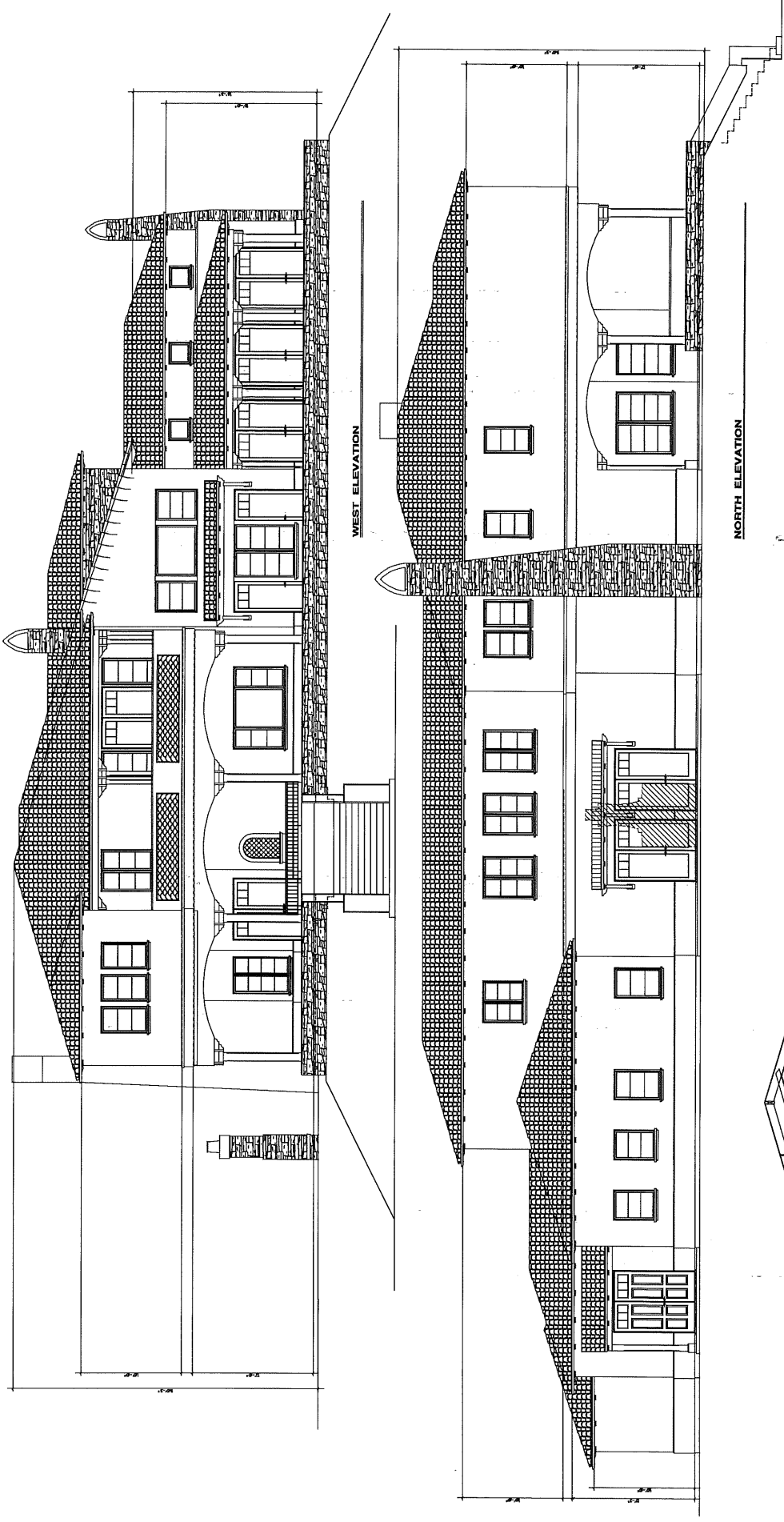


**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

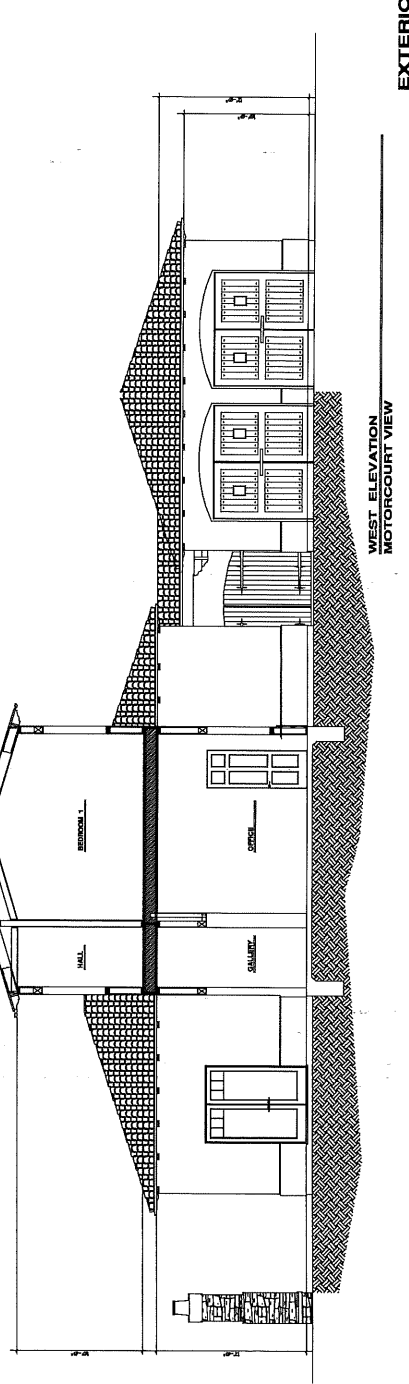
EXHIBIT D

REDUCED COPIES OF PLANS



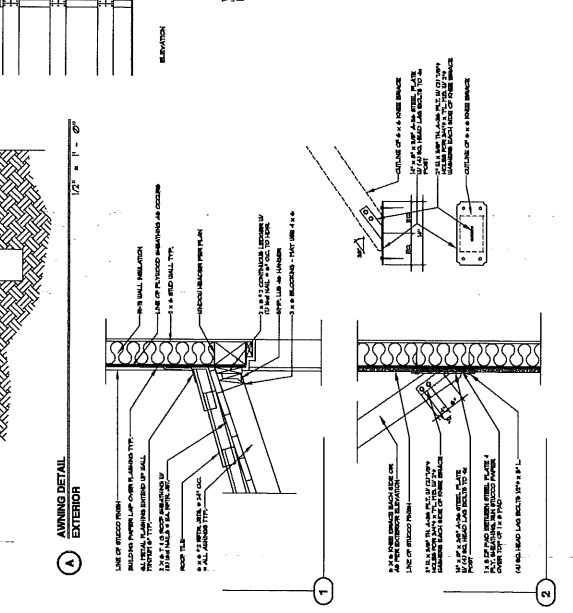
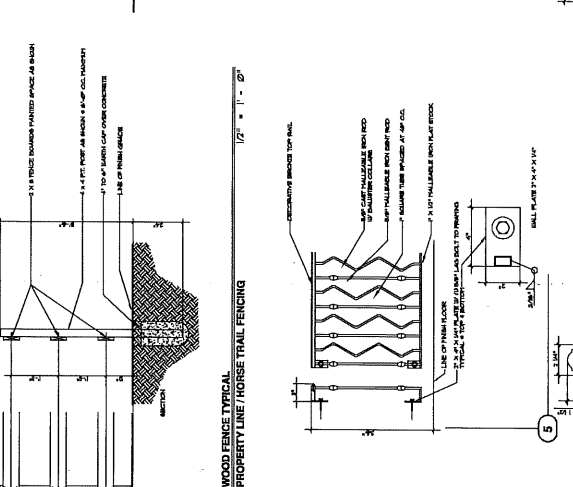
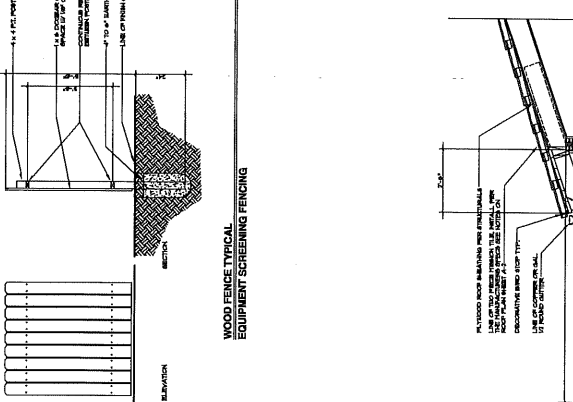
