

**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-011 AND
OAK TREE PERMIT CASE NO 07-OTP-018**

**FOR THE PROPERTY LOCATED AT
28220 FOOTHILL DRIVE, AGOURA HILLS**

EXHIBIT D

REDUCED PHOTOCOPIES OF THE PLANS

FIRE DEPARTMENT NOTES

- PROVIDE AND INDICATE ON SITE PLAN FIRE DEPARTMENT ACCESS OR VEHICULAR TRAVEL-ROAD ACCESS IN ACCORDANCE WITH SPECIFICATIONS BELOW.
 - LOCATE A MINIMUM UNRESTRICTED WIDTH OF 12 FEET ACCESS TO DRIVE TO THE FRONT OF ALL PORTIONS OF THE EXISTING HALLS, FIRE CODE 10233. PROVIDE A MINIMUM 20' CLEARANCE FROM ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM 20' CLEARANCE FROM ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM 20' CLEARANCE FROM ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE.
 - ALL VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE.
 - ON SITE PLAN, INDICATE OCCUPANCY, TYPE OF CONSTRUCTION AND PROVIDE THE CENTER LINE DIMENSION FROM MARKET CROSS STREET.
 - PROVIDE A CLEAR FIRE RESISTIVE AREA / OCCUPANCY SEPARATION BETWEEN THE EXISTING HALLS AND THE NEW CONSTRUCTION.
 - FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS TO COMPLY WITH TITLE 24, SECTION 10233. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE.
 - EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. TITLE 24, LOCAL.
 - HEIGHT AND HEAD OF RECESSED EXIT DOORS TO COMPLY WITH TITLE 24, LOCAL.
 - RELOCATE EXISTING HALLS TO BE PROVIDED WITH A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE. PROVIDE A MINIMUM CLEARANCE OF 14 FEET TO ALL PORTIONS OF THE EXISTING HALLS TO THE DRIVE.
 - COMPLY WITH TITLE 24, LOCAL REGARDING FIRE ALARMS SYSTEMS, SMOKE DETECTORS TO BE HARD WIRING WITH A BATTERY BACKUP.
 - COMPLY WITH TITLE 24, LOCAL REGARDING AGES.

- PROVIDE AND INDICATE ON SITE PLAN FIRE DEPARTMENT ACCESS OR VEHICULAR TRAVEL-ROAD ACCESS IN ACCORDANCE WITH SPECIFICATIONS BELOW.
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 - COMPLY WITH TITLE 24, LOCAL REGARDING AGES.

LOT COVERAGE

PERMITTED DATA	PROPOSED	ALLOWED/REBID
LOT AREA	0.24 ACRES (10,464 SQ. FT.)	N/A
BUILDING HEIGHT	29'-0" FT.	WF-07 MAX
BUILDING SETBACK	20'-0" FT.	N/A
BI SEASONED FLOOR AREA	12,500 SQ. FT.	N/A
TOTAL FLOOR AREA	12,500 SQ. FT.	N/A
BI ATTACHED GARAGE	1,000 SQ. FT.	N/A
BI ATTACHED GARAGE	1,000 SQ. FT.	N/A
BI ATTACHED GARAGE	1,000 SQ. FT.	N/A

BUILDING LOT COVERAGE

BI RESIDENCE / ATTACHED GARAGE	3,000 SQ. FT. (28%)
BI ATTACHED GARAGE	1,000 SQ. FT. (10%)
BI HARDSCAPE	1,000 SQ. FT. (10%)

ARCHITECTURAL SITE PLAN

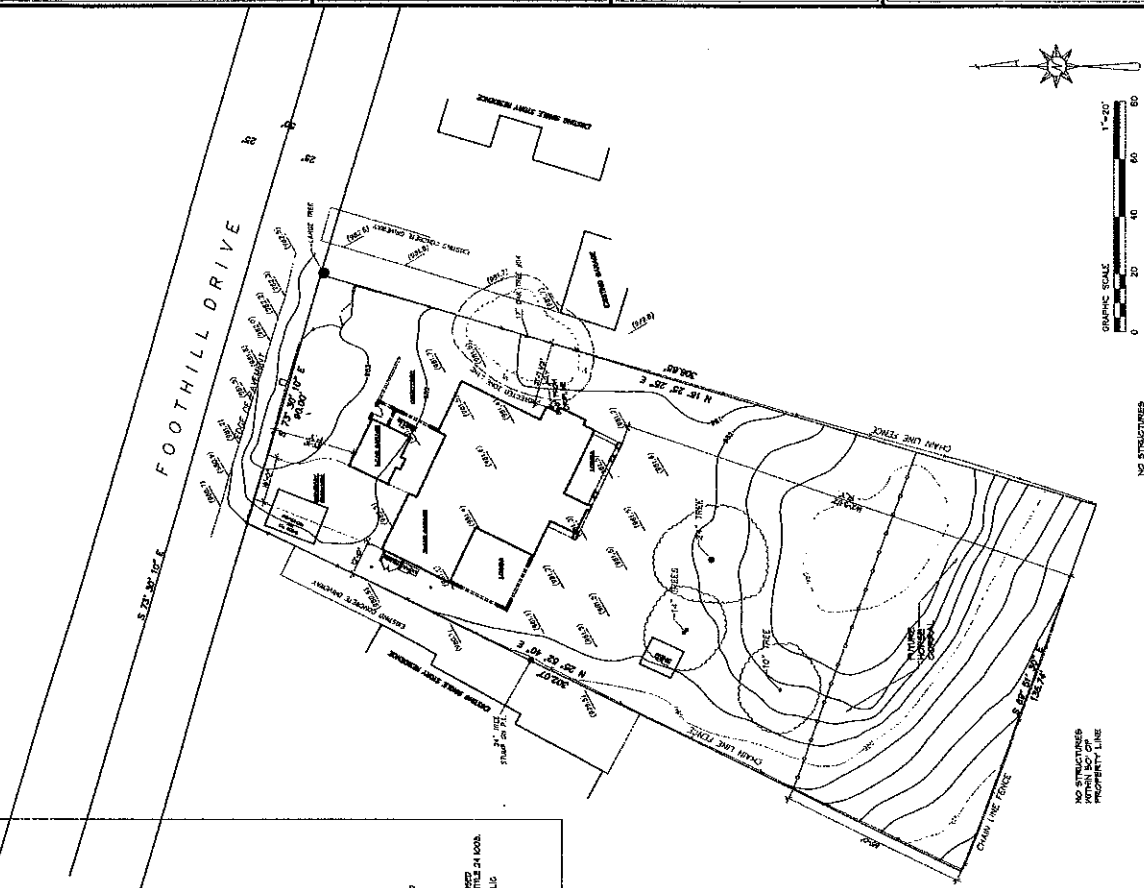
SCALE: 1" = 40'

TYPE OF CONSTRUCTION: RESIDENCE WITH ATTACHED GARAGE

LEGAL DESCRIPTION: TRACT NO. 140, BLOCK NO. 2, MAP CORNER LOTS 188-203

AREA TABULATION

LAND AREA	10,464 SQ. FT.
BI RESIDENCE / ATTACHED GARAGE	3,000 SQ. FT.
BI ATTACHED GARAGE	1,000 SQ. FT.
BI HARDSCAPE	1,000 SQ. FT.



ARCHITECTURAL SITE PLAN

PROJECT NAME: CUSTOM RESIDENCE
SINGLE FAMILY DWELLING
2020 FOOTHILL DRIVE
AGORA MILLS, CA 92501

DEVELOPER:

ARCHITECT

KEN STOCKTON
ARCHITECT
18500 W. AGORA ROAD, SUITE 844, CALABASAS, CA 91302
(818) 888-4443 FAX: (818) 888-9604

PERMIT:

PLAN CHK: 04/24/07
DATE: 02/01/07
REVISIONS:

A-1

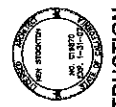
SHEET NO.

NOT FOR CONSTRUCTION

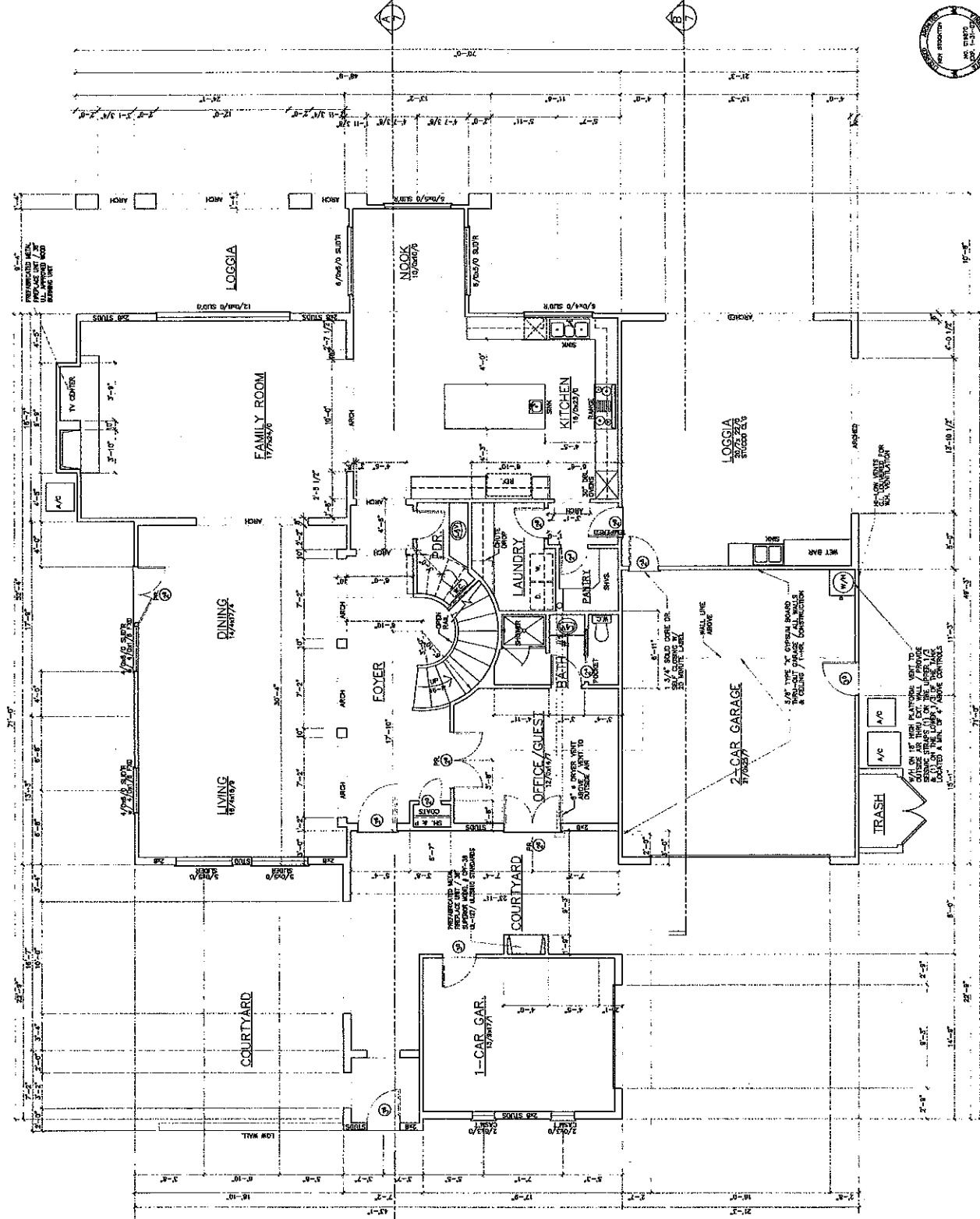
GRAPHIC SCALE: 1" = 40'

NO STRUCTURES OR UTILITIES WITHIN 5' OF PROPERTY LINE

NO STRUCTURES OR UTILITIES WITHIN 5' OF PROPERTY LINE



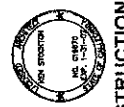
NOT FOR CONSTRUCTION



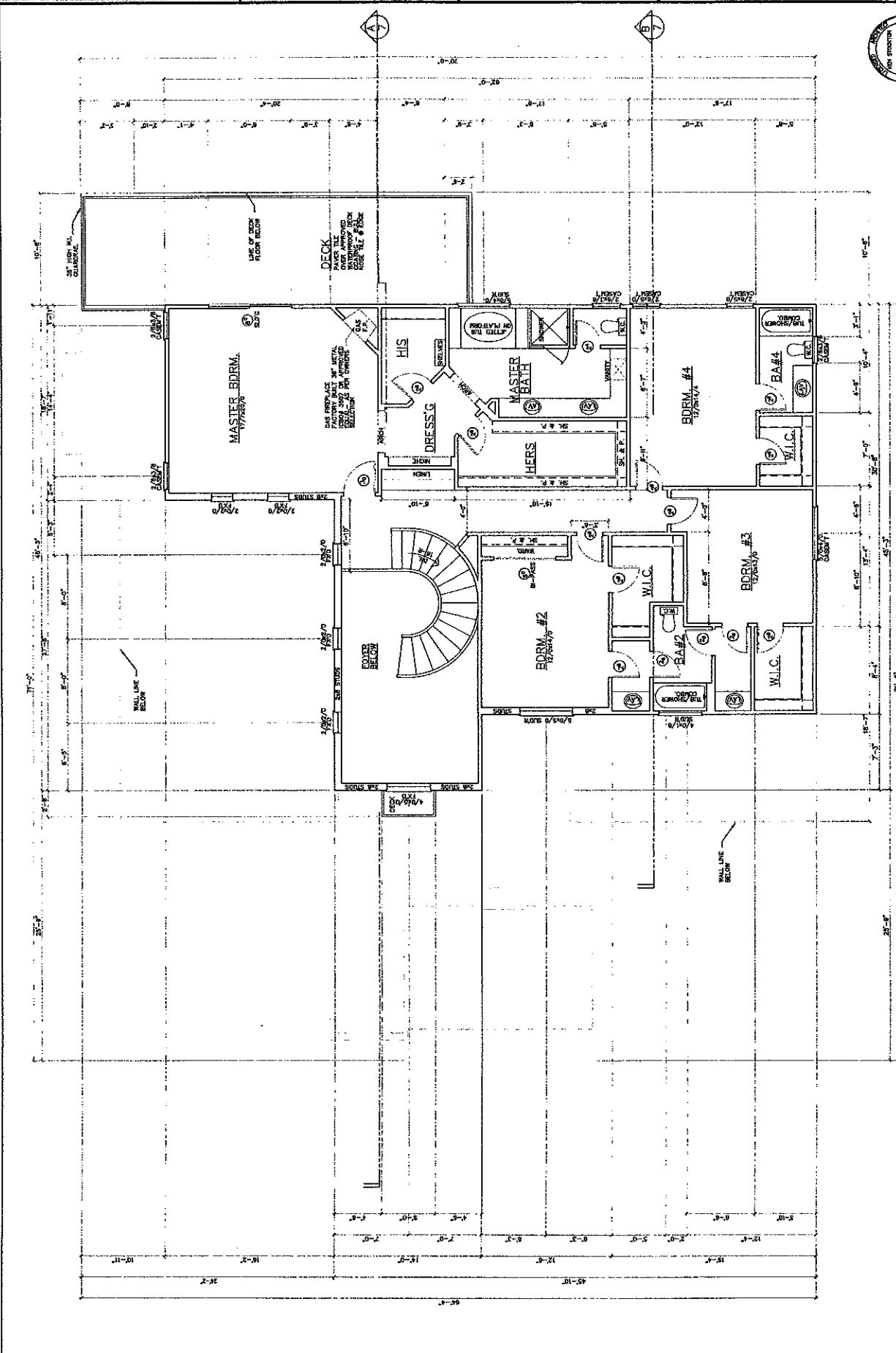
UPPER FLOOR	1,528 SQ. FT.
TOTAL LIVABLE	3,775 SQ. FT.
DANAGE	1,229 SQ. FT.

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- NOTES**
1. PROVIDE AN APPROVED ENGINEER SEAL OF APPROVAL FOR THE CONSTRUCTION OF THIS PLAN. THE SEAL SHALL BE CONNECTED TO THE EXTENSION OF THE ALLOWABLE OR EXISTING FOUNDATION OF THE EXISTING OR NEW FOUNDATION OF THE EXISTING OR NEW FOUNDATION.
 2. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 3. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 4. PROVIDE A CLEAR FINISH-TO-FINISH CLEARANCE OF 6'-0" MINIMUM.
 5. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 6. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 7. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 8. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 9. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.
 10. PROVIDE ALL DIMENSIONS WITH UNITS FOR ALL FINISHES AND MATERIALS.



NOT FOR CONSTRUCTION



SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



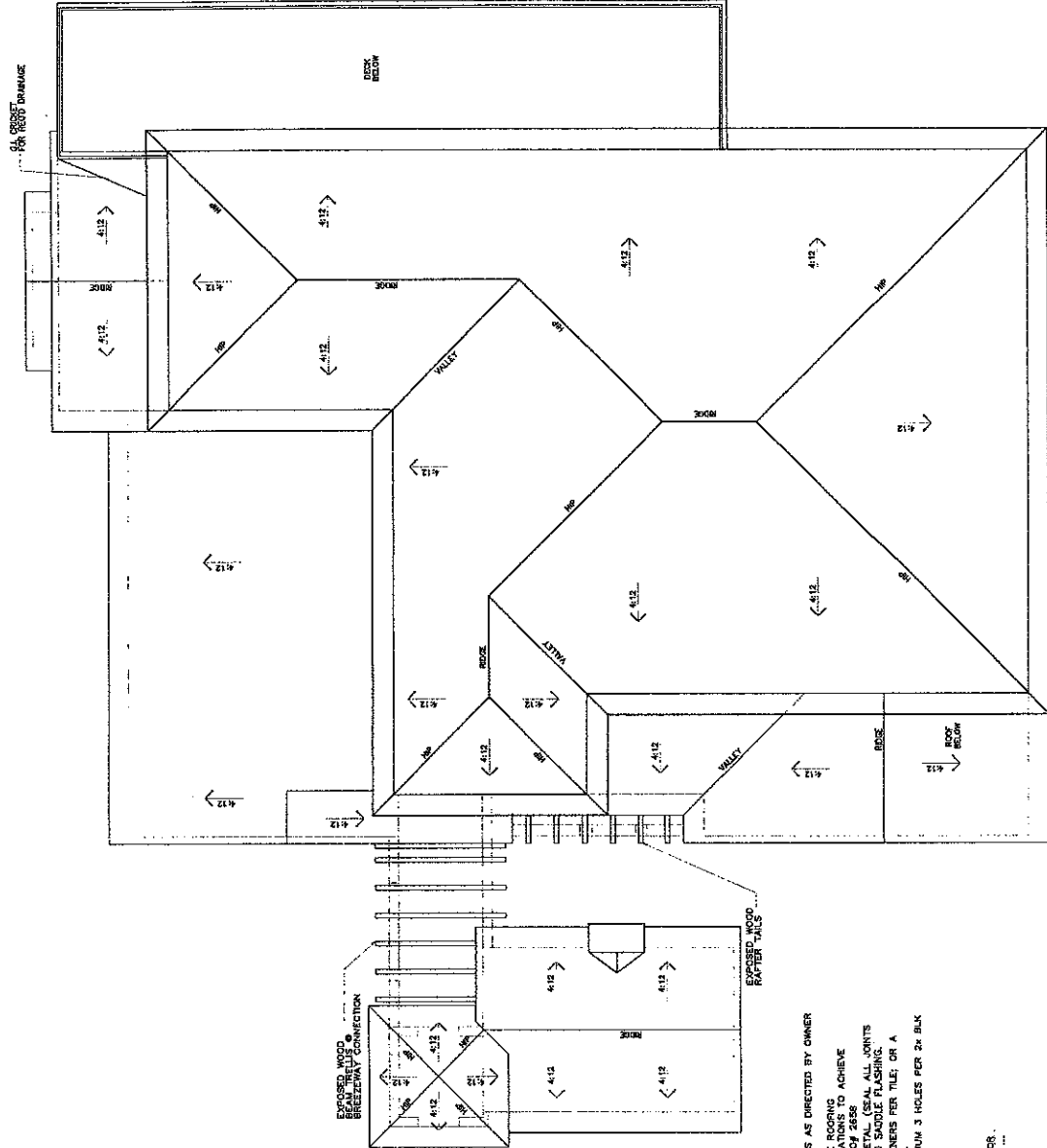
NOT FOR CONSTRUCTION

SHEET NO. A-4

KEN STOCKTON ARCHITECT

ROOF PLAN & NOTES
DRAWN: R.K.S.
DATE: 2/19/07
REVISIONS:
PERMIT: 088-9433
PROJECT NAME: CUSTOM RESIDENCE
SINGLE FAMILY DWELLING
28223 FOOTHILL DRIVE
AGORA HILLS, CA 91301

DEVELOPER:



ROOF PLAN NOTES

1. ALL TILES TO BE INSTALLED AS REQUIRED IN LOCATIONS AS DIRECTED BY OWNER

2. CONDUCT WATER TO THE STREET VIA NON-DECKING DRAINAGE

3. ALL ROOFS SHALL RECEIVE CLASS "A" MINIMUM CONCRETE "S" TILE ROOFING

4. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE

5. DURABILITY. SELECTED BY OWNER. (MAX 100 lbs. PER SQUARE) LOBBY ZONE SHALL BE ASSESS ALL UNITS

6. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE

7. DURABILITY. SELECTED BY OWNER. (MAX 100 lbs. PER SQUARE) LOBBY ZONE SHALL BE ASSESS ALL UNITS

8. ALL ROOFING TILES SHALL BE APPLIED WITH A MINIMUM OF 2 FASTENERS PER TILE, OR A

9. MINIMUM OF 1 FASTENER PER TILE FOR INTERLOCKING LUGGED TILES.

10. PROVIDE 2x 4 SOLID BLK'G UNDER EAVES W/ 2" VENT HOLES. MINIMUM 3 HOLES PER 2x 4 BLK

ATTIC VENTILATION

1. ATTIC AREA • SECOND FLOOR • 1,837 SQ. FT.

2. ATTIC AREA • SECOND FLOOR • 1,529 SQ. FT.

3. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

4. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

5. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

6. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

7. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

8. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

9. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

10. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

11. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

12. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

13. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

14. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

15. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

16. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

17. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

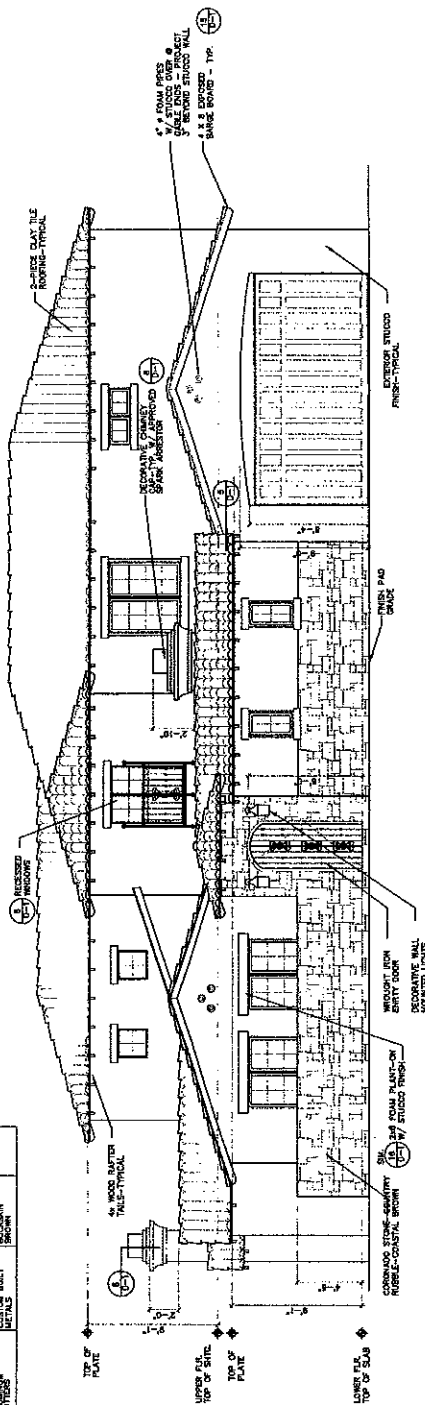
18. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

19. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

20. CHANGEN VENTS PROVIDE 0.67 SQ. FT. OF FREE VENT AREA

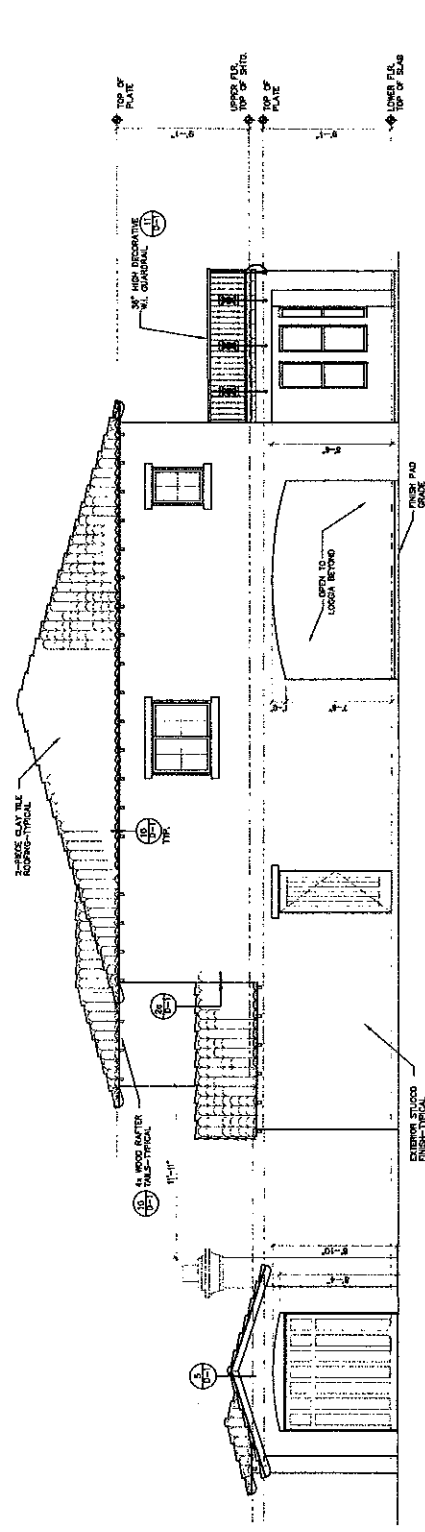
EXTERIOR MATERIALS

LOCATIONS	MANUFACTURERS	COLOR	NUMBER
EXTERIOR STUCCO	PRINCE PAINTS	BIRMA BUSH	ED-17
ROOF MATERIAL	DOLO BELLA	CONCRETE & BRICK CLAY	
BASEL, WIND & SOUTHERN	ICA	BROWN, BAY	10, 10-1, 10-2, 10-3
WOOD BATHING TAIL	ANDERSON	ALMOND	
WEDDENT BARN	BRANDE	BLACK/WHITE	
CUSTOM BUILT METALS	ANDERSON	BROWN	



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

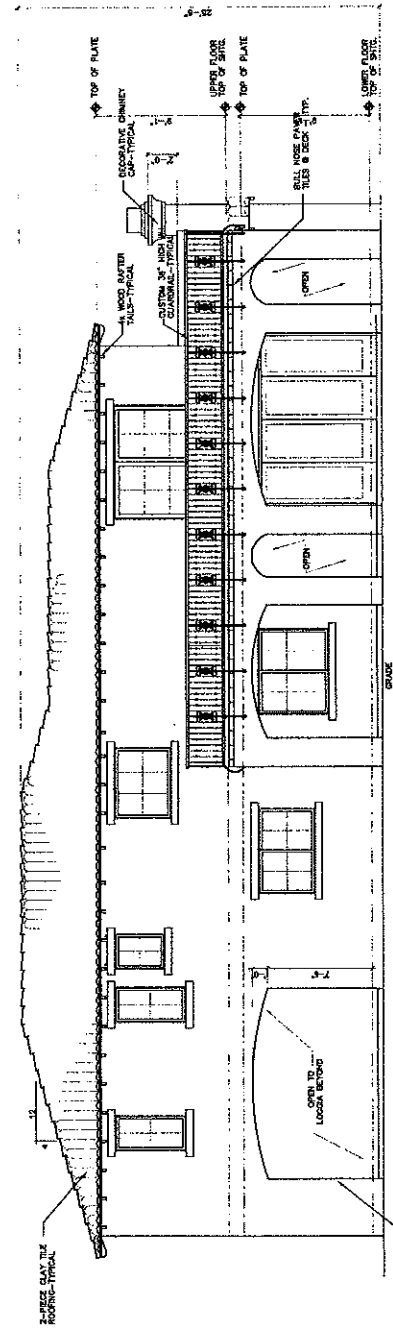
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

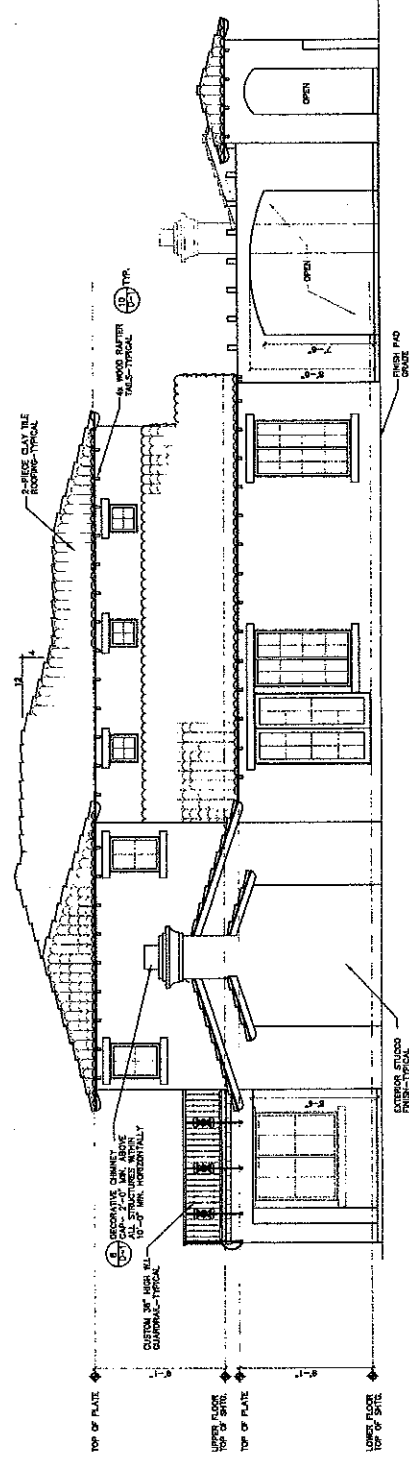
EXTERIOR MATERIALS

LOCATIONS	MANUFACTURER	COLOR	NUMBER
EXTERIOR STUCCO	PRINCE PAINTS	SURRIA BUTE	8231-W
ROOF MATERIAL	BERG	SMOOTH SLOD	
	BRICK	SPRINTON	
	2" PICE	SPRINTON	
FLASHING & SHUTTERS	ANDERSEN	ALUMINO	100-045
TRIM	ANDERSEN	ALUMINO	100-045
SCREEN DOORS	ANDERSEN	ALUMINO	100-045
MATERIALS	ANDERSEN	ALUMINO	100-045



REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

PROJECT NAME: CUSTOM RESIDENCE
SINGLE FAMILY DWELLING
2820 POORHILL DRIVE
AQUINA HILLS, CA 91301

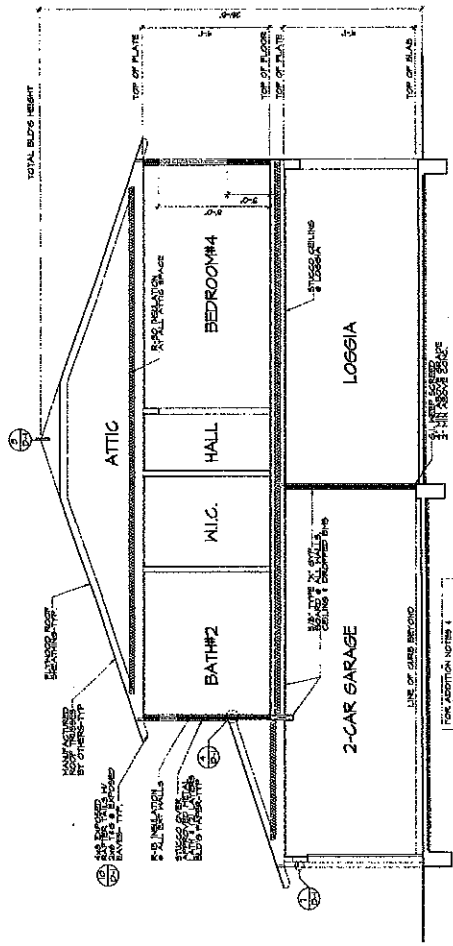
EXTERIOR ELEVATIONS
DRAWN: R.K.S.
REVISIONS:
DATE: 2/19/07
4/24/07
PLAN CHK: R.K.S.
PERMIT: R.K.S.

KEN STOCKTON ARCHITECT
10949 30th Street, Suite # 101, San Diego, CA 92121
619-594-8842 FAX: (619) 594-8844

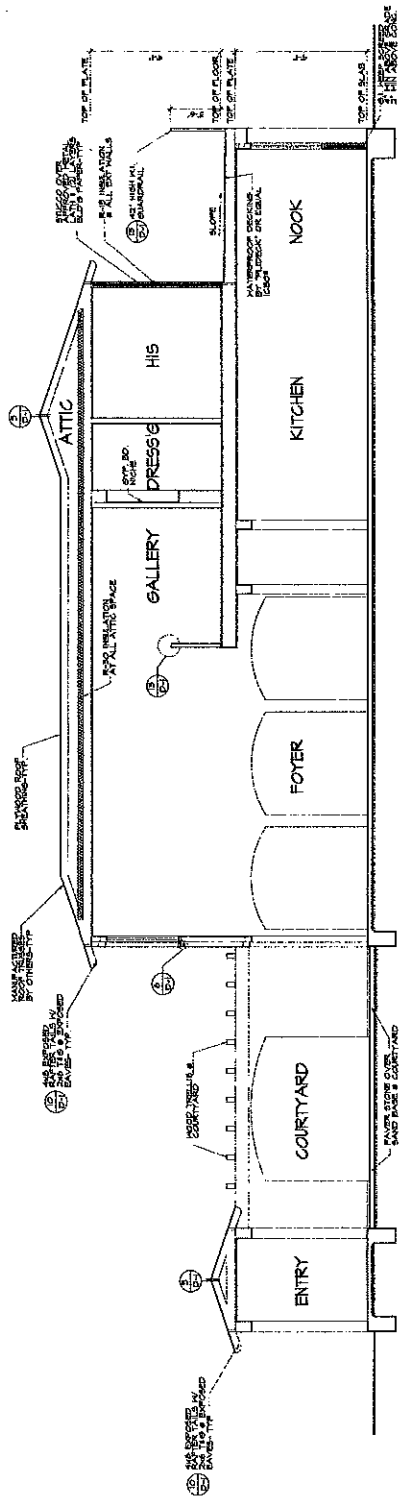
SHEET NO. A-6



NOT FOR CONSTRUCTION



BUILDING SECTION "B"
SCALE: 1/4" = 1'-0"



BUILDING SECTION "A"
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION



SHEET NO. **A-8**

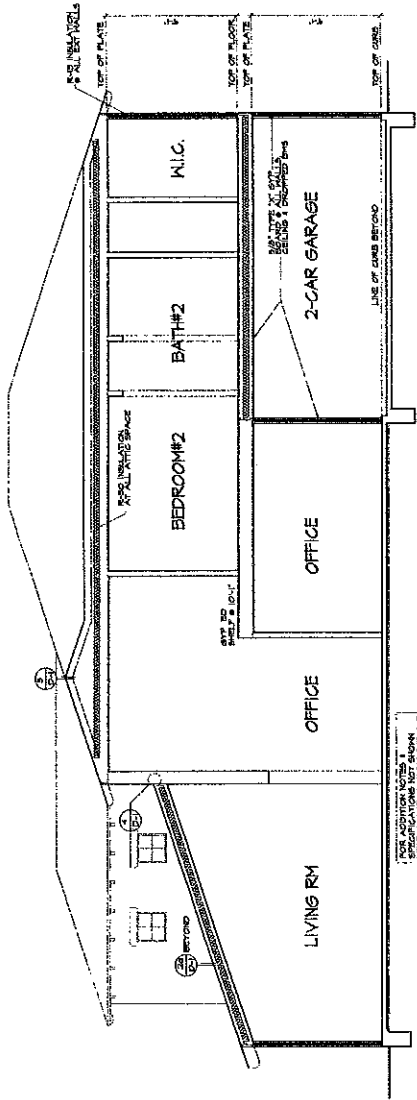
A/N STOCKTON
ARCHITECT

15500 S AGORA ROAD, #107 BLD CALABAS, CA 91301
(818) 892-5443 FAX (818) 892-5424

PROJECT NO.	15500
DATE	2/19/07
REVISIONS	4/07/07
DRAWN BY	R.K.G.
DATE	2/19/07
PLANNING	05/22/07

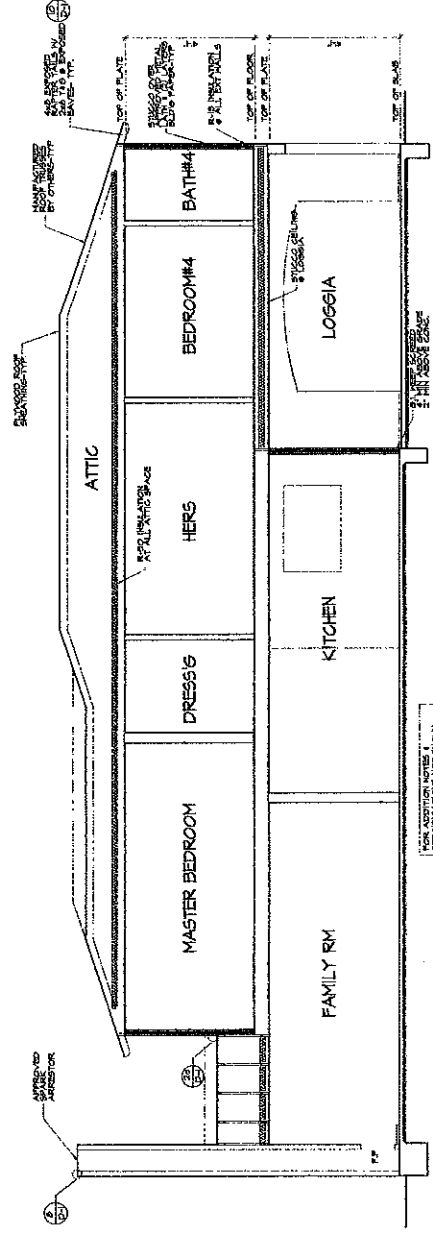
PROJECT NAME:
CUSTOM RESIDENCE
SINGLE FAMILY DWELING
28220 FOOTBALL DRIVE
AGORA HILLS, CA 91001

DEVELOPER:



BUILDING SECTION "D"
SCALE 1/8" = 1'-0"

FOR ADDITION NOTES:
SPECIFICATIONS NOT SHOWN
HEREIN ARE PART OF THE CONTRACT

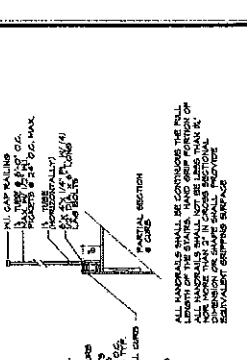


BUILDING SECTION "C"
SCALE 1/8" = 1'-0"

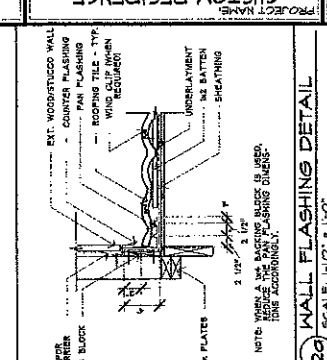
FOR ADDITION NOTES:
SPECIFICATIONS NOT SHOWN
HEREIN ARE PART OF THE CONTRACT



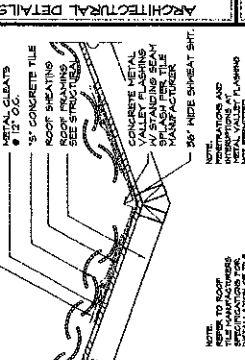
FOR CONSTRUCTION



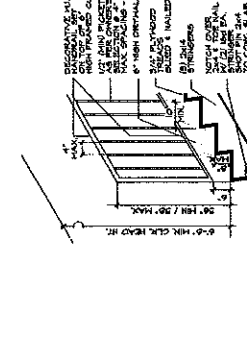
1 STAIR DETAIL / STAIR RAILING DETAIL
 SCALE: 3/4\"/>



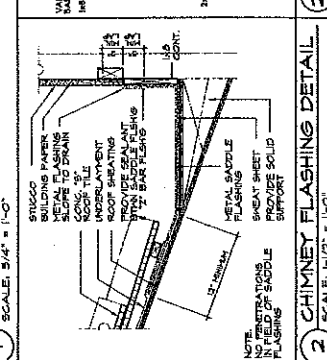
2 WALL FLASHING DETAIL
 SCALE: 1/2\"/>



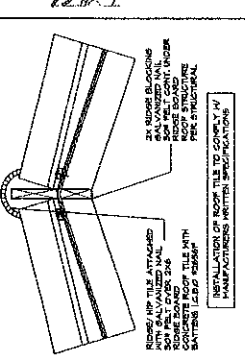
3 VALLEY DETAIL
 SCALE: 1/2\"/>



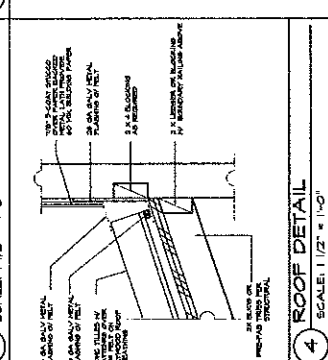
4 ROOF DETAIL
 SCALE: 1/2\"/>



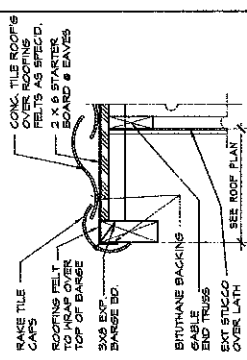
5 BARGE BOARD DETAIL
 SCALE: 1/2\"/>



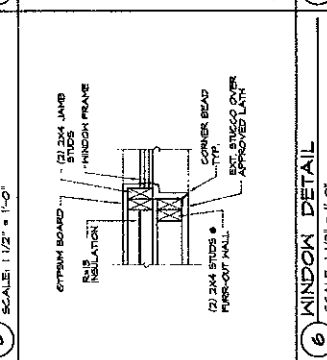
6 WINDOW DETAIL
 SCALE: 1/2\"/>



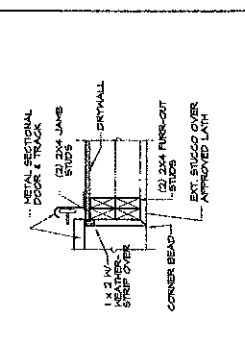
7 GARAGE DOOR DETAIL
 SCALE: 1/2\"/>



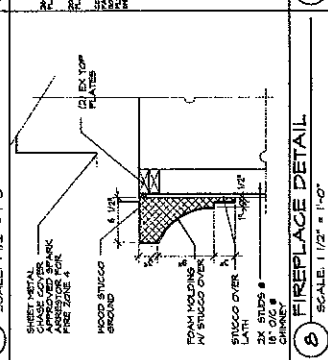
8 CHIMNEY FLASHING DETAIL
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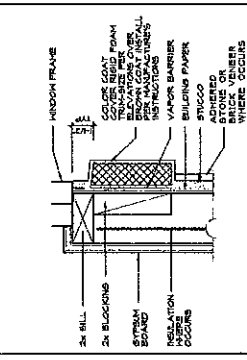
9 FOAM SILL DETAIL
 SCALE: 1/2\"/>



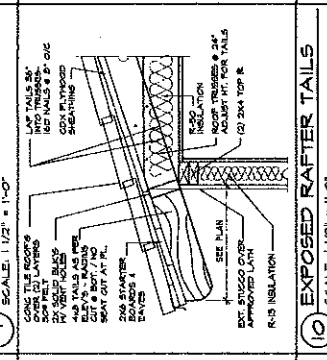
10 EXPOSED RAFTER TAILS
 SCALE: 1/2\"/>



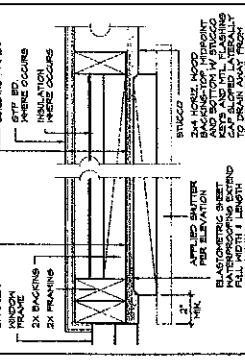
11 WALL MTD SHUTTER DETAIL
 SCALE: 1/2\"/>



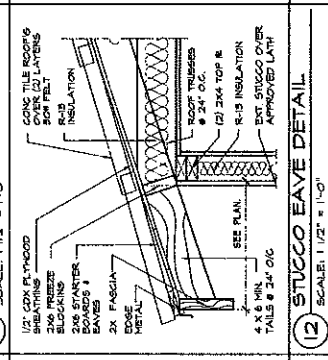
12 STUCCO EAVE DETAIL
 SCALE: 1/2\"/>



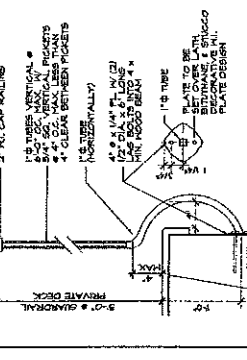
13 BALCONY RAILING DETAIL
 SCALE: 1/2\"/>



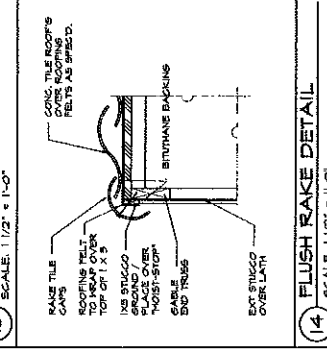
14 FLUSH RAKE DETAIL
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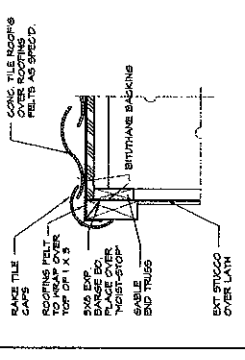
15 FLUSH RAKE W/ BARGE
 SCALE: 1/2\"/>



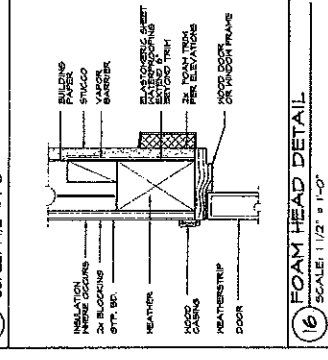
16 FOAM HEAD DETAIL
 SCALE: 1/2\"/>



17 WINDOW DETAIL
 SCALE: 1/2\"/>

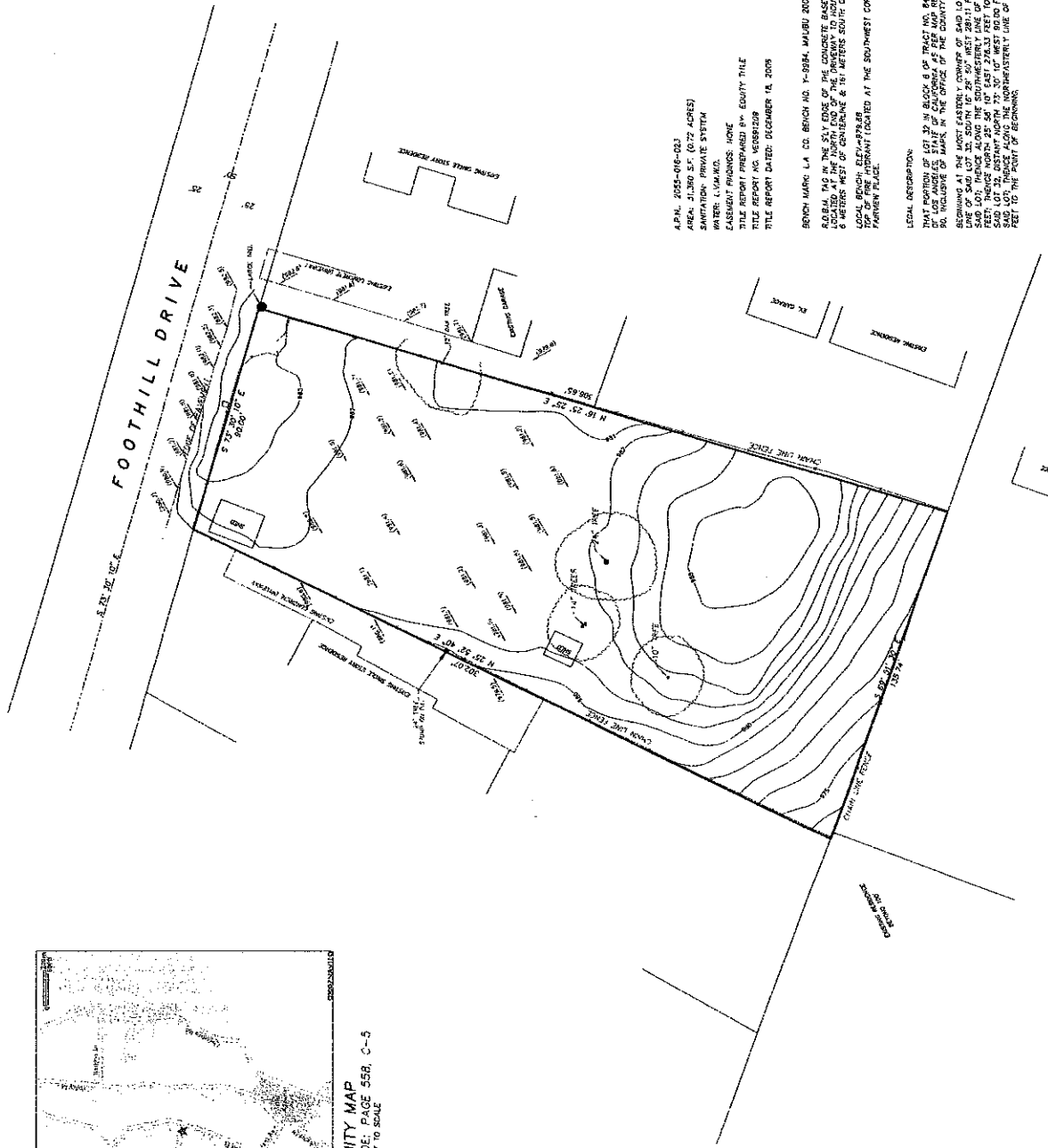


18 GARAGE DOOR DETAIL
 SCALE: 1/2\"/>



19 STAIR DETAIL
 SCALE: 1/2\"/>

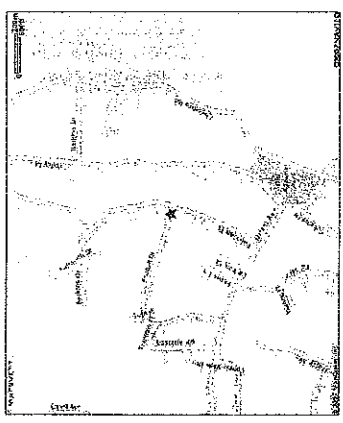
SCALE 1" = 20'
 JUNE 21, 2007



ALP.M. 2055-016-023
 AREA: 0.072 ACRES
 OWNER: ORIT SHARON
 WATER: L.V.M.A.D.
 CASABEAT PHOTOS: NONE
 TITLE REPORT PREPARED BY: EQUITY TITLE
 TITLE REPORT NO. V55892209
 TITLE REPORT DATED: DECEMBER 18, 2008

BRICH MARC L.A. CO. BEICH NO. 7-9584, MAPED 2003, E.C.Y.-106187
 A.B.M. TAG IN THE S.W. CORNER OF THE CONCRETE BASE OF A WATER LINE RIGHT-OF-WAY IN THE INTERSECTION OF THE INTERSECTION OF BALDWIN DRIVE
 6 METERS WEST OF CENTERLINE & 15 METERS SOUTH OF BALDWIN DRIVE
 LOCAL BEICH ELEVATION: 1000
 TOP OF FIRE HYDRANT (LOCATED AT THE SOUTHWEST CORNER OF FOOTHILL DRIVE AND PARKWAY PLACE)

LEGAL DESCRIPTION:
 THAT PORTION OF LOT 32 IN BLOCK 8 OF TRACT NO. 8451 IN THE CITY OF AGORA HILLS, COUNTY OF ALBERTA, TAG IN THE S.W. CORNER OF THE CONCRETE BASE OF A WATER LINE RIGHT-OF-WAY IN THE INTERSECTION OF THE INTERSECTION OF BALDWIN DRIVE
 6 METERS WEST OF CENTERLINE & 15 METERS SOUTH OF BALDWIN DRIVE
 BEGINNING AT THE MOST EASTERN CORNER OF SAID LOT 32; THENCE ALONG THE SOUTHWESTERLY CORNER OF SAID LOT 32, SOUTH 16° 28' 50" WEST 284.11 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 32; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 32, SOUTH 71° 30' 00" WEST 224.00 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 32; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID LOT 32, SOUTH 71° 30' 00" WEST 100.00 FEET FROM THE MOST WESTERLY CORNER OF SAID LOT 32; THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT 32, SOUTH 71° 30' 00" WEST 100.00 FEET TO THE POINT OF BEGINNING.



VICINITY MAP
 THOMAS GUIDE, PAGE 558, C-5
 NOT TO SCALE

SLOPE ANALYSIS

CONTOUR LENGTH	AREA (EXCLUDING STREET)
1"=1175'	
974	15'
978	141'
978	223'
980	233'
984	204'
982	125'
984	15'
TOTAL	1172'

AREA 0.072 ACRES = 31,390 SF
 54' X 1175' X 130'
 31,350
 84-155

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 4 OF THE AGOURA HILLS MUNICIPAL CODE.
- ALL CONSTRUCTION OPERATIONS SHALL BE SUPERVISED BY A REGISTERED CIVIL ENGINEER OR A REGISTERED WATER MAIN FIELD STAFF.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL MAINTAIN A REGISTERED CIVIL ENGINEER ON SITE THROUGHOUT THE CONSTRUCTION PERIOD TO SUPERVISE THE GRADING OPERATIONS AND TO OBTAIN THE NECESSARY APPROVALS FROM THE CITY ENGINEER.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL GRADING PLAN. THIS REPORT SHALL BE COMPLETED FOR THE APPROVED GRADING PLAN.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL. THIS REPORT SHALL BE COMPLETED FOR THE APPROVED GRADING PLAN. THIS REPORT SHALL BE COMPLETED FOR THE APPROVED GRADING PLAN.
 - AN AS-BUILT SOLE REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT SHALL BE COMPLETED FOR THE APPROVED GRADING PLAN. THIS REPORT SHALL BE COMPLETED FOR THE APPROVED GRADING PLAN.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE BEARING CAPACITY OF THE SOILS. THE TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD TESTS AND SHALL BE APPROVED BY THE CITY ENGINEER.
 - EXCAVATION SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONTINUED TO THE HOUR OF THE AM TO THE HOUR OF THE PM, EXCEPT ON HOLIDAYS AND SUNDAYS. CONSTRUCTION SHALL BE STOPPED ON GOVERNMENT-DECLARED HOLIDAYS.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VEGAS MUNICIPAL WATER DISTRICT
300 LA VERGNE ROAD
DUBLIN, CA 94568
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
239 Foothill Drive
DUBLIN, CA 94568
- TELEPHONE:** SBC (PALM BELLS)
1801 SAN VICENTE STREET, #118
DUBLIN, CA 94568
- Gas:** SOUTHERN CALIFORNIA GAS
1400 SANDALE AVENUE
DUBLIN, CA 94568
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1400 SANDALE AVENUE
DUBLIN, CA 94568
- CABLE:** ADIRAPHA
1801 SAN VICENTE STREET, #118
DUBLIN, CA 94568
- CABLE:** CHARTER COMMUNICATIONS
1801 SAN VICENTE STREET, #118
DUBLIN, CA 94568
- CALTRANS:** CALTRANS
1801 SAN VICENTE STREET, #118
DUBLIN, CA 94568



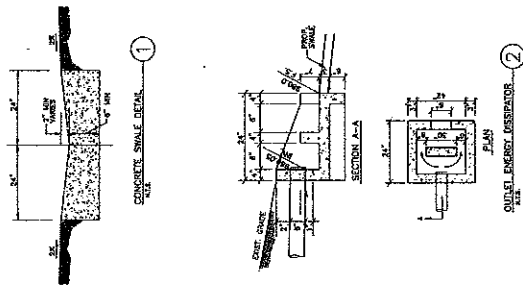
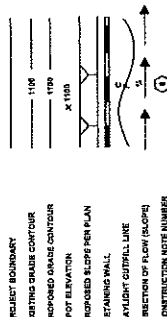
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF ANY INSPECTIONS AT THE FOLLOWING STAGES OF WORK:

ABBREVIATIONS

- AG - ASPHALT CONCRETE
- CG - CONCRETE
- CL - CLAY
- CS - CLAY SHALE
- CU - CEMENT CONCRETE
- DE - DRAINAGE
- DI - DRAINAGE
- EP - EDGE OF PAVEMENT
- FS - FINISH SURFACE
- HP - HIGH POINT
- HW - HIGH POINT
- IN - INVERT
- NO - NATURAL GRADING
- PL - PROPERTY LINE
- SE - SEWER
- SM - STORM SEWER
- SP - SPOT ELEVATION
- TS - TOP OF SLAB
- TY - TYPICAL
- W - WATER
- WM - WATER METER
- WV - WATER VALVE

LEGEND AND SYMBOLS



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A LETTER-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE LOCAL PROGRAM FOR SWPPP. THE SWPPP SHALL BE REVIEWED AND APPROVED BY THE CITY ENGINEER. THE SWPPP SHALL OUTLINE BEST MANAGEMENT PRACTICES (BMP) PROCEDURES TO PREVENT STORMWATER POLLUTION FROM THE PROJECT SITE TO ADJACENT WATERBODIES AND TO PREVENT STORMWATER POLLUTION FROM THE PROJECT SITE TO ADJACENT WATERBODIES.
- A SITE-SPECIFIC, WEATHER-BASED CONTROL PLAN SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP AND SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. THE PLAN SHALL BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
- IF THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE SWPPP, THE SWPPP SHALL BE MAINTAINED AND UPDATED ANNUALLY. THE SWPPP SHALL BE MAINTAINED AND UPDATED ANNUALLY. THE SWPPP SHALL BE MAINTAINED AND UPDATED ANNUALLY.

OAK TREE NOTES

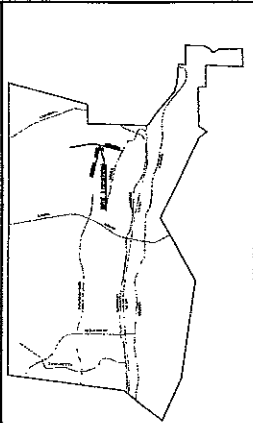
- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT (811) 877-2267 TO OBTAIN PROJECT-SPECIFIC OAK TREE NOTES.

SHEET NO.	DESCRIPTION
1	GRADING PLAN
2	STORM WATER POLLUTION PREVENTION PLAN

ESTIMATED QUANTITIES	ESTIMATED QUANTITIES	ESTIMATED QUANTITIES
ESTIMATED CUT: 46 CY	ESTIMATED EXPORT: 0 CY	
ESTIMATED FILL: 349 CY	ESTIMATED IMPORT: 349 CY	
ESTIMATED OVER-EXCAVATION: 88 CY		

BENCHMARK	ELEVATION	DATE	SURVEY DATE
DESCRIPTION: BM NO. 10617	10617		

OWNER	CIVIL ENGINEER	GEOTECHNICAL ENGINEER
NAME: DALE G. GIBSON ADDRESS: 3800 EDGE DR., DUBLIN, CA 94568 TELEPHONE: (916) 835-1577	NAME: PROJECT ENGINEERING GROUP ADDRESS: 1525 MONSIEUR ST., SUITE 201, DUBLIN, CA 94568 TELEPHONE: (916) 835-1577	NAME: INJ ASSOCIATES, INC. ADDRESS: 11820 INDIANA ROAD, SUITE 100, DUBLIN, CA 94568 TELEPHONE: (916) 835-1577



GRADING NOTES
28220 FOOTHILL DRIVE, AGOURA HILLS, CA 91301
PROJECT NO. 07-05-673 SHEET 1 OF 3

CITY OF AGOURA HILLS APPROVAL

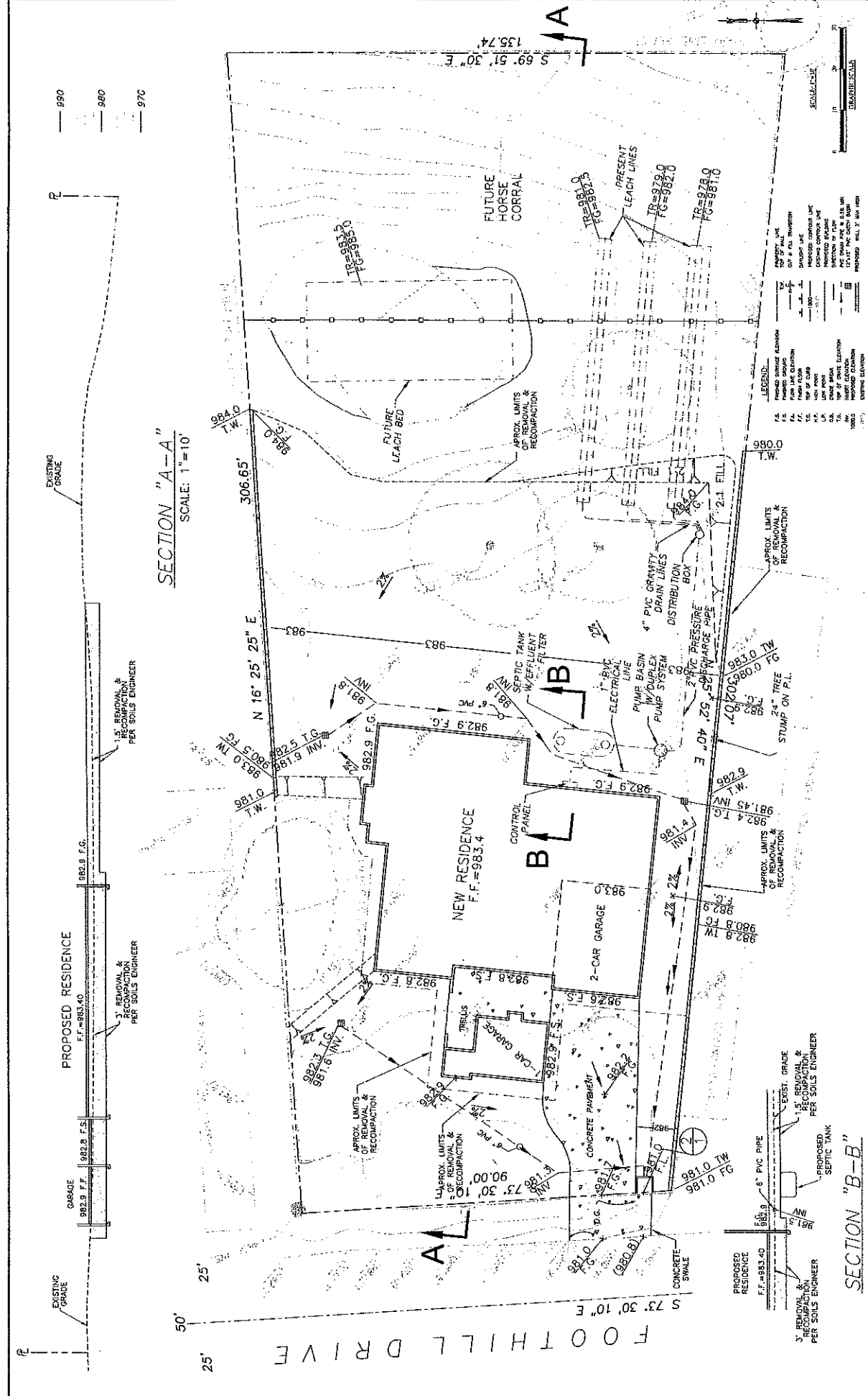
APPROVED BY: [Signature] DATE: [Date]

REVIEWED BY: [Signature] DATE: [Date]

PROJECT MANAGER: [Signature] DATE: [Date]

DESCRIPTION OF CHANGE: [Text]

REV. SYMBOL. [Table]



SECTION "A-A"
SCALE: 1" = 10'

SECTION "B-B"

REV	STAMP	DESCRIPTION OF CHANGE	DATE	BY	DATE	REVIEWED BY	DATE	"PCE" NO.	EXP. DATE

GRADING & DRAINAGE PLAN
28220 FOOTHILL DRIVE, AGOURA HILLS, CA 91301
PROJECT NO. 87-05-873
SHEET 2 OF 3

CITY OF AGOURA HILLS APPROVAL

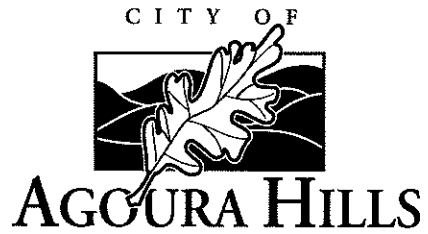
PREPARED BY: **PEG**
 PARADIOS JANKOVICH
 PROJECT ENGINEER

REVIEWED BY: _____ DATE: _____

DATE: _____

DATE: _____

CITY OF AGOURA HILLS DWG NO.



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-011 AND
OAK TREE PERMIT CASE NO 07-OTP-018**

**FOR THE PROPERTY LOCATED AT
28220 FOOTHILL DRIVE, AGOURA HILLS**

EXHIBIT E

VICINITY MAP

SITE PLAN ARCHITECTURAL REVIEW CASE NO. 07-SPR-011 AND OAK TREE
PERMIT CASE NO. 07-OTP-018





**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-011 AND
OAK TREE PERMIT CASE NO 07-OTP-018**

**FOR THE PROPERTY LOCATED AT
28220 FOOTHILL DRIVE, AGOURA HILLS**

EXHIBIT F

ENVIRONMENTAL DETERMINATION

Notice of Exemption

To: [] Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

[] County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Sharon Single Family Residence (Case #07-SPR-011 and 07-OTP-018)

Project Location-Specific: 29220 Foothill Drive (APN 2055-016-023)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project consists of the construction of a 3,751 square-foot, two-story single family residence with 1,259 square feet of garages and 740 square feet of covered patios on a 31,360 square foot lot. The request is for a Site Plan Review and Oak Tree Permit.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Sharon

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of a single family residence. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 10/25/07

Title: Senior Planner