



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT D

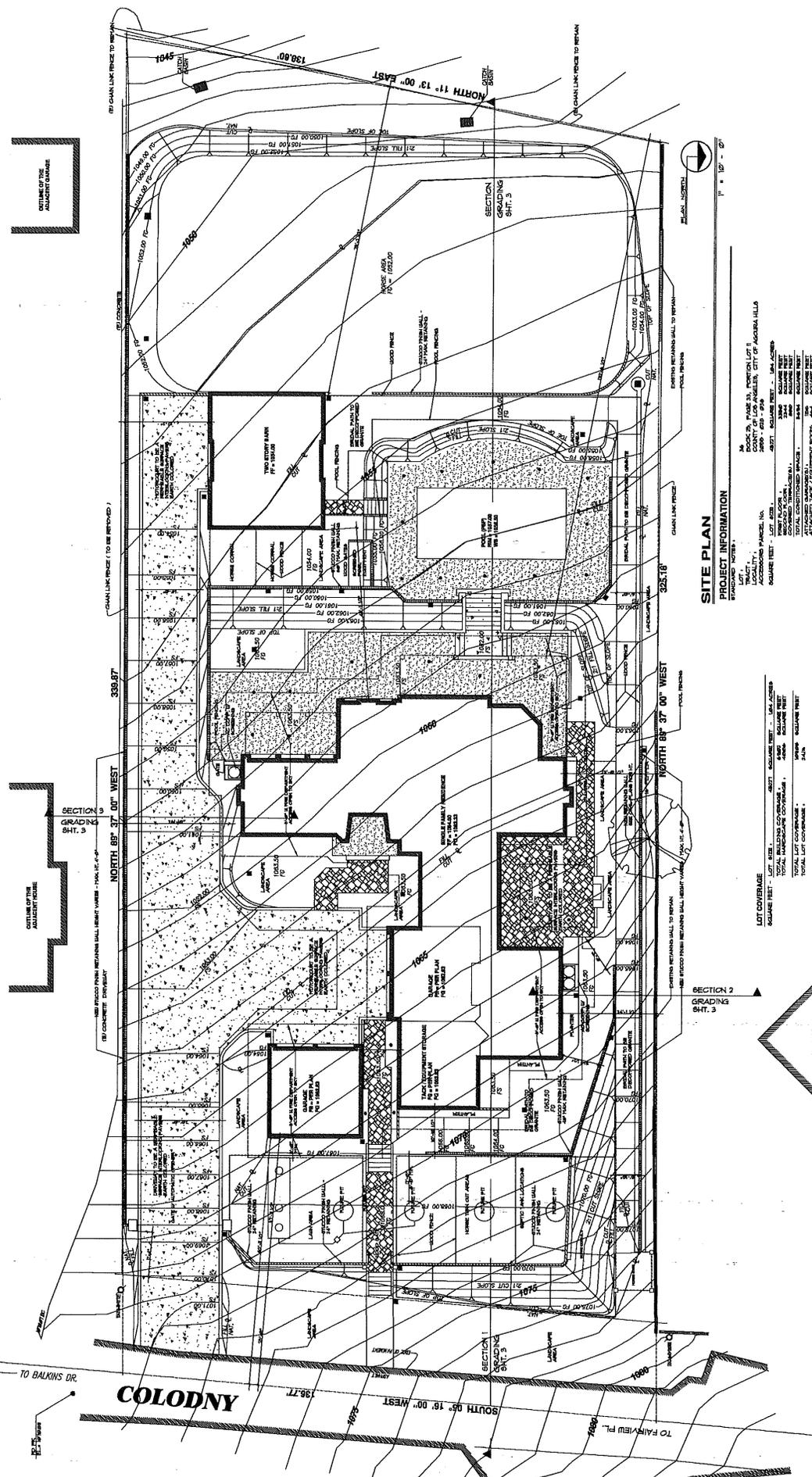
REDUCED COPIES OF PLANS

SITE DEMOLITION NOTES:
 1. ALL EXISTING CONSTRUCTION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
 2. ALL EXISTING UTILITIES SHALL BE MAINTAINED OR RELOCATED AS SHOWN ON THIS PLAN.
 3. ALL EXISTING FOUNDATION WALLS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
 4. ALL EXISTING CONCRETE SLABS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
 5. ALL EXISTING ROOFING SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
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 7. ALL EXISTING EXTERIORS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
 8. ALL EXISTING LANDSCAPING SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.
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GRADING NOTES:
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BEST MANAGEMENT PRACTICES:
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SITE PLAN
PROJECT INFORMATION

TRACT: 1
 PARCEL: 1
 ADDRESS: 8021 COLONY DRIVE, LOT NO. 38
 CITY: APOURNA HILLS, CALIFORNIA 91301

LOT COVERAGE

LOT AREA	10,000 SQ. FT.
MAXIMUM LOT COVERAGE	10,000 SQ. FT.
TOTAL LOT COVERAGE	10,000 SQ. FT.

GSA CALCULATION

1. TOTAL LOT COVERAGE	10,000 SQ. FT.
2. MINIMUM LOT COVERAGE	10,000 SQ. FT.
3. PERCENTAGE	100%

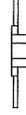
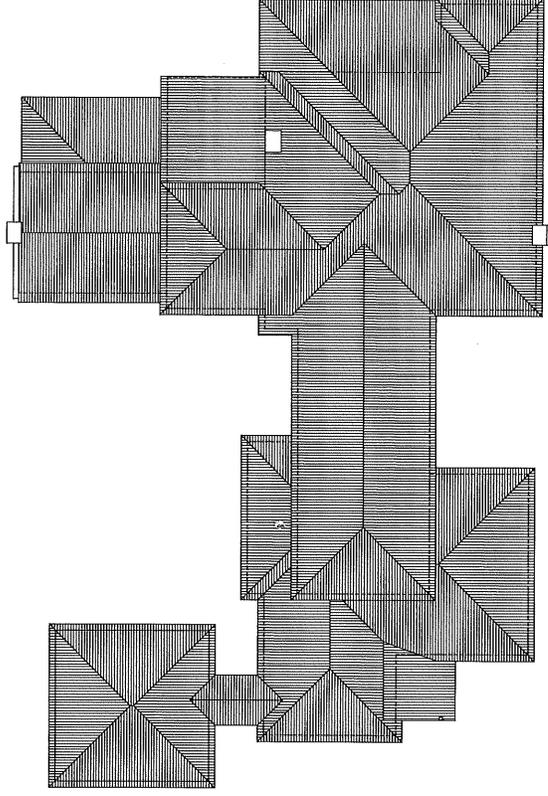
REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/2014	ISSUED FOR PERMITS

CONTRACTOR NOTES:
 1. ALL CONSTRUCTION SHALL BE AS SHOWN ON THIS PLAN.
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ADDITIONAL NOTES:
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ADJACENT PARCELS:
 TO BALKINS DR.
 TO FAIRVIEW PL.
 TO CHALK HILL RD.