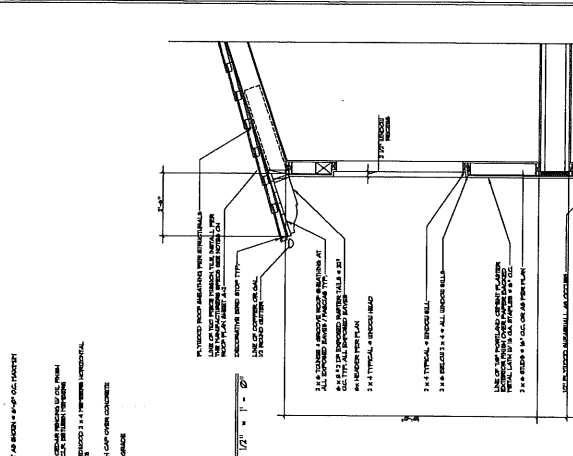
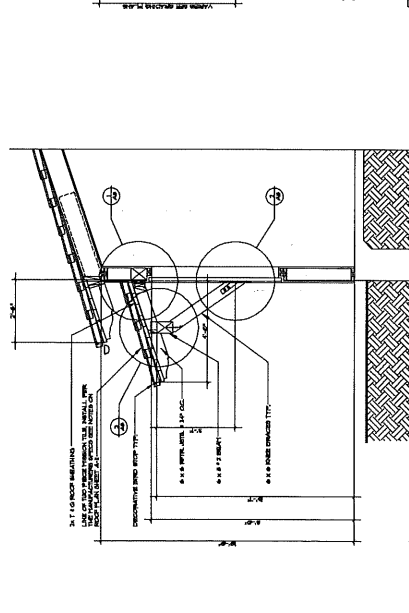
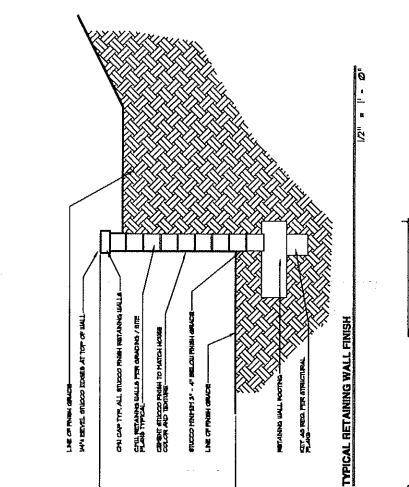
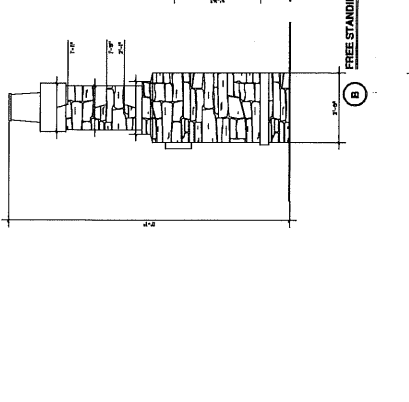
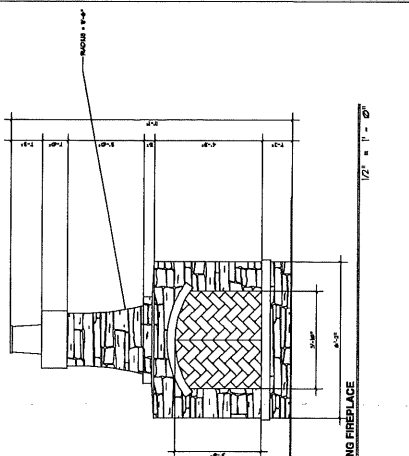
NOTES:

1. ALL EXTERIOR WALLS SHALL BE FINISHED WITH STONE OR STUCCO UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS SHALL BE FINISHED WITH STONE OR STUCCO UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS SHALL BE FINISHED WITH STONE OR STUCCO UNLESS OTHERWISE NOTED.
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EXTERIOR ELEVATIONS
EXTERIOR ELEVATIONS

