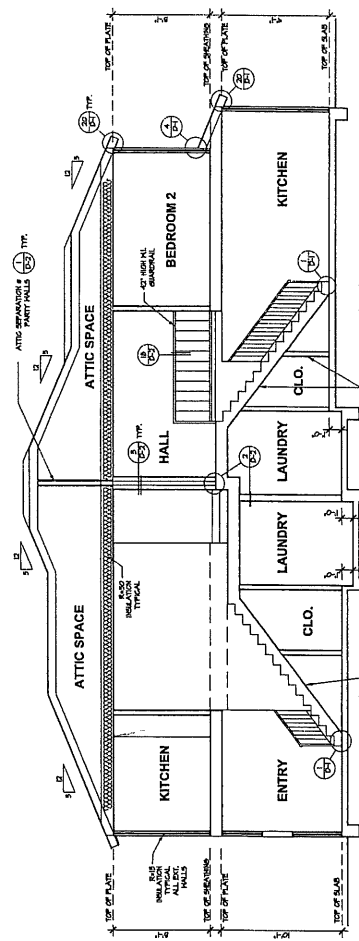
BUILDING 1
FOR CONSTRUCTION

SHEET NO.
A-2.4

KEN STOCKTON
ARCHITECT
2800 N. ACACIA ROAD, P.O. BOX 444, CALAHESS, CA 91302
(818) 488-4443 FAX: (818) 488-4041

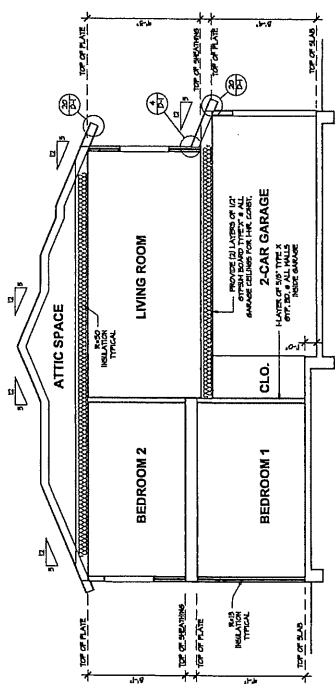
SECTIONS - BUILDING #1
PROJECT NAME COLONY APARTMENTS 4 UNIT APARTMENT 550 COLONY DRIVE CANAAN, CALIFORNIA
DATE 10/30/03
REVISIONS 7/26/04
PERMIT PLAN SHEET 5/27/06
DRAWN BY OT

PREPARED BY
MONTAGE DEVELOPMENT INC.
6345 BALBOA BLVD., 555 BUILDING III
BIRKO, CALIFORNIA 91316



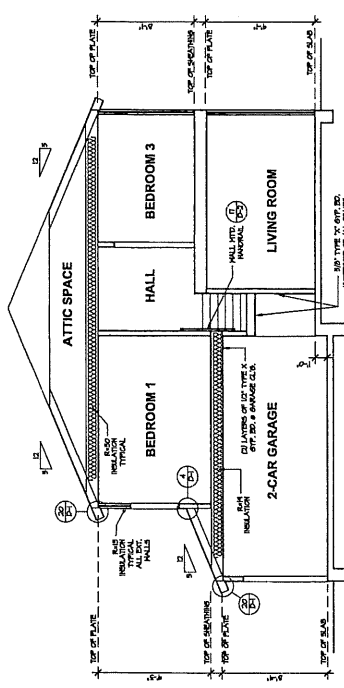
SECTION - C / BUILDING #1

SCALE: 1/4" = 1'-0"



SECTION - B / BUILDING #1

SCALE: 1/4" = 1'-0"



SECTION - A / BUILDING #1

SCALE: 1/4" = 1'-0"



BUILDING #2
FOR CONSTRUCTION

A-3

KEN STOCKTON
ARCHITECT

3100 N. MOORE ROAD, STE 204, CALIFORNIA, CA 92022
(619) 444-4444 FAX (619) 444-8944

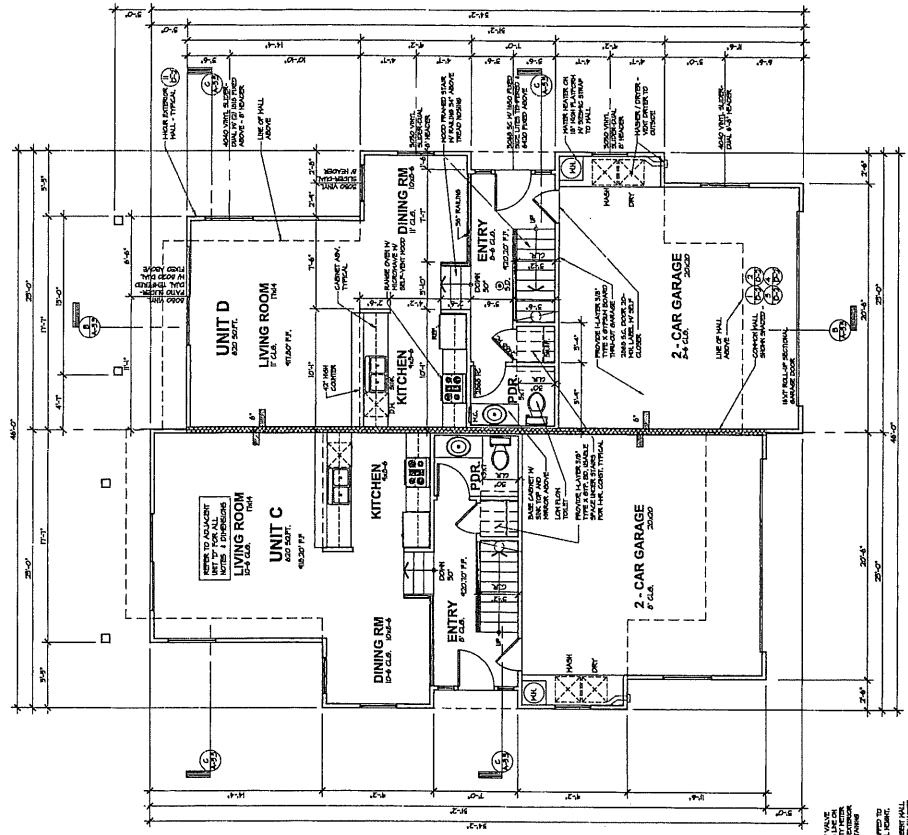
FLOOR PLANS - BUILDING #2

PERMIT:	DATE:
PLAN NO.:	REVISIONS:
DATE: 10/20/04	7/25/04

COLONY APARTMENTS
4 UNIT APARTMENT
3910 COLONY DRIVE
OLD ANTONIO, CALIFORNIA

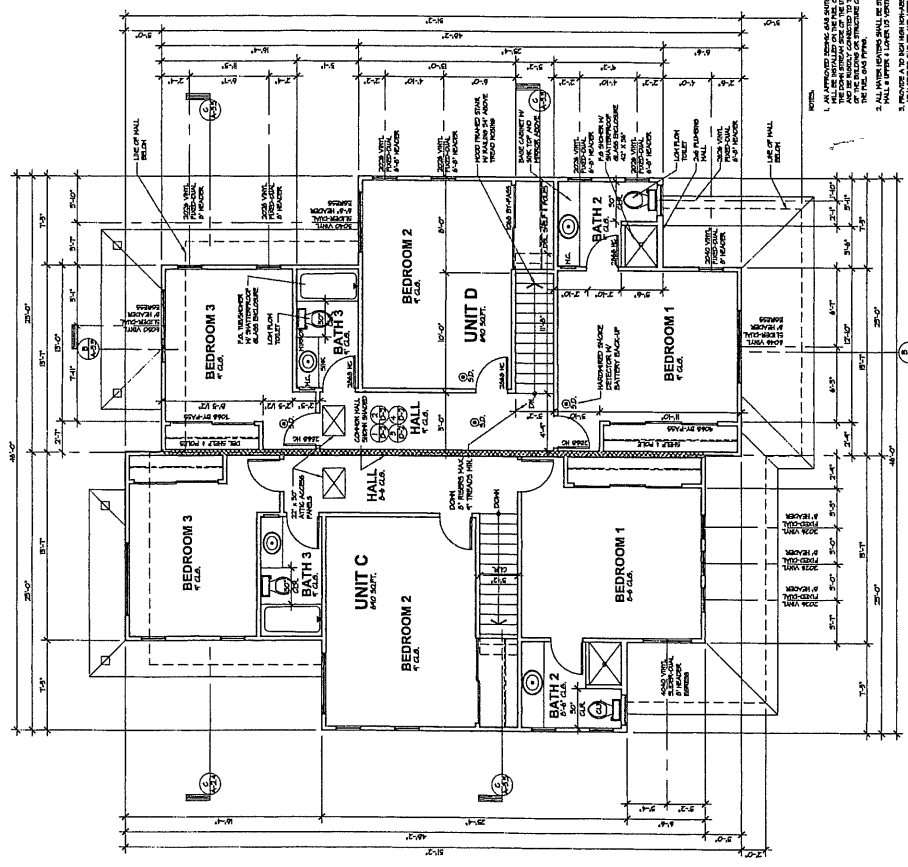
MONTAGE DEVELOPMENT INC.
6949 BALBOA BLVD, 1155 BUILDING III
SAN DIEGO, CALIFORNIA 92121

FIRST FLOOR PLAN - BUILDING #2



SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN - BUILDING #2



SCALE: 1/8" = 1'-0"

- NOTES:**
1. ALL DIMENSIONS SHOWN ARE MEASURED VALUE AND SHALL BE MAINTAINED AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 3. PROVIDE A 1/2" RADIUS ROUNDOFF AT ALL CORNERS AND AT ALL INTERSECTIONS OF WALLS AND PARTITIONS.
 4. PROVIDE ALL CONNECTIONS WITH GLAZES TO STREET.
 5. PROVIDE ALL INTERIOR AND EXTERIOR FINISHES TO STREET.

UNIT TABULATION

UNIT C	1	1,200 SQ. FT.
UNIT D	1	1,200 SQ. FT.
TOTAL	2	2,400 SQ. FT.



BUILDING #2
FOR CONSTRUCTION

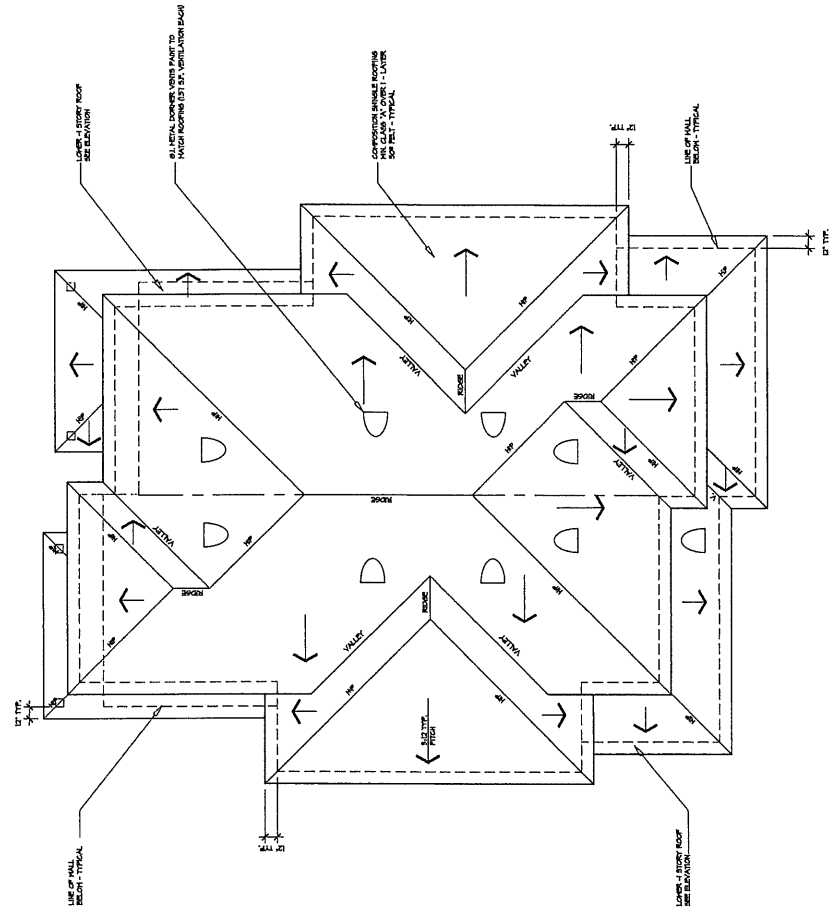
A-3.1

KEN STOCKTON
ARCHITECT
2500 N. KOCKEN DRIVE, P.O. BOX 4202
DANA POINT, CALIFORNIA 92629
(949) 444-1144 FAX (949) 444-4001

ROOF PLAN - BUILDING #2
PROJ. ECT. NAME
REV. NO. 01
DATE: 10/30/08
DRAWN: J.T.
CHECKED: J.T./J.S.
PERMIT:

COLONY APARTMENTS
4 UNIT APARTMENT
5910 COLONY DRIVE
OLD MARYS, CALIFORNIA

MONTAGE DEVELOPMENT INC.
DEVELOPER
6345 BALBOA BLVD., 1155 BUILDING III
EMERYVILLE, CALIFORNIA 94608



ROOF PLAN - BUILDING #2
SCALE: 1/8" = 1'-0"

NOTE:
ALL ROOF FLASHINGS TO BE 3" MIN. OVERLAP.
FLASHINGS SHALL BE INSTALLED ON ROOF LINES FIRST, THEN ON WALLS AND PARAPETS. FLASHINGS SHALL BE AT LEAST 4" FROM SLATE ANGLES. FLASHINGS SHALL BE AT LEAST 2" FROM SHINGLE ANGLES. FLASHINGS SHALL HAVE AN END LAP OF NOT LESS THAN 4".
ROOFING SHALL BE AS MANUFACTURER'S RECOMMENDATION. FLASHINGS SHALL BE AS MANUFACTURER'S RECOMMENDATION. FLASHINGS SHALL BE AS MANUFACTURER'S RECOMMENDATION.
A PART OF THE ROOFING SHALL BE AS MANUFACTURER'S RECOMMENDATION.
SEE ELEVATION # FOR DETAILS.



