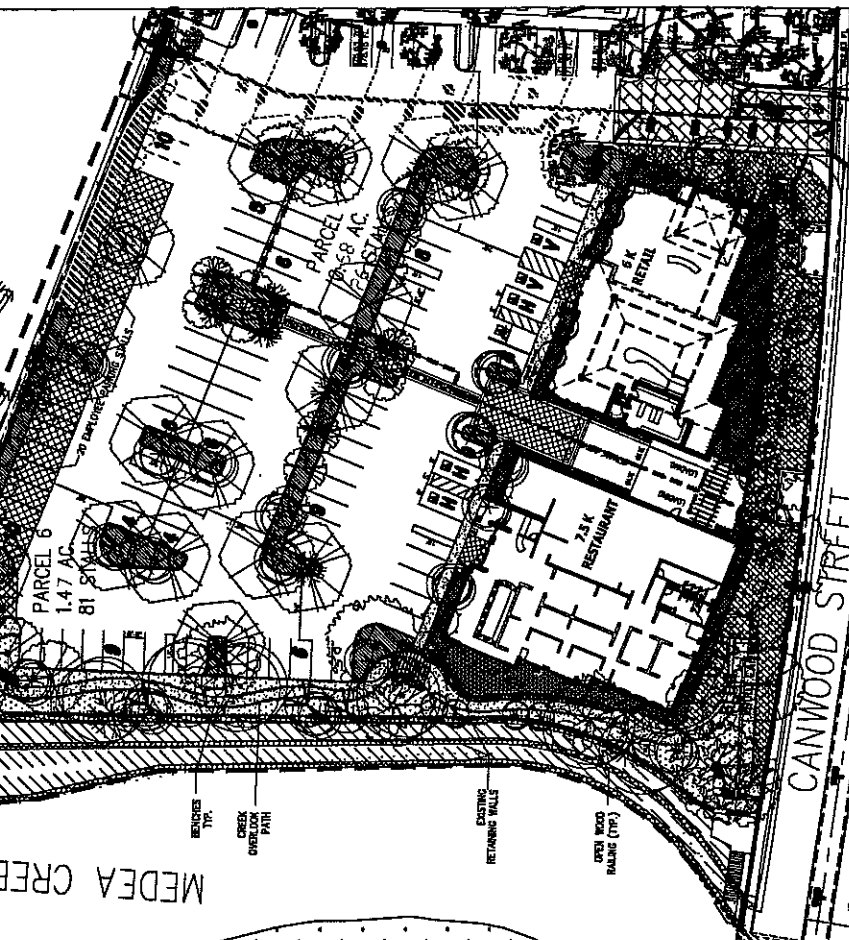


ARCHITECTURAL SHEET INDEX
A1.0 SITE PLANS
A5.1 BUILDING PLANS & DETAILS
A6.1 ELEVATIONS

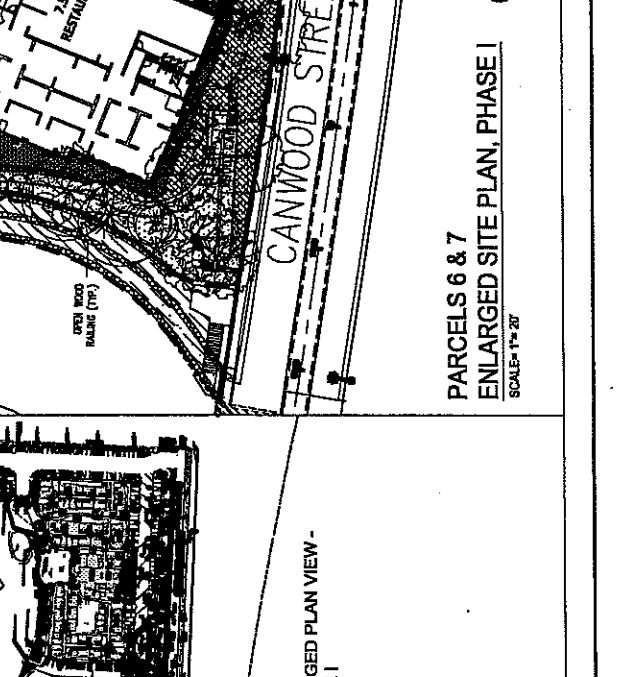


PARCELS 6 & 7
ENLARGED SITE PLAN, PHASE I
SCALE= 1"=20'

N

- PARCEL 6 (1.42 acres)
RESTAURANT @ 15' 1000 S.F. = 83 SPACES
(4000 s.f. actual seating area)
PATIO @ 15' 1000 S.F. = 13 SPACES
(650 s.f. total)
PARKING REQUIRED BY CITY = 75 SPACES
PARKING PROVIDED = 83 SPACES
- PARCEL 7 (0.74 acres)
RETAIL @ 11' 250 S.F. = 24 SPACES
(6000 s.f.)
PATIO @ 0' 1000 S.F. = 8 SPACES
PARKING REQUIRED BY CITY = 24 SPACES
PARKING PROVIDED = 24 SPACES

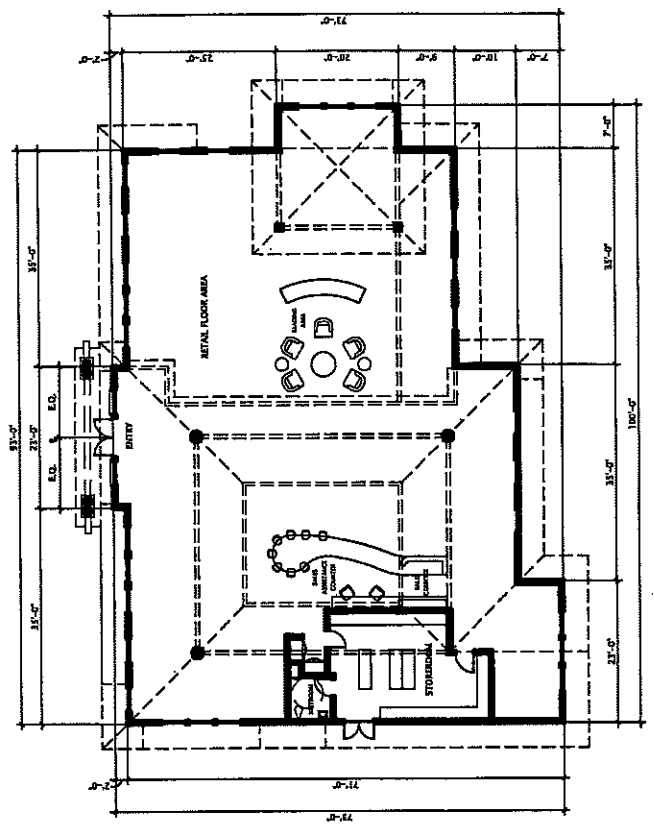
NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.



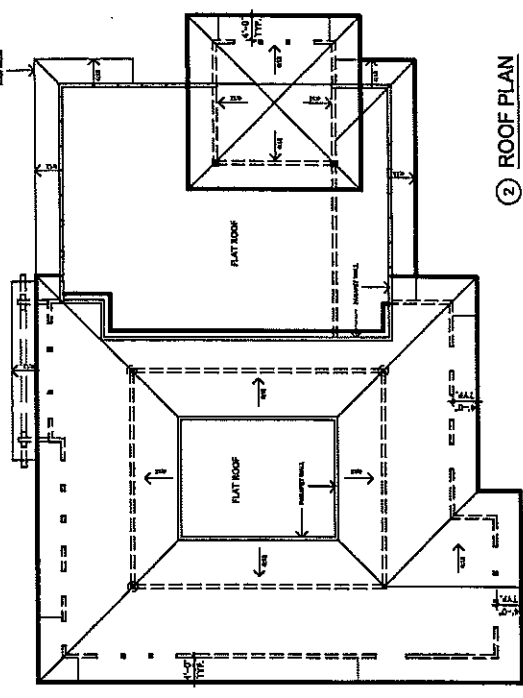
ENLARGED PLAN VIEW -
PHASE I

OVERALL SITE PLAN
SCALE= 1"=100'

N

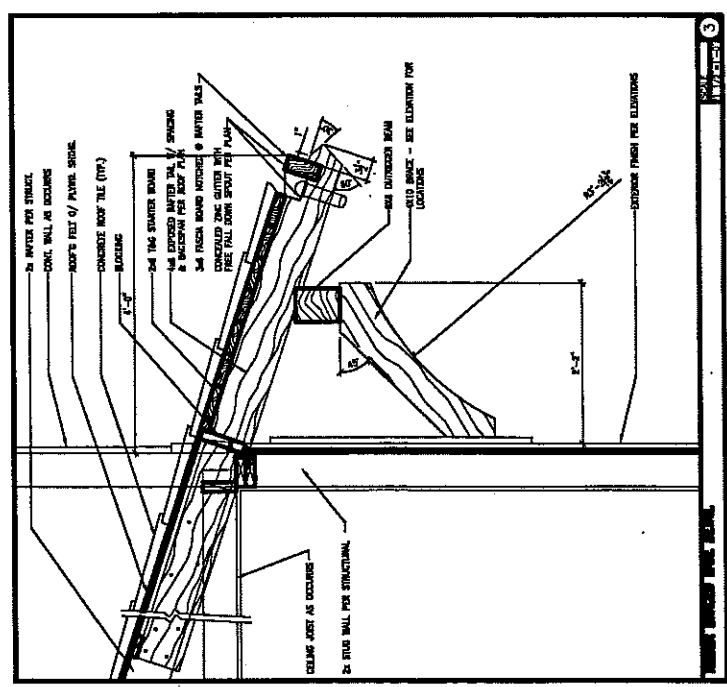


① GROUND FLOOR PLAN
 (6,000 SQ. FT. RETAIL)



② ROOF PLAN

OAK CREEK BUILDING PLANS - BUILDING C-2
 SCALE: 1/8" = 1'-0"



③ SECTION THROUGH ROOF

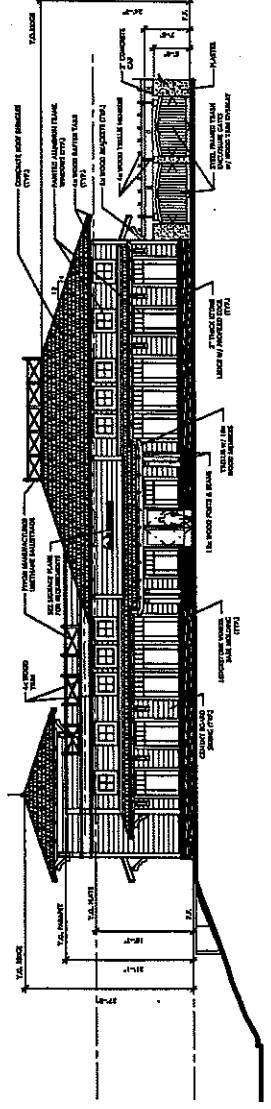
NO.	DATE	BY	CHKD	APP'D

PHASE I
PARCEL 7
BUILDING C2

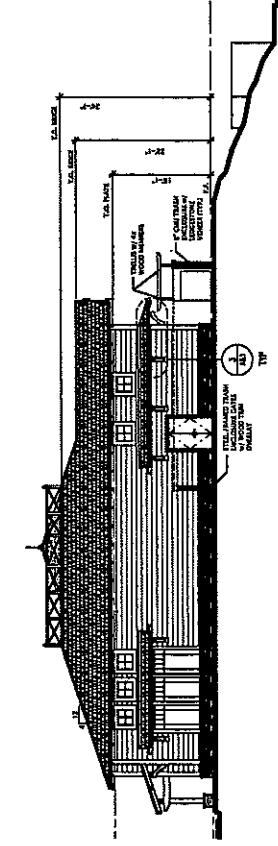
ELEVATIONS
SHOPS at OAK CREEK

OWNER: **ADLER**
20950 C. Warner Court, Irvine, CA 92617
DESIGNER: **ADLER**
20950 C. Warner Court, Irvine, CA 92617
ARCHITECTS - PLANNING - INTERIORS

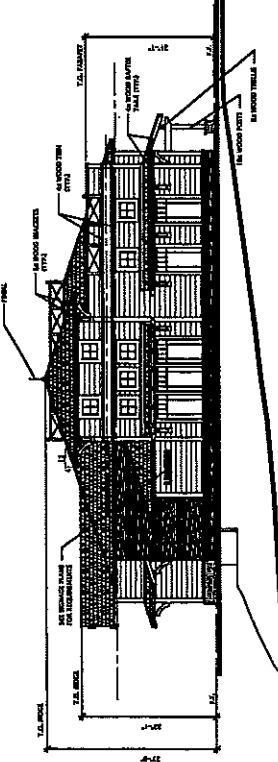
NORTH ELEVATION (PART SIDE) SCALE 1/8" = 1'-0"



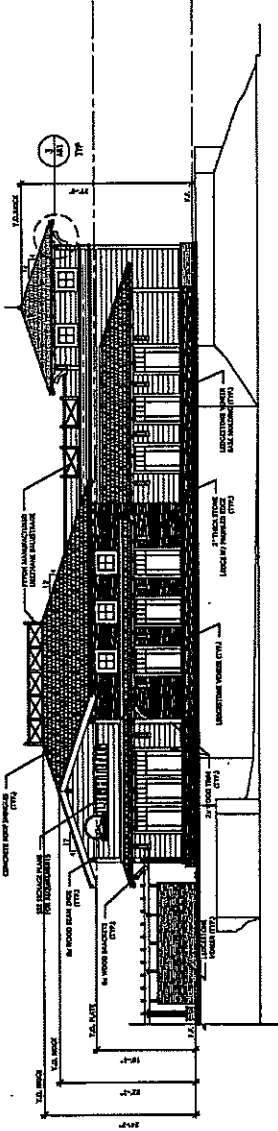
WEST ELEVATION SCALE 1/8" = 1'-0"



EAST ELEVATION SCALE 1/8" = 1'-0"

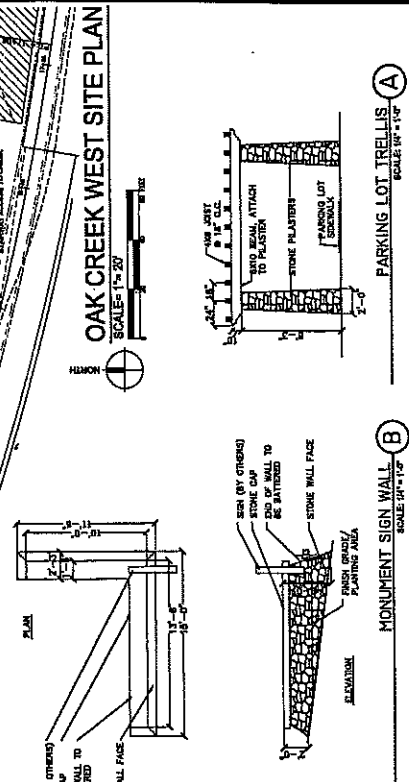
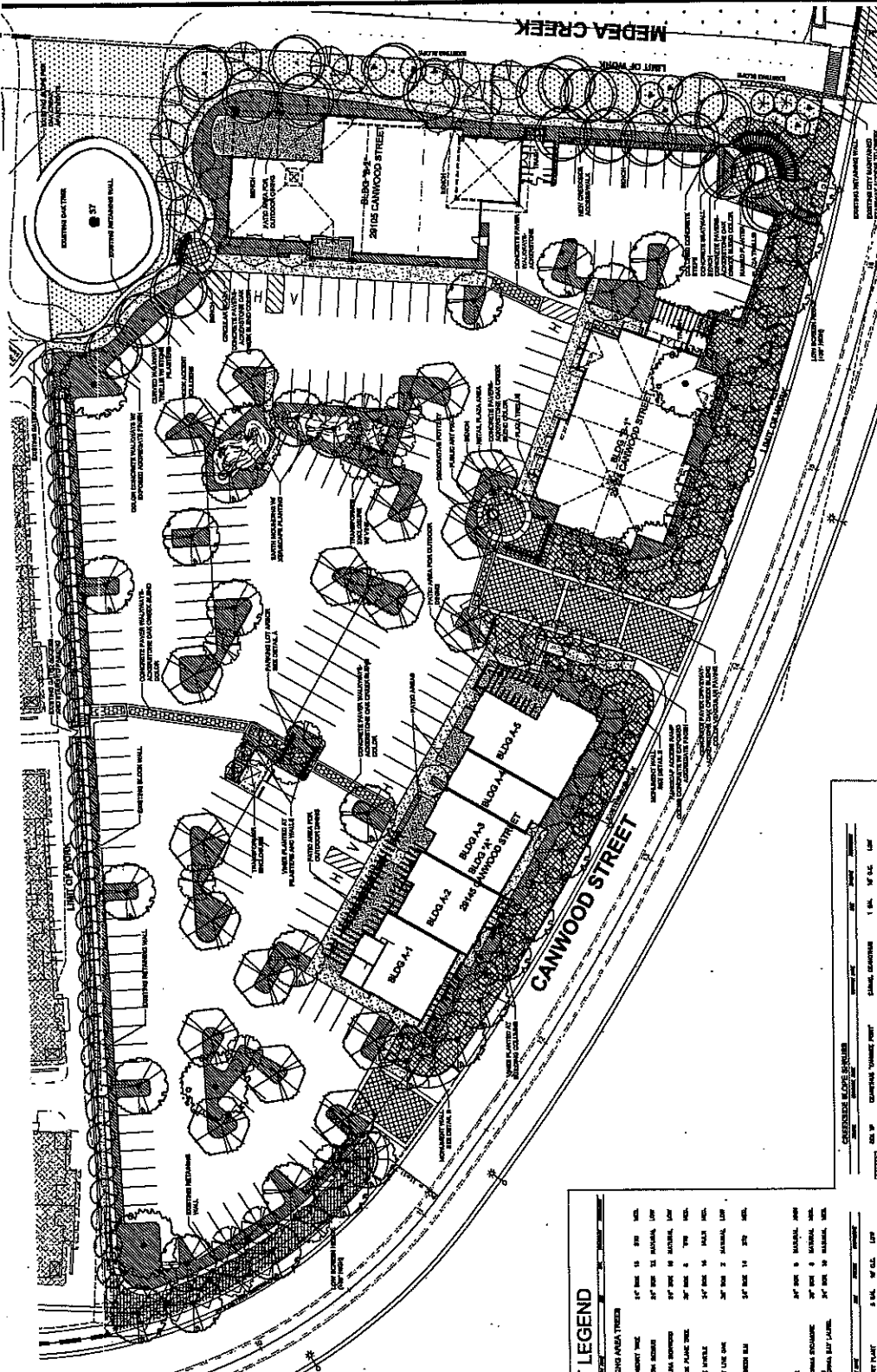


SOUTH ELEVATION (CARPOOD SIDE) SCALE 1/8" = 1'-0"



NO.	DATE	DESCRIPTION
1	11/11/11	PRELIMINARY
2	11/11/11	REVISED
3	11/11/11	REVISED
4	11/11/11	REVISED
5	11/11/11	REVISED

DATE: 11/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 2871
 SHEET NO: L-1



NOTES

1. FINISH SURFACES TO BE CONFORMANT WITH WEST PROPERTY RULES.

LANDSCAPE REQUIREMENTS

PARKING AREA LANDSCAPE & BIWADE COVERAGE

MINIMUM LANDSCAPE IN PARKING AREA = 15% OF TOTAL PARKING AREA.

REQUIRED BIWADE COVERAGE IN PARKING AREA = 5% OF TOTAL PARKING AREA.

BIWADES:

TOTAL PARKING LOT AREA = 148,000 SF.

LANDSCAPE AREA IN PARKING LOT = 22,200 SF.

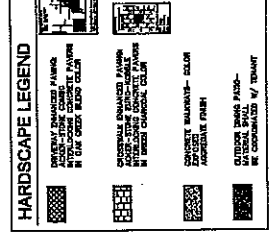
MINIMUM TOTAL LANDSCAPE IN PARKING AREA = 17,250 SF.

LANDSCAPE SLOPE = 5:100 S.F.

LANDSCAPE ALONG MEDIAN CROWN = 10:100 S.F.

BIWADE COVERAGE IN PARKING AREA = 5% OF TOTAL PARKING AREA.

PAVED BIWADE COVERAGE = 15% OF TOTAL PARKING AREA.



PRELIMINARY PLANT LEGEND

SYMBOLOGY	PLANT NAME	PLANT SIZE
(Symbol)	AMERICAN YEW	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT
(Symbol)	WESTERN REDWOOD	10' DBH x 15' HT

REFERENCE TABLES

GENERAL NOTES

- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CITY OF AGOURA HILLS SPECIFICATIONS FOR PLANTINGS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE WEST PROPERTY RULES.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.
- ALL PLANTINGS SHALL BE CONFORMANT WITH THE CALIFORNIA PLANTING SPECIFICATIONS.

GRADING NOTES

- 1. ALL GRADING SHALL BE ACCORDANT WITH ARTICLES 8 OF THE ANIMAS HILLS...
2. A PRELIMINARY SURVEY OF ALL EXISTING MATERIALS SHALL BE MADE...
3. ALL EXISTING MATERIALS SHALL BE DEMOLISHED TO A LEVEL APPROVED BY THE CITY...
4. ALL GEOLOGICAL AND SOIL INVESTIGATIONS REQUIRED BY THE CONSULTANT...
5. ANY CHANGES IN THE WORK DESIGN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER...
6. THE PERMITTER SHALL NOTIFY A REGISTERED CIVIL ENGINEER TO PROVIDE...
7. REPORTS REQUIRED BY APPLICABLE STATE LICENSE PROFESSIONALS...
8. BEFORE GRADING BEGINS, PERK TO THE COMPLETION OF ANY STRUCTURE...
9. SHALL OBTAIN PERMIT. PRIOR TO THE IMPLEMENTATION OF ANY GRADING...
10. NO CONSTRUCTION SHALL BE PERMITTED ON ADJACENT PROPERTY...
11. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED...
12. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
13. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
14. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
15. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
16. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
17. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
18. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
19. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
20. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...

PUBLIC UTILITIES / SERVICES

- WATER: LAS VEGAS REGIONAL WATER DISTRICT, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
SEWER: LAS VEGAS REGIONAL SEWER DISTRICT, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
TELEPHONE: SBC COMMUNICATIONS, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
GAS: SOUTHWEST GAS CORPORATION, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
POWER: NV ENERGY, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
CABLE: COMCAST, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
CABLE: DIRECTV, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
CABLE: DISH NETWORK, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
CABLE: SPECTRUM, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
CABLE: VERIZON, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102
CABLE: XFINITY, 1000 W. WASHINGTON AVENUE, LAS VEGAS, NV 89102

RECLAIMED WATER

- 1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
6. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
7. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
8. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
9. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...
10. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEER...

INSPECTION NOTES

- 1. ALL GRADING SHALL BE ACCORDANT WITH ARTICLES 8 OF THE ANIMAS HILLS...
2. A PRELIMINARY SURVEY OF ALL EXISTING MATERIALS SHALL BE MADE...
3. ALL EXISTING MATERIALS SHALL BE DEMOLISHED TO A LEVEL APPROVED BY THE CITY...
4. ALL GEOLOGICAL AND SOIL INVESTIGATIONS REQUIRED BY THE CONSULTANT...
5. ANY CHANGES IN THE WORK DESIGN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER...
6. THE PERMITTER SHALL NOTIFY A REGISTERED CIVIL ENGINEER TO PROVIDE...
7. REPORTS REQUIRED BY APPLICABLE STATE LICENSE PROFESSIONALS...
8. BEFORE GRADING BEGINS, PERK TO THE COMPLETION OF ANY STRUCTURE...
9. SHALL OBTAIN PERMIT. PRIOR TO THE IMPLEMENTATION OF ANY GRADING...
10. NO CONSTRUCTION SHALL BE PERMITTED ON ADJACENT PROPERTY...
11. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED...
12. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
13. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
14. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
15. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
16. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
17. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
18. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
19. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...
20. ALL UTILITIES SHALL BE DEEPER THAN CALIFORNIA REGULATIONS...

ABBREVIATIONS

- AC - APPROVAL
AD - ADJUSTMENT
AG - AGRICULTURE
AL - ALUMINUM
AM - AMERICAN
AN - ANGLE
AO - APPROVED
AP - APPROVED
AR - APPROVED
AS - APPROVED
AT - APPROVED
AU - APPROVED
AV - APPROVED
AW - APPROVED
AX - APPROVED
AY - APPROVED
AZ - APPROVED
BA - APPROVED
BB - APPROVED
BC - APPROVED
BD - APPROVED
BE - APPROVED
BF - APPROVED
BG - APPROVED
BH - APPROVED
BI - APPROVED
BJ - APPROVED
BK - APPROVED
BL - APPROVED
BM - APPROVED
BN - APPROVED
BO - APPROVED
BP - APPROVED
BQ - APPROVED
BR - APPROVED
BS - APPROVED
BT - APPROVED
BU - APPROVED
BV - APPROVED
BW - APPROVED
BX - APPROVED
BY - APPROVED
BZ - APPROVED
CA - APPROVED
CB - APPROVED
CC - APPROVED
CD - APPROVED
CE - APPROVED
CF - APPROVED
CG - APPROVED
CH - APPROVED
CI - APPROVED
CJ - APPROVED
CK - APPROVED
CL - APPROVED
CM - APPROVED
CN - APPROVED
CO - APPROVED
CP - APPROVED
CQ - APPROVED
CR - APPROVED
CS - APPROVED
CT - APPROVED
CU - APPROVED
CV - APPROVED
CW - APPROVED
CX - APPROVED
CY - APPROVED
CZ - APPROVED
DA - APPROVED
DB - APPROVED
DC - APPROVED
DD - APPROVED
DE - APPROVED
DF - APPROVED
DG - APPROVED
DH - APPROVED
DI - APPROVED
DJ - APPROVED
DK - APPROVED
DL - APPROVED
DM - APPROVED
DN - APPROVED
DO - APPROVED
DP - APPROVED
DQ - APPROVED
DR - APPROVED
DS - APPROVED
DT - APPROVED
DU - APPROVED
DV - APPROVED
DW - APPROVED
DX - APPROVED
DY - APPROVED
DZ - APPROVED
EA - APPROVED
EB - APPROVED
EC - APPROVED
ED - APPROVED
EE - APPROVED
EF - APPROVED
EG - APPROVED
EH - APPROVED
EI - APPROVED
EJ - APPROVED
EK - APPROVED
EL - APPROVED
EM - APPROVED
EN - APPROVED
EO - APPROVED
EP - APPROVED
EQ - APPROVED
ER - APPROVED
ES - APPROVED
ET - APPROVED
EU - APPROVED
EV - APPROVED
EW - APPROVED
EX - APPROVED
EY - APPROVED
EZ - APPROVED
FA - APPROVED
FB - APPROVED
FC - APPROVED
FD - APPROVED
FE - APPROVED
FF - APPROVED
FG - APPROVED
FH - APPROVED
FI - APPROVED
FJ - APPROVED
FK - APPROVED
FL - APPROVED
FM - APPROVED
FN - APPROVED
FO - APPROVED
FP - APPROVED
FQ - APPROVED
FR - APPROVED
FS - APPROVED
FT - APPROVED
FU - APPROVED
FV - APPROVED
FW - APPROVED
FX - APPROVED
FY - APPROVED
FZ - APPROVED
GA - APPROVED
GB - APPROVED
GC - APPROVED
GD - APPROVED
GE - APPROVED
GF - APPROVED
GG - APPROVED
GH - APPROVED
GI - APPROVED
GJ - APPROVED
GK - APPROVED
GL - APPROVED
GM - APPROVED
GN - APPROVED
GO - APPROVED
GP - APPROVED
GQ - APPROVED
GR - APPROVED
GS - APPROVED
GT - APPROVED
GU - APPROVED
GV - APPROVED
GW - APPROVED
GX - APPROVED
GY - APPROVED
GZ - APPROVED
HA - APPROVED
HB - APPROVED
HC - APPROVED
HD - APPROVED
HE - APPROVED
HF - APPROVED
HG - APPROVED
HH - APPROVED
HI - APPROVED
HJ - APPROVED
HK - APPROVED
HL - APPROVED
HM - APPROVED
HN - APPROVED
HO - APPROVED
HP - APPROVED
HQ - APPROVED
HR - APPROVED
HS - APPROVED
HT - APPROVED
HU - APPROVED
HV - APPROVED
HW - APPROVED
HX - APPROVED
HY - APPROVED
HZ - APPROVED
IA - APPROVED
IB - APPROVED
IC - APPROVED
ID - APPROVED
IE - APPROVED
IF - APPROVED
IG - APPROVED
IH - APPROVED
II - APPROVED
IJ - APPROVED
IK - APPROVED
IL - APPROVED
IM - APPROVED
IN - APPROVED
IO - APPROVED
IP - APPROVED
IQ - APPROVED
IR - APPROVED
IS - APPROVED
IT - APPROVED
IU - APPROVED
IV - APPROVED
IW - APPROVED
IX - APPROVED
IY - APPROVED
IZ - APPROVED
JA - APPROVED
JB - APPROVED
JC - APPROVED
JD - APPROVED
JE - APPROVED
JF - APPROVED
JG - APPROVED
JH - APPROVED
JI - APPROVED
JJ - APPROVED
JK - APPROVED
JL - APPROVED
JM - APPROVED
JN - APPROVED
JO - APPROVED
JP - APPROVED
JQ - APPROVED
JR - APPROVED
JS - APPROVED
JT - APPROVED
JU - APPROVED
JV - APPROVED
JW - APPROVED
JX - APPROVED
JY - APPROVED
JZ - APPROVED
KA - APPROVED
KB - APPROVED
KC - APPROVED
KD - APPROVED
KE - APPROVED
KF - APPROVED
KG - APPROVED
KH - APPROVED
KI - APPROVED
KJ - APPROVED
KK - APPROVED
KL - APPROVED
KM - APPROVED
KN - APPROVED
KO - APPROVED
KP - APPROVED
KQ - APPROVED
KR - APPROVED
KS - APPROVED
KT - APPROVED
KU - APPROVED
KV - APPROVED
KW - APPROVED
KX - APPROVED
KY - APPROVED
KZ - APPROVED
LA - APPROVED
LB - APPROVED
LC - APPROVED
LD - APPROVED
LE - APPROVED
LF - APPROVED
LG - APPROVED
LH - APPROVED
LI - APPROVED
LJ - APPROVED
LK - APPROVED
LL - APPROVED
LM - APPROVED
LN - APPROVED
LO - APPROVED
LP - APPROVED
LQ - APPROVED
LR - APPROVED
LS - APPROVED
LT - APPROVED
LU - APPROVED
LV - APPROVED
LW - APPROVED
LX - APPROVED
LY - APPROVED
LZ - APPROVED
MA - APPROVED
MB - APPROVED
MC - APPROVED
MD - APPROVED
ME - APPROVED
MF - APPROVED
MG - APPROVED
MH - APPROVED
MI - APPROVED
MJ - APPROVED
MK - APPROVED
ML - APPROVED
MM - APPROVED
MN - APPROVED
MO - APPROVED
MP - APPROVED
MQ - APPROVED
MR - APPROVED
MS - APPROVED
MT - APPROVED
MU - APPROVED
MV - APPROVED
MW - APPROVED
MX - APPROVED
MY - APPROVED
MZ - APPROVED
NA - APPROVED
NB - APPROVED
NC - APPROVED
ND - APPROVED
NE - APPROVED
NF - APPROVED
NG - APPROVED
NH - APPROVED
NI - APPROVED
NJ - APPROVED
NK - APPROVED
NL - APPROVED
NM - APPROVED
NN - APPROVED
NO - APPROVED
NP - APPROVED
NQ - APPROVED
NR - APPROVED
NS - APPROVED
NT - APPROVED
NU - APPROVED
NV - APPROVED
NW - APPROVED
NX - APPROVED
NY - APPROVED
NZ - APPROVED
OA - APPROVED
OB - APPROVED
OC - APPROVED
OD - APPROVED
OE - APPROVED
OF - APPROVED
OG - APPROVED
OH - APPROVED
OI - APPROVED
OJ - APPROVED
OK - APPROVED
OL - APPROVED
OM - APPROVED
ON - APPROVED
OO - APPROVED
OP - APPROVED
OQ - APPROVED
OR - APPROVED
OS - APPROVED
OT - APPROVED
OU - APPROVED
OV - APPROVED
OW - APPROVED
OX - APPROVED
OY - APPROVED
OZ - APPROVED
PA - APPROVED
PB - APPROVED
PC - APPROVED
PD - APPROVED
PE - APPROVED
PF - APPROVED
PG - APPROVED
PH - APPROVED
PI - APPROVED
PJ - APPROVED
PK - APPROVED
PL - APPROVED
PM - APPROVED
PN - APPROVED
PO - APPROVED
PP - APPROVED
PQ - APPROVED
PR - APPROVED
PS - APPROVED
PT - APPROVED
PU - APPROVED
PV - APPROVED
PW - APPROVED
PX - APPROVED
PY - APPROVED
PZ - APPROVED
QA - APPROVED
QB - APPROVED
QC - APPROVED
QD - APPROVED
QE - APPROVED
QF - APPROVED
QG - APPROVED
QH - APPROVED
QI - APPROVED
QJ - APPROVED
QK - APPROVED
QL - APPROVED
QM - APPROVED
QN - APPROVED
QO - APPROVED
QP - APPROVED
QQ - APPROVED
QR - APPROVED
QS - APPROVED
QT - APPROVED
QU - APPROVED
QV - APPROVED
QW - APPROVED
QX - APPROVED
QY - APPROVED
QZ - APPROVED
RA - APPROVED
RB - APPROVED
RC - APPROVED
RD - APPROVED
RE - APPROVED
RF - APPROVED
RG - APPROVED
RH - APPROVED
RI - APPROVED
RJ - APPROVED
RK - APPROVED
RL - APPROVED
RM - APPROVED
RN - APPROVED
RO - APPROVED
RP - APPROVED
RQ - APPROVED
RR - APPROVED
RS - APPROVED
RT - APPROVED
RU - APPROVED
RV - APPROVED
RW - APPROVED
RX - APPROVED
RY - APPROVED
RZ - APPROVED
SA - APPROVED
SB - APPROVED
SC - APPROVED
SD - APPROVED
SE - APPROVED
SF - APPROVED
SG - APPROVED
SH - APPROVED
SI - APPROVED
SJ - APPROVED
SK - APPROVED
SL - APPROVED
SM - APPROVED
SN - APPROVED
SO - APPROVED
SP - APPROVED
SQ - APPROVED
SR - APPROVED
SS - APPROVED
ST - APPROVED
SU - APPROVED
SV - APPROVED
SW - APPROVED
SX - APPROVED
SY - APPROVED
SZ - APPROVED
TA - APPROVED
TB - APPROVED
TC - APPROVED
TD - APPROVED
TE - APPROVED
TF - APPROVED
TG - APPROVED
TH - APPROVED
TI - APPROVED
TJ - APPROVED
TK - APPROVED
TL - APPROVED
TM - APPROVED
TN - APPROVED
TO - APPROVED
TP - APPROVED
TQ - APPROVED
TR - APPROVED
TS - APPROVED
TT - APPROVED
TU - APPROVED
TV - APPROVED
TW - APPROVED
TX - APPROVED
TY - APPROVED
TZ - APPROVED
UA - APPROVED
UB - APPROVED
UC - APPROVED
UD - APPROVED
UE - APPROVED
UF - APPROVED
UG - APPROVED
UH - APPROVED
UI - APPROVED
UJ - APPROVED
UK - APPROVED
UL - APPROVED
UM - APPROVED
UN - APPROVED
UO - APPROVED
UP - APPROVED
UQ - APPROVED
UR - APPROVED
US - APPROVED
UT - APPROVED
UU - APPROVED
UV - APPROVED
UW - APPROVED
UX - APPROVED
UY - APPROVED
UZ - APPROVED
VA - APPROVED
VB - APPROVED
VC - APPROVED
VD - APPROVED
VE - APPROVED
VF - APPROVED
VG - APPROVED
VH - APPROVED
VI - APPROVED
VJ - APPROVED
VK - APPROVED
VL - APPROVED
VM - APPROVED
VN - APPROVED
VO - APPROVED
VP - APPROVED
VQ - APPROVED
VR - APPROVED
VS - APPROVED
VT - APPROVED
VU - APPROVED
VV - APPROVED
VW - APPROVED
VX - APPROVED
VY - APPROVED
VZ - APPROVED
WA - APPROVED
WB - APPROVED
WC - APPROVED
WD - APPROVED
WE - APPROVED
WF - APPROVED
WG - APPROVED
WH - APPROVED
WI - APPROVED
WJ - APPROVED
WK - APPROVED
WL - APPROVED
WM - APPROVED
WN - APPROVED
WO - APPROVED
WP - APPROVED
WQ - APPROVED
WR - APPROVED
WS - APPROVED
WT - APPROVED
WU - APPROVED
WV - APPROVED
WW - APPROVED
WX - APPROVED
WY - APPROVED
WZ - APPROVED
XA - APPROVED
XB - APPROVED
XC - APPROVED
XD - APPROVED
XE - APPROVED
XF - APPROVED
XG - APPROVED
XH - APPROVED
XI - APPROVED
XJ - APPROVED
XK - APPROVED
XL - APPROVED
XM - APPROVED
XN - APPROVED
XO - APPROVED
XP - APPROVED
XQ - APPROVED
XR - APPROVED
XS - APPROVED
XT - APPROVED
XU - APPROVED
XV - APPROVED
XW - APPROVED
XX - APPROVED
XY - APPROVED
XZ - APPROVED
YA - APPROVED
YB - APPROVED
YC - APPROVED
YD - APPROVED
YE - APPROVED
YF - APPROVED
YG - APPROVED
YH - APPROVED
YI - APPROVED
YJ - APPROVED
YK - APPROVED
YL - APPROVED
YM - APPROVED
YN - APPROVED
YO - APPROVED
YP - APPROVED
YQ - APPROVED
YR - APPROVED
YS - APPROVED
YT - APPROVED
YU - APPROVED
YV - APPROVED
YW - APPROVED
YX - APPROVED
YZ - APPROVED
ZA - APPROVED
ZB - APPROVED
ZC - APPROVED
ZD - APPROVED
ZE - APPROVED
ZF - APPROVED
ZG - APPROVED
ZH - APPROVED
ZI - APPROVED
ZJ - APPROVED
ZK - APPROVED
ZL - APPROVED
ZM - APPROVED
ZN - APPROVED
ZO - APPROVED
ZP - APPROVED
ZQ - APPROVED
ZR - APPROVED
ZS - APPROVED
ZT - APPROVED
ZU - APPROVED
ZV - APPROVED
ZW - APPROVED
ZX - APPROVED
ZY - APPROVED
ZZ - APPROVED

LEGAL DESCRIPTION

PARCEL 1: A 1.00 AC. LOT 10, TRACT 10, IN THE CITY OF ANIMAS HILLS, IN THE COUNTY OF SAN JUAN, STATE OF CALIFORNIA, AS PER THE RECORDS OF THE COUNTY ENGINEER OF SAN JUAN COUNTY, CALIFORNIA, IN THE BOOK 100, PAGE 100.

INDEX OF DRAWINGS

Table with columns: SHEET NO., DESCRIPTION, GRADE SHEET, BOUNDARY/ASSESSMENT SHEET. Includes sheets 1 through 3.

ESTIMATED EARTHWORK QUANTITIES

Table with columns: ESTIMATED CUT, ESTIMATED FILL, ESTIMATED OVER/UNDERGRADE. Values: 4,234.07, 2,381.07, 1,852.00.

BENCHMARKS

Table with columns: MARK, DATE, ELEVATION. Includes benchmarks BM 1 through BM 4.

RECORD DRAWING STATEMENT

I, THE ENGINEER, HEREBY CERTIFY THAT THE INFORMATION AND DATA FURNISHED TO ME BY THE CLIENT AND CONTRACTOR ARE TRUE AND CORRECT AND THAT THE DRAWINGS AND SPECIFICATIONS ARE A TRUE AND CORRECT REPRESENTATION OF THE SAME.

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED AND IS IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA SOILS ADOPTED AS PART OF THE ENGINEERING REGULATIONS OF THE STATE OF CALIFORNIA.

NEIGHBORHOOD APPROVAL

THE CITY OF ANIMAS HILLS HAS REVIEWED THIS PLAN AND HAS NO OBJECTION TO THE SAME.

CITY OF ANIMAS HILLS APPROVAL

APPROVED BY: [Signature] DATE: [Date]

STORMWATER POLLUTION NOTES

1. THE CONTRACTOR SHALL INSTALL A STORMWATER POLLUTION CONTROL SYSTEM...
2. THE CONTRACTOR SHALL MAINTAIN THE STORMWATER POLLUTION CONTROL SYSTEM...
3. THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE STORMWATER POLLUTION CONTROL SYSTEM...

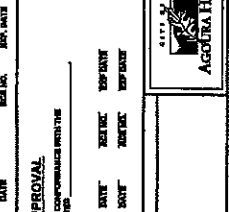
TOPOGRAPHY NOTE

1. THE TOPOGRAPHY WAS SURVEYED AND COMPARED BY THE ENGINEER...
2. THE TOPOGRAPHY WAS SURVEYED AND COMPARED BY THE ENGINEER...
3. THE TOPOGRAPHY WAS SURVEYED AND COMPARED BY THE ENGINEER...

OAK TREE NOTE

1. ALL OAK TREES SHALL BE MAINTAINED AND PROTECTED...
2. ALL OAK TREES SHALL BE MAINTAINED AND PROTECTED...
3. ALL OAK TREES SHALL BE MAINTAINED AND PROTECTED...

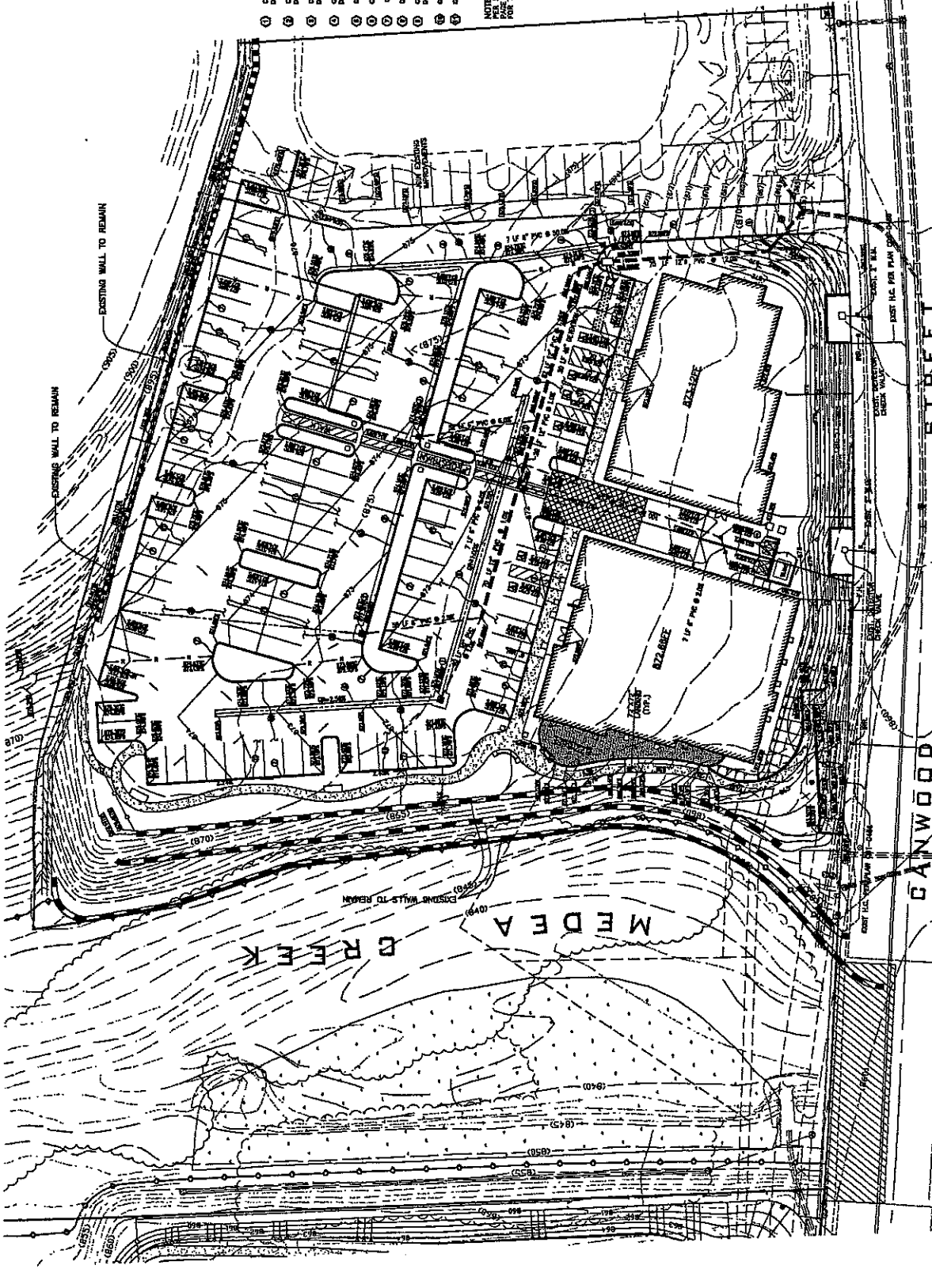
LEGEND AND SYMBOLS



CONCEPTUAL GRADING PLAN FOR C.U.P. SUBMITTAL

CANWOOD STREET - EAST SIDE OF MEDIA CREEK SHEET 1 OF 3





CONSTRUCTION NOTES

1. CONSTRUCT 6" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
2. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
3. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
4. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
5. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
6. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
7. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
8. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
9. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
10. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
11. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
12. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
13. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
14. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
15. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
16. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
17. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
18. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
19. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES
20. CONSTRUCT 2" MIN. 4" C. BARS AND FRAMES AS SHOWN ON DETAILS, WITH DRAINAGE INLET PAVES

NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**CONCEPTUAL GRADING PLAN
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDEA CREEK**

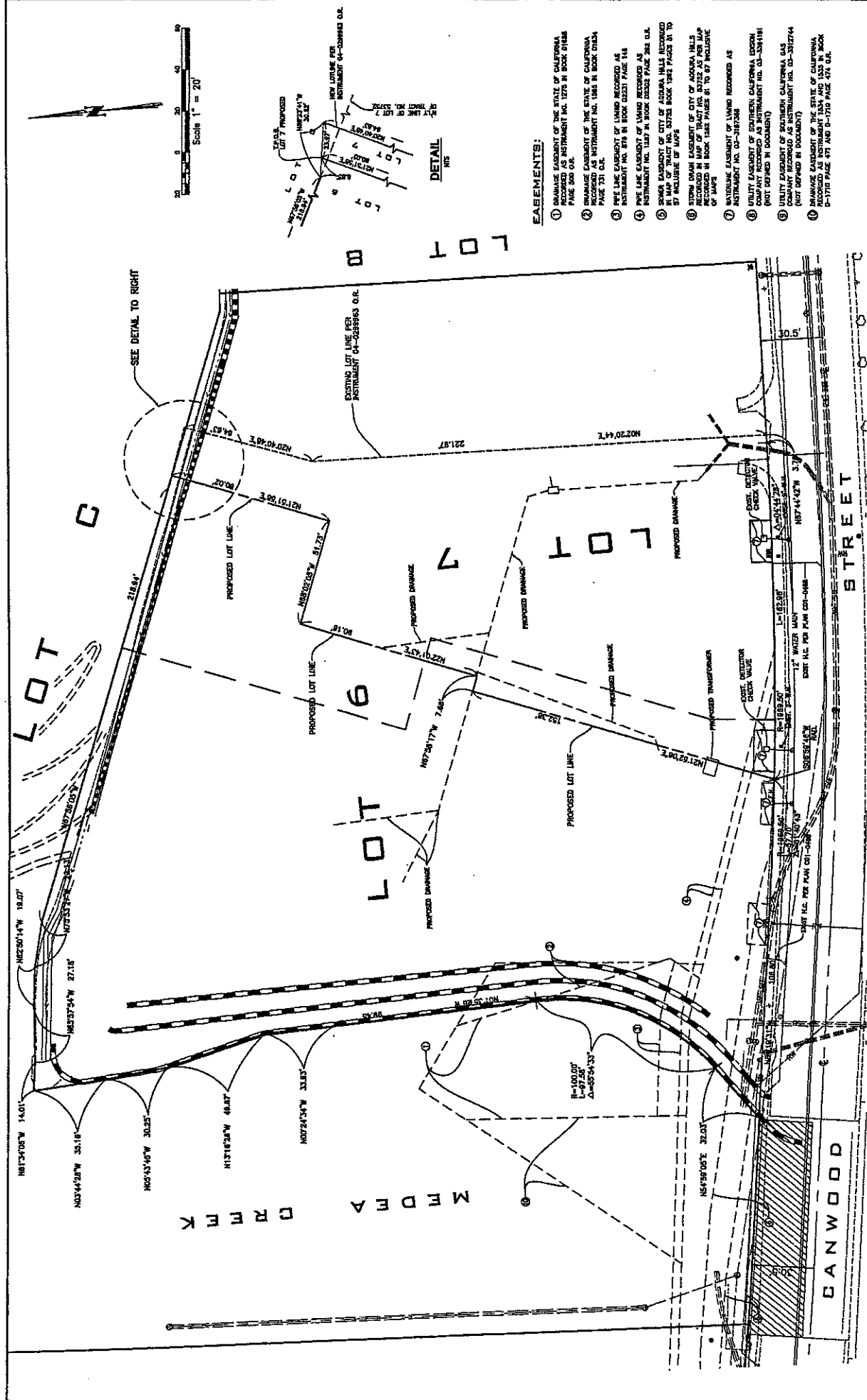


CITY OF AGOURA HILLS APPROVAL

PREPARED BY: MEDICAL PLANNING AND DESIGN, INC.
10000 N. 100TH AVENUE, SUITE 100
AGOURA HILLS, CO 80001

DATE: _____
DRAWN BY: _____
CHECKED BY: _____

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	DATE



EASEMENTS:

- 1 EASEMENT OF THE STATE OF CALIFORNIA INSTRUMENT NO. 1213 IN BOOK 1768 PAGE 308 O.R.
- 2 EASEMENT OF THE STATE OF CALIFORNIA INSTRUMENT NO. 1268 IN BOOK 1768 PAGE 331 O.R.
- 3 PIPE LINE EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 878 IN BOOK 13231 PAGE 114
- 4 PIPE LINE EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 1347 IN BOOK 13333 PAGE 208 O.R.
- 5 EASEMENT OF THE CITY OF AGGORA HILLS RECORDED AS INSTRUMENT NO. 1347 IN BOOK 13333 PAGE 208 O.R. INCLUSIVE OF LOTS 5 TO 8
- 6 EASEMENT OF THE CITY OF AGGORA HILLS RECORDED AS INSTRUMENT NO. 1347 IN BOOK 13333 PAGE 208 O.R. INCLUSIVE OF LOTS 5 TO 8
- 7 EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 10-28748
- 8 UTILITY EASEMENT OF SOUTHERN CALIFORNIA Edison COMPANY INSTRUMENT NO. 10-28748 (NOT SHOWN IN DOCUMENT)
- 9 UTILITY EASEMENT OF SOUTHERN CALIFORNIA Edison COMPANY RECORDED AS INSTRUMENT NO. 10-28748 (NOT SHOWN IN DOCUMENT)
- 10 EASEMENT OF THE STATE OF CALIFORNIA INSTRUMENT NO. 471 AND 11-1710 PAGE 474 O.R.

**BOUNDARY/EASEMENT SHEET
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDEA CREEK**



CITY OF AGGORA HILLS APPROVAL

06-CUP-007

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY	DATE

PREPARED BY: **WESTON ENGINEERING INC.**
 1100 Canyon Boulevard, Suite 200
 Aggora Hills, CA 94010
 (415) 972-2277
 www.westoneng.com

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES 15 OF THE ANGELES HILLS MUNICIPAL CODE...
2. A PRE-CONSTRUCTION CONFERENCE OF ALL AUTHORIZED PARTIES SHALL BE HELD...
3. ALL EXISTING MATERIAL SHALL BE GRADABLE TO A SLOPE APPROVED BY THE CITY...
4. ALL EXISTING SLOPE OR RETAINING WALLS SHALL BE RECONSTRUCTED OR REPAIRED...
5. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
6. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
7. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
8. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
9. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
10. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
11. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
12. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
13. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
14. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
15. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
16. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
17. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
18. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
19. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...
20. THE PRINTER SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL...

PUBLIC UTILITIES / SERVICES

- WATER: LA COUNTY REGIONAL WATER DISTRICT, 2700 UNIVERSITY AVENUE, CULVERVILLE, CA 91731, 916 884-6119
ELECTRICAL: SOUTHERN CALIFORNIA Edison, 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811
TELEPHONE: SBC P&C (SBC), 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811
CABLE: SOUTHERN CALIFORNIA Edison, 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811
SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS, 2700 UNIVERSITY AVENUE, CULVERVILLE, CA 91731, 916 884-6119
GAS: SOUTHERN CALIFORNIA Edison, 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811
CABLE: SOUTHERN CALIFORNIA Edison, 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811
GAS: SOUTHERN CALIFORNIA Edison, 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811
CABLE: SOUTHERN CALIFORNIA Edison, 2300 TOLLER ROAD, THOUSAND OAKS, CA 91320, 805 444-7811

RECLAIMED WATER

USE RECLAIMED WATER DURING CONSTRUCTION FOR DIRT CONTROL AND DIRT CONTROL. RECLAIMED WATER MUST BE CONSTRUCTION USE TO BE COMPLIANT WITH THE RECLAIMED WATER REUSE ACT. CONTACT THE CITY OF ANGELES HILLS FOR MORE INFORMATION.

CONSTRUCTION NOTES

- 1. CONTRACT A.P.N. 47-516-373-000 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
2. CONTRACT B.P.N. 47-516-373-001 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
3. CONTRACT C.P.N. 47-516-373-002 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
4. CONTRACT D.P.N. 47-516-373-003 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
5. CONTRACT E.P.N. 47-516-373-004 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
6. CONTRACT F.P.N. 47-516-373-005 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
7. CONTRACT G.P.N. 47-516-373-006 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
8. CONTRACT H.P.N. 47-516-373-007 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
9. CONTRACT I.P.N. 47-516-373-008 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...
10. CONTRACT J.P.N. 47-516-373-009 SHALL BE A SLOPE AS TO BE RECLAIMED, WITH...

INSPECTION NOTES

THE PRINTER OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKDAYS IN ADVANCE OF INSPECTION AND REVISIONS.

ABBREVIATIONS

- AS - ASHTRAY
B - BENTONITE
C - CONCRETE
CL - CLAY
CM - CONCRETE MIXTURE
CP - CONCRETE PAVEMENT
CS - CONCRETE SURFACE
D - DRAINAGE
E - EXISTING
F - FINISHED
G - GRAVEL
H - HATCH
I - INTERLOCKED
J - JOINT
K - KEY
L - LEAK
M - MATERIAL
N - NORTH
O - OPEN
P - PAVEMENT
R - REINFORCED
S - SAND
T - TYPICAL
V - VALVE
W - WATER

LEGAL DESCRIPTION

LOT 3 AND 5 OF TRACT 14, BEING 34 ACRES OR THEREABOUTS IN THE COUNTY OF LOS ANGELES, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE FACES OF SAID TRACT AS SHOWN ON THE PLAT THEREOF, BEING MAP NO. 200-112, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGAL DESCRIPTION

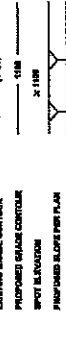
OWNER: NAME: AQUORA HILLS DEVELOPMENT, INC. ADDRESS: 11005 BURNING WAVE ST. #300, WOODLAND HILLS, CA 91367 REPRESENTATIVE: THE PRINTER TELEPHONE: (818) 224-3119

LEGAL DESCRIPTION

CIVIL ENGINEER: NAME: WENTON ENGINEERING, INC. ADDRESS: 6560 TOPHAT CANYON BLVD. STE. 100, WOODLAND HILLS, CA 91367 REPRESENTATIVE: THE PRINTER TELEPHONE: (818) 224-0444

LEGAL DESCRIPTION

GEO-TECHNICAL ENGINEER: NAME: THE J. BROS. GROUP, ADDRESS: 1061 S. GARDEN ST. STE. 200, GARDEN GROVE, CA 92643 REPRESENTATIVE: JOHN W. BORN TELEPHONE: (818) 841-8400



PROJECT BOUNDARY
EXISTING GRADE CONTOUR
PROPOSED GRADE CONTOUR
SPOT ELEVATION
PREPARED SLOPE PER PLAN
RETAINING WALL
DIRECTION OF FLOW (DOWNHILL)
CONSTRUCTION NOTE NUMBER

LEGAL DESCRIPTION: LOT 3 AND 5 OF TRACT 14, BEING 34 ACRES OR THEREABOUTS IN THE COUNTY OF LOS ANGELES, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE FACES OF SAID TRACT AS SHOWN ON THE PLAT THEREOF, BEING MAP NO. 200-112, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

INDEX OF DRAWINGS

Table with 3 columns: SHEET NO., DESCRIPTION, and QUANTITIES. Includes entries for GRADING TITLE SHEET, BOUNDARY/ASSEMBLY SHEET, and ESTIMATED EARTHWORK QUANTITIES.

RECORD DRAWING STATEMENT

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER AND I HAVE PREPARED THIS PLAN IN ACCORDANCE WITH THE RECORD DRAWING ACT OF CALIFORNIA, TITLE 20, CHAPTER 1, ARTICLE 2, SECTIONS 26100 THROUGH 26110.

STORMWATER POLLUTION NOTES

- 1. THE PRINTER IS RESPONSIBLE FOR SUBMITTING TO THE CITY A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE SWPPP...
2. A SITE VISIT SHALL BE CONDUCTED BY THE CITY AND THE PRINTER...
3. THE SWPPP SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL...
4. THE SWPPP SHALL BE MAINTAINED AT ALL TIMES...
5. THE SWPPP SHALL BE REVISED AS NECESSARY...
6. THE SWPPP SHALL BE MADE AVAILABLE TO THE CITY...
7. THE SWPPP SHALL BE MADE AVAILABLE TO THE PUBLIC...
8. THE SWPPP SHALL BE MADE AVAILABLE TO THE MEDIA...
9. THE SWPPP SHALL BE MADE AVAILABLE TO THE INVESTIGATORS...
10. THE SWPPP SHALL BE MADE AVAILABLE TO THE ENFORCEMENT...
11. THE SWPPP SHALL BE MADE AVAILABLE TO THE PROSECUTOR...
12. THE SWPPP SHALL BE MADE AVAILABLE TO THE JUDGE...
13. THE SWPPP SHALL BE MADE AVAILABLE TO THE GRAND JURY...
14. THE SWPPP SHALL BE MADE AVAILABLE TO THE TRIAL JURY...
15. THE SWPPP SHALL BE MADE AVAILABLE TO THE VERDICT...
16. THE SWPPP SHALL BE MADE AVAILABLE TO THE SENTENCE...
17. THE SWPPP SHALL BE MADE AVAILABLE TO THE APPEAL...
18. THE SWPPP SHALL BE MADE AVAILABLE TO THE REVERSAL...
19. THE SWPPP SHALL BE MADE AVAILABLE TO THE REHEARING...
20. THE SWPPP SHALL BE MADE AVAILABLE TO THE FINAL JUDGMENT...

SOILS APPROVAL

THE PRINTER HAS BEEN INFORMED AND IS IN COMPLIANCE WITH THE RECORD DRAWING ACT OF CALIFORNIA, TITLE 20, CHAPTER 1, ARTICLE 2, SECTIONS 26100 THROUGH 26110.

TOPOGRAPHY NOTE

TOPOGRAPHY SHOWS EXISTING ELEVATIONS AND CONTOURS. ALL TOPOGRAPHY SHALL BE IN ACCORDANCE WITH THE RECORD DRAWING ACT OF CALIFORNIA, TITLE 20, CHAPTER 1, ARTICLE 2, SECTIONS 26100 THROUGH 26110.

OAK TREE NOTE

EXISTING OAK TREES SHALL BE IDENTIFIED AND CONSERVED. ALL OAK TREES SHALL BE IN ACCORDANCE WITH THE RECORD DRAWING ACT OF CALIFORNIA, TITLE 20, CHAPTER 1, ARTICLE 2, SECTIONS 26100 THROUGH 26110.

CITY OF ANGELES HILLS APPROVAL

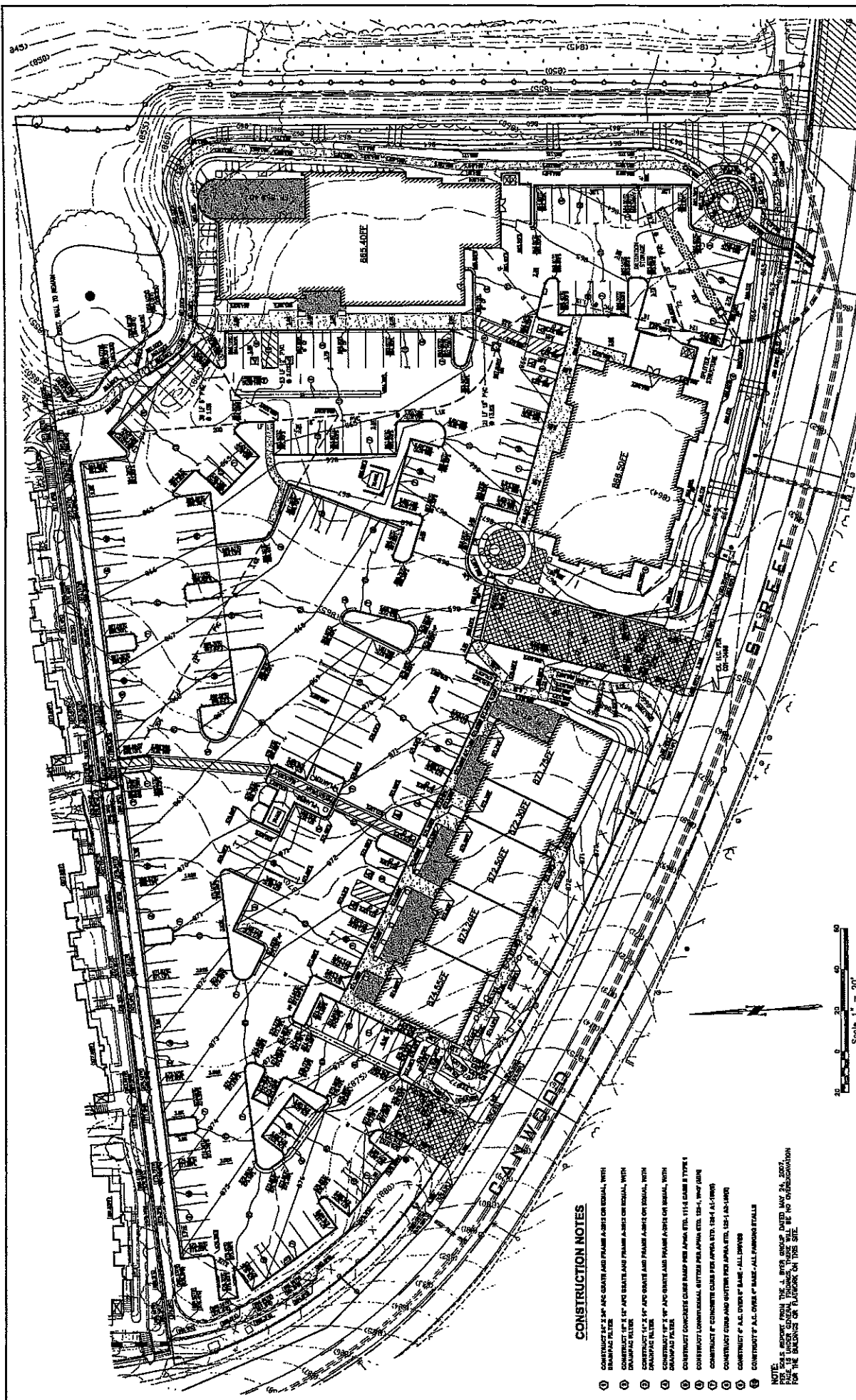
APPROVED: [Signature] DATE: [Date]

VICINITY MAP



CONCEPTUAL GRADING PLAN FOR C.U.P. SUBMITTAL CANWOOD ST. - WEST SIDE OF MEDEA CREEK SHEET 1 OF 1

Form area for project details including title, sheet number, date, and signature lines for City Engineer and Designer.



CONCEPTUAL GRADING PLAN
 FOR C.U.P. SUBMITTAL
 CANWOOD ST. - WEST SIDE OF MEDEA CREEK
 SHEET 1 OF 3



CITY OF AGOURA HILLS APPROVAL

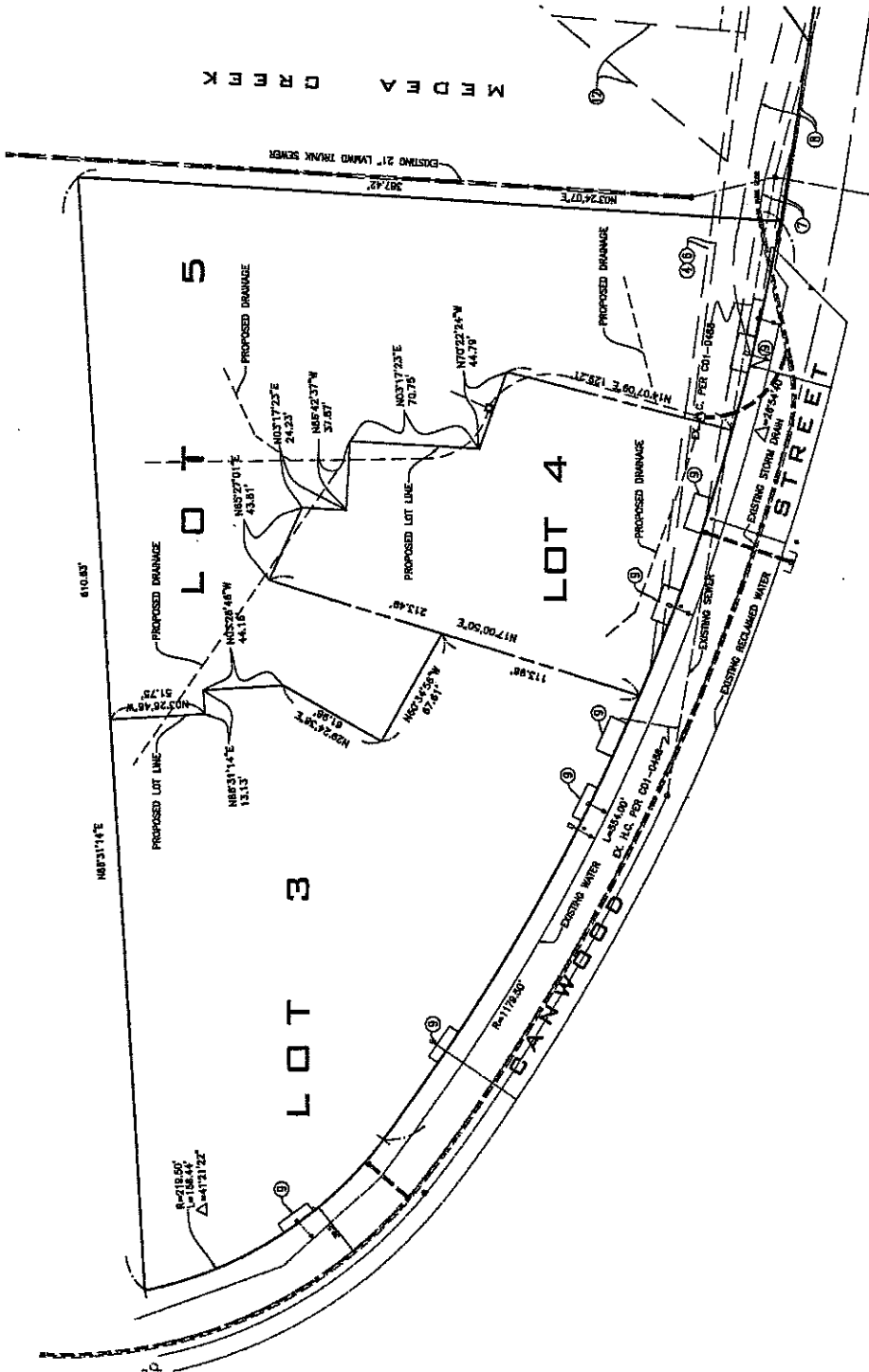
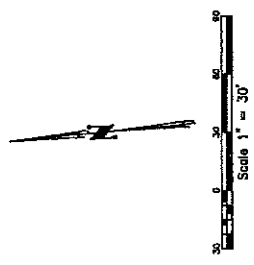
PREPARED BY
WATSON ENGINEERING, INC.
 10000 WILSON AVENUE
 SUITE 100
 AGOURA HILLS, CA 91301
 (818) 476-1111

REV	DATE	DESCRIPTION OF CHANGE	DATE	DATE

CONSTRUCTION NOTES

- 1 CONTRACT 1/2" 4" APC GRATE AND FRAME ASBESTOS OR EQUAL, WITH 3/8" DIA. SLOTTED FILTER
- 2 CONTRACT 1/2" 4" APC GRATE AND FRAME ASBESTOS OR EQUAL, WITH 3/8" DIA. SLOTTED FILTER
- 3 CONTRACT 1/2" 4" APC GRATE AND FRAME ASBESTOS OR EQUAL, WITH 3/8" DIA. SLOTTED FILTER
- 4 CONTRACT 1/2" 4" APC GRATE AND FRAME ASBESTOS OR EQUAL, WITH 3/8" DIA. SLOTTED FILTER
- 5 CONTRACT CONCRETE CURB RAMP PER APWA STD. 1114 (SAME AS TYPE 1)
- 6 CONTRACT CONCRETE CURB RAMP PER APWA STD. 1254, 1997 (2001)
- 7 CONTRACT CONCRETE CURB RAMP PER APWA STD. 1254 (AS-1999)
- 8 CONTRACT CONCRETE CURB RAMP PER APWA STD. 1254 (AS-1999)
- 9 CONTRACT 1/2" 4" APC GRATE AND FRAME ASBESTOS OR EQUAL, WITH 3/8" DIA. SLOTTED FILTER
- 10 CONTRACT 1/2" 4" APC GRATE AND FRAME ASBESTOS OR EQUAL, WITH 3/8" DIA. SLOTTED FILTER

NOTE: 1. VERIFY FROM THE J. BIRD GROUP DATED MAY 24, 2007 THAT THE UNDER GENERAL PROVISIONS THERE WILL BE NO OBTAINMENT FOR THE BALANCE OF PLUMBING ON THIS SITE.



EASEMENTS:

- ① DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA, RECORDED AS INSTRUMENT NO. 1879 IN BOOK 10188 PAGE 558 O.L.
- ② DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA, RECORDED AS INSTRUMENT NO. 1884 IN BOOK 10184 PAGE 731 O.L.
- ③ PIPE LINE EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 874 IN BOOK 02331 PAGE 148
- ④ UTILITY EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 942 IN BOOK 02334 PAGE 448 O.L.
- ⑤ PIPE LINE EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 1287 IN BOOK 02302 PAGE 292 O.L.
- ⑥ PIPE LINE EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 1289 IN BOOK 02302 PAGE 290 O.L.
- ⑦ SEWER EASEMENT OF CITY OF AGOURA HILLS RECORDED IN MAP OF TRACT NO. 18702 BOOK 1322 PAGES 31 TO 37 INCLUSIVE OF MAP.
- ⑧ STORM DRAIN EASEMENT OF CITY OF AGOURA HILLS RECORDED IN MAP OF TRACT NO. 18702 BOOK 1322 PAGES 31 TO 37 INCLUSIVE OF MAPS.
- ⑨ WATERLINE EASEMENT OF LIVING RECORDED AS INSTRUMENT NO. 03-316254
- ⑩ UTILITY EASEMENT OF SOUTHERN CALIFORNIA Edison COMPANY RECORDED AS INSTRUMENT NO. 03-399181 (NOT DEFINED IN DOCUMENT)
- ⑪ UTILITY EASEMENT OF SOUTHERN CALIFORNIA GAS COMPANY RECORDED AS INSTRUMENT NO. 03-392744 (NOT DEFINED IN DOCUMENT)
- ⑫ DRAINAGE EASEMENT OF THE STATE OF CALIFORNIA RECORDED AS INSTRUMENT 1534 AND 1533 IN BOOK D-1710 PAGE 471 AND D-1710 PAGE 474 O.L.

**BOUNDARY/EASEMENT SHEET
FOR C.U.P. SUBMITTAL
CANWOOD ST. - WEST SIDE OF MEDIA CREEK
SHEET 3 OF 3**



CITY OF AGOURA HILLS APPROVAL
06-CUP-007

PREPARED BY: **WESTON ENGINEERS INC.**
10000 WILSON AVENUE
SUITE 100
AGOURA HILLS, CA 91301
TEL: (818) 485-1100
FAX: (818) 485-1101

REV	BY/DATE	DESCRIPTION OF CHANGE

REV	BY/DATE	DESCRIPTION OF CHANGE	DATE

VAN LEUWEN, BARVAID & HORNBERGER, AIA
 ARCHITECTS - PLANNING - INTERIORS
 2011 VAN LEUEN DRIVE
 SUITE 200
 BOSTON, MA 02116

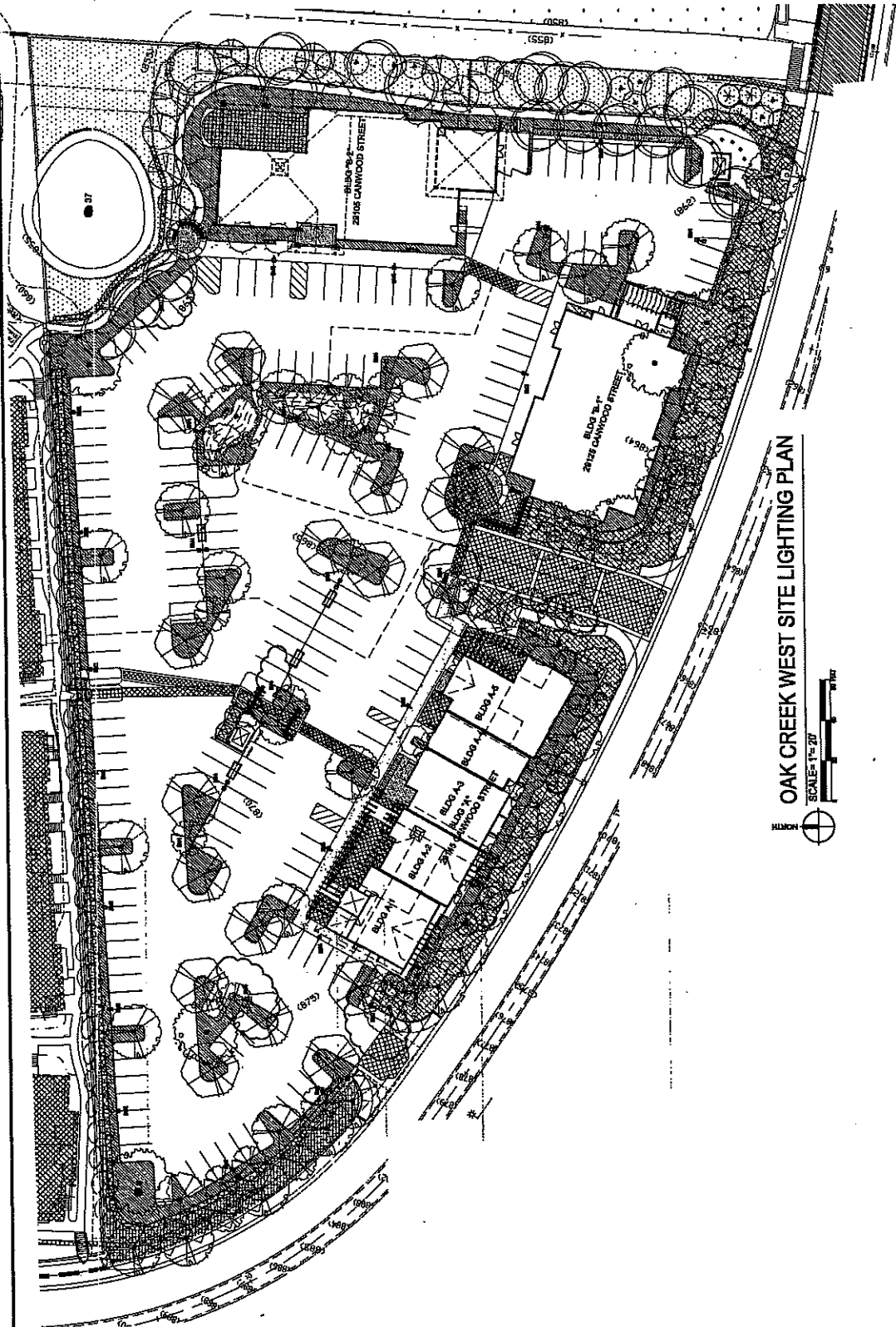
ADLER
 OWNER
 2121 VANWOOD DRIVE, SUITE 300, WOODLAND HILLS, CA 91364
 2121 VANWOOD DRIVE, SUITE 300, WOODLAND HILLS, CA 91364

PROJECT BY
 ADLER REALTY
 2121 VANWOOD DRIVE, SUITE 300, WOODLAND HILLS, CA 91364
 CANWOOD STREET, CITY OF AGoura HILLS, CA

SHOPS at OAK CREEK
 SHOPS at OAK CREEK
 Parcels 3, 4 & 5

DATE	DESCRIPTION

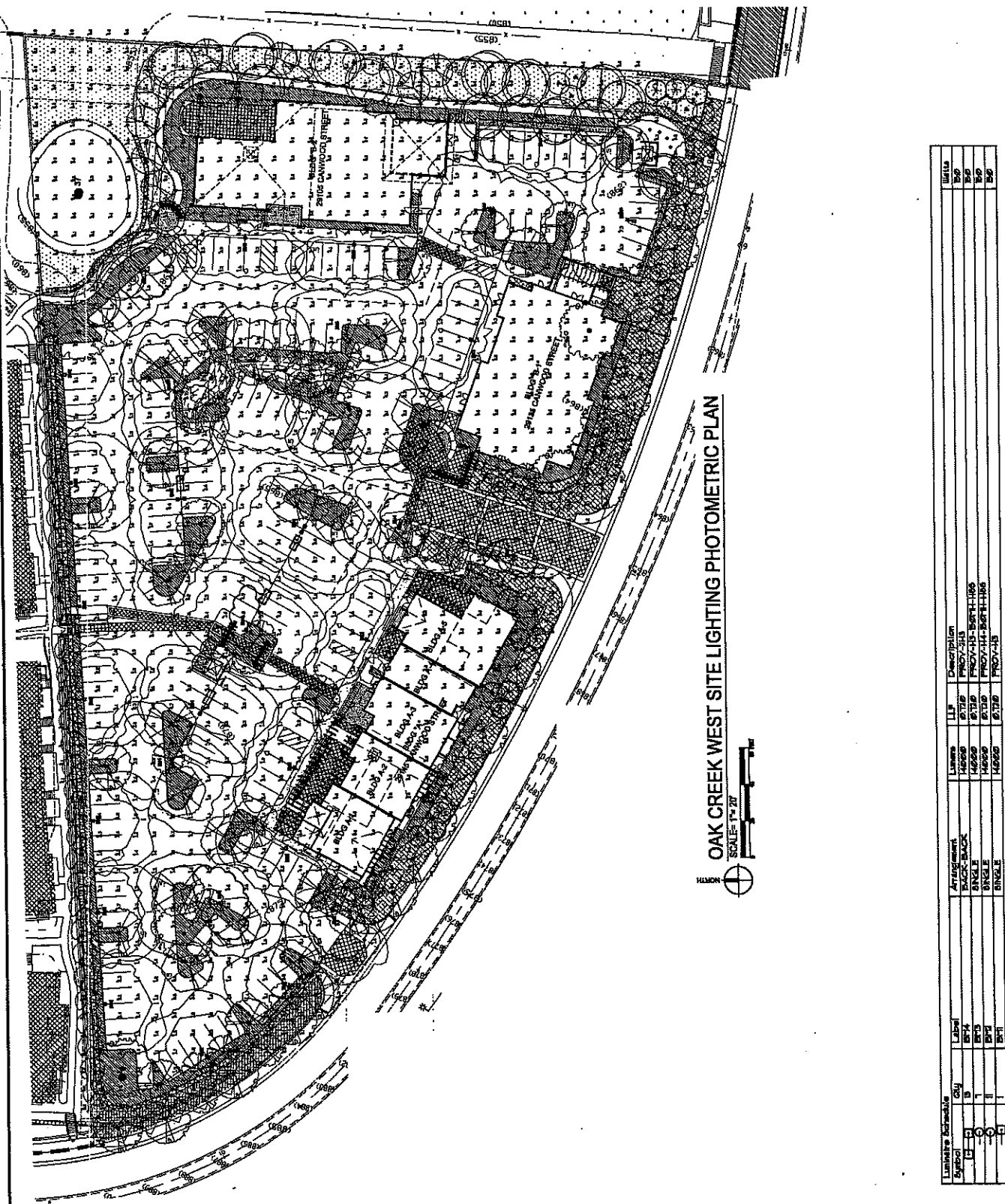
LD-1.0



OAK CREEK WEST SITE LIGHTING PLAN

SCALE: 1" = 20'

NOTES
 1. SEE EXHIBIT 'B' FOR DETAILS ON
 LIGHT FIXTURES AND POLES.



OAK CREEK WEST SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1/4" = 20'



Lighting Schedule	GU	Label	Arrangement	Lumens	LLF	Description	Units
Office	1	BK4	BACK-BACK	14000	0.75	PROV-315	500
Office	1	BK4	SINGLE	14000	0.75	PROV-315-BEST-LIBS	500
Office	1	BK4	SINGLE	14000	0.75	PROV-315-BEST-LIBS	500
Office	1	BK4	SINGLE	14000	0.75	PROV-315	500

NOTES
 * DIMENSIONS ARE TO BE SHOWN ON WEST PROPERTY (ALL)

SHOPS at OAK CREEK 21731 Ventura Boulevard, Suite 200, Woodland Hills, CA 91364 Prepared for: ADLER REALTY 21731 Ventura Blvd, Suite 200, Woodland Hills, CA 91364	ADLER Early Investments, Inc. 21731 Ventura Boulevard, Suite 200, Woodland Hills, CA 91364	SHOPS at OAK CREEK Parcels 3, 4 & 5 Carwood Street, City of Agoura Hills, CA	PREPARED BY: [] CHECKED BY: [] DATE: []
--	---	---	--

LD-1.0-PH

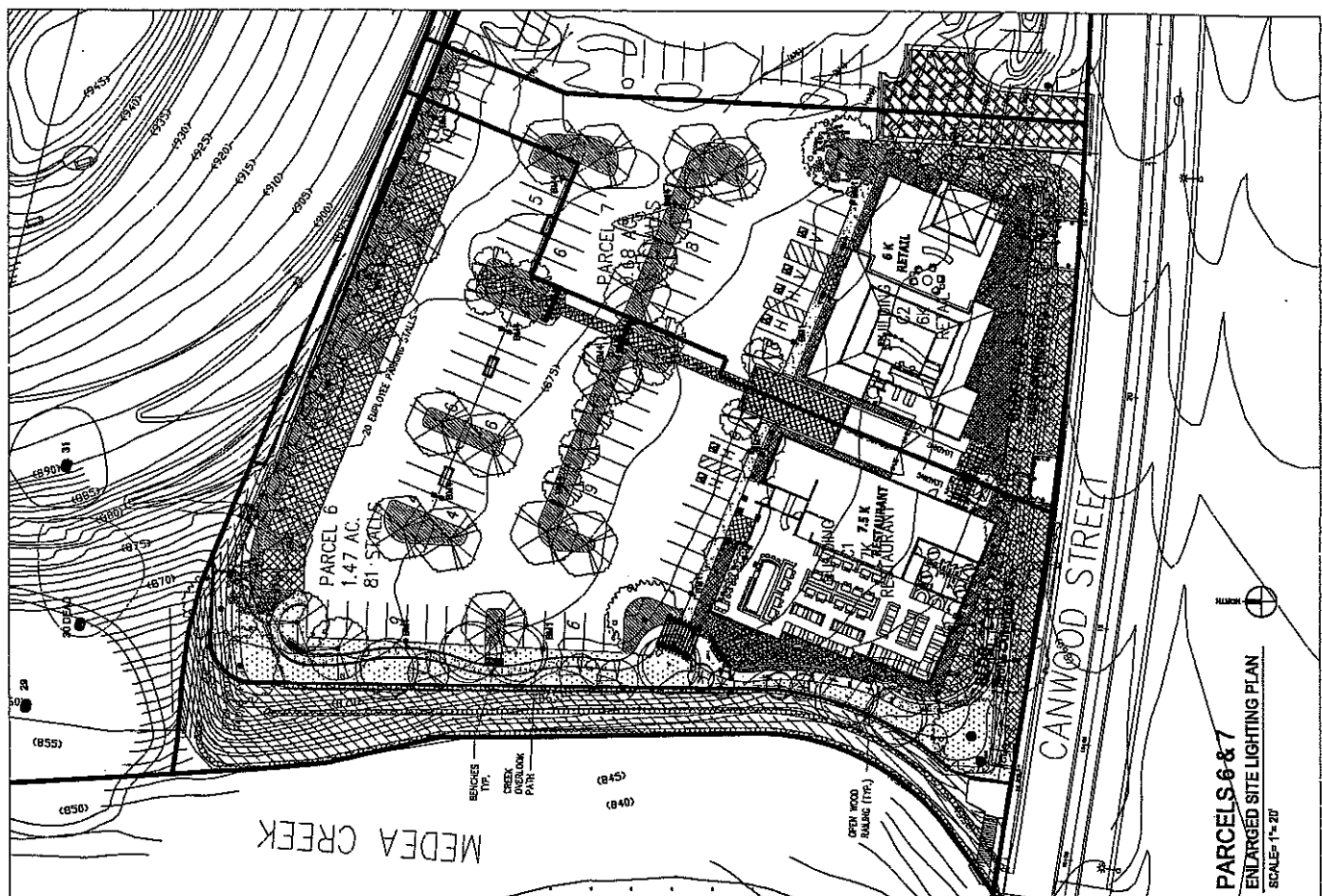
ARCHITECTS - PLANNERS - ENGINEERS
VAN TILBURG, BANAYARD & SODERBERG, AIA
 2121 Wilshire Boulevard, Suite 300, Woodland Hills, CA 91364
 TEL: (818) 709-1100
 FAX: (818) 709-1101
 WWW: www.van-tilburg.com

ADLER
 2121 Wilshire Boulevard, Suite 300, Woodland Hills, CA 91364
 TEL: (818) 709-1100
 FAX: (818) 709-1101
 WWW: www.adler.com

SHOPS at OAK CREEK
 City of Agoura Hills, CA 91301

PARCELS 6 & 7
SITE LIGHTING PLAN

LD-2.0

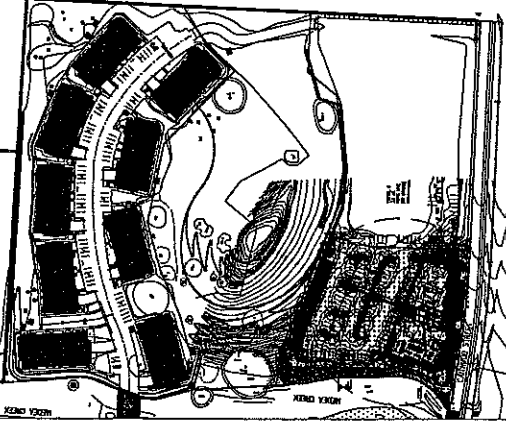


PARCELS 6 & 7
 ENLARGED SITE LIGHTING PLAN
 SCALE=1"=20'

PARCEL 6 (1.42 acres)
 RESTAURANT @ 15' 1000 S.F. = 80 SPACES
 (4000 s.f. actual seating area)
 PATIO @ 15' 1000 S.F. = 13 SPACES
 (850 s.f. total)
 PARKING REQUIRED BY CITY = 73 SPACES
 PARKING PROVIDED = 83 SPACES

PARCEL 7 (0.74 acres)
 RETAIL @ 1' 250 S.F. = 24 SPACES
 (800 s.f.)
 PATIO @ 0' 1000 S.F. = 0 SPACES
 PARKING REQUIRED BY CITY = 24 SPACES
 PARKING PROVIDED = 24 SPACES

NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.



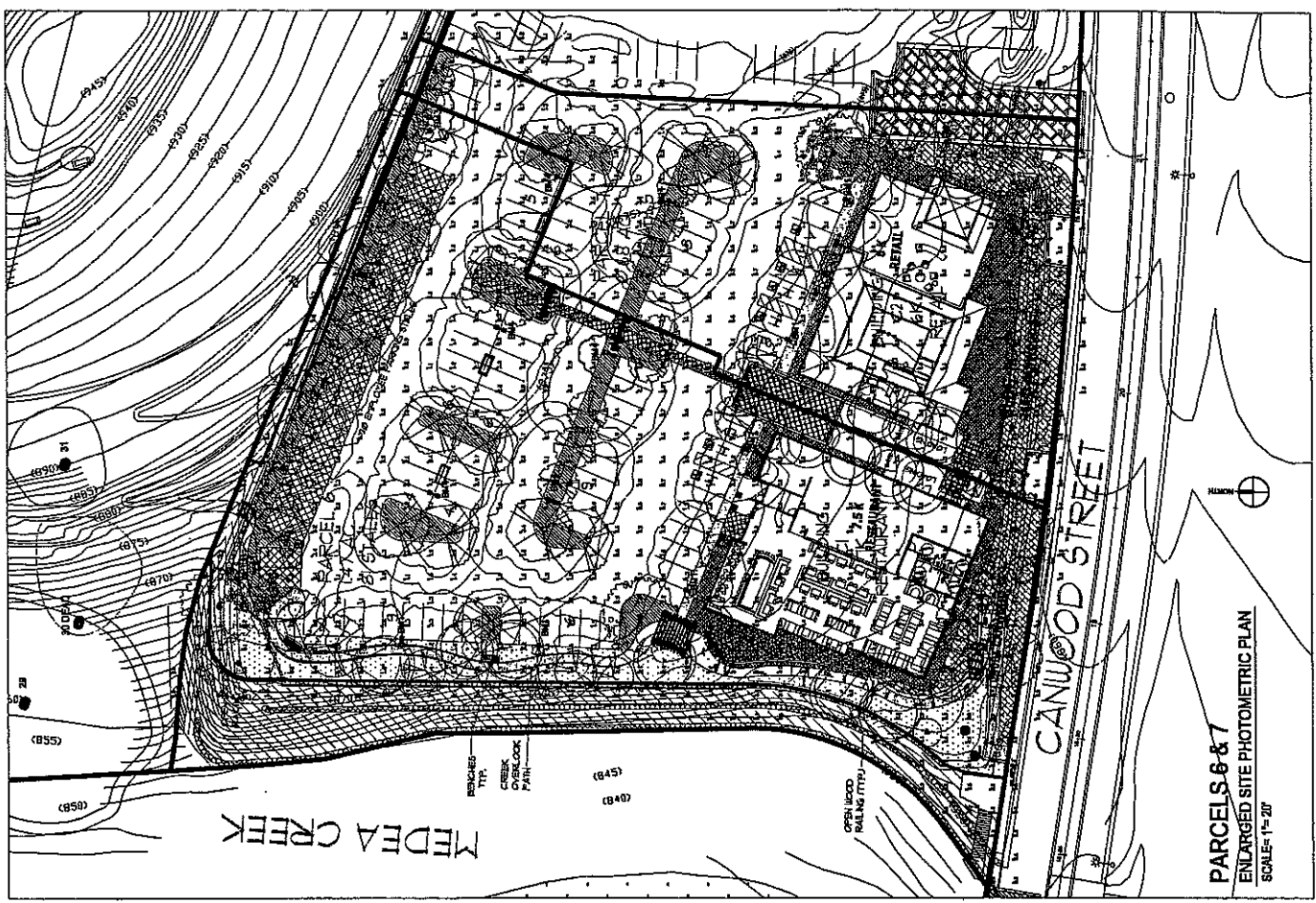
ENLARGED PLAN VIEW

OAK CREEK OVERALL SITE PLAN
 SCALE=1"=100'

PARCELS 6 & 7
ENLARGED SITE PHOTOMETRIC PLAN
SCALE: 1"=20'

CANWOOD STREET

MEDEA CREEK



SITE PHOTOMETRIC PLAN
PARCELS 6 & 7
BUILDING C

SHOPS at OAK CREEK
Client: County of Alameda, City of Alameda, CA 94601
Adler
22221 Venard Boulevard, Suite 200, Woodland Hills, CA 91364

PREPARED BY: JAMES K. HAYES, CIVIL ENGINEER
DATE: 05/15/08
PROJECT NO.: 08-0011
SHEET NO.: 01 OF 02
DRAWN BY: J. HAYES
CHECKED BY: J. HAYES
SCALE: AS SHOWN
DATE PLOTTED: 05/15/08
DRAWING NO.: 08-0011-01

ADLER
22221 Venard Boulevard, Suite 200, Woodland Hills, CA 91364
ADLER ARCHITECTS, INC.
3000 DE WILSON DRIVE
FREMONT, CA 94538
ARCHITECTS - PLANNING - ENGINEERS
VAN TILBURG, BANARD & SODERBERG, AN

NO.	DATE	BY	DESCRIPTION
1	05/15/08	J. Hayes	Final Plot
2	05/15/08	J. Hayes	Final Plot
3	05/15/08	J. Hayes	Final Plot
4	05/15/08	J. Hayes	Final Plot
5	05/15/08	J. Hayes	Final Plot
6	05/15/08	J. Hayes	Final Plot
7	05/15/08	J. Hayes	Final Plot
8	05/15/08	J. Hayes	Final Plot
9	05/15/08	J. Hayes	Final Plot
10	05/15/08	J. Hayes	Final Plot
11	05/15/08	J. Hayes	Final Plot
12	05/15/08	J. Hayes	Final Plot
13	05/15/08	J. Hayes	Final Plot
14	05/15/08	J. Hayes	Final Plot
15	05/15/08	J. Hayes	Final Plot
16	05/15/08	J. Hayes	Final Plot
17	05/15/08	J. Hayes	Final Plot
18	05/15/08	J. Hayes	Final Plot
19	05/15/08	J. Hayes	Final Plot
20	05/15/08	J. Hayes	Final Plot

ARCHITECTS - PLANNING - INTERIORS
VAN TILBURG, BAYARD & SOBERBERG, AIA
 1000 20th Street
 Santa Monica, CA 90406
 Tel: 310.312.0900
 Fax: 310.312.0901

ADLER
 An Interior Architecture Firm
 21721 Ventura Boulevard, Suite 200, Woodland Hills, CA 91364
 Tel: 818.346.1222
 Fax: 818.346.1223

SHOPS at OAK CREEK
 Planned by: City of Agoura Hills, CA 91301

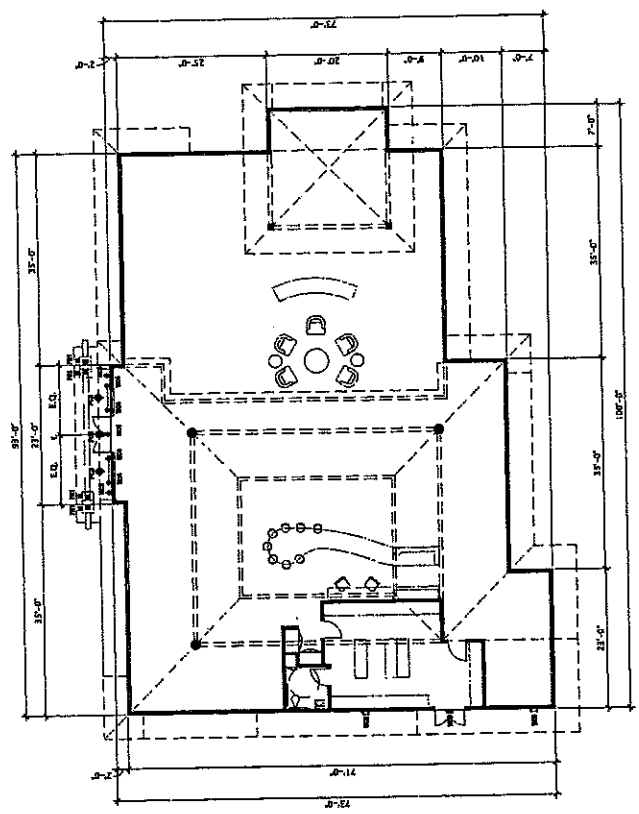
BLDG. LIGHTING PLAN

PARCEL 7

BUILDING C-2

DATE: 05/20/01	
NO.	DESCRIPTION

LD-5.6



GROUND FLOOR PLAN
 (6,000 SQ. FT. RETAIL)



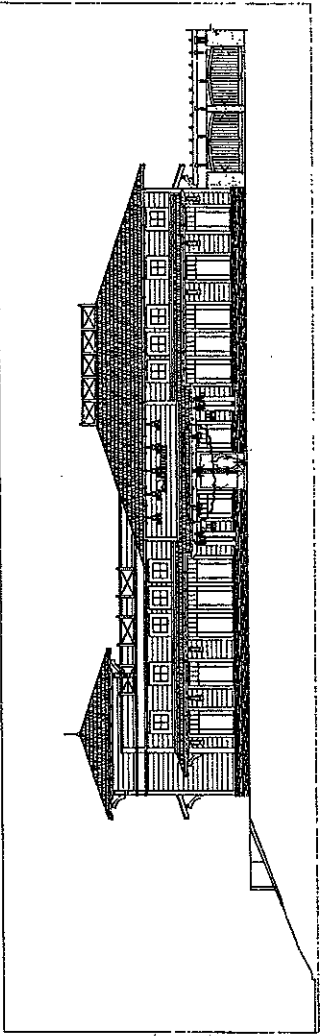
OAK CREEK BUILDING LIGHTING PLANS - BUILDING C-2

SCALE: 1/8" = 1'-0"

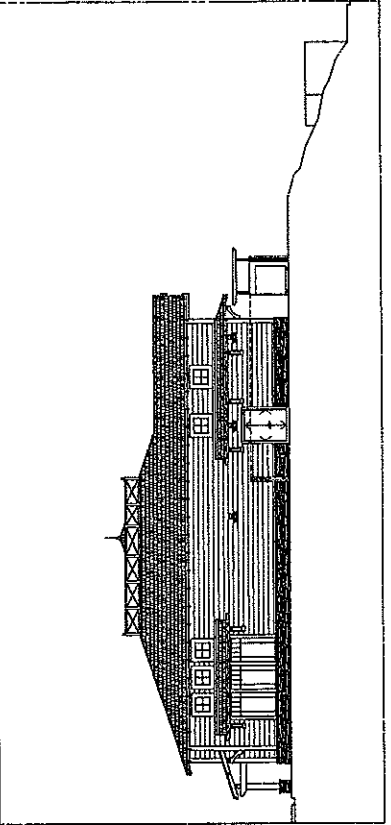
LD-6-1-C2

SCALE 1/4" = 1'-0"

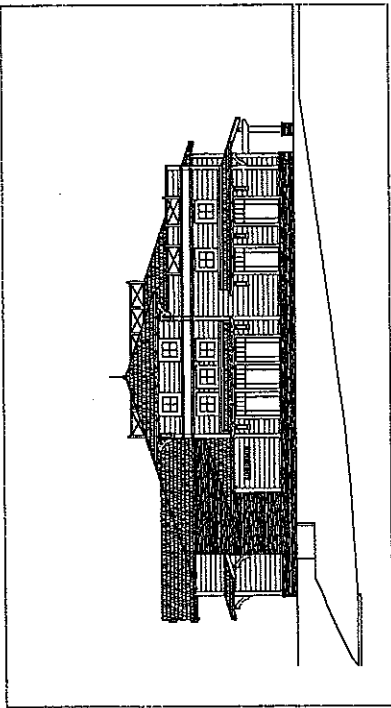
NORTH ELEVATION



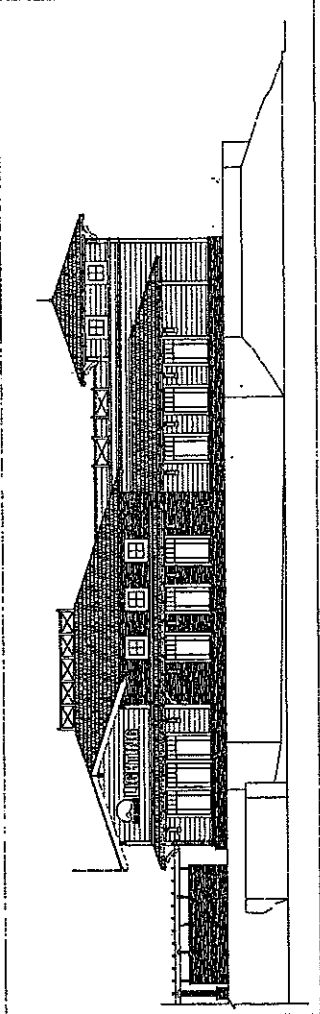
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NO.	REV.	DATE	DESCRIPTION

ELEVATIONS
PHASE I
PARCEL 7
BUILDING C2

SHOPS at OAK CREEK
 (located within City of Hayward, CA 94501)



VAN TILBORG, BANARD & SODERBERGH, AIA
 ARCHITECTS - PLANNERS - INTERIORS
 1500 SAN ALBA AVENUE
 DUBLIN, CA 94568
 925.852.2200
 www.van-tilborg.com

SHOPS at OAK CREEK

CHANDLER SQUARE, CITY OF AGGOURA HILLS, CA 92620



ADLER
12321 Ventura Boulevard, Suite 200, Woodland Hills, CA 91364

PRELIMINARY EXTERIOR ELEVATIONS

YAN TILBURG, BARNARD & SOBERBERG, AIA
ARCHITECTS - PLANNING - INTERIORS

DATE: 07.28.10
DRAWN BY: J. BARNARD
CHECKED BY: J. SOBERBERG
SCALE: 1/8" = 1'-0"

LD-7.0

WOOD RANCH
8888 GATEWAY
BUILDING C-1
SHOPS AT OAK CREEK
AGGOURA HILLS, CA

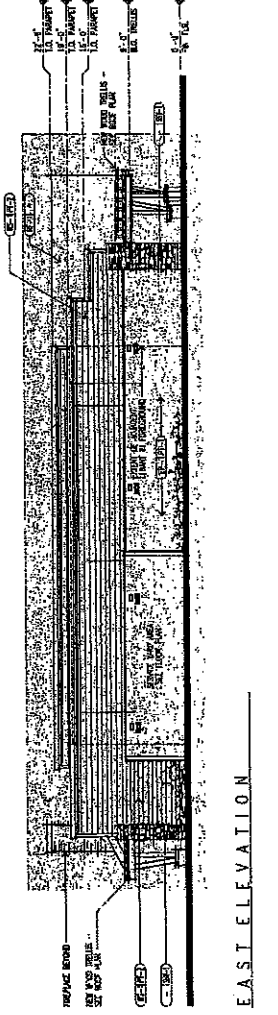
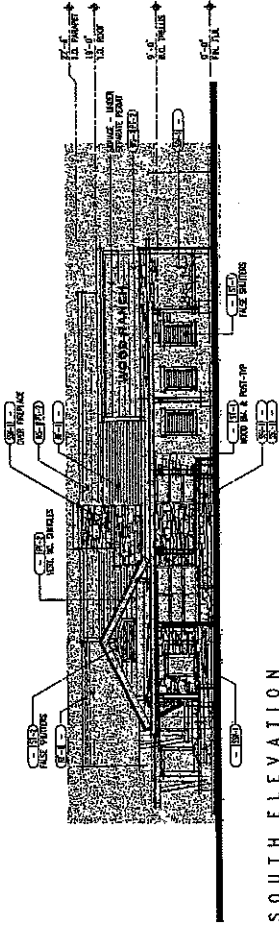
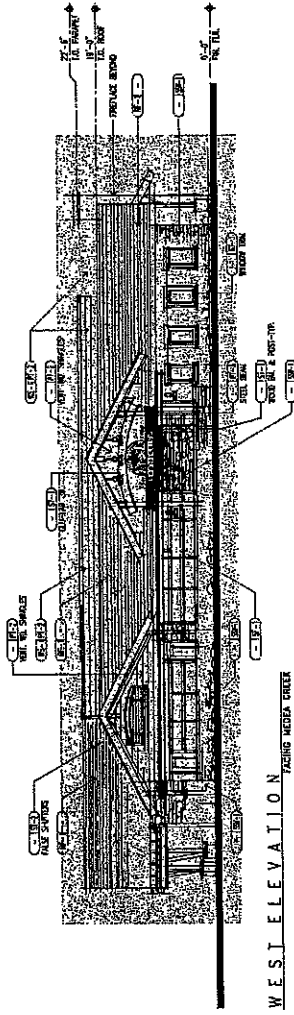
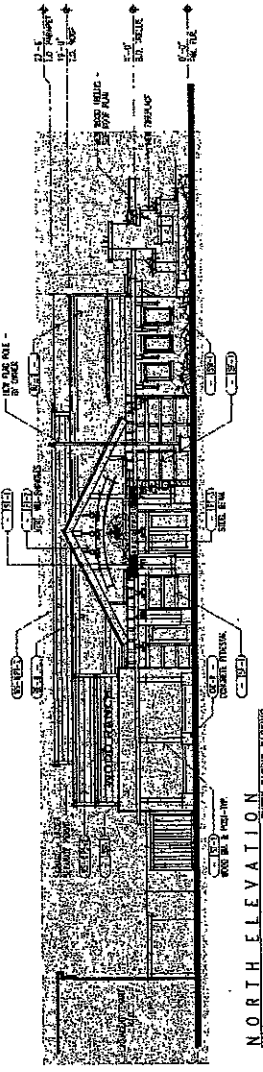
WOOD RANCH
8888 GATEWAY
BUILDING C-1
SHOPS AT OAK CREEK
AGGOURA HILLS, CA

WOOD RANCH
8888 GATEWAY
BUILDING C-1
SHOPS AT OAK CREEK
AGGOURA HILLS, CA

EXTERIOR FINISH LEGEND

- (E1) EXTERIOR GENERAL FINISH
- (E2) EXTERIOR GENERAL FINISH - LIGHT SHADE
- (E3) EXTERIOR GENERAL FINISH - MEDIUM SHADE
- (E4) EXTERIOR GENERAL FINISH - DARK SHADE
- (E5) EXTERIOR GENERAL FINISH - VERTICAL SLATS
- (E6) EXTERIOR GENERAL FINISH - HORIZONTAL SLATS
- (E7) EXTERIOR GENERAL FINISH - METALLIC
- (E8) EXTERIOR GENERAL FINISH - STAINLESS STEEL
- (E9) EXTERIOR GENERAL FINISH - BRASS
- (E10) EXTERIOR GENERAL FINISH - COPPER
- (E11) EXTERIOR GENERAL FINISH - ALUMINUM
- (E12) EXTERIOR GENERAL FINISH - GALVANNEAL
- (E13) EXTERIOR GENERAL FINISH - POLYURETHANE
- (E14) EXTERIOR GENERAL FINISH - CONCRETE
- (E15) EXTERIOR GENERAL FINISH - BRICK
- (E16) EXTERIOR GENERAL FINISH - TILE
- (E17) EXTERIOR GENERAL FINISH - MARBLE
- (E18) EXTERIOR GENERAL FINISH - GRANITE
- (E19) EXTERIOR GENERAL FINISH - QUARTZ
- (E20) EXTERIOR GENERAL FINISH - SOLID SURFACE
- (E21) EXTERIOR GENERAL FINISH - GLASS
- (E22) EXTERIOR GENERAL FINISH - POLYCARBONATE
- (E23) EXTERIOR GENERAL FINISH - PLEXIGLASS
- (E24) EXTERIOR GENERAL FINISH - FIBERGLASS
- (E25) EXTERIOR GENERAL FINISH - CARBON FIBER
- (E26) EXTERIOR GENERAL FINISH - Kevlar
- (E27) EXTERIOR GENERAL FINISH - FRP
- (E28) EXTERIOR GENERAL FINISH - GFRP
- (E29) EXTERIOR GENERAL FINISH - CFRP
- (E30) EXTERIOR GENERAL FINISH - KFRP
- (E31) EXTERIOR GENERAL FINISH - BFRP
- (E32) EXTERIOR GENERAL FINISH - IFRP
- (E33) EXTERIOR GENERAL FINISH - VFRP
- (E34) EXTERIOR GENERAL FINISH - EFRP
- (E35) EXTERIOR GENERAL FINISH - AFRP
- (E36) EXTERIOR GENERAL FINISH - SFRP
- (E37) EXTERIOR GENERAL FINISH - RFRP
- (E38) EXTERIOR GENERAL FINISH - PFRP
- (E39) EXTERIOR GENERAL FINISH - OFRP
- (E40) EXTERIOR GENERAL FINISH - UFRP
- (E41) EXTERIOR GENERAL FINISH - DFRP
- (E42) EXTERIOR GENERAL FINISH - LFRP
- (E43) EXTERIOR GENERAL FINISH - HFRP
- (E44) EXTERIOR GENERAL FINISH - VFRP
- (E45) EXTERIOR GENERAL FINISH - HFRP
- (E46) EXTERIOR GENERAL FINISH - VFRP
- (E47) EXTERIOR GENERAL FINISH - HFRP
- (E48) EXTERIOR GENERAL FINISH - VFRP
- (E49) EXTERIOR GENERAL FINISH - HFRP
- (E50) EXTERIOR GENERAL FINISH - VFRP

NOTE: (E1) THROUGH (E50) ARE TO BE USED IN CONJUNCTION WITH THE EXTERIOR FINISH LEGEND.



1/8" = 1'-0"

0.24 0.12 0.06

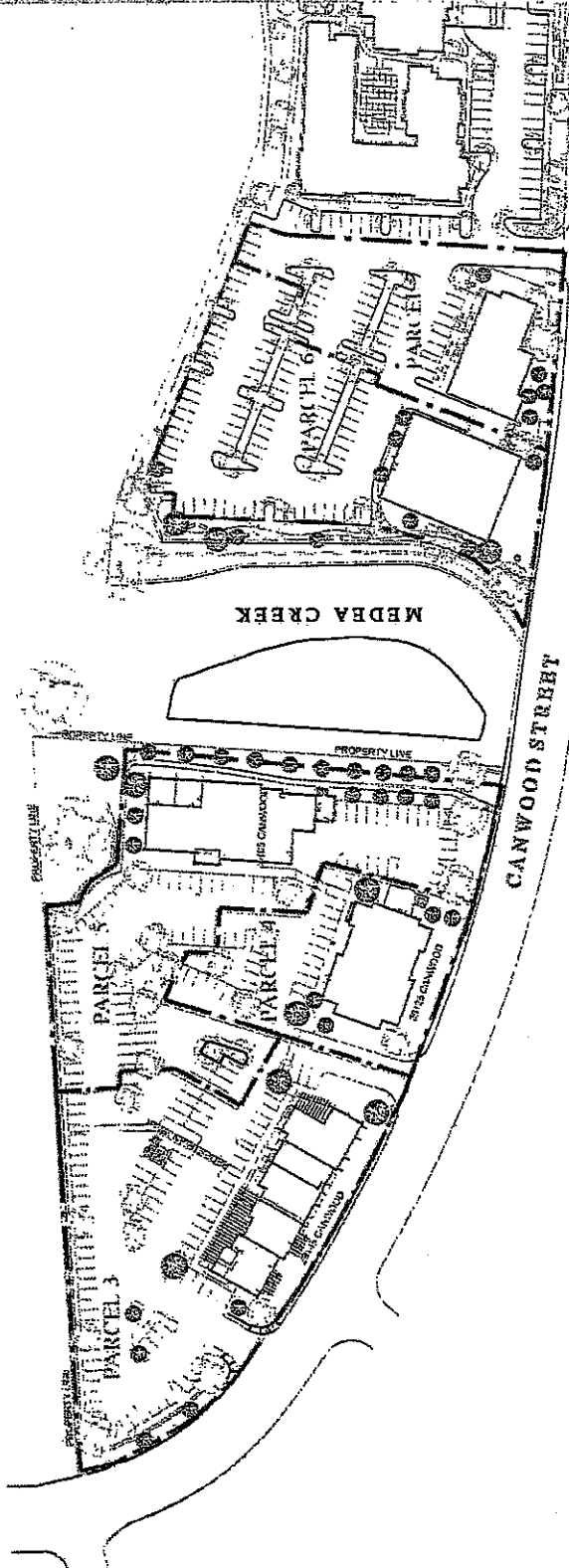
WOOD RANCH
8888 GATEWAY
BUILDING C-1
SHOPS AT OAK CREEK
AGGOURA HILLS, CA



OAK CREEK

PLANNED
SIGN PROGRAM
FOR SITE AND
BUILDING SIGNS

PARCELS
3, 4, 5, 6, 7



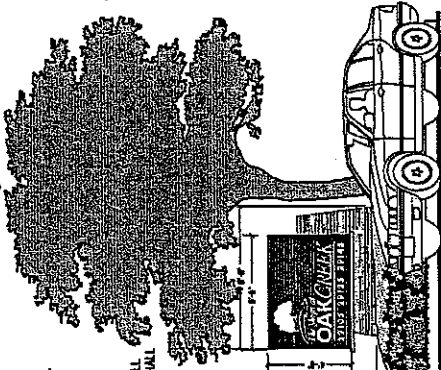
SKA

SITE/ADDRESS IDENTITY MONUMENT SIGNAGE

A SMALL MONUMENT SIGN, IS PROPOSED TO PROVIDE THE PROJECT IDENTITY FOR SITE VISITORS. SUCH SIGNAGE SHALL BE LOCATED ALONG THE DEVELOPMENT AND THE ADJACENT AREAS OF THE BUILDINGS ACCESSED FROM THE SITE ENTRANCE.

THE OVERALL MESSAGE AREA OF THESE SIGNS SHALL BE LIMITED TO 32 SQUARE FEET AT EACH LOCATION. THE OVERALL AREA OF THIS SIGN INCLUDING THE SUPPORT STRUCTURE SHALL BE LIMITED TO 48 SQUARE FEET AND SHALL NOT EXCEED AN OVERALL HEIGHT OF 8'-0".

SUCH SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE INTEGRAL, FACED LETTERING OR AID SYSTEMS AND NOT REFLECTED LIGHT TO ILLUMINATE THE PROJECT IDENTIFICATION AND ADDRESS COPY.



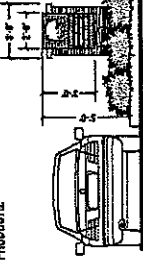
OAK CREEK PROJECT IDENTIFICATION MONUMENT SIGN (ONE SIGN AT EACH SITE ENTRANCE)

ON-SITE DIRECTIONAL INFORMATION SIGNAGE

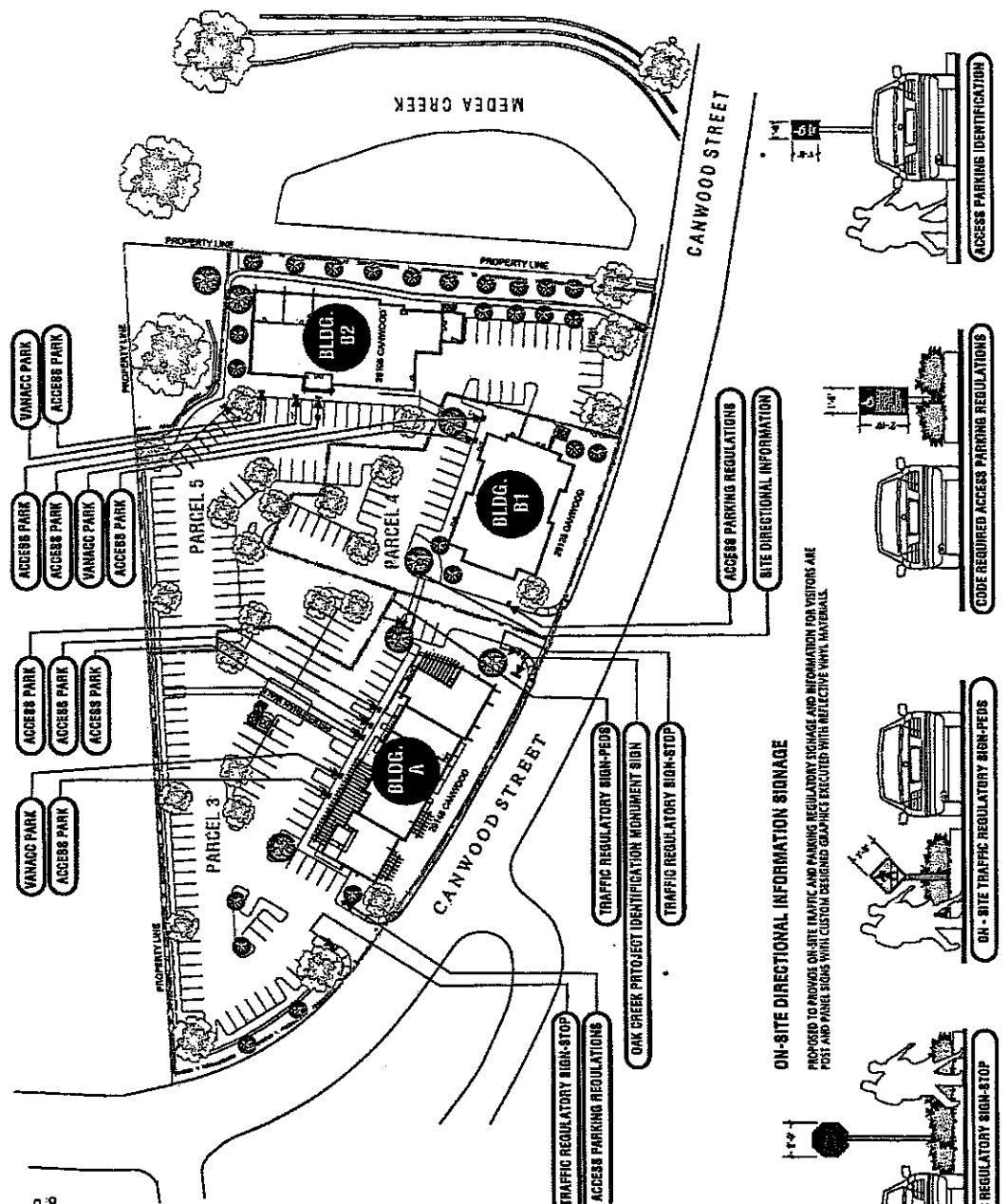
PROPOSED TO PROVIDE ON-SITE DIRECTIONAL INFORMATION FOR VISITORS ARE SMALL, INDUSTRUMENT SIGNS, TO BE LOCATED AS MAY BE REQUIRED, AT THE OWNER'S OPTION.

TYPICALLY, THESE SIGNS WILL INCLUDE THE NAME OF THE DEVELOPMENT AND UP TO EIGHT (8) RANKS OF TENANTS WHO MAY BE FOUND ON THE SITE. THE OVERALL MESSAGE AREA OF THE SIGN IS LIMITED TO 6 SQUARE FEET AT EACH LOCATION. THE OVERALL SIGN HEIGHT INCLUDING THE SUPPORT STRUCTURE SHALL NOT EXCEED AN OVERALL HEIGHT OF 8'-0".

THESE SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE ILLUMINATED WITH THE USE OF REFLECTIVE VINYL GRAPHIC PRODUCTS.

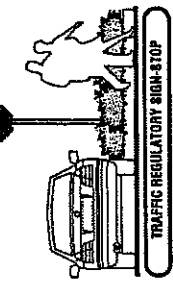


ON-SITE TENANT DIRECTIONAL INFORMATION SIGN (OPTIONAL BY OWNER)

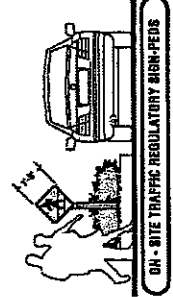


ON-SITE DIRECTIONAL INFORMATION SIGNAGE

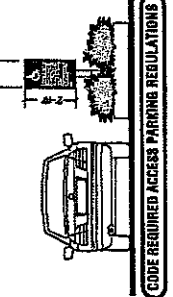
PROPOSED TO PROVIDE ON-SITE TRAFFIC AND PARKING REGULATORY SIGNAGE AND INFORMATION FOR VISITORS ARE POST AND PANEL SIGNS WITH CUSTOM DESIGNED GRAPHICS EXECUTED WITH REFLECTIVE VINYL MATERIALS.



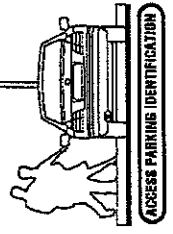
TRAFFIC REGULATORY SIGN-STOP



ON-SITE TRAFFIC REGULATORY SIGN-PEDS



CODE REQUIRED ACCESS PARKING REGULATIONS



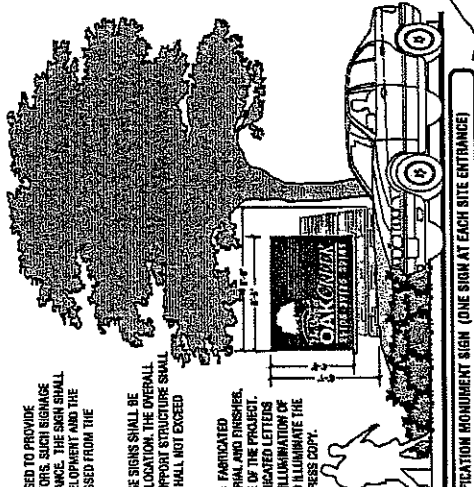
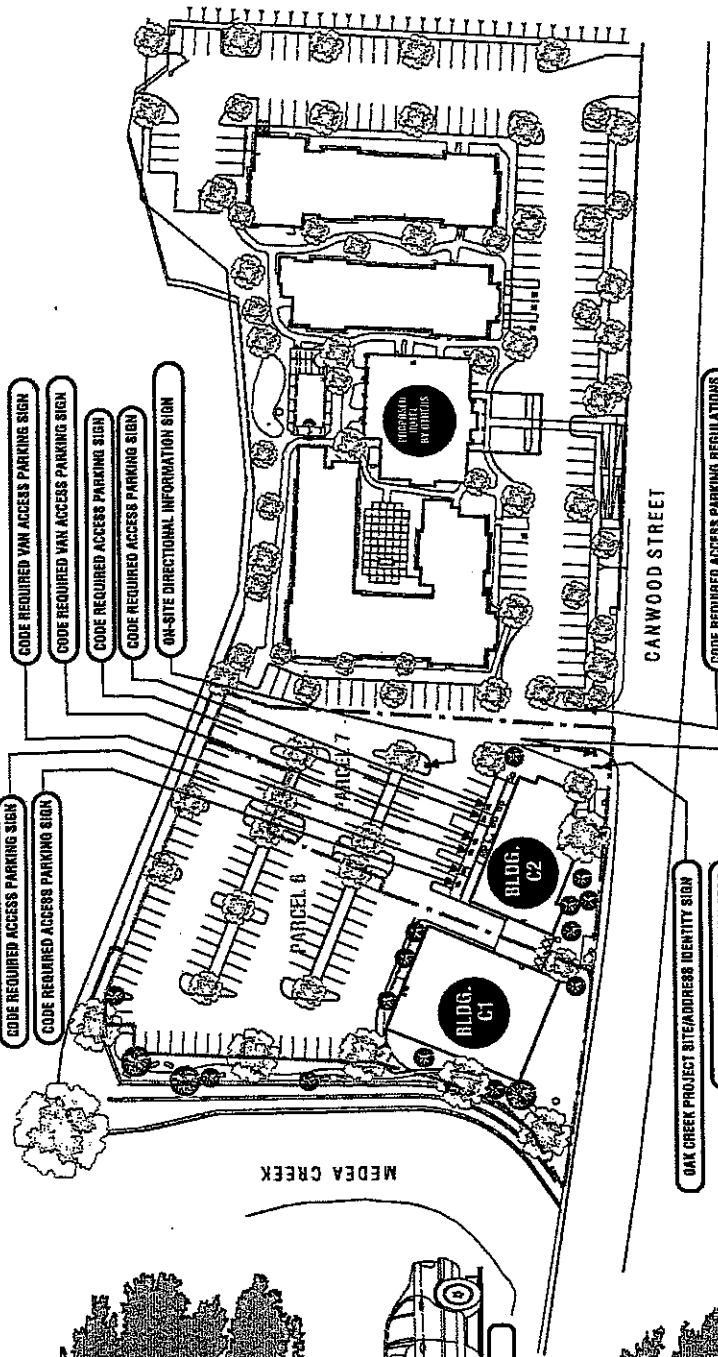
ACCESS PARKING IDENTIFICATION

SITE/ADDRESS IDENTITY MONUMENT SIGNAGE

A SMALL MONUMENT SIGN, IS PROPOSED TO PROVIDE THE PROJECT IDENTITY FOR SITE VISITORS. THE SIGN SHALL BE LOCATED AT THE MAKE-UP OF THE DRIVEWAY AND THE ADDRESSES OF THE BUILDINGS ACCESSED FROM THE SITE ENTRANCE.

THE OVERALL MESSAGE AREA OF THESE SIGNS SHALL BE LIMITED TO 32 SQUARE FEET AT EACH LOCATION. THE OVERALL AREA OF THIS SIGN INCLUDING THE SUPPORT STRUCTURE SHALL BE LIMITED TO 48 SQUARE FEET AND SHALL NOT EXCEED AN OVERALL HEIGHT OF 8'-0".

SUCH SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES, WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE MINIMAL AND SHALL ILLUSTRATION OF LOGOS AND SYMBOLS WITH HIGH CONTRAST TO ILLUMINATE THE PROJECT IDENTIFICATION AND ADDRESS DATA.



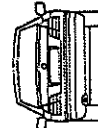
OAK CREEK PROJECT IDENTIFICATION MONUMENT SIGN (ONE SIGN AT EACH SITE ENTRANCE)

ON-SITE DIRECTIONAL INFORMATION SIGNAGE

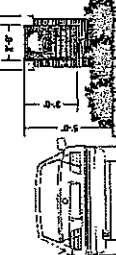
PROPOSED TO PROVIDE ON-SITE DIRECTIONAL INFORMATION FOR VISITORS ARE SMALL, MONUMENT SIGNS, TO BE LOCATED AS MAY BE REQUIRED, AT THE OWNER'S OPTION.

TYPICALLY, THESE SIGNS WILL INCLUDE THE NAME OF THE DEVELOPER AND/OR THE PROJECT. THE OVERALL MESSAGE AREA OF THE SIGN IS LIMITED TO 8 SQUARE FEET AT EACH LOCATION. THE OVERALL SIGN AREA INCLUDING SUPPORT STRUCTURE SHALL BE LIMITED TO 15 SQUARE FEET AND THE SIGN SHALL NOT EXCEED AN OVERALL HEIGHT OF 8'-0".

THESE SIGNS SHALL BE DESIGNED AND FABRICATED WITH ARCHITECTURAL QUALITY MATERIAL AND FINISHES WHICH RELATE TO THE DESIGN THEME OF THE PROJECT. GRAPHICS SHALL BE ILLUSTRATED WITH THE USE OF REFLECTIVE VINYL GRAPHIC PRODUCTS.



TRAFFIC REGULATORY SIGN-STOP



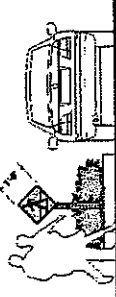
TRAFFIC REGULATORY SIGN-STOP



ON-SITE DIRECTIONAL INFORMATION SIGN (OPTIONAL BY OWNER)



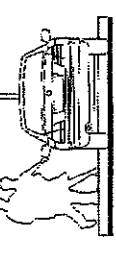
TRAFFIC REGULATORY SIGN-STOP



ON-SITE TRAFFIC REGULATORY SIGN-PEDESTRIAN



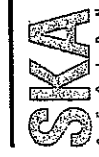
CODE REQUIRED ACCESS PARKING REGULATIONS



ACCESS PARKING IDENTIFICATION

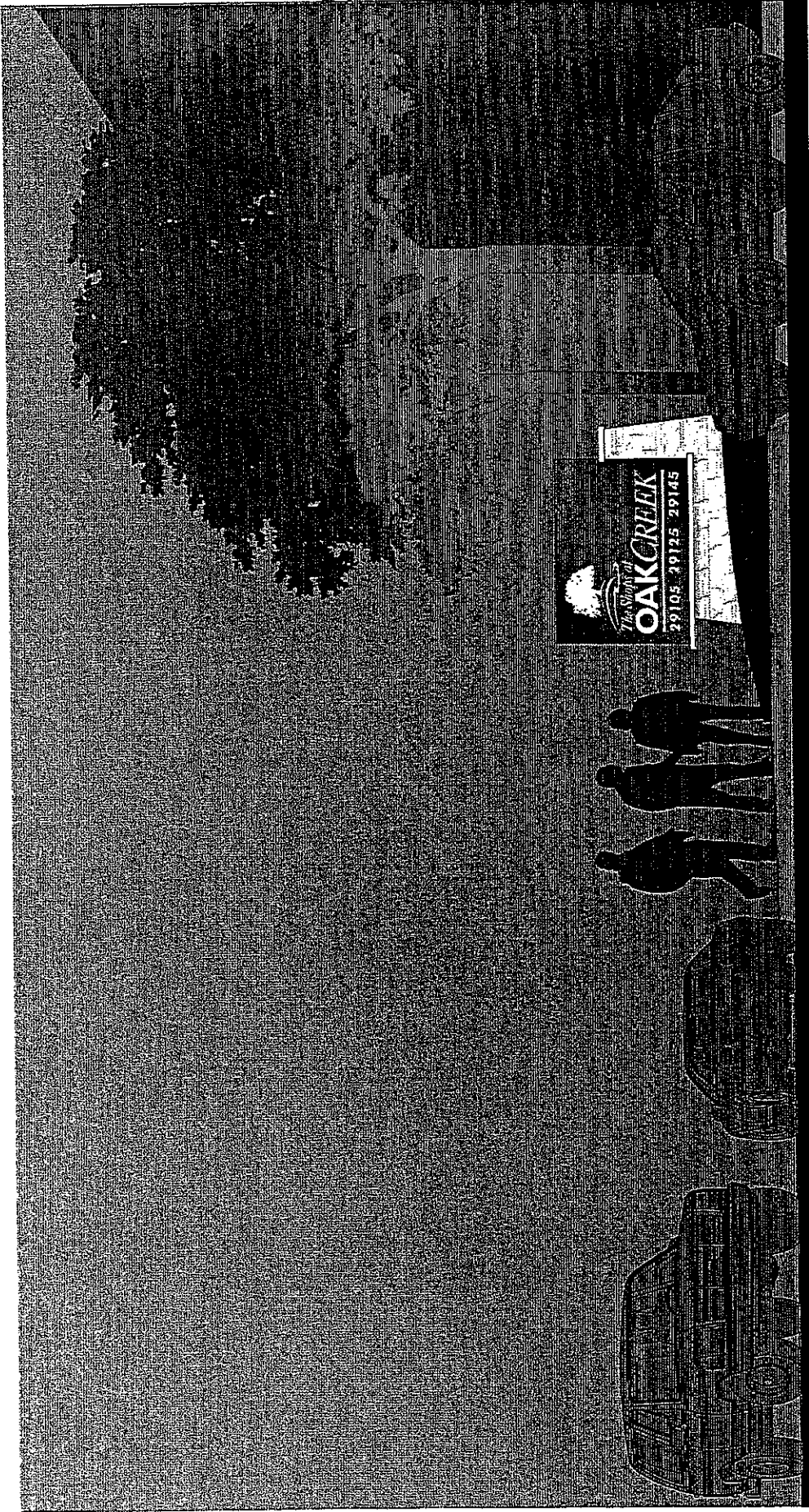
ON-SITE DIRECTIONAL INFORMATION SIGNAGE

PROPOSED TO PROVIDE ON-SITE TRAFFIC AND PARKING REGULATORY SIGNAGE AND INFORMATION FOR VISITORS ARE POST AND PANEL SIGNS WITH CUSTOM DESIGNED GRAPHICS EXECUTED WITH REFLECTIVE VINYL MATERIALS.



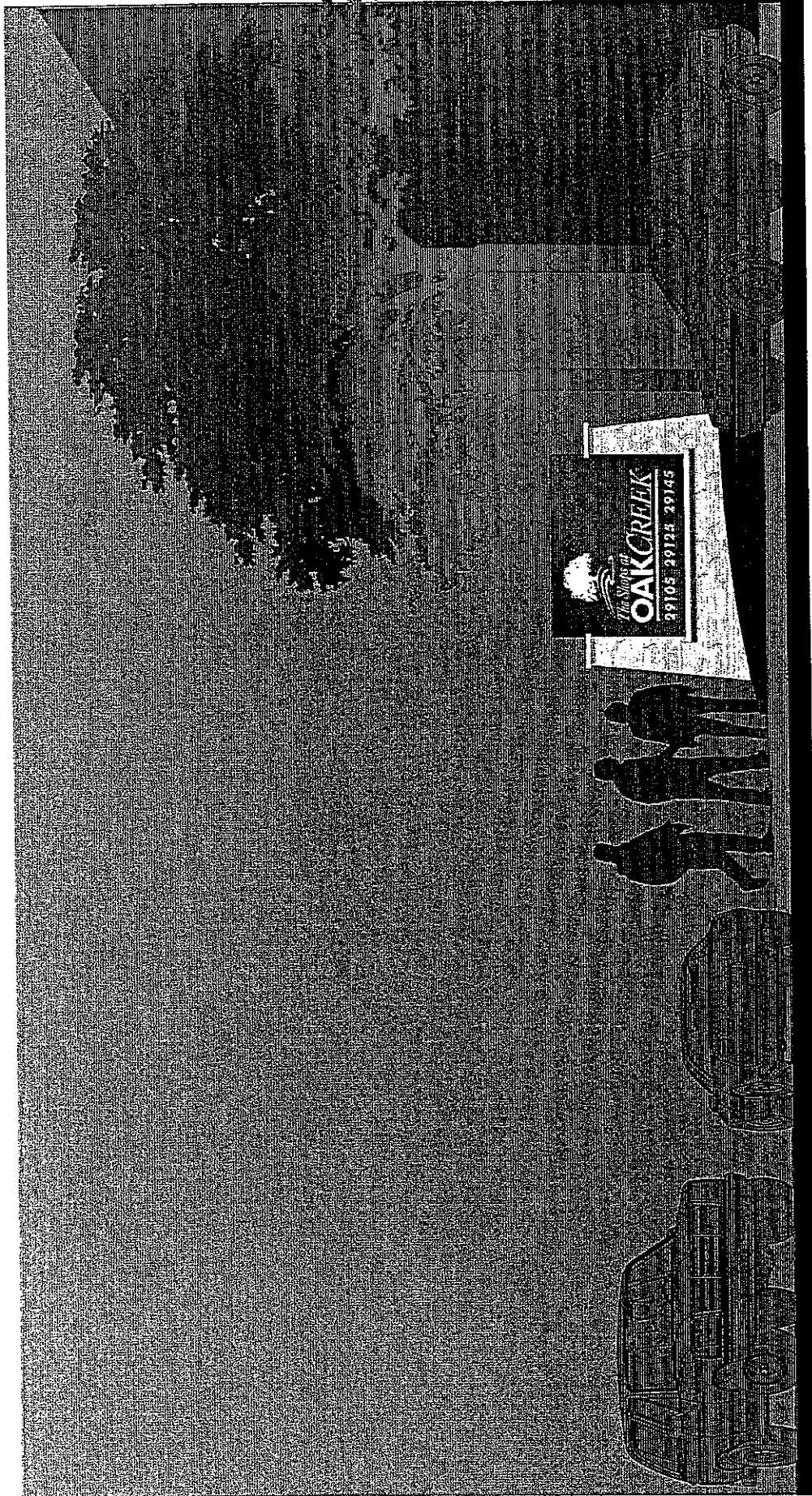
**The Shops at Oak Creek, Agoura Hills
Proposed Site Signage-Designs and Sign Location Plan**





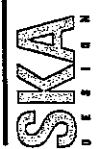
OAK CREEK

SKA | The Shops at Oak Creek, Agoura Hills
PROJECT IDENTITY MONUMENT SIGN SCHEME A



OAK CREEK

SKA | The Shops at Oak Creek, Agoura Hills
Project Identity Monument Sign Scheme B



PRIMARY TENANT IDENTITY- BUILDING WALL SIGNS

TENANT IDENTIFICATION WALL SIGNAGE SHALL BE ALLOWED UNDER THE PROVISIONS OF THE DESIGN CRITERIA ESTABLISHED HEREIN, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER, THE CITY OF AGOURA HILLS, PLANNING DEPARTMENT AND THE CITY OF AGOURA HILLS DESIGN COMMISSION.

PRIMARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ON CANWOOD STREET. END CAP TENANTS THAT HAVE ELEVATIONS WITH FRONTAGE ALONG SITE ACCESS DRIVEWAYS MAY HAVE ONE (1) ADDITIONAL TENANT IDENTITY WALL SIGN LOCATED ON SUCH ELEVATIONS.

TYPICALLY, TENANT IDENTITY SIGNAGE SHALL BE LIMITED TO THE MARKETING OR BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE UPON WHICH THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL SIGN AREA OF A TENANT IDENTITY WALL SIGN SHALL BE LIMITED TO AN AREA EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE THAT ENCLOSES A DEMISED TENANT SPACE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA OF ALL SUCH SIGNS ALLOWED FOR EACH TENANT, EXCEED A MAXIMUM OF 50 SQUARE FEET OF TOTAL SIGN AREA.

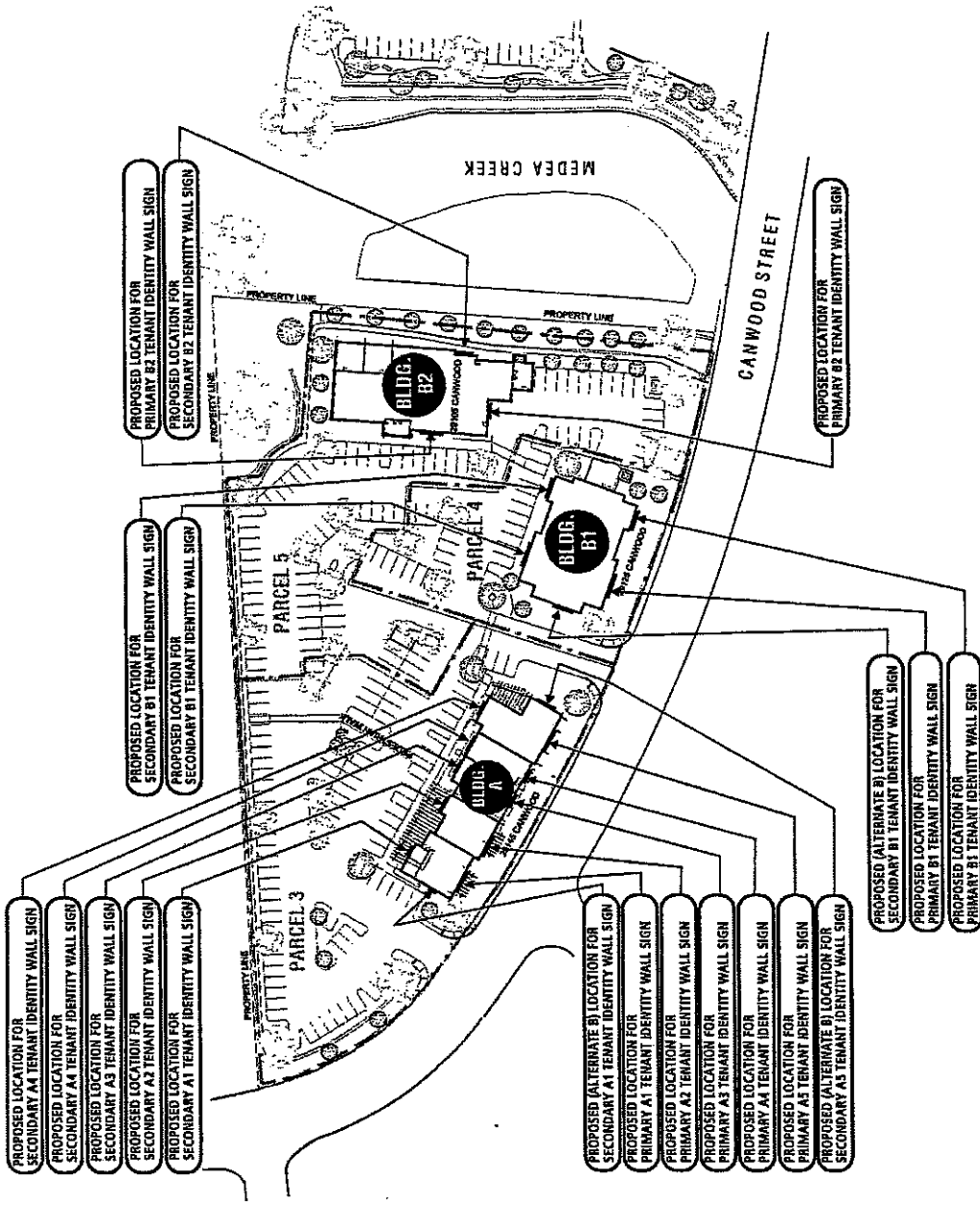
TENANT IDENTITY WALL SIGNS SHALL BE FABRICATED WITH QUALITY MATERIAL AND FINISHES. CREATIVITY IS ENCOURAGED IN THE DESIGN AND EXECUTION OF SUCH SIGNAGE, WITH ELEMENTS INCLUDING SYMBOLS AND LETTERS THAT EXHIBIT DEPTH AND DIMENSIONALITY.

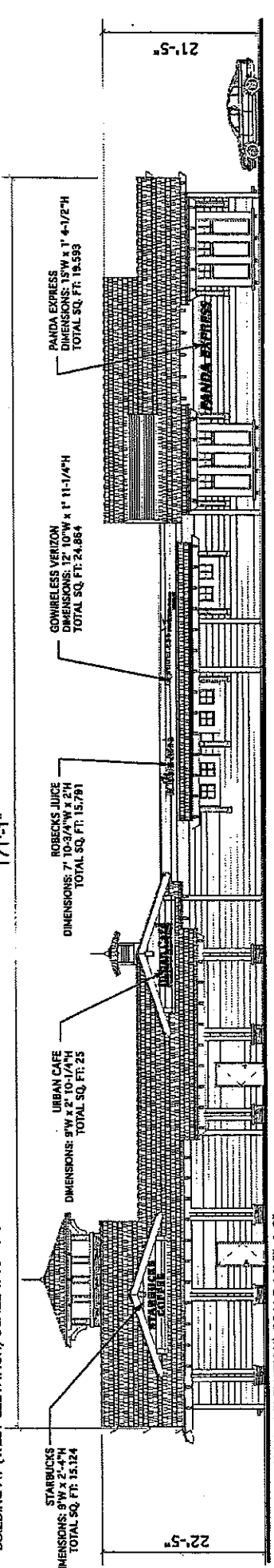
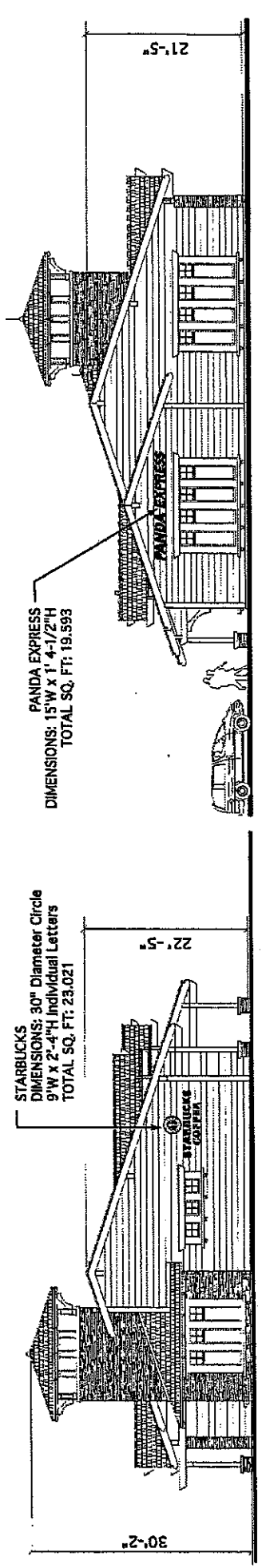
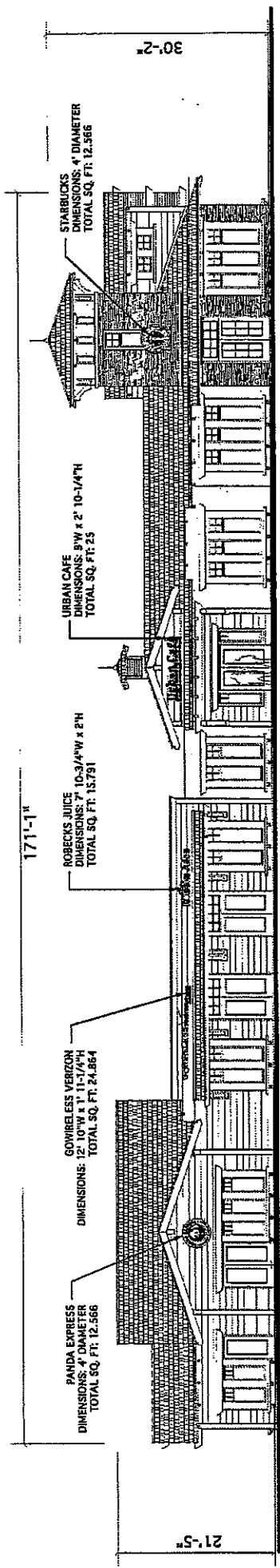
SUCH SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED. LIGHTING TECHNIQUES WHICH PROVIDE INTERNALLY TRANSMITTED (THRU THE FACE) ILLUMINATION ARE STRICTLY PROHIBITED. ILLUMINATION OF SUCH SIGNS SHALL BE LIMITED TO HALO ILLUMINATION AFFECTS WITH LETTER AND GRAPHIC FORMS. PROVIDING REFLECTED PERIMETER LIGHTING, WHEREIN REVERSE CHANNEL LETTER FORMS ARE OUTLINED BY LIGHTING CONCEALED WITHIN THE LETTER THAT REFLECTS OFF OF THE WALL SURFACE UPON WHICH THE SIGN IS ATTACHED. EXTERNAL ILLUMINATION OF TENANT SIGNS SHALL ALLOWED AND SHALL BE EXECUTED WITH ARCHITECTURAL QUALITY SIGN LIGHTING LIGHTING FIXTURES, WHICH HAVE BEEN APPROVED BY THE OWNER AND THE ARCHITECT FOR THE PROJECT.

SECONDARY TENANT IDENTITY- BUILDING WALL SIGNS

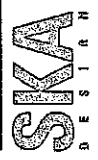
SECONDARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ALONG SITE PARKING AREAS AND WITH FRONTAGE ALONG MEDEA CREEK OR AT THE PUBLIC ENTRANCE TO A DEMISED TENANT SPACE WHERE SUCH ENTRANCES MAY NOT BE OBVIOUSLY SEEN FROM SITE PARKING AREAS. SUCH SIGNAGE SHALL BE LIMITED TO THE BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE WHERE THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL AGGREGATE SIGN AREA OF SUCH TENANT IDENTITY WALL SIGNS SHALL BE LIMITED TO AN AREA, WHICH IS EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA ALLOWED FOR EACH DEMISED TENANT SPACE, EXCEED 50 SQUARE FEET OF TOTAL SIGN AREA FOR ALL BUILDING ELEVATIONS, WHICH ARE PROPOSED TO BE SIGNED BY EACH TENANT.



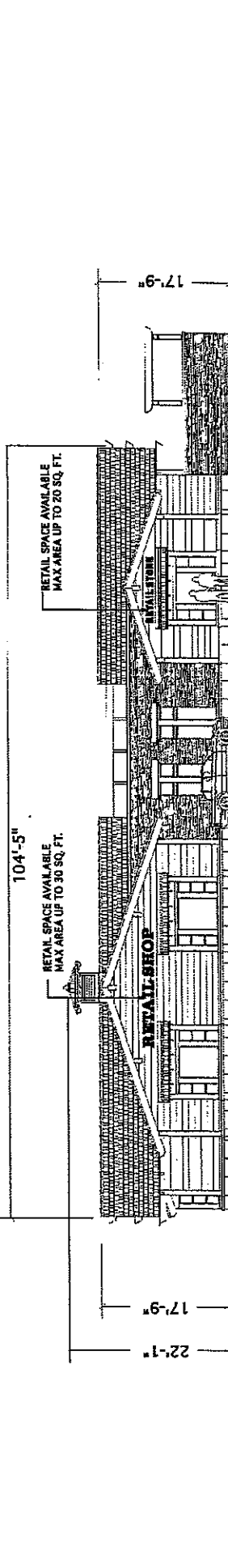
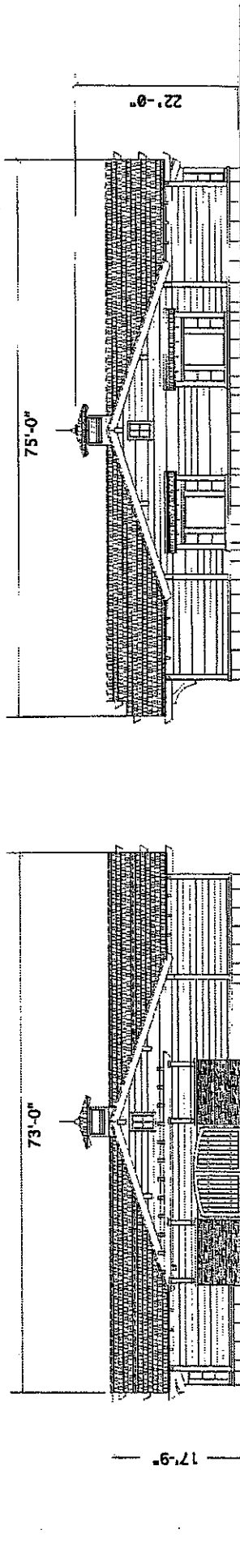
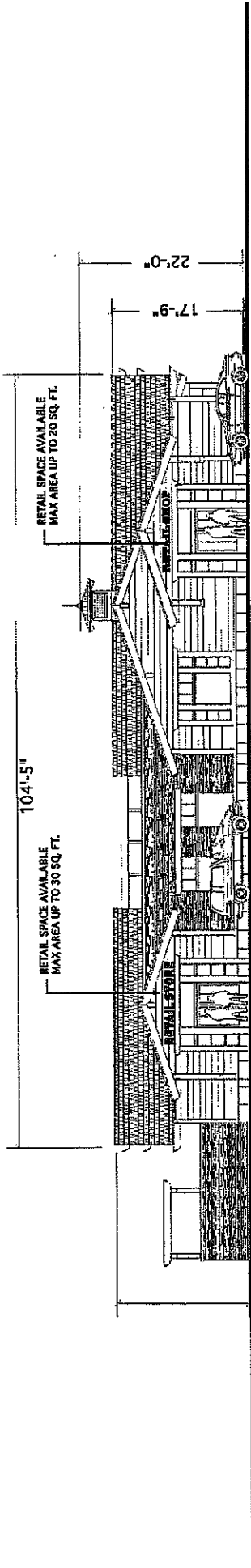


BUILDING A1 (SOUTH ELEVATION) SCALE 1/16"=1'-0"



The Shops at Oak Creek, Agoura Hills
Building A1 Elevations, Proposed Wall Sign Location Plans

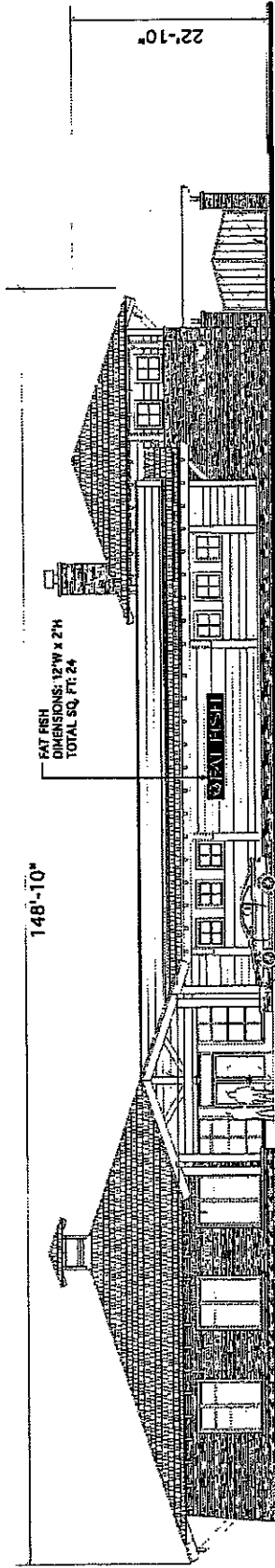




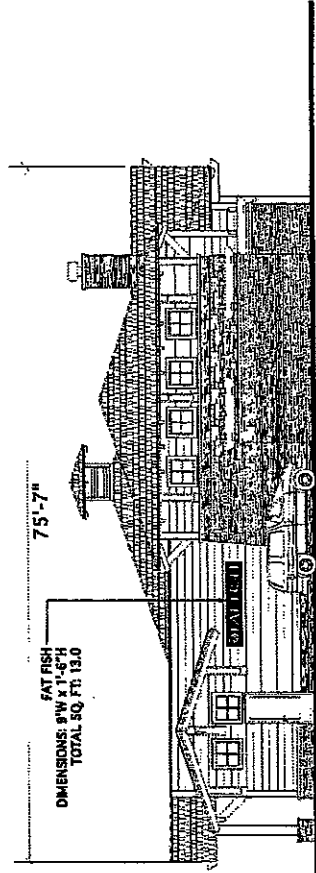
OAKCREEK

The Shops at Oak Creek, Agoura Hills
Building B1 Elevations, Proposed Wall Sign Location Plans

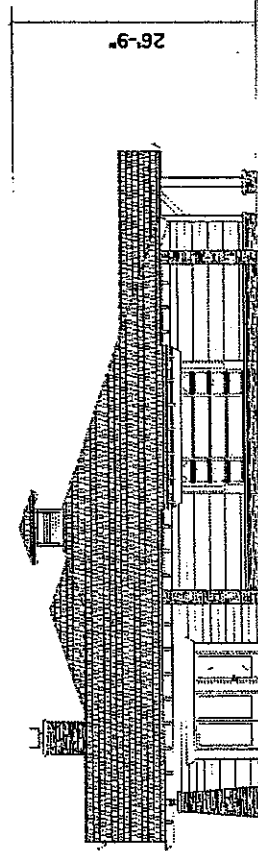
SKA
 P E R T I O N



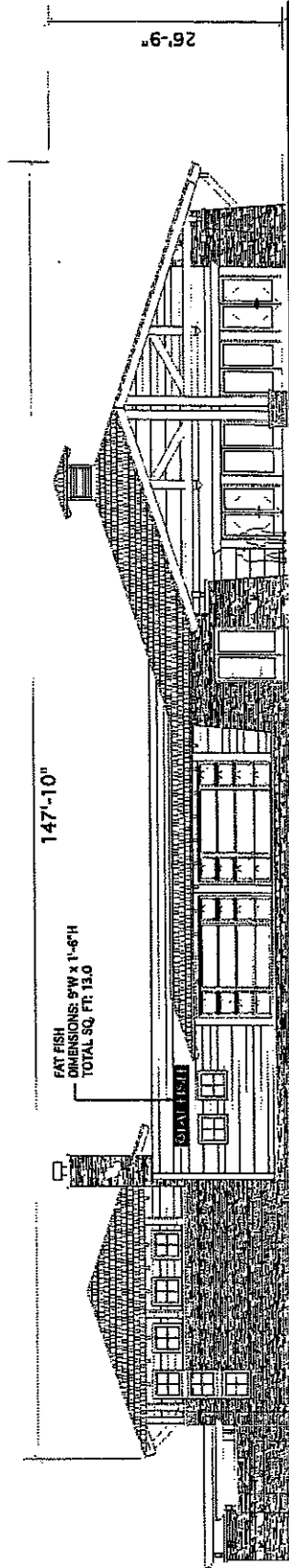
BUILDING B2 PARKING LOT (WEST ELEVATION) SCALE 1/16"=1'-0"



BUILDING B2 PARKING LOT (NORTH ELEVATION) SCALE 1/16"=1'-0"



BUILDING B2 (SOUTH ELEVATION) SCALE 1/16"=1'-0"



BUILDING B2 MEDEA CREEK (EAST ELEVATION) SCALE 1/16"=1'-0"



OAK CREEK

SKA | The Shops at Oak Creek, Agoura Hills
DESIGN | Building B2 Elevations, Proposed Wall Sign Location Plans

PRIMARY TENANT IDENTITY- BUILDING WALL SIGNS

TENANT IDENTIFICATION WALL SIGNAGE SHALL BE ALLOWED UNDER THE PROVISIONS OF THE DESIGN CRITERIA ESTABLISHED HEREIN, AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE OWNER, THE CITY OF AGOURA HILLS, PLANNING DEPARTMENT AND THE CITY OF AGOURA HILLS DESIGN COMMISSION.

PRIMARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ON CANWOOD STREET. END CAP TENANTS THAT HAVE ELEVATIONS WITH FRONTAGE ALONG SITE ACCESS DRIVERSWAYS MAY HAVE ONE (1) ADDITIONAL TENANT IDENTITY WALL SIGN LOCATED ON SUCH ELEVATIONS.

TYPICALLY, TENANT IDENTITY SIGNAGE SHALL BE LIMITED TO THE MARKETING OR BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE UPON WHICH THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL SIGN AREA OF A TENANT IDENTITY WALL SIGN SHALL BE LIMITED TO AN AREA EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE THAT ENCLOSES A DEMISED TENANT SPACE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA OF ALL SUCH SIGNS ALLOWED FOR EACH TENANT, EXCEED A MAXIMUM OF 50 SQUARE FEET OF TOTAL SIGN AREA.

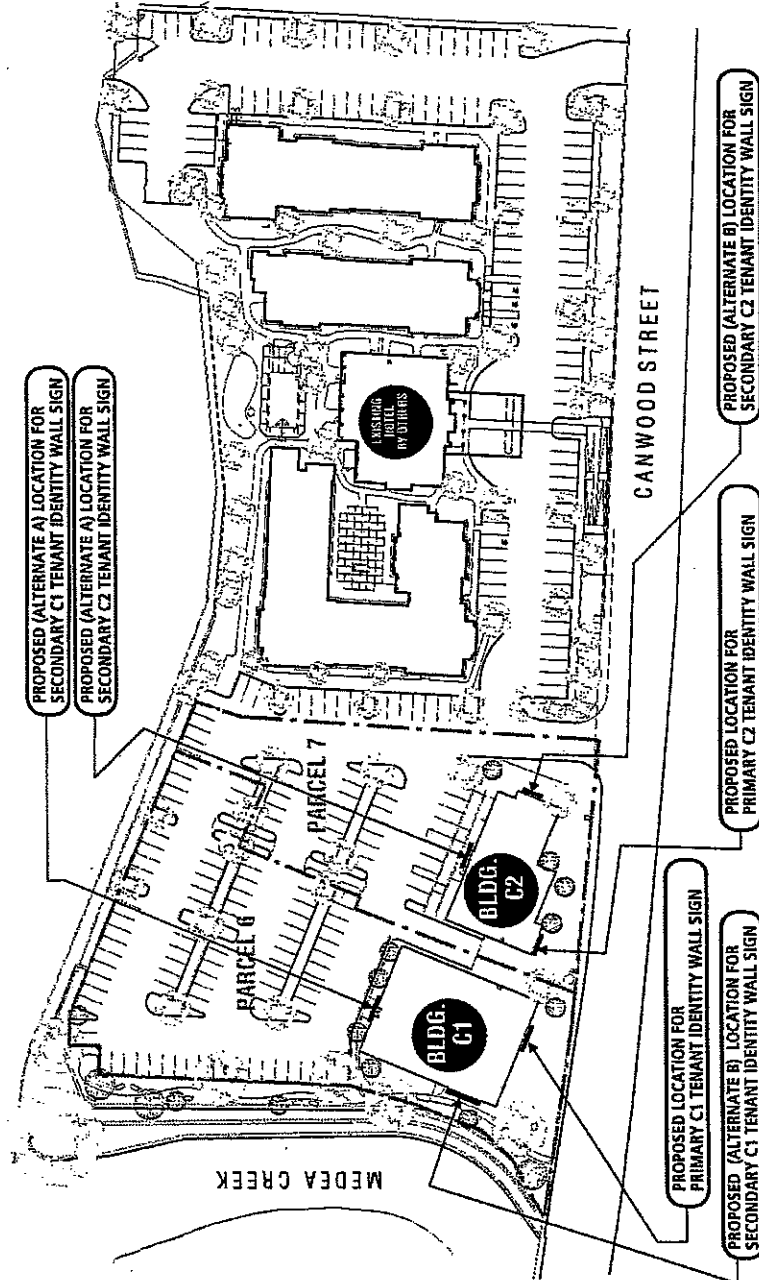
TENANT IDENTITY WALL SIGNS SHALL BE FABRICATED WITH QUALITY MATERIAL AND FINISHES. CREATIVITY IS ENCOURAGED IN THE DESIGN AND EXECUTION OF SUCH SIGNAGE, WITH ELEMENTS INCLUDING SYMBOLS AND LETTERS THAT EXHIBIT DEPTH AND DIMENSIONALITY.

SUCH SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED. LIGHTING TECHNIQUES WHICH PROVIDE INTERNALLY TRANSMITTED (THRU THE FACE) ILLUMINATION ARE STRICTLY PROHIBITED. ILLUMINATION OF SUCH SIGNS SHALL BE LIMITED TO HALO ILLUMINATION AFFECTS WITH LETTER AND GRAPHIC FORMS, PROVIDING REFLECTED PERIMETER LIGHTING, WHEREIN REVERSE CHANNEL LETTER FORMS ARE OUTLINED BY LIGHTING CONCEALED WITHIN THE LETTER THAT REFLECTS OFF OF THE WALL SURFACE UPON WHICH THE SIGN IS ATTACHED. EXTERNAL ILLUMINATION OF TENANT SIGNS SHALL ALLOWED AND SHALL BE EXECUTED WITH ARCHITECTURAL QUALITY SIGN LIGHTING LIGHTING FIXTURES, WHICH HAVE BEEN APPROVED BY THE OWNER AND THE ARCHITECT FOR THE PROJECT.

SECONDARY TENANT IDENTITY- BUILDING WALL SIGNS

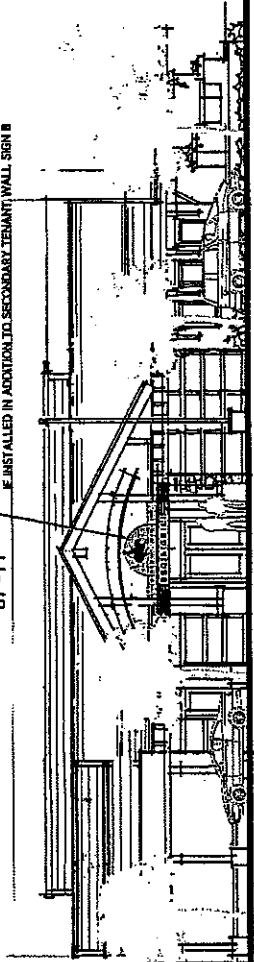
SECONDARY TENANT IDENTITY WALL SIGNS SHALL BE ALLOWED ON BUILDING ELEVATIONS WITH FRONTAGE ALONG SITE PARKING AREAS AND WITH FRONTAGE ALONG MEDA CREEK OR AT THE PUBLIC ENTRANCE TO A DEMISED TENANT SPACE WHERE SUCH ENTRANCES MAY NOT BE OBVIOUSLY SEEN FROM SITE PARKING AREAS. SUCH SIGNAGE SHALL BE LIMITED TO THE BRAND IDENTITY ASSOCIATED WITH THE BUSINESS OCCUPYING THE DEMISED SPACE WHERE THE SIGNAGE HAS BEEN INSTALLED.

THE OVERALL AGGREGATE SIGN AREA OF SUCH TENANT IDENTITY WALL SIGNS SHALL BE LIMITED TO AN AREA WHICH IS EQUIVALENT TO ONE (1) SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF THE BUILDING WALL FRONTAGE. HOWEVER, IN NO CASE, SHALL THE COMBINED (PRIMARY AND SECONDARY) SIGN AREA ALLOWED FOR EACH DEMISED TENANT SPACE, EXCEED 50 SQUARE FEET OF TOTAL SIGN AREA FOR ALL BUILDING ELEVATIONS, WHICH ARE PROPOSED TO BE SIGNED BY EACH TENANT.



PROPOSED SECONDARY TENANT WALL SIGN A: WOOD RANCH GRILLE
MAXIMUM SIGN AREA ALLOWED: 20 SQUARE FEET OR 10 SQUARE FEET
IF INSTALLED IN ADDITION TO SECONDARY TENANT WALL SIGN B

87'-11"

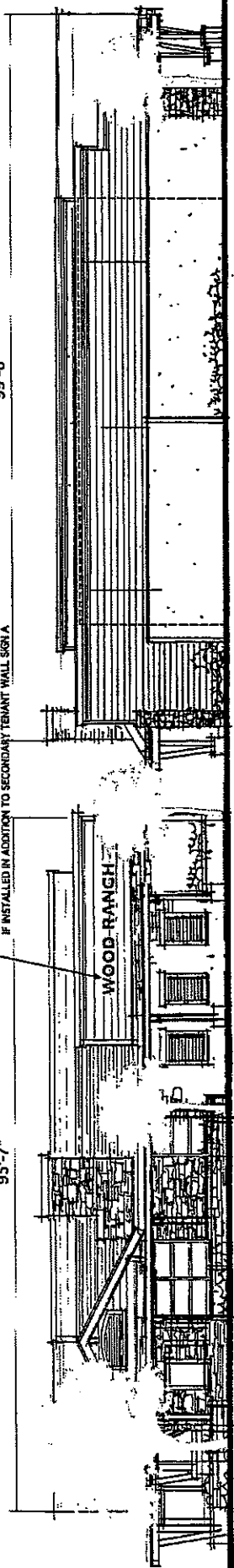


BUILDING C1 PARKING LOT (NORTH ELEVATION) SCALE 1/8"=1'-0"

PROPOSED SECONDARY TENANT WALL SIGN B: WOOD RANCH GRILLE
MAXIMUM SIGN AREA ALLOWED: 20 SQUARE FEET OR 10 SQUARE FEET
IF INSTALLED IN ADDITION TO SECONDARY TENANT WALL SIGN A

95'-7"

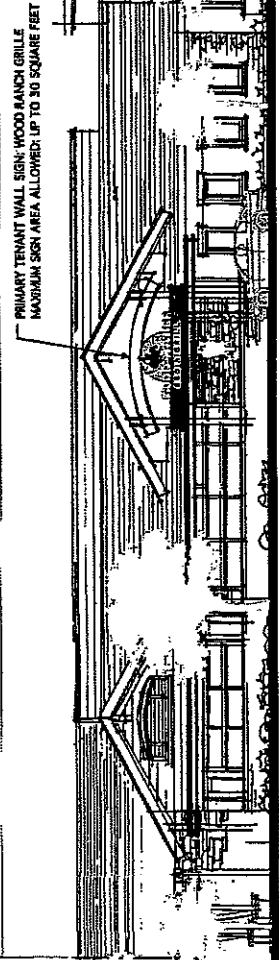
99'-8"



BUILDING C1 (WEST ELEVATION) SCALE 1/8"=1'-0"

BUILDING C1 (EAST ELEVATION) SCALE 1/8"=1'-0"

112'-8"



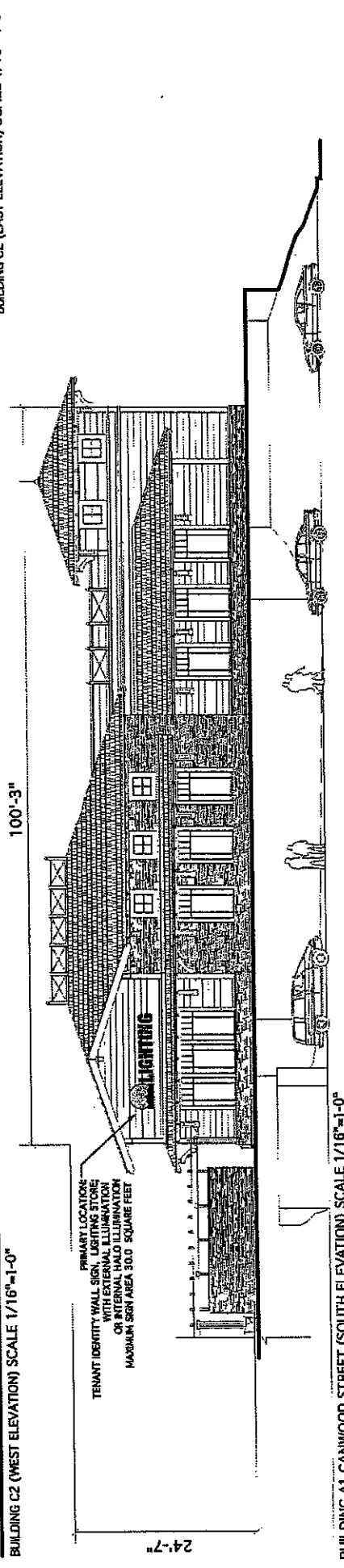
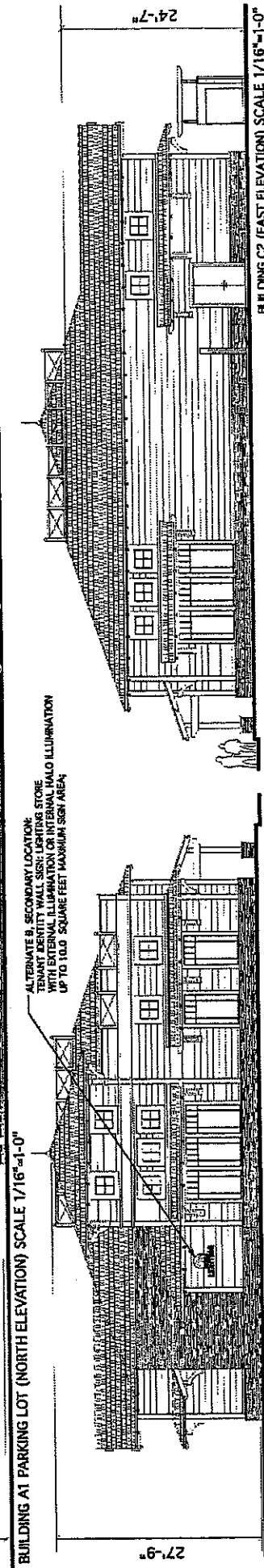
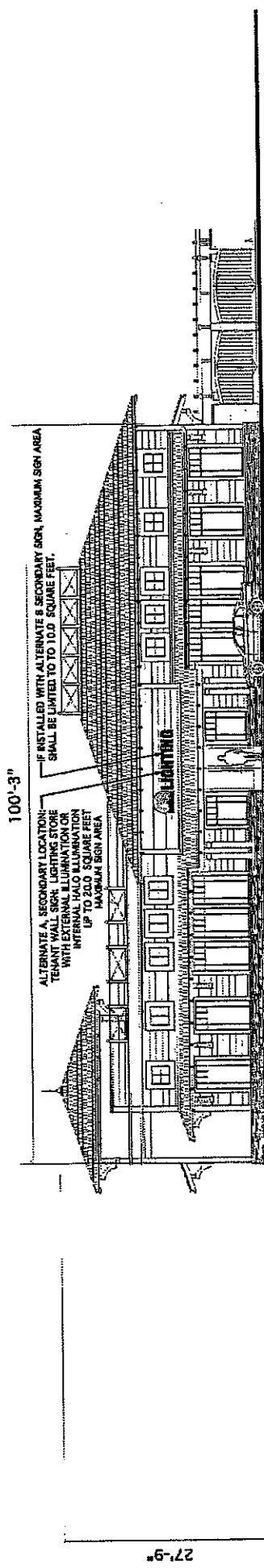
BUILDING C1 CANWOOD STREET (SOUTH ELEVATION) SCALE 1/8"=1'-0"

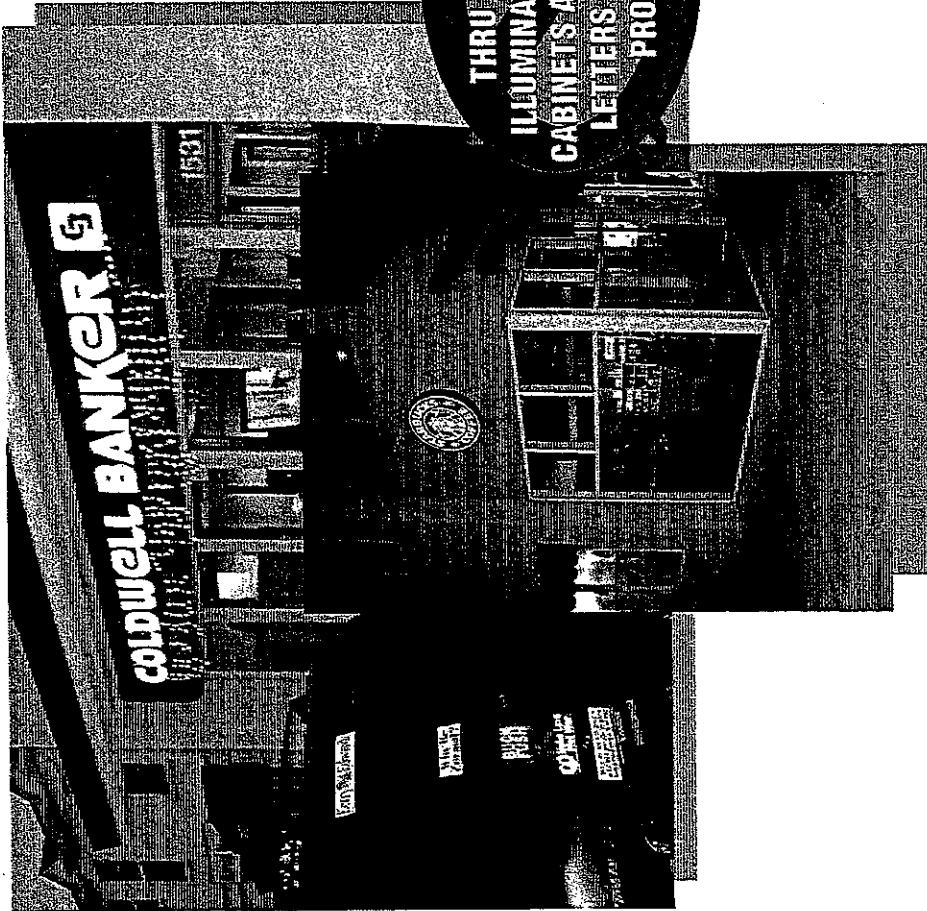


The Shops at Oak Creek, Agoura Hills
Building C1 Elevations, Proposed Wall Sign Location Plans

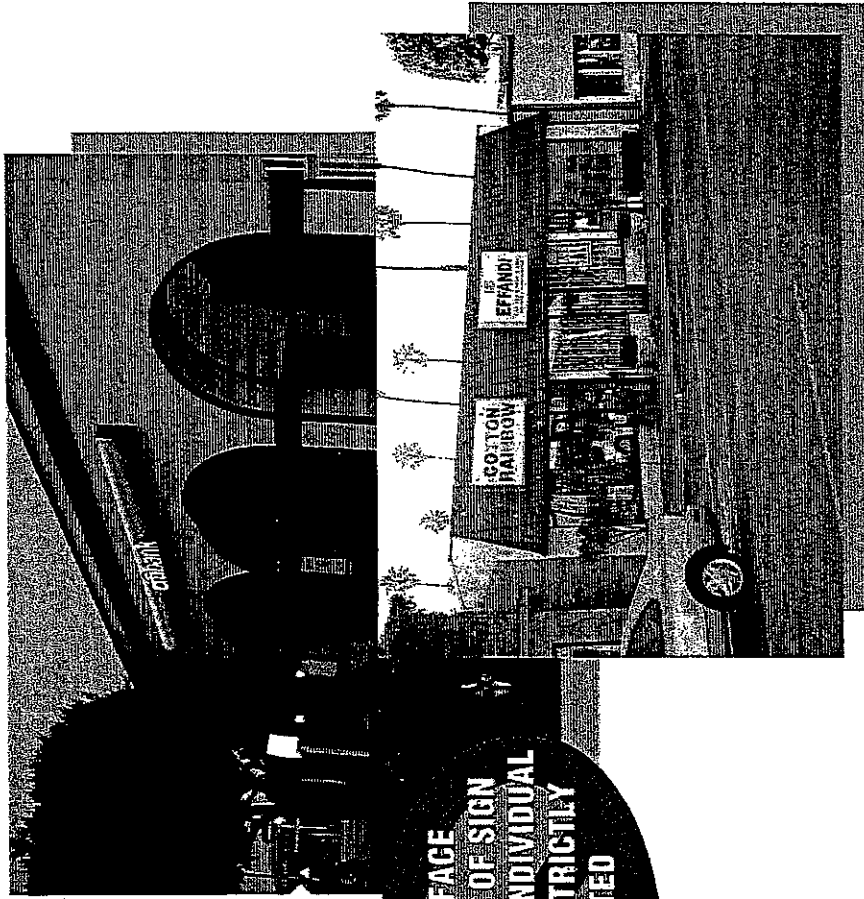


OAKCREEK





THRU THE FACE
ILLUMINATION OF SIGN
CABINETS AND INDIVIDUAL
LETTERS IS STRICTLY
PROHIBITED

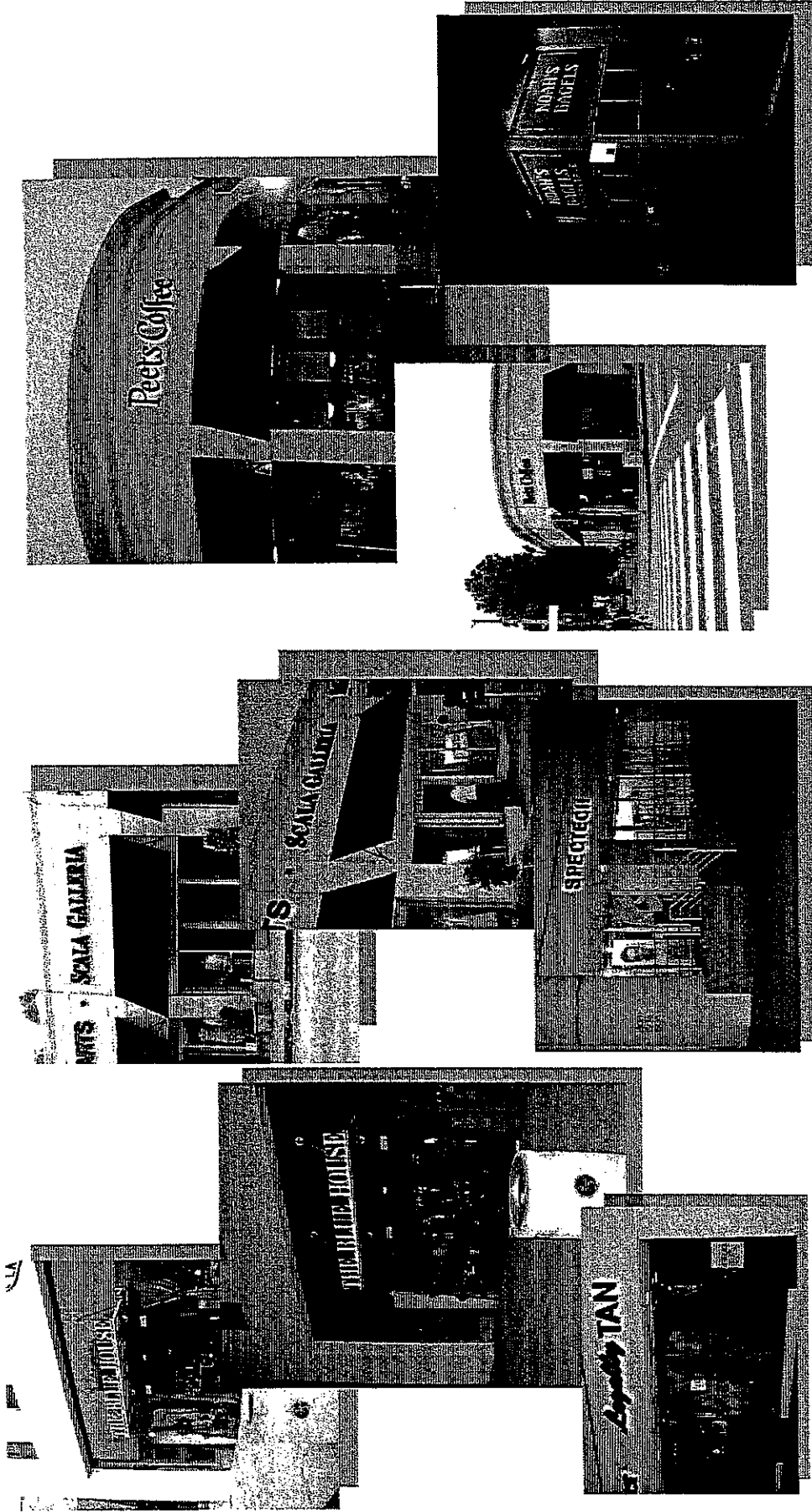


SKA
D E S I G N

The Shops at Oak Creek, Agoura Hills
Examples of Prohibited Sign Types and Sign Lighting



OAK CREEK



OAKCREEK

SKA | The Shops at Oak Creek, Agoura Hills
 O E S T E U | Examples of Acceptable Signs and Sign Lighting

Vicinity Map

Shops at Oak Creek