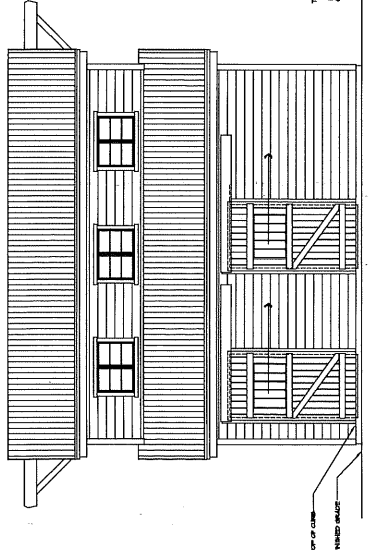
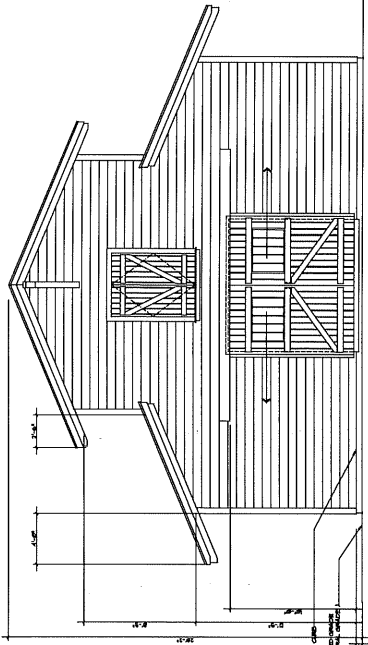
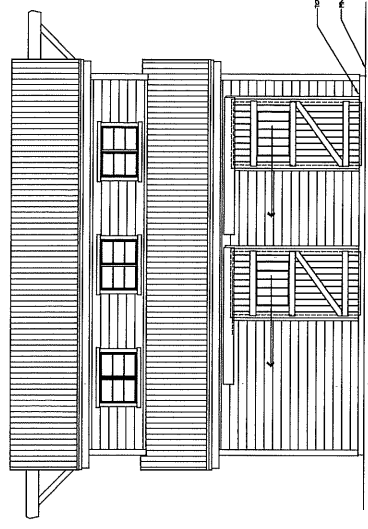
WEST ELEVATION
MOTORCOURT VIEW



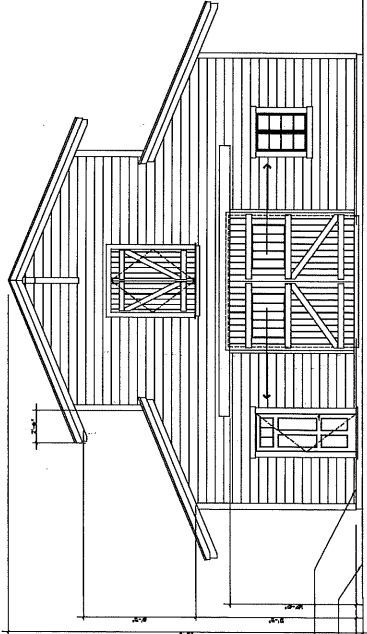
ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