BUILDING #2
FOR CONSTRUCTION

A-3.2

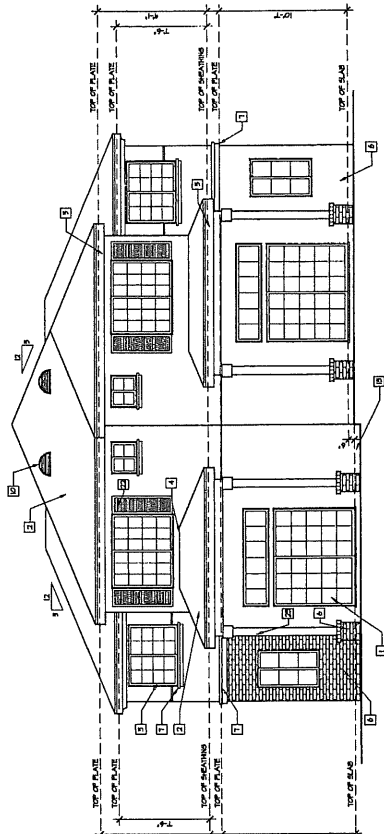
KEN STOCKTON
ARCHITECT

2800 N. KOSKIP AVENUE, SUITE 100, SAN JOSE, CA 95131
(408) 251-1111 FAX: (408) 251-1101

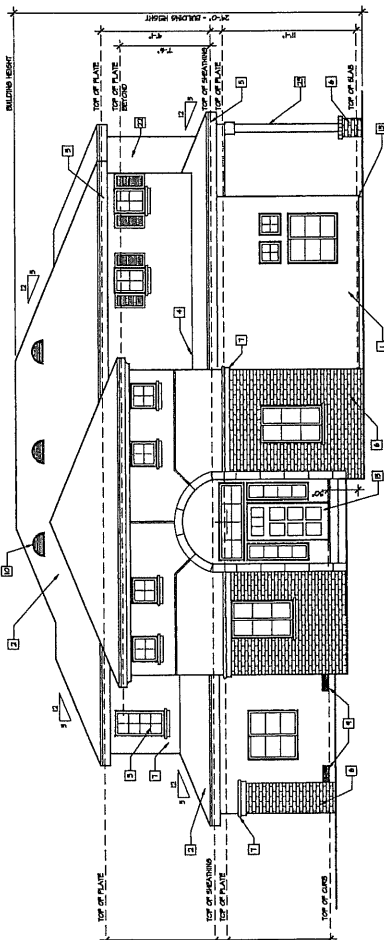
ELEVATIONS - BUILDING #2
REVISIONS:
DATE: 10/30/03
BY: JTB/04
3/27/06

PROJECT NAME:
COLONY APARTMENTS
4 UNIT APARTMENT
550 COLONY DRIVE
SAN JOSE, CALIFORNIA

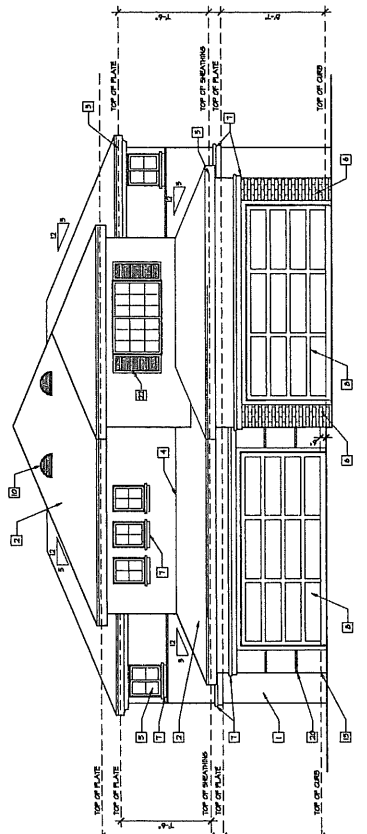
DEVELOPER:
MONTAGE DEVELOPMENT INC.
6345 BALBOA BLVD., #155 BUILDING III
EMERYVILLE, CALIFORNIA 94616



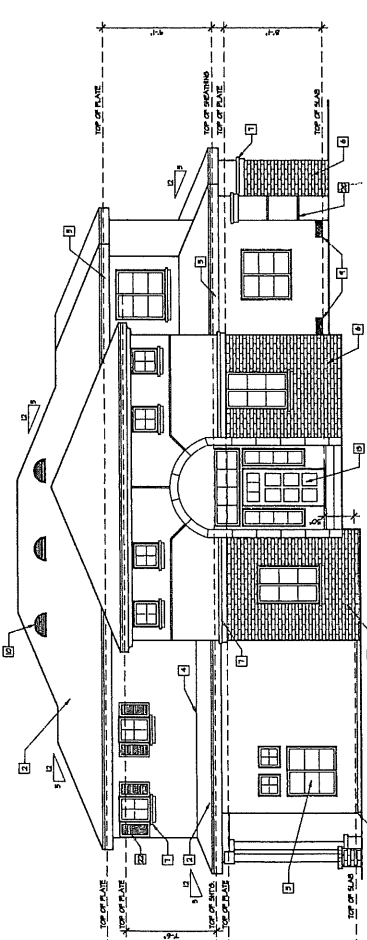
REAR ELEVATION - BUILDING #2



RIGHT SIDE ELEVATION - BUILDING #2



FRONT ELEVATION - BUILDING #2



LEFT SIDE ELEVATION - BUILDING #2

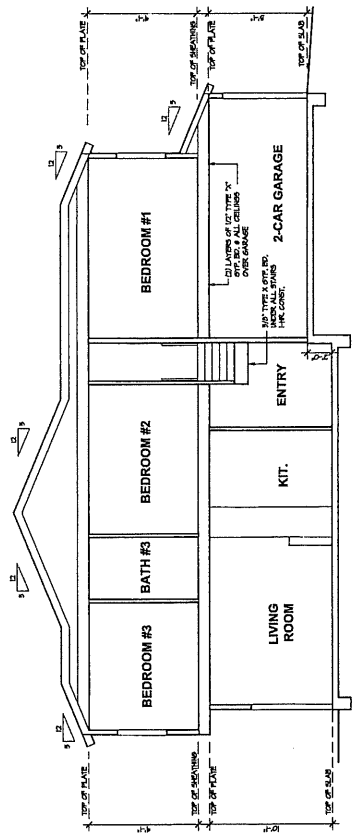
- EXTERIOR ELEVATION FINISHES & NOTES**
- 1) 3 LAYERS OF BRIDGE OVER METAL LATH AND WATER-PROOF
 - 2) 1/2" THICK CONCRETE ON 1/2" THICK LATHING OF 3/8" WEL
 - 3) ALUMINUM FINISH WINDOWS - TYPICAL
 - 4) METAL FLASHING AND CASING FLASHING & SCOT TO WALL LOCATION
 - 5) 3/8" HOOD FLASHING BOARD WITH DRAINAGE PAINT
 - 6) 1/2" BRICK VENEER WITH BEADWORK CORNER CAP
 - 7) OVERHEAD GARAGE DOOR WITH DECORATIVE PANELS
 - 8) 1/2" BRICK VENEER CORNER CAP ON TOP OF WALL
 - 9) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 10) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 11) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 12) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 13) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 14) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 15) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 16) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 17) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 18) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 19) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 20) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 21) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 22) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 23) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 24) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 25) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 26) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
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 - 32) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 33) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 34) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
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 - 36) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
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 - 84) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 85) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 86) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 87) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 88) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 89) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 90) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 91) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 92) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 93) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 94) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 95) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 96) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 97) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 98) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 99) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL
 - 100) 1/2" BRICK VENEER CORNER CAP ON TOP OF HALL

PROJECT NAME: COLONY APARTMENTS
 4 UNIT APARTMENT
 590 COLONY DRIVE
 OLYMPIA, CALIFORNIA
 DRAWN BY: [REDACTED]
 DATE: 10/20/05
 REVISIONS: 02/28/06

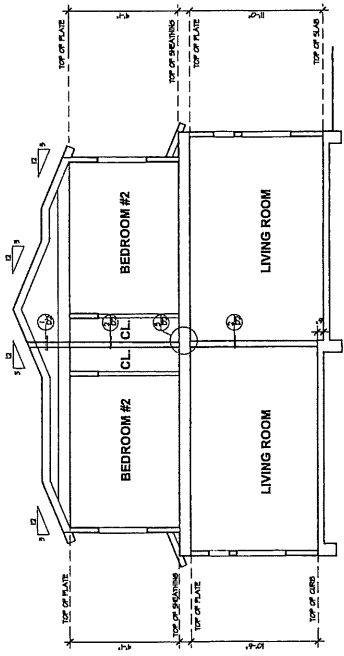
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 DRAWN BY: [REDACTED]
 DATE: 10/20/05
 REVISIONS: 02/28/06

ARCHITECT: KEN STOCKTON
 2800 N. AGORA ROAD, P.O. BOX 444, CALAYCA, CA 92008
 (818) 882-4143 FAX: (818) 882-4634

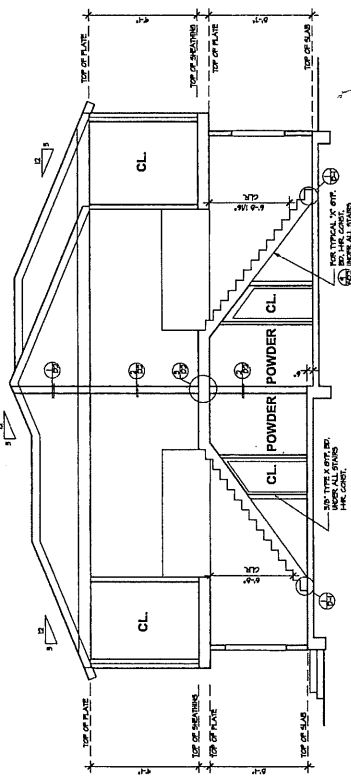
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 BUILDING #2
 FOR CONSTRUCTION



SECTION - B / BUILDING #2
 SCALE: 1/4" = 1'-0"



SECTION - A / BUILDING #2
 SCALE: 1/4" = 1'-0"



SECTION - C / BUILDING #2
 SCALE: 1/4" = 1'-0"

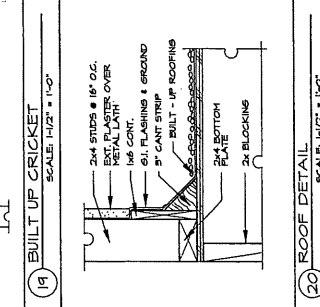
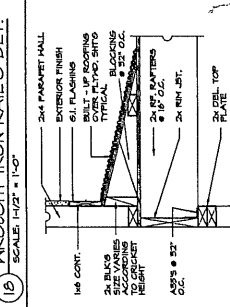
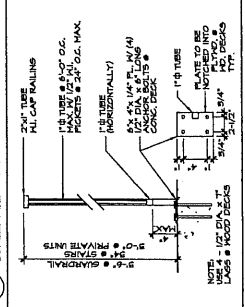
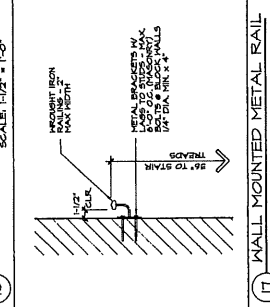
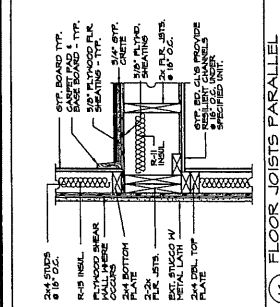
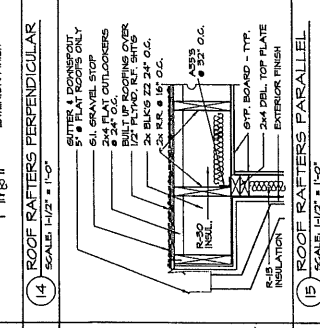
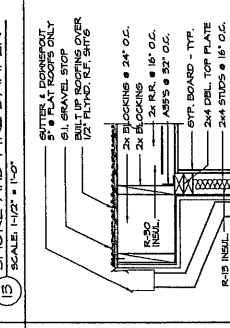
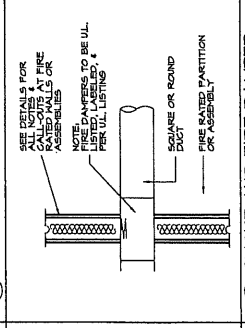
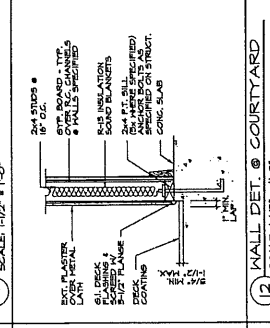
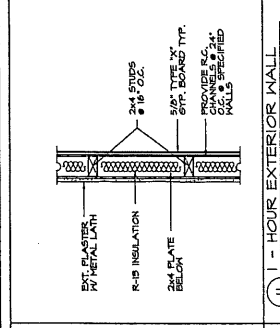
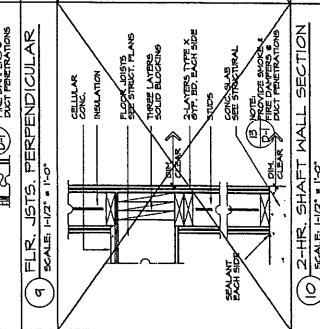
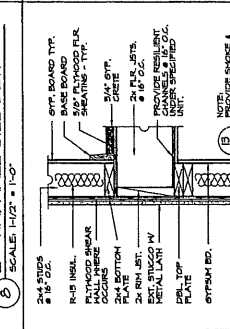
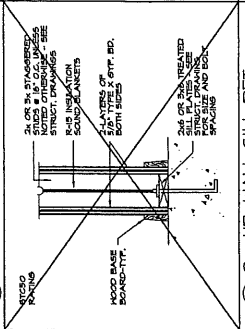
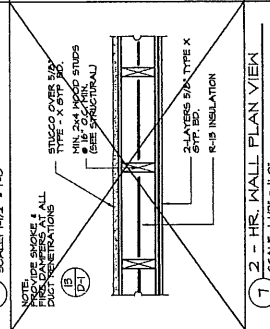
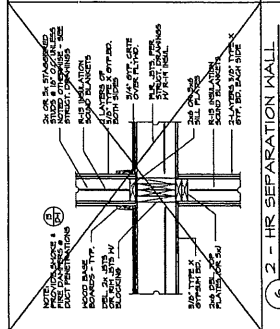
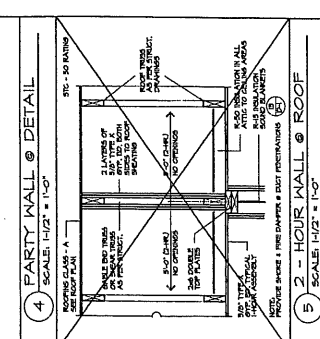
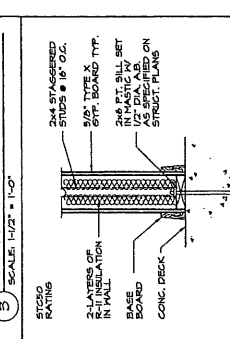
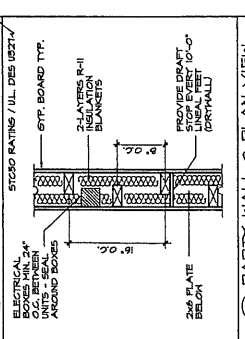
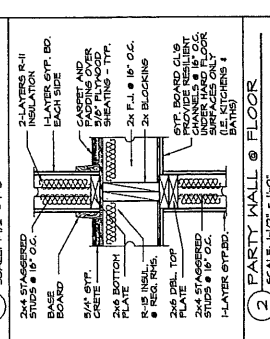
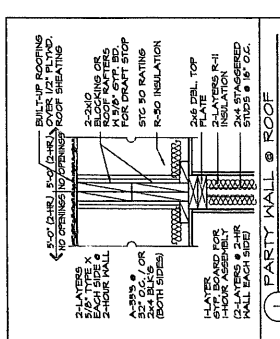


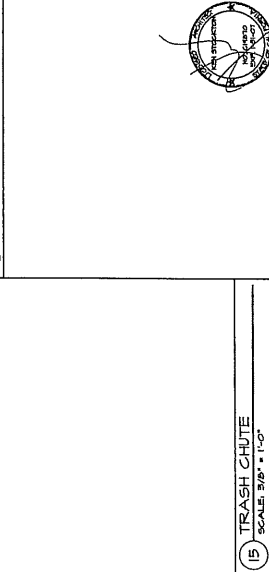
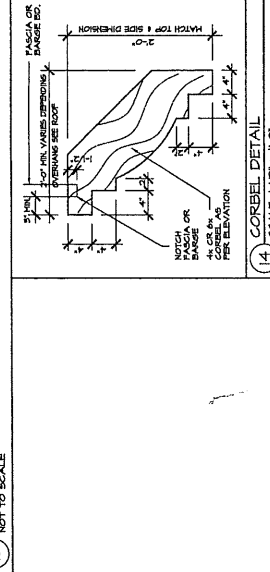
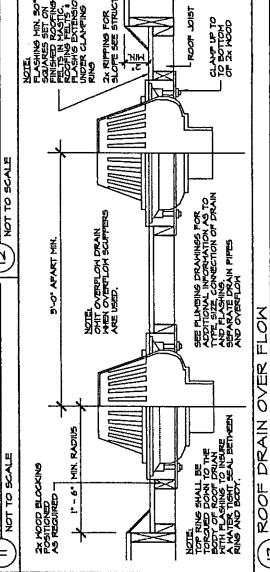
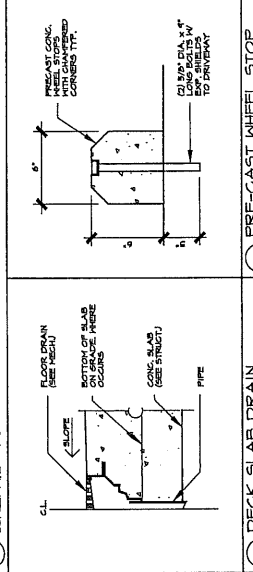
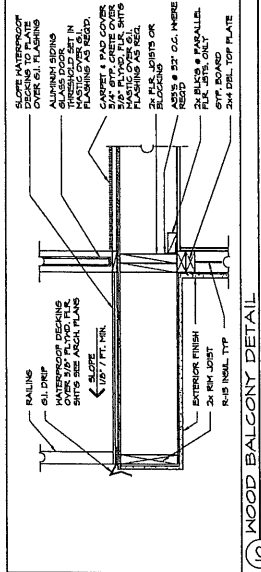
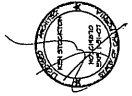
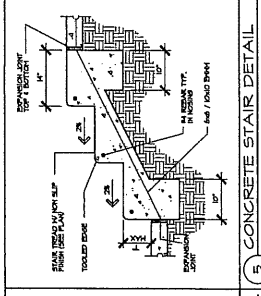
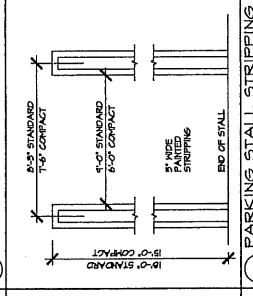
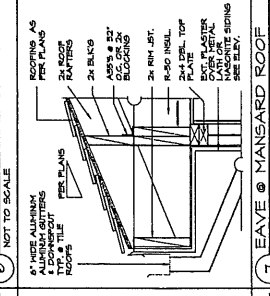
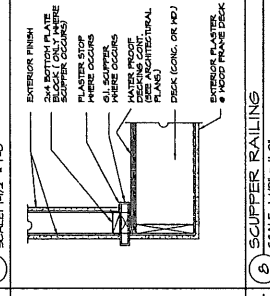
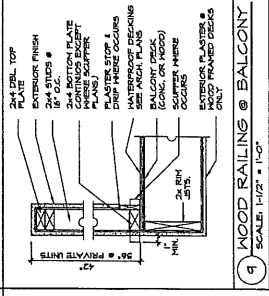
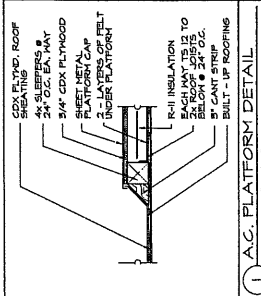
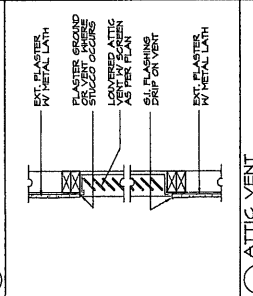
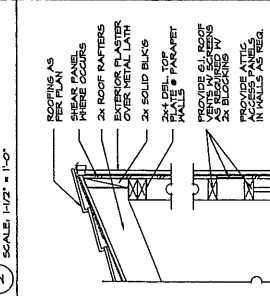
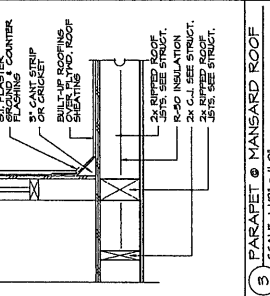
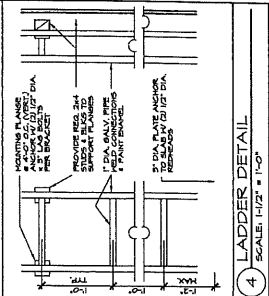
3600 N. MOUNTAIN ROAD, #100
 KEN STOCKTON ARCHITECT
 1001 14th St., Suite 100
 San Francisco, CA 94103
 (415) 774-4444

PROJECT NAME: COLONY APARTMENTS
 1500 COLONY DRIVE
 OAKLAND, CALIFORNIA 94612
 OWNER / CONTRACTOR: MONTAGE DEVELOPMENT INC.
 6545 BAY AREA BLVD., 15th FLOOR, 3rd FLOOR
 OAKLAND, CALIFORNIA 94612

ARCHITECTURAL DETAILS
 DRAWN: 01/20/03
 DATE: 02/03/03
 REVISIONS:

SHEET NO. **D-2**



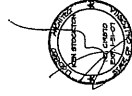
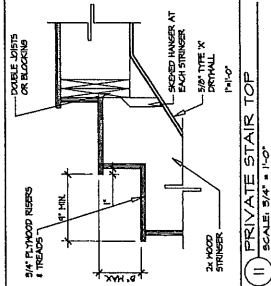
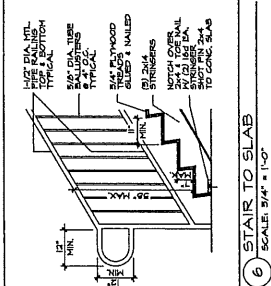
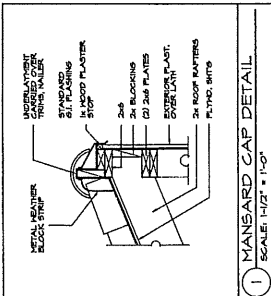
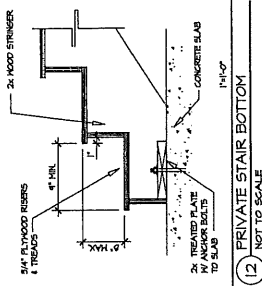
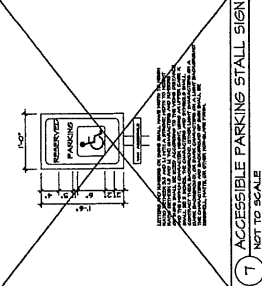
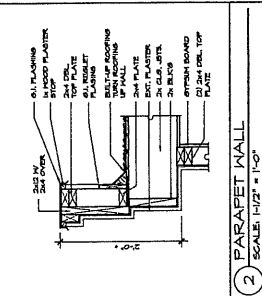
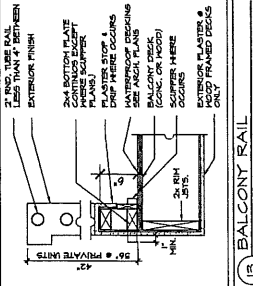
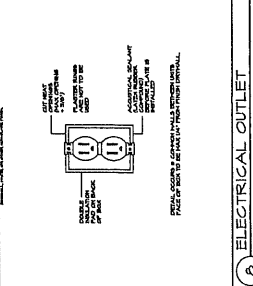
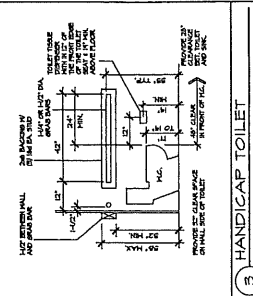
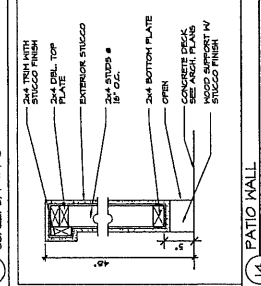
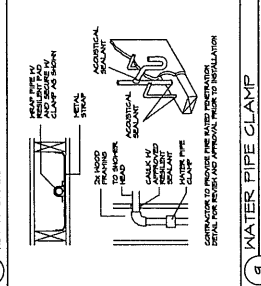
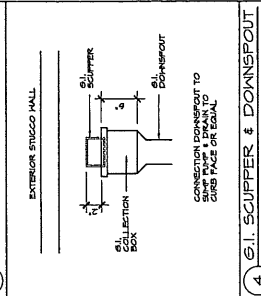
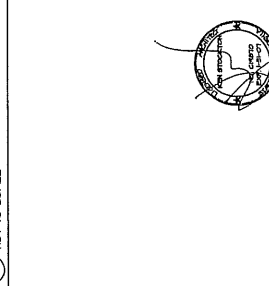
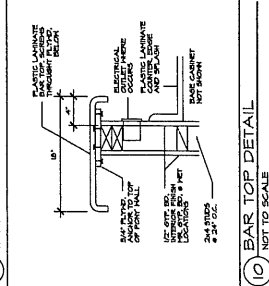
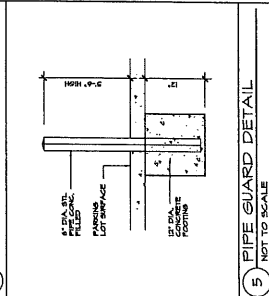


KEN STOCKTON ARCHITECT
2000 N. ACADIA BLVD., SUITE 100, SAN ANTONIO, TX 78204
(512) 381-4443 FAX (512) 381-4041

ARCHITECTURAL DETAILS
REVISIONS:
DATE: 02/02/03
DRAWN BY: [REDACTED]

PROJECT NAME:
COLODNY APARTMENTS
4 UNIT APARTMENT
530 COLONY DRIVE
OLD ASPEN, CALIFORNIA

OWNER / DEVELOPER:
MONTAGE DEVELOPMENT INC.
6545 BALBOA BLVD. #55 BUILDING III
ENCINO, CALIFORNIA 91616





GENERAL NOTES:

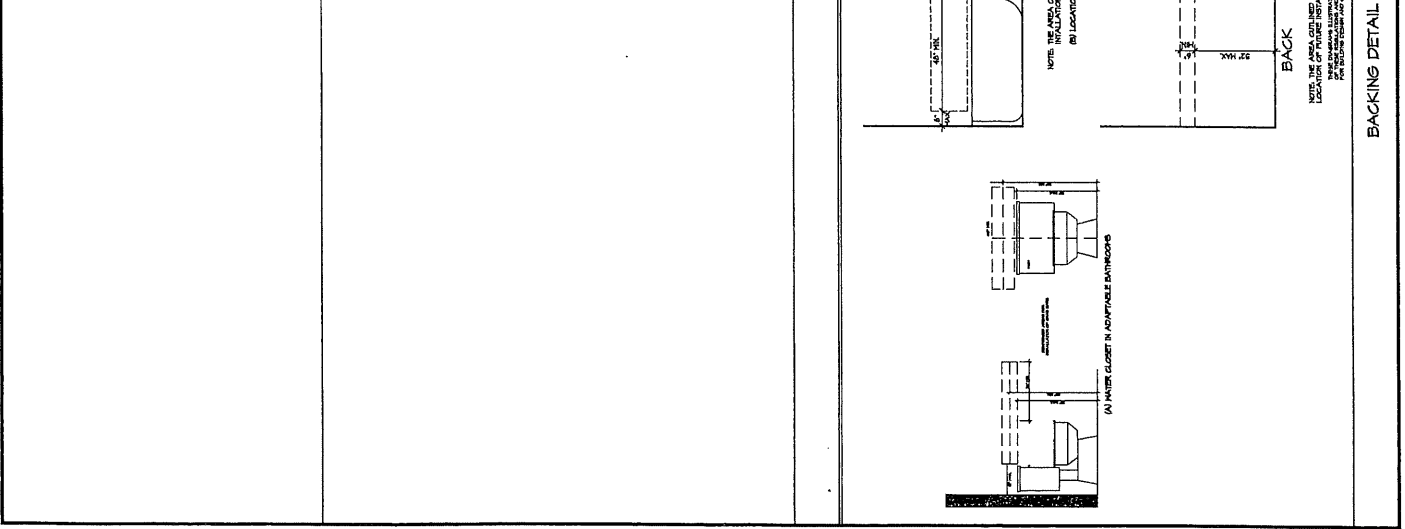
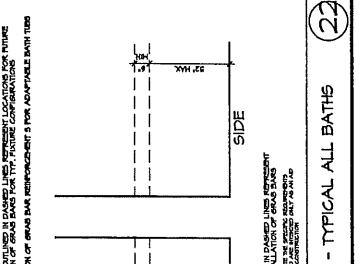
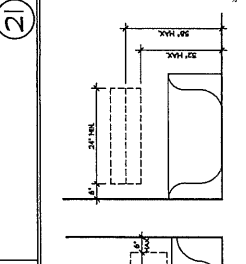
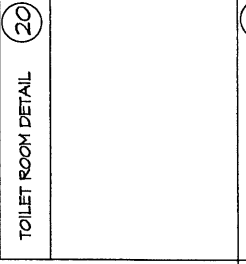
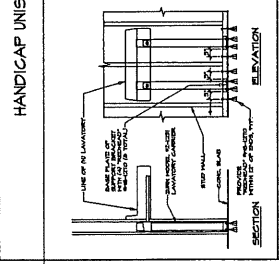
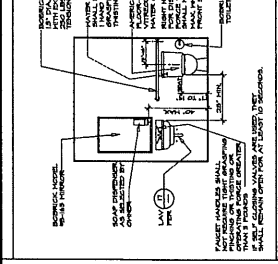
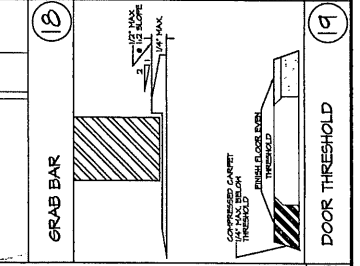
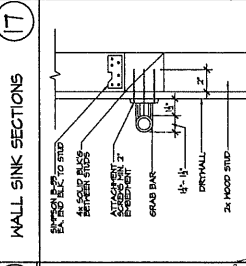
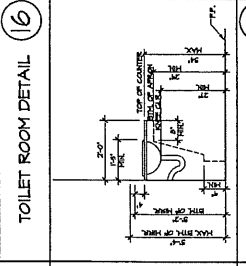
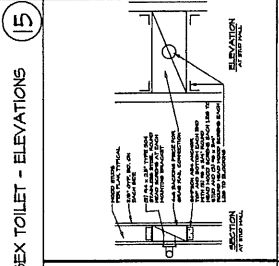
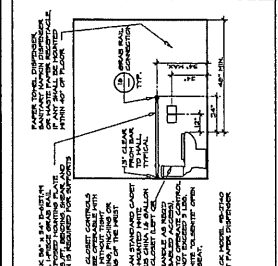
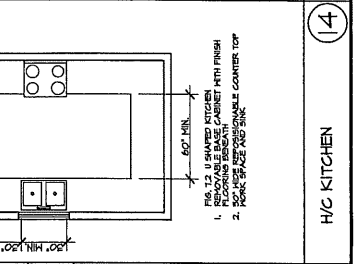
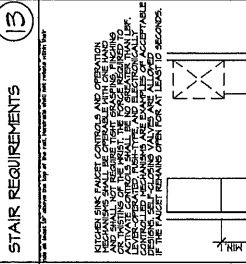
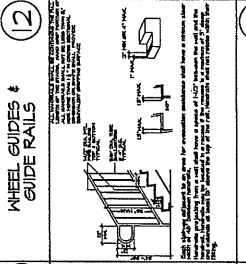
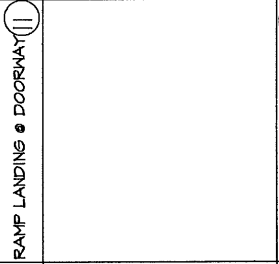
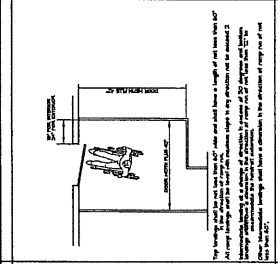
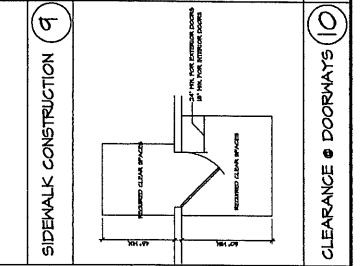
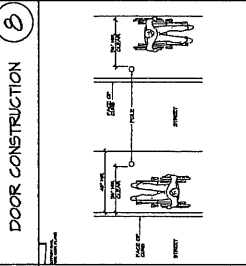
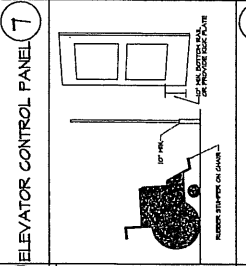
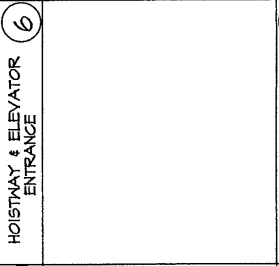
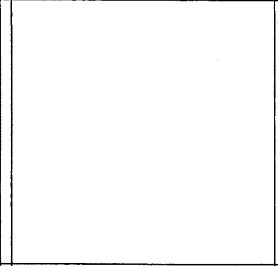
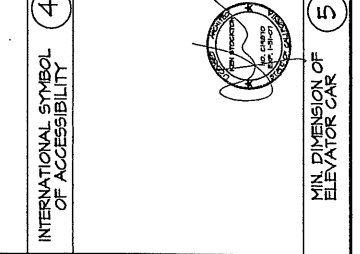
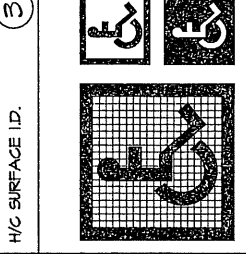
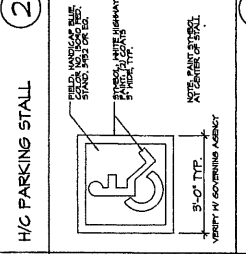
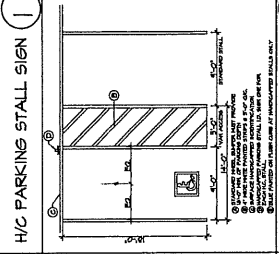
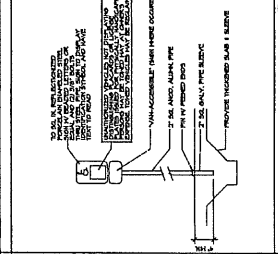
1. All work shall be in accordance with the latest editions of the following codes and standards:
 - a. International Building Code (IBC) 2003 Edition
 - b. International Residential Code (IRC) 2003 Edition
 - c. California Building Code (CBC) 2007 Edition
 - d. California Electrical Code (CEC) 2008 Edition
 - e. California Fire Code (CFC) 2007 Edition
 - f. California Mechanical Code (CMC) 2007 Edition
 - g. California Plumbing Code (CPC) 2007 Edition
 - h. California Gas Code (CGC) 2007 Edition
 - i. California Energy Code (CEC) 2007 Edition
2. All materials and workmanship shall be in accordance with the specifications and standards listed herein.
3. All work shall be completed in accordance with the schedule of values and the project completion date.
4. All work shall be completed in accordance with the approved construction documents.
5. All work shall be completed in accordance with the approved construction documents.
6. All work shall be completed in accordance with the approved construction documents.
7. All work shall be completed in accordance with the approved construction documents.
8. All work shall be completed in accordance with the approved construction documents.
9. All work shall be completed in accordance with the approved construction documents.
10. All work shall be completed in accordance with the approved construction documents.

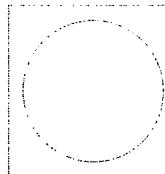
SECTION 0500 - METALS

1. Fabricate and install all metal work in accordance with the specifications and standards listed herein.
2. All metal work shall be in accordance with the specifications and standards listed herein.
3. All metal work shall be in accordance with the specifications and standards listed herein.
4. All metal work shall be in accordance with the specifications and standards listed herein.
5. All metal work shall be in accordance with the specifications and standards listed herein.
6. All metal work shall be in accordance with the specifications and standards listed herein.
7. All metal work shall be in accordance with the specifications and standards listed herein.
8. All metal work shall be in accordance with the specifications and standards listed herein.
9. All metal work shall be in accordance with the specifications and standards listed herein.
10. All metal work shall be in accordance with the specifications and standards listed herein.

SECTION 0600 - WOODWORKING

1. Fabricate and install all woodwork in accordance with the specifications and standards listed herein.
2. All woodwork shall be in accordance with the specifications and standards listed herein.
3. All woodwork shall be in accordance with the specifications and standards listed herein.
4. All woodwork shall be in accordance with the specifications and standards listed herein.
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9. All woodwork shall be in accordance with the specifications and standards listed herein.
10. All woodwork shall be in accordance with the specifications and standards listed herein.





THE OFFICE OF
SUSAN E. MCGHEE
LANDSCAPE ARCHITECT
A CALIFORNIA CORPORATION
3297 BIG OAK LANE
CASTRO VALLEY, CA 94546
(415) 947-2128

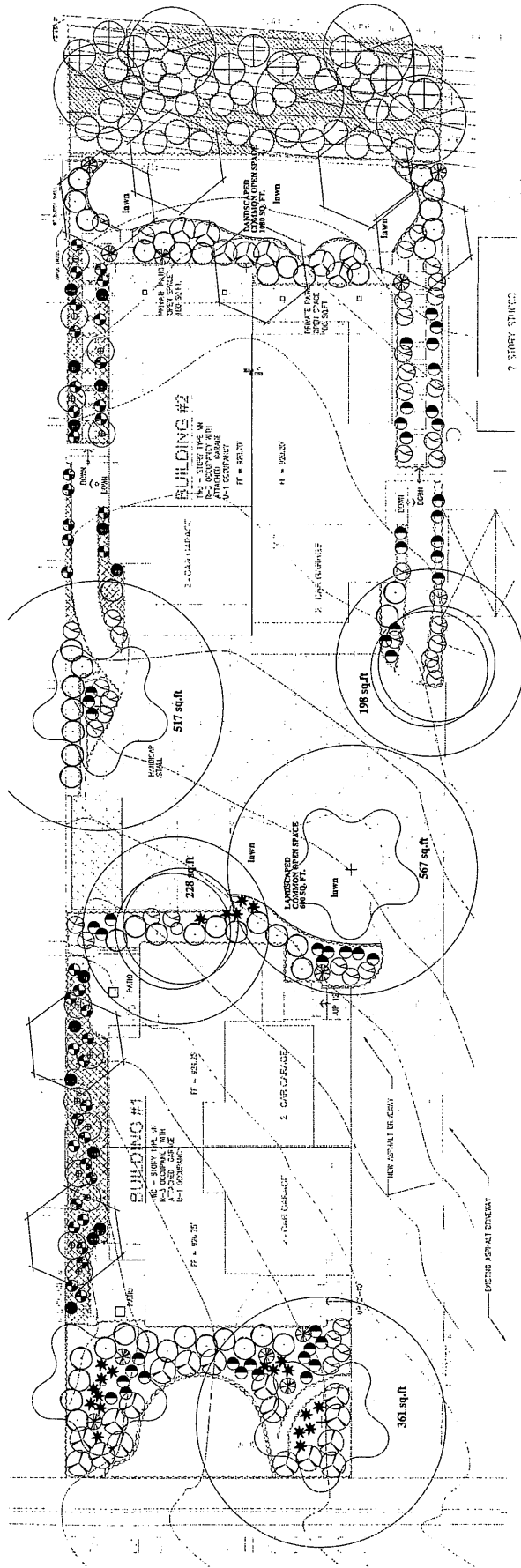
OWNER:
COLONY APARTMENTS
5917 COLONY DRIVE
OLD FOLSOM, CA
PROJECT:
MONTAGE DEVELOPMENT
633 BALBOA BLVD.
415 BLDG. 111
ENCINO, CA 91516

PROJECT:
COLONY APARTMENTS
5917 COLONY DRIVE
OLD FOLSOM, CA
PROJECT:
MONTAGE DEVELOPMENT
633 BALBOA BLVD.
415 BLDG. 111
ENCINO, CA 91516

DATE: 11/11/11
DRAWN BY: J. B. BROWN
CHECKED BY: S. E. MCGHEE
SCALE: 1/8" = 1'-0"

PLANTING PLAN
SHEET TITLE:

1-1



Notes:
1. Plantings shall conform to the most recent edition of ANSI Z601 - American Standard for Nursery Stock.
2. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify approved landscape plans.

Parking & driveway area = 3,222 sq. ft.
Planting & driveway area = 1,611 sq. ft.
50% Parking & driveway area in 15 years = 1,871 sq. ft.

Plant Material Legend	Symbol	Botanical/Common Name	Qty.	Size	Comments
Trees	○	Leguminosia indica	7	24" Box	standard
	○	Crepisomyrt	4	36" Box	multi-trunk
	○	Platanus racemosa	5	24" Box	multi-trunk
	○	Callifolia Sycamore	2	24" Box	standard
	○	Quercus laevis	50	5-Gal	
	○	Quercus 'Ellin King'	37	5-Gal	
	○	Shawberry Tree	42	1-Gal	
	○	Ceanothus glaberrimus	13	5-Gal	mix colors
	○	Carmel Creeper	45	1-Gal	
	○	Clusia 'Doris Hibberson'	10	5-Gal	
	○	Rockrose	22	5-Gal	
	○	Dicksonia antarctica	40	1-Gal	
	○	Fammalia Tree Fern	25	5-Gal	
	○	Hemercallis hybrids	11	1-Gal	
	○	Digitalis	14	1-Gal	
	○	Heteromeles arbutifolia			
	○	Fogon			
	○	Hesperaloe parviflora			
	○	N.C.A.			
	○	Polystichum minutum			
	○	Shore Fern			
	○	Juniperus conferta			
	○	Shore Juniper			
	○	Sauola lucanthis			
	○	Mexican Sage			
	○	Zantedeschia aethiopica			
	○	Calla Lily			
Groundcover	■	Duchesnea indica			plant @ 10" O.C. eq. tri. spacing
	■	Indian Muck Strawberry			plant @ 24" O.C. eq. tri. spacing
	■	Berberis p. 'Twin Peak'			plant @ 10" O.C. eq. tri. spacing
	■	Coyote Bush			plant @ 10" O.C. eq. tri. spacing
	■	Vitis minor			
	■	Pervivale			
	■	Marechal's Sod			
	■	Lawn			



PLANTING PLAN
SCALE: 1/8" = 1'-0"



THE OFFICE OF
 SUSAN E. McDEVITT
 LANDSCAPE ARCHITECT, INC.
 A CALIFORNIA CORPORATION
 2255 BUCKINGHAM LANE
 SUITE 100
 MILPITAS, CA 95035

OWNER:
 MONTAGE DEVELOPMENT
 6345 BALBOA BLVD.
 #155 BLDG. 111
 OLD AGOURA, CA 91316

PROJECT:
 COLODNY APARTMENTS
 530 COLDONY DRIVE
 OLD AGOURA, CA

SHEET TITLE:
 IRRIGATION PLAN

DATE: 11/11/11
 DRAWN BY: JMM
 CHECKED BY: JMM

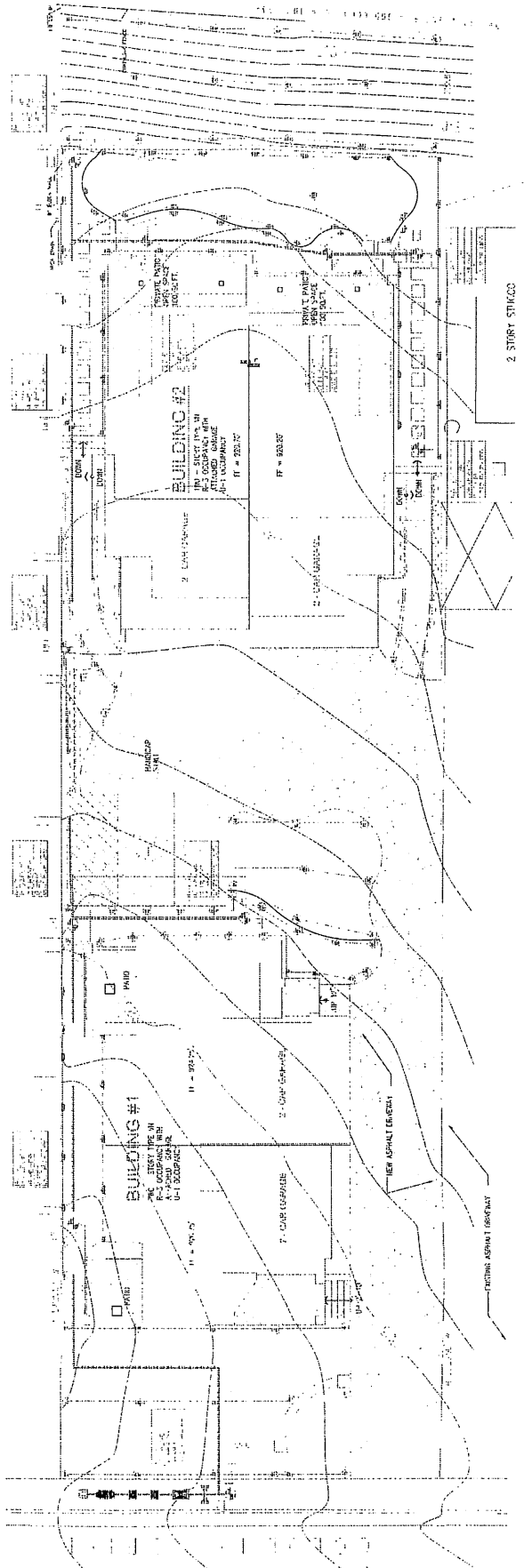
L-2

NOTED: SEE SHEET L-1



IRRIGATION PLAN

SCALE: 1/8" = 1'-0"



LEGEND

SPRINKLER HEAD	SPRINKLER HEAD
VALVE	VALVE
PIPING	PIPING
MISC. EQUIP.	MISC. EQUIP.
...	...

- NOTES
1. SEE SHEET L-1 FOR GENERAL NOTES AND SPECIFICATIONS.
 2. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION CONTRACT DOCUMENTS.
 3. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO MAINTAIN THE LANDSCAPE IN A HEALTHY AND ATTRACTIVE CONDITION.
 4. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION CONTRACT DOCUMENTS.
 5. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE SUFFICIENT WATER TO MAINTAIN THE LANDSCAPE IN A HEALTHY AND ATTRACTIVE CONDITION.
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 10. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION CONTRACT DOCUMENTS.



TENTATIVE TRACT MAP NO. 69073

**FOR THE PROPERTY LOCATED AT
5310 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT H

VICINITY MAP

TENTATIVE TRACT MAP NO. 69073