1/8" = 1' - 0"

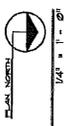
ROOF PLAN

NOTES:

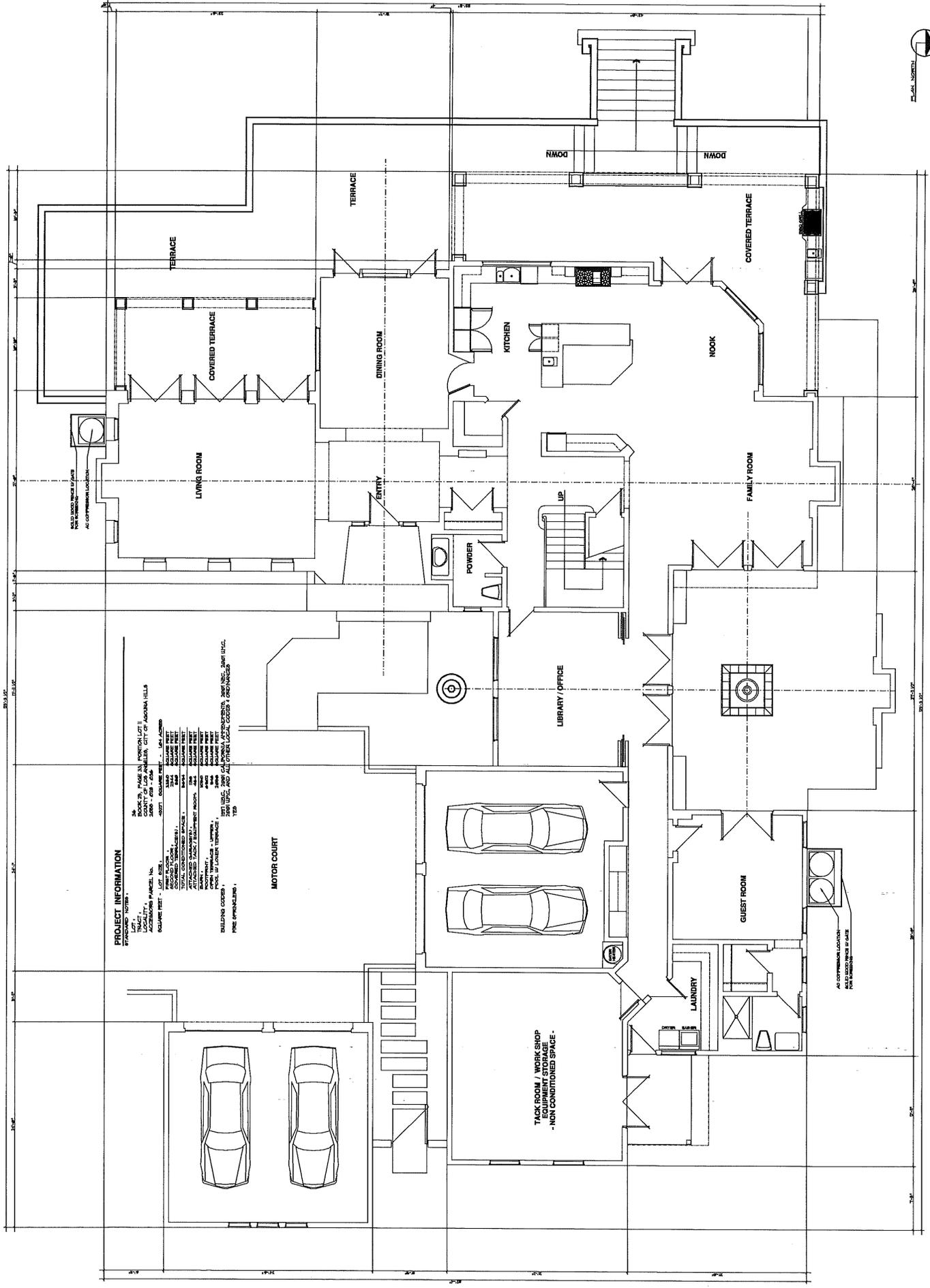
ALL WORK TO BE INSTALLED PER PERMITS. THE METAL ROOF MANUFACTURER'S SPECIFICATIONS GOVERN THROUGHOUT THE ENTIRE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

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FIRST FLOOR PLAN
FLOOR PLAN



PROJECT INFORMATION

STANDARD NOTES:
 1. BACK TO PAGE 101 PORTION LOT 11
 2. TRACT 11, AGORA HILLS, CITY OF AGORA HILLS
 3. 3000' x 200' ±
 4. ACCESSORY PARCEL NO. 101
 5. SQUARE FEET - GROSS FLOOR AREA - 10,100
 6. SQUARE FEET - NET FLOOR AREA - 10,100
 7. SQUARE FEET - TOTAL UNCONDITIONED SPACE - 10,100
 8. SQUARE FEET - TOTAL CONDITIONED SPACE - 10,100
 9. ATTACHED GARAGE/STORAGE ROOMS - 0
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 100. ATTACHED GARAGE/STORAGE ROOMS - 0

NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF AGOURA HILLS, CALIFORNIA, ORDINANCE NO. 100, AS AMENDED, AND THE CALIFORNIA BUILDING CODE, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AGOURA HILLS, CALIFORNIA, AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS, AND SHALL BE RESPONSIBLE FOR PAYING ALL FEES AND CHARGES THEREON.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS, AND SHALL BE RESPONSIBLE FOR PAYING ALL FEES AND CHARGES THEREON.

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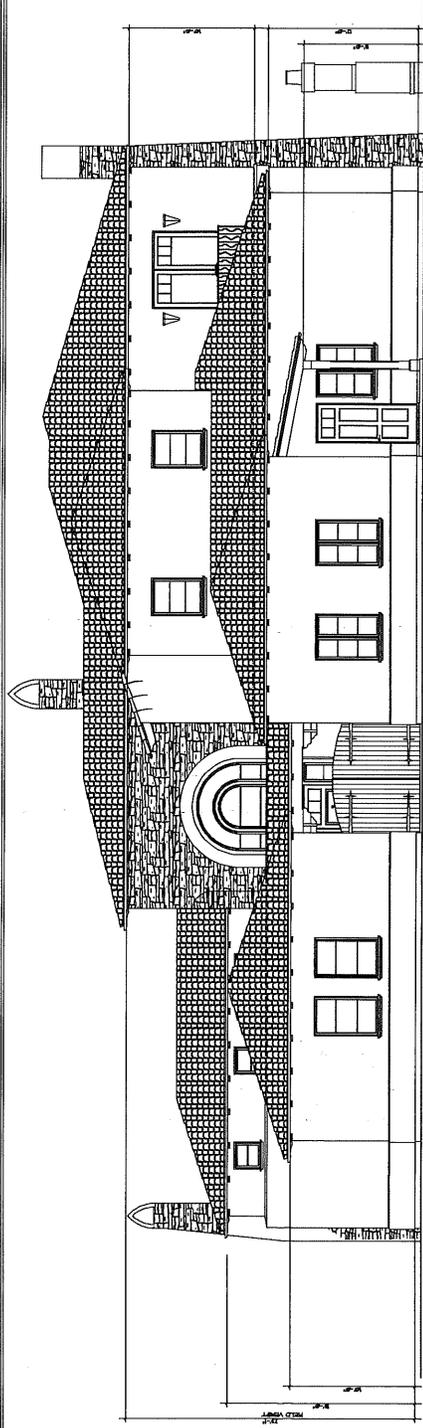
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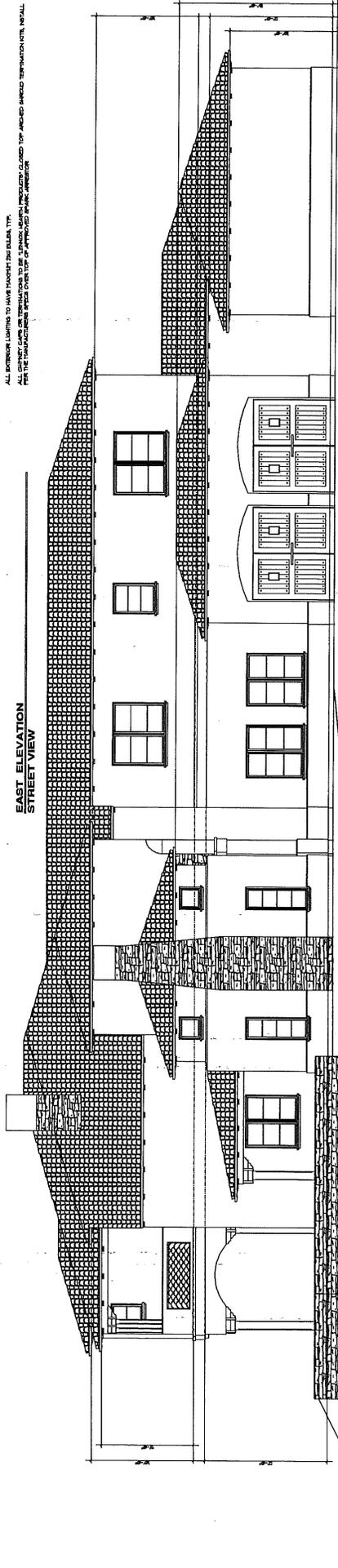
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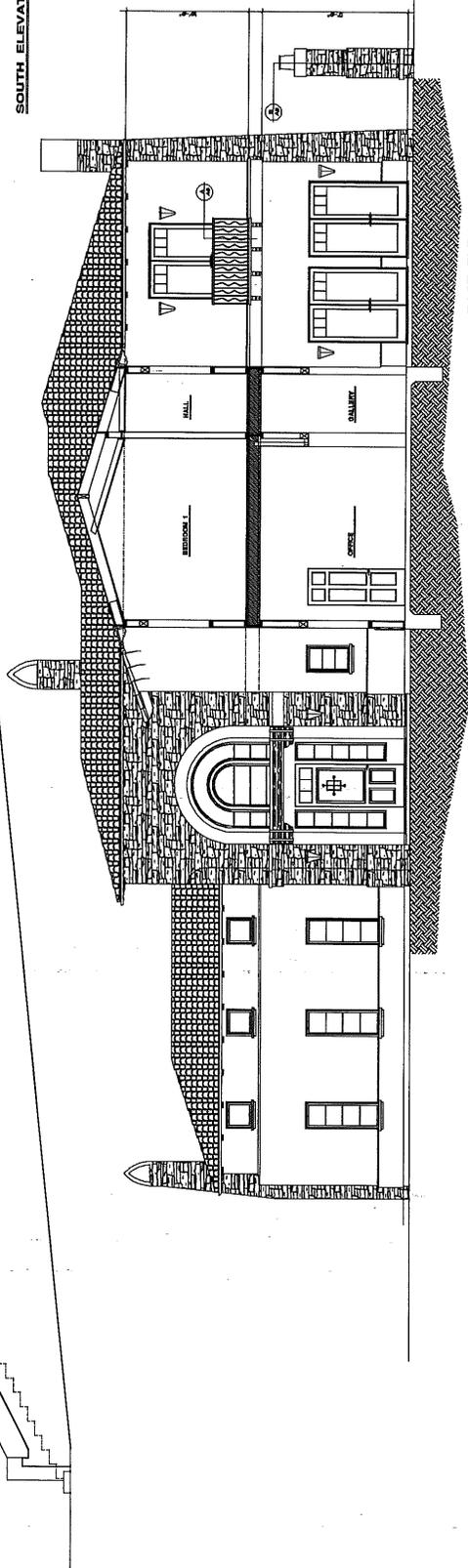
EAST ELEVATION
 STREET VIEW



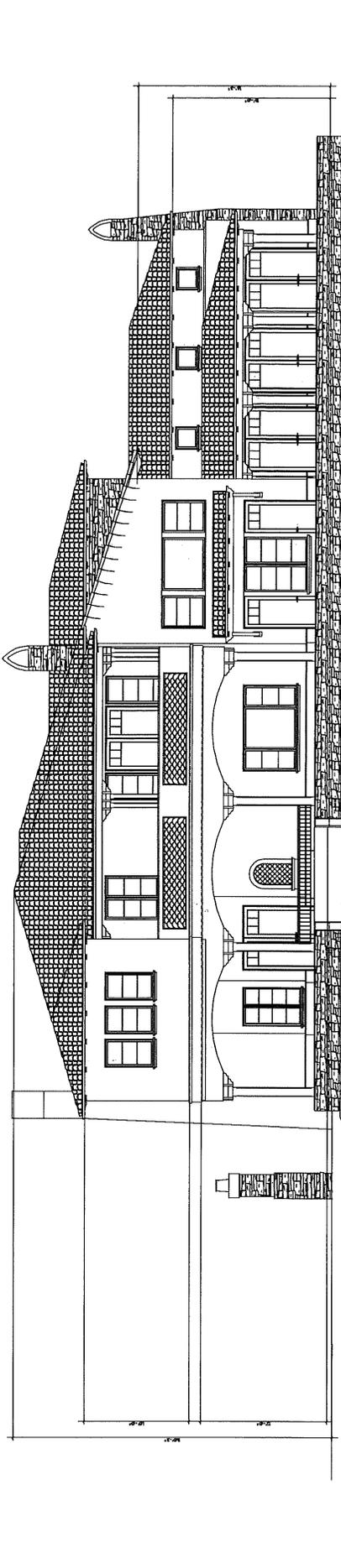
EAST ELEVATION
 MOTORCOURT VIEW



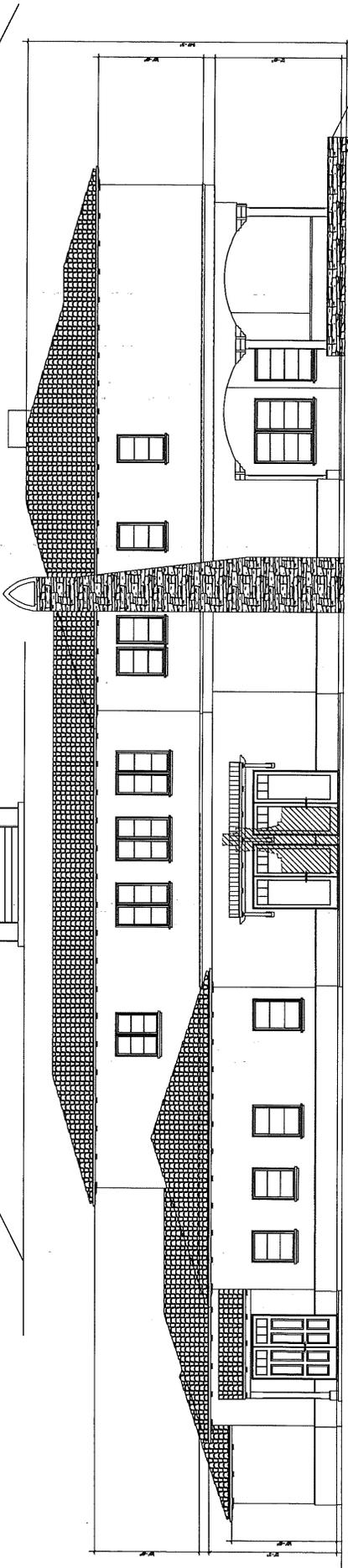
SOUTH ELEVATION



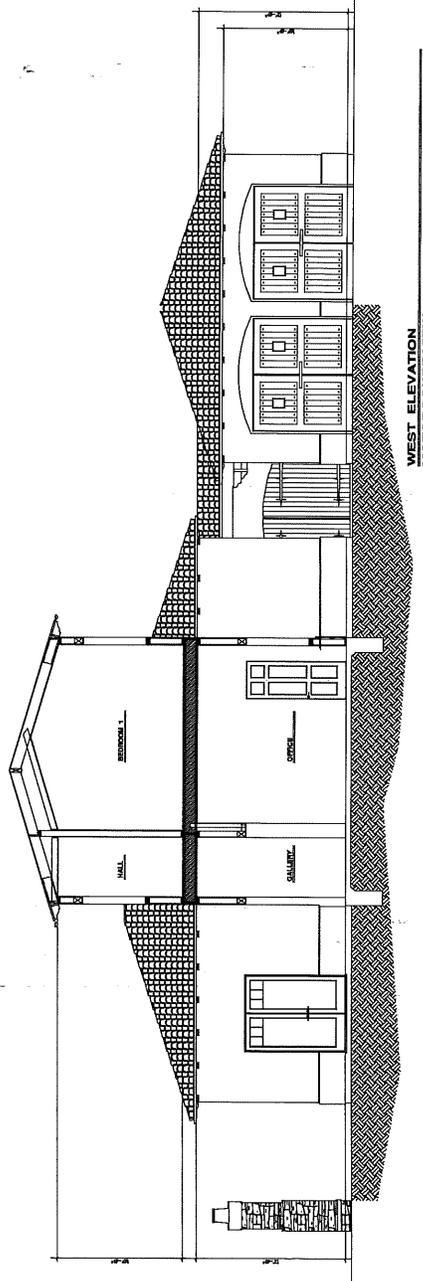
EAST ELEVATION
 MOTORCOURT VIEW
 EXTERIOR ELEVATIONS



WEST ELEVATION



NORTH ELEVATION



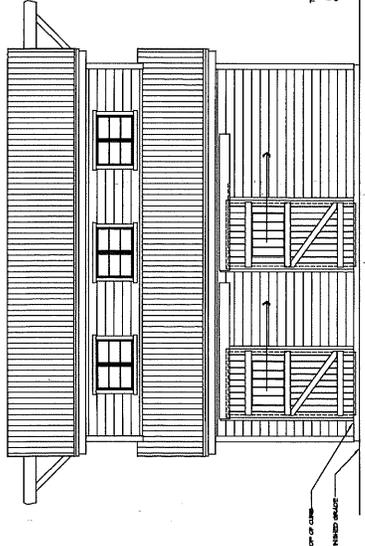
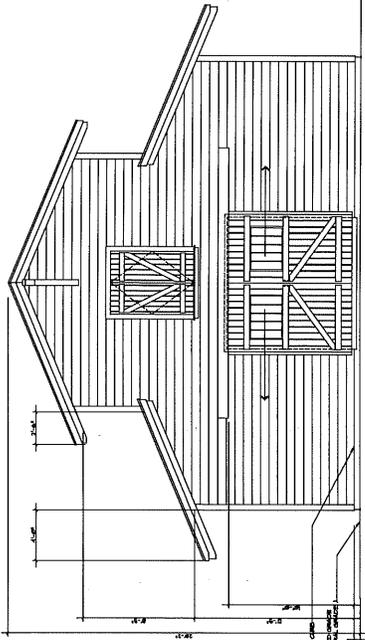
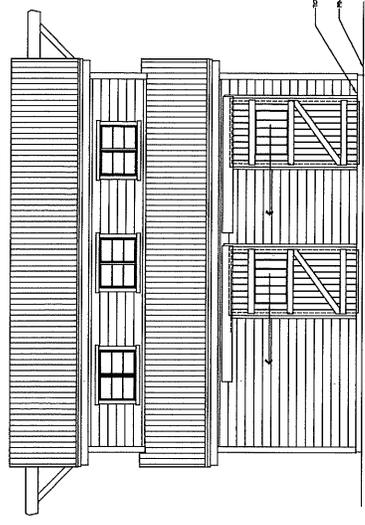
WEST ELEVATION
MOTORCOURT VIEW

NOTES:

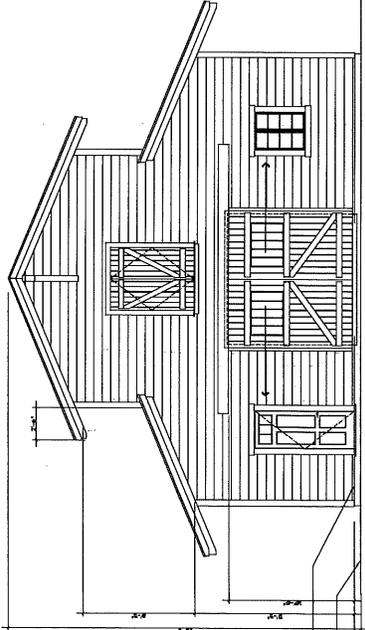
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10. ALL EXTERIOR WALLS SHALL BE FINISHED WITH STUCCO OVER GYPSUM BOARD OR CONCRETE BLOCK. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER OVER GYPSUM BOARD OR CONCRETE BLOCK.

EXTERIOR ELEVATIONS

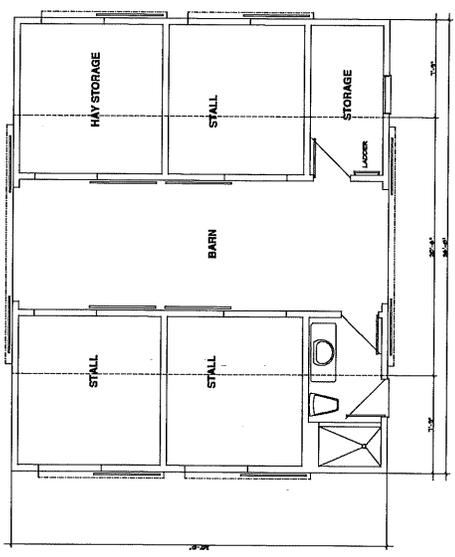
EXTERIOR ELEVATIONS



BARN EXTERIOR ELEVATIONS



ELEVATION NOTES:
 1. ALL EXTERIOR SURFACES SHALL BE PAINTED WITH AN EXTERIOR GRADE PAINT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
 2. ALL METAL SHALL BE GALVANNEAL STEEL UNLESS OTHERWISE NOTED.
 3. ALL GLASS SHALL BE CLEAR GLASS UNLESS OTHERWISE NOTED.
 4. ALL DOORS SHALL BE 6'0" HIGH UNLESS OTHERWISE NOTED.
 5. ALL WINDOWS SHALL BE 4'0" HIGH UNLESS OTHERWISE NOTED.
 6. ALL WINDOWS SHALL BE 2'0" WIDE UNLESS OTHERWISE NOTED.
 7. ALL WINDOWS SHALL BE 1'0" DEEP UNLESS OTHERWISE NOTED.
 8. ALL WINDOWS SHALL BE 1'0" FROM THE TOP UNLESS OTHERWISE NOTED.
 9. ALL WINDOWS SHALL BE 1'0" FROM THE BOTTOM UNLESS OTHERWISE NOTED.
 10. ALL WINDOWS SHALL BE 1'0" FROM THE SIDES UNLESS OTHERWISE NOTED.
 11. ALL WINDOWS SHALL BE 1'0" FROM THE CORNERS UNLESS OTHERWISE NOTED.
 12. ALL WINDOWS SHALL BE 1'0" FROM THE CENTER UNLESS OTHERWISE NOTED.
 13. ALL WINDOWS SHALL BE 1'0" FROM THE EDGE UNLESS OTHERWISE NOTED.
 14. ALL WINDOWS SHALL BE 1'0" FROM THE LINE UNLESS OTHERWISE NOTED.
 15. ALL WINDOWS SHALL BE 1'0" FROM THE POINT UNLESS OTHERWISE NOTED.
 16. ALL WINDOWS SHALL BE 1'0" FROM THE PLANE UNLESS OTHERWISE NOTED.
 17. ALL WINDOWS SHALL BE 1'0" FROM THE SURFACE UNLESS OTHERWISE NOTED.
 18. ALL WINDOWS SHALL BE 1'0" FROM THE VOLUME UNLESS OTHERWISE NOTED.
 19. ALL WINDOWS SHALL BE 1'0" FROM THE MASS UNLESS OTHERWISE NOTED.
 20. ALL WINDOWS SHALL BE 1'0" FROM THE FORM UNLESS OTHERWISE NOTED.



DETACHED BARN

FLOOR PLAN

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
2. AT THE CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD TO APPROVE THE GRADING PLAN. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXISTING ELEVATIONS SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOTECHNICAL AND SOIL RECOMMENDATIONS IMPROVED BY THE CONSULTANT OR COMPAILED IN THE CONSULTANT'S SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ANY NECESSARY MAJOR INTERNAL PART OF THE GRADING PLAN SHALL BE APPROVED BY THE CITY ENGINEER.
5. THE ELEVATIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE ELEVATIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
7. REPORTS REQUIRED:

STORMWATER POLLUTION NOTES

1. ALL POLLUTANTS AND OTHER TOXIC MATERIALS MUST BE STORED IN A COVERED STORAGE CONTAINER AND BE PROTECTED FROM WEATHER. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM WEATHER. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM WEATHER. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM WEATHER.
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CONSTRUCTION NOTES

1. ALL FOUNDATION AND SLOPE SETTINGS TO ADHERE TO USC SPECIFICATIONS, THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS, AND THE CITY OF AGOURA HILLS SPECIFICATIONS, WHICHEVER IS GREATER.
2. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE STRENGTH OF THE CONCRETE. THE CITY ENGINEER SHALL BE NOTIFIED OF ALL TEST RESULTS.
3. FOUNDATION AND SLOPE SETTINGS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER AND APPROVED, IF NECESSARY, ACCORDINGLY.
4. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED, IN WRITING, BY THE GEOTECHNICAL ENGINEER PRIOR TO BEING COVERED.
5. ALL EXCAVATIONS SHALL BE REINFORCED TO THE CITY FOR REVIEW. THIS REINFORCEMENT SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO BEING COVERED. THE CITY ENGINEER SHALL BE NOTIFIED OF ALL REINFORCEMENT DETAILS.

ADDITIONAL NOTES

1. ALL FOUNDATION AND SLOPE SETTINGS TO ADHERE TO USC SPECIFICATIONS, THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS, AND THE CITY OF AGOURA HILLS SPECIFICATIONS, WHICHEVER IS GREATER.
2. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE STRENGTH OF THE CONCRETE. THE CITY ENGINEER SHALL BE NOTIFIED OF ALL TEST RESULTS.
3. FOUNDATION AND SLOPE SETTINGS SHALL BE REVIEWED BY THE GEOTECHNICAL ENGINEER AND APPROVED, IF NECESSARY, ACCORDINGLY.
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INSPECTION NOTES

1. THE CITY ENGINEER SHALL BE NOTIFIED OF ALL INSPECTIONS AND UNAPPROVED FILL.
2. ALL INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
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10. ALL INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

RECORD DRAWING STATEMENT

I, JUSTIN HOLT, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND THE INFORMATION PROVIDED TO ME BY THE CONTRACTOR, THAT THE WORK ON SHEET NO. 1 THROUGH 4, HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER: JUSTIN HOLT
 DATE: _____
 PROJECT NO.: 07-SFR-010, APN 20556-028-036

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING & DRAINAGE PLAN
3	GROSS SECTIONS
4	DRAINAGE DETAILS

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT:	188 CY
ESTIMATED FILL:	245 CY
ESTIMATED IMPORT:	245 CY
ESTIMATED EXPORT:	0 CY

BENCHMARK

DESCRIPTION: BM NO. _____ ELEVATION: _____ SURVEY DATE: _____

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED AND IS IN COMPLIANCE WITH THE RECOMMENDATIONS IN OUR REPORT DATED JUNE 21, 2007.

REGISTERED GEOLOGIC ENGINEER: _____ DATE: _____
 REGISTERED GEOTECHNICAL ENGINEER: _____ DATE: _____

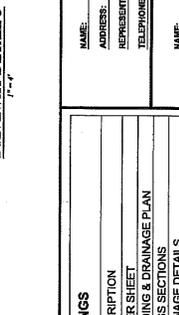
CITY OF AGOURA HILLS APPROVAL

CITY OF AGOURA HILLS APPROVAL

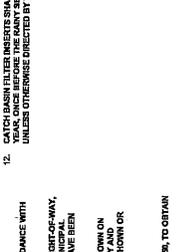
PROJECT LOCATION



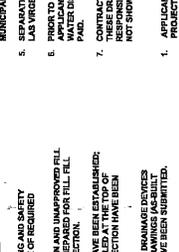
CONC. STAIRS ON GRADE DETAIL 2



BEAM DETAIL 1



DRIVEWAY DETAIL 3



INSPECTION NOTES

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LEGEND AND SYMBOLS

- PROJECT BOUNDARY
- EXISTING CHAIR CONTOUR
- PROPOSED GRADE CONTOUR
- SPOT ELEVATION
- PROPOSED SLOPE PER PLAN
- RETAINING WALL
- LANDSCAPE WALL (NO PERMIT REQUIRED)
- DAYLIGHT CUTFILL LINE
- DIRECTION OF FLOW (SLOPE)
- CONSTRUCTION NOTE NUMBER

UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-237-2500
 TWO WORKING DAYS BEFORE YOU DIG

RECORD DRAWING STATEMENT

I, JUSTIN HOLT, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND THE INFORMATION PROVIDED TO ME BY THE CONTRACTOR, THAT THE WORK ON SHEET NO. 1 THROUGH 4, HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER: JUSTIN HOLT
 DATE: _____
 PROJECT NO.: 07-SFR-010, APN 20556-028-036

AGOURA HILLS

CITY OF AGOURA HILLS APPROVAL

OWNER

NAME: RUBIN SAUD
 ADDRESS: LOT 26, COLONY DRIVE, AGOURA HILLS, CA
 REPRESENTATIVE: BRENT SCHNEIDER
 TELEPHONE: (805) 941-7942

CIVIL ENGINEER

NAME: JUSTIN HOLT
 ADDRESS: 5125 COCHRAN STREET, SUI VALLEY, CA 91302
 REPRESENTATIVE: JUSTIN HOLT
 TELEPHONE: (805) 384-2101

GEOTECHNICAL ENGINEER

NAME: GUYER HOLLINGSWORTH
 ADDRESS: 3129 VA CRUZZAS, SUITE #27, WESTLAKE VILLAGE, STER
 REPRESENTATIVE: GUYER BYRNE
 TELEPHONE: (818) 883-8944

PROJECT LOCATION



COVER SHEET

6021 COLONY DRIVE
 AGOURA HILLS, CA 91301
 07-SFR-010, APN 20556-028-036
 SHEET 1 OF 4

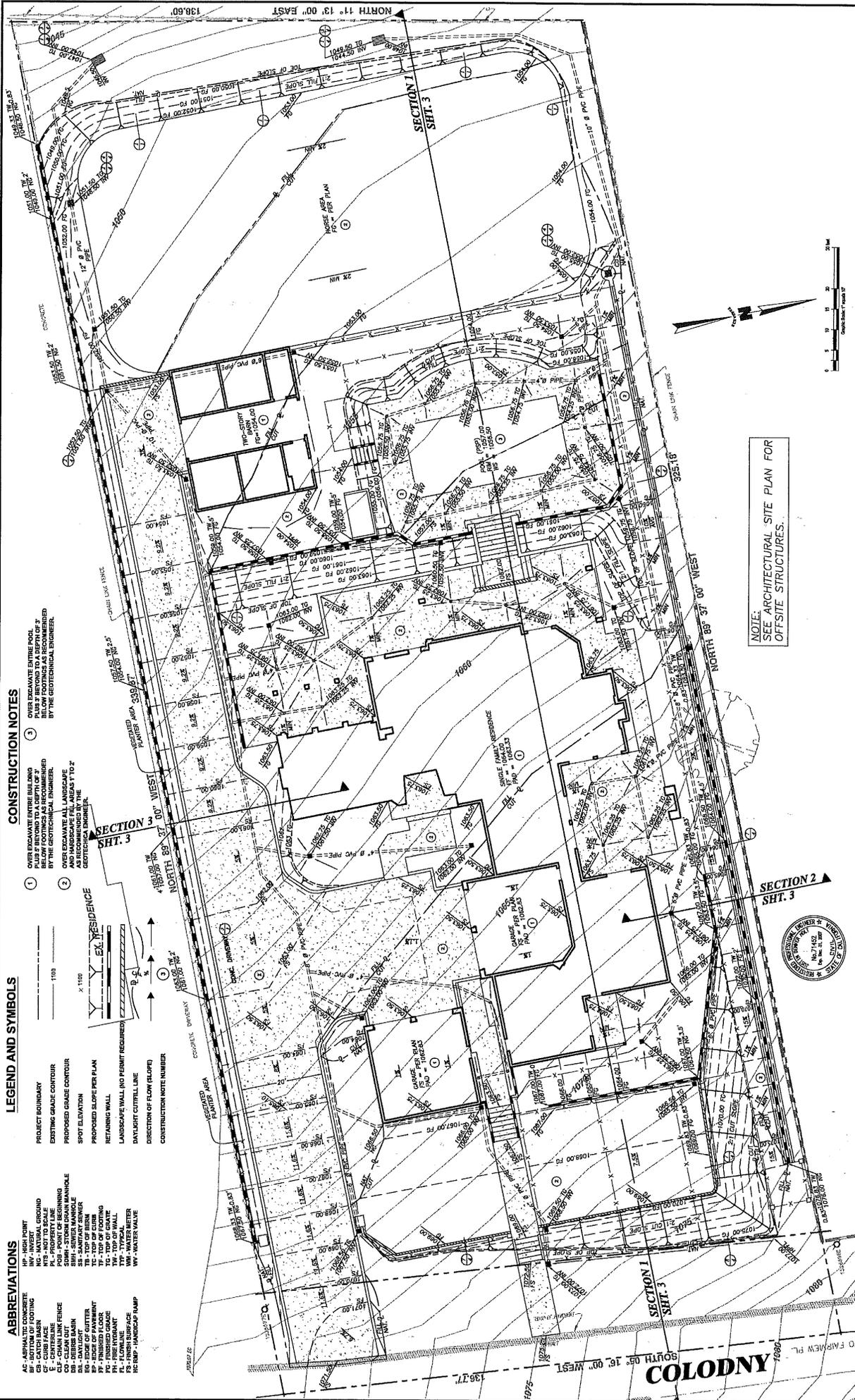
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REGISTERED CIVIL ENGINEER: JUSTIN HOLT
 DATE: _____
 PROJECT NO.: 07-SFR-010, APN 20556-028-036

AGOURA HILLS

CITY OF AGOURA HILLS APPROVAL



CONSTRUCTION NOTES

- 1 OVER EXCAVATE ENTIRE BUILDING PLUS 2' BEYOND TO A DEPTH OF 3' BY THE GEOTECHNICAL ENGINEER.
- 2 OVER EXCAVATE ALL LANDSCAPE AND HARDSCAPE FILL AREAS 1' TO 2' BY THE GEOTECHNICAL ENGINEER.
- 3 OVER EXCAVATE ENTIRE POOL PLUS 2' BEYOND TO A DEPTH OF 3' BY THE GEOTECHNICAL ENGINEER.

LEGEND AND SYMBOLS

- PROJECT BOUNDARY
- EXISTING GRADE CONTOUR
- PROPOSED GRADE CONTOUR
- SPOT ELEVATION
- PROPOSED SLOPE PER PLAN
- RETAINING WALL
- LANDSCAPE WALL (NO PERMIT REQUIRED)
- DAYLIGHT OUTFALL LINE
- DIRECTION OF FLOW (SLOPE)
- CONSTRUCTION NOTE NUMBER

ABBREVIATIONS

- AB - ABOVE FINISHED GRADE
- CB - CAST-IN BASIN
- CD - CHAIN LINK FENCE
- CF - CENTERLINE
- CP - POINT OF BEGINNING
- DM - DRIVEWAY
- DS - DRIVEWAY
- EG - EDGE OF GUTTER
- EP - EDGE OF PAVEMENT
- FF - FINISHED GRADE
- FL - FLOOR FINISH
- FS - FINISH SURFACE
- HC - HUB - HATCHCOUP HUMP
- IN - INVERT
- MG - NATURAL GROUND
- PL - PROPERTY LINE
- SM - SLOPE MANHOLE
- TH - TOP OF HUB
- TC - TOP OF CURB
- TT - TYPICAL WALL
- WM - WATER METER
- WT - WATER VALVE

NOTE: SEE ARCHITECTURAL SITE PLAN FOR OFFSITE STRUCTURES.

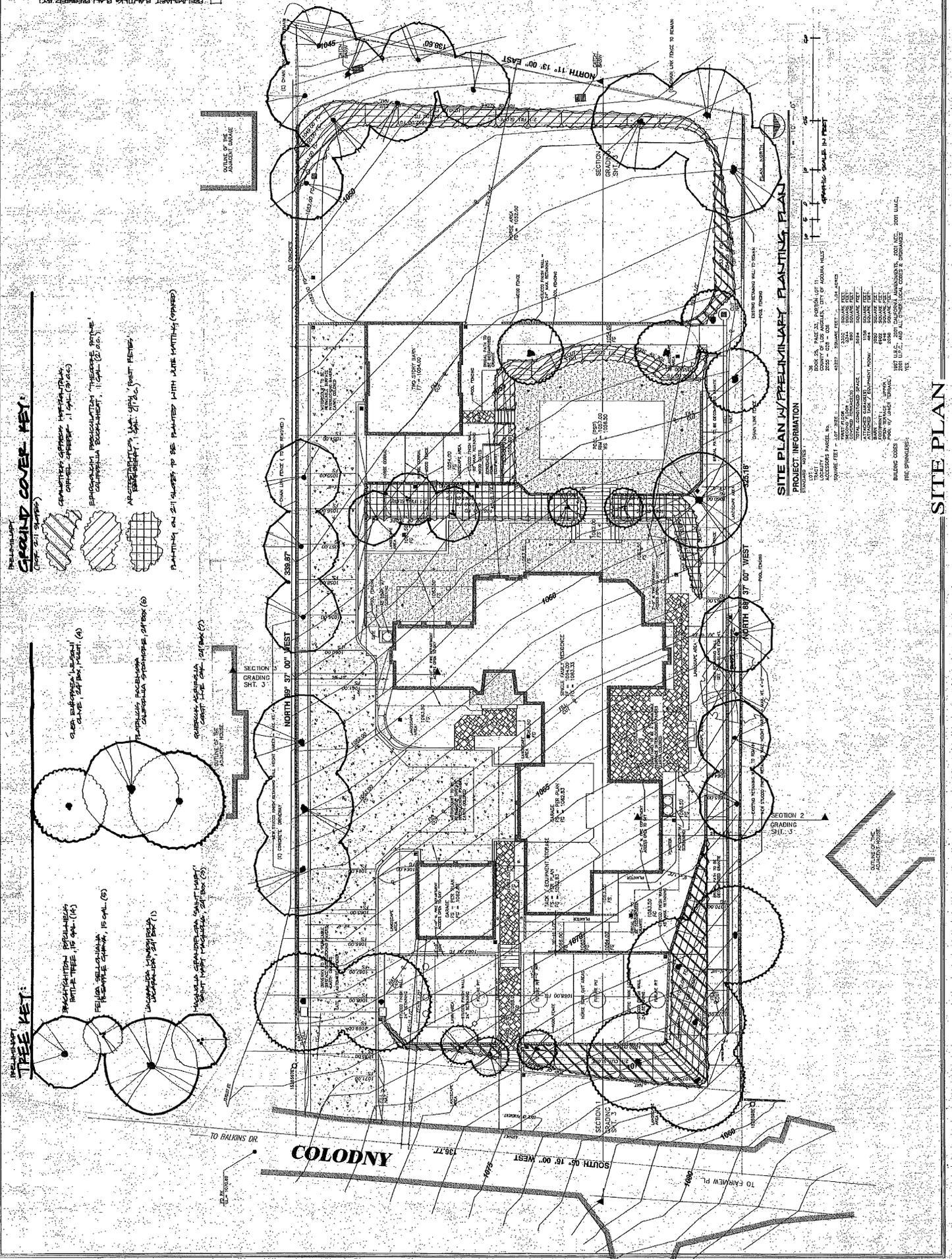
GRADING AND DRAINAGE PLAN
 6021 COLODNY DRIVE
 AGOURA HILLS, CA 91301
 PROJECT NO. 07-SPR-010, APN 20555-028-036
 SHEET 2 OF 4



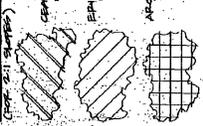
CITY OF AGOURA HILLS APPROVAL

PREPARED BY:
Geo Works
 PROJECT ENGINEER
 DATE

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

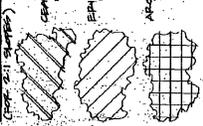


PRELIMINARY TREE KEY:
 (REF: SHT. 001)



SEMI-DWARF PALMING PLANTS AND PALMS
 PLANTING ON SLOPES TO BE PLANTED WITH JUNE HORTENSIA (OPTIMIZED)

PRELIMINARY GRASS COVER KEY:
 (REF: SHT. 001)



PLANTING ON SLOPES TO BE PLANTED WITH JUNE HORTENSIA (OPTIMIZED)

SITE PLAN / PRELIMINARY PLANTING PLAN

PROJECT INFORMATION

PROJECT NO. 02
 SHEET NO. A2
 DATE: 02 JANUARY 2007

CLIENT: MR. & MRS. ARAUJO
ADDRESS: 6021 COLODNY DRIVE, LOT NO. 36, APOKIPKA HILLS, PALM BEACH, FLORIDA 33410
PHONE: 818. 777. 4593
FAX: 818. 777. 4594
WWW: SCHNEIDERARCHITECTS.COM

DESIGNER: SCHNEIDER ARCHITECTS
ARCHITECT: [Name]
DATE: 02 JANUARY 2007
SCALE: 1/8" = 1'-0"

PROJECT NO.: 02
SHEET NO.: A2



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT E

GEODYNAMICS LETTER OF RECOMMENDATION

Date: November 21, 2007
GDI #: 07.00103.0155

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Renee Madrigal

Project Location: AIN 2055-028-036, Agoura Hills, California.

Planning Case #: 07-SPR-010 (Araujo, Ruben)

Building & Safety #: None

Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2007c), "Additional Response to City of Agoura Hills – Geotechnical Review Sheet, AIN: 2055-028-036, Colodny Road, Agoura Hills, California," GH13480-G, dated November 21, 2007.

Grover Hollingsworth and Associates, Inc. (2007b), "Response to City of Agoura Hills – Geotechnical Review Sheet, AIN: 2055-028-036, Colodny Road, Agoura Hills, California," GH13480-G, dated October 19, 2007.

Grover Hollingsworth and Associates, Inc. (2007a), "Geologic and Soils Engineering Exploration, Proposed Dwelling, Pool, Horse Barns, Riding Arena, and Retaining Walls, AIN 2055-028-036, Colodny Road, Agoura Hills, California," GH13480-G, dated June 21, 2007.

Plans: Grading and Drainage Plan, Lot 36, Colodny Road, Agoura Hills, CA 91301, City of Agoura Hills Drawing, Scale: 1"=10'.

Schneider Architects (2007), "Architect Drawings, Sheets A2, A3, A6 and A7," , Job Number: BTS 07-119, dated January 7, 2007.

Previous Reviews: August 8, 2007

FINDINGS

Planning/Feasibility Issues

- Acceptable as Presented
 Response Required

Geotechnical Report

- Acceptable as Presented
 Response Required

REMARKS

Grover Hollingsworth and Associates, Inc. (consultant) provided a response to the geotechnical review letter by the City of Agoura Hills dated August 8, 2007 regarding the proposed development at the site located at 6021 Colodny Road, City of Agoura Hills, California. The proposed development includes the construction of a two-story single-family residence with two attached two-car garages at the site located at Colodny Road, City of Agoura Hills, California. The proposed development includes the construction of several manufactured slopes and retaining walls.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the response by the consultant to Comment # 3 of the August 8, 2007 review letter requires further clarification. To expedite the review process, the reviewers contacted the consultant on November 20, 2007 and discussed the remaining item. The consultant provided a letter on November 21, 2007 (attached) with the requested clarification. As such, we recommend the Planning Commission consider approval of Case No. 07-SPR-010 (Araujo, Ruben) from a geotechnical perspective. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

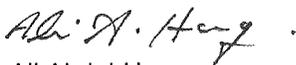
Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

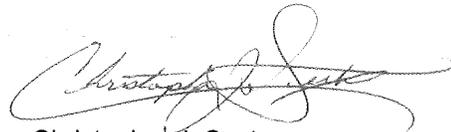
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)

Attachment: Letter dated November 21, 2007

Should you have any questions please call.

Respectfully submitted,


GREGORY S. BYRNE
Project Geologist


ROBERT A. HOLLINGSWORTH
E.G. 1265/G.E. 2022



GSB:RAH:th:pr

xc: (1) Ruben Araujo
(1) Geodynamics, by email (ali@geodynamics-inc.com)



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT F

ENVIRONMENTAL DETERMINATION

Notice of Exemption

To: [] Office of Planning and Research From: City of Agoura Hills
 1400 Tenth Street, Room 121 30001 Ladyface Court
 Sacramento, Ca 95814 Agoura Hills, CA 91301

 [] County Clerk
 County of Los Angeles
 Los Angeles County Clerk
 12400 E. Imperial Hwy.
 Norwalk, CA 90659

Project Title: Araujo Single Family Residence (Case #07-SPR-010)

Project Location-Specific: 6021 Colodny Drive (APN 2055-028-036)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project consists of a two-story 5,962 square-foot single family home on a 41,820 square-foot lot. The request is for a Site Plan Review.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Schneider for Araujo

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of an addition to a single family residence. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 10-19-07

Title: Senior Planner



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT G

VICINITY MAP

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 07-SPR-010
(A.P.N. 2055-028-036)