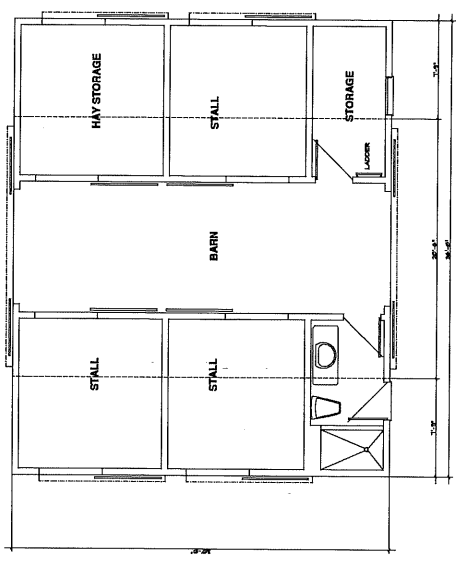
ARCHITECTURAL DETAILS



BARN EXTERIOR ELEVATIONS

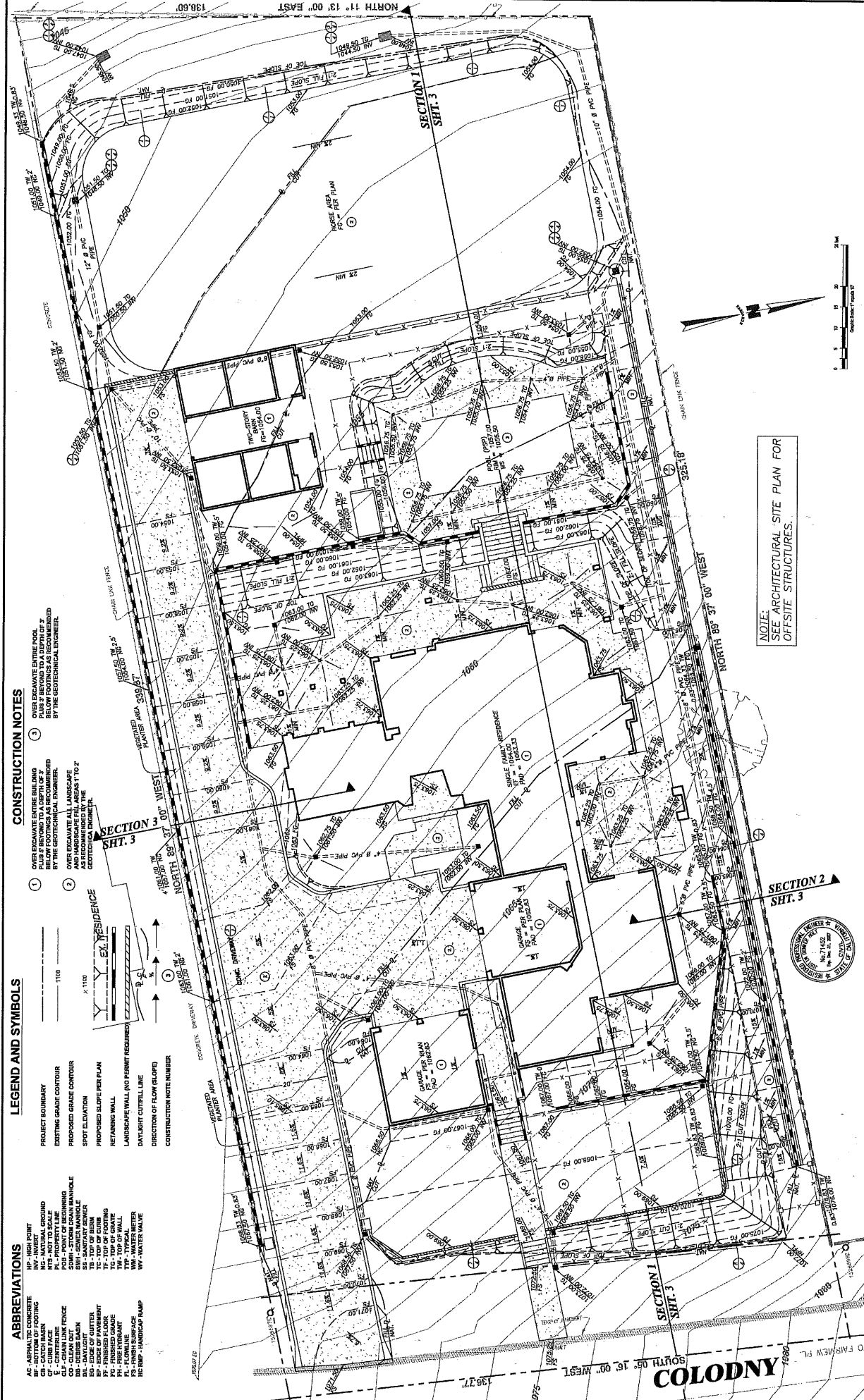


ELEVATION NOTES:
 1. ALL EXTERIOR SURFACES SHALL BE PAINTED WITH AN EXTERIOR GRADE PAINT TO MATCH EXISTING, UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR SURFACES SHALL BE PAINTED WITH AN INTERIOR GRADE PAINT TO MATCH EXISTING, UNLESS NOTED OTHERWISE.
 3. ALL METAL SHALL BE GALVANNEAL STEEL UNLESS NOTED OTHERWISE.
 4. ALL WOOD SHALL BE SDR #1 UNLESS NOTED OTHERWISE.
 5. ALL GLASS SHALL BE CLEAR GLASS UNLESS NOTED OTHERWISE.
 6. ALL DOORS SHALL BE 30 MINUTE FIRE RATED UNLESS NOTED OTHERWISE.
 7. ALL WINDOWS SHALL BE 20 MINUTE FIRE RATED UNLESS NOTED OTHERWISE.
 8. ALL ROOFING SHALL BE 30 YEAR Warranted Asphalt/Flt Shingles.
 9. ALL ROOFING SHALL BE 1/2" THICK OSB (1/2" MIN) UNLESS NOTED OTHERWISE.
 10. ALL INTERIOR WALLS SHALL BE 5/8" THICK CONCRETE UNLESS NOTED OTHERWISE.



DETACHED BARN

FLOOR PLAN



CONSTRUCTION NOTES

- ① OVER EXCAVATE ENTIRE BUILDING PLUS 2' BEYOND TO A DEPTH OF 3' BY THE GEOTECHNICAL ENGINEER.
- ② OVER EXCAVATE ALL LANDSCAPE AND HARDSCAPE FILL AREAS 1' TO 2' BY THE GEOTECHNICAL ENGINEER.
- ③ OVER EXCAVATE ENTIRE POOL PLUS 2' BEYOND TO A DEPTH OF 3' BY THE GEOTECHNICAL ENGINEER.

LEGEND AND SYMBOLS

- PROJECT BOUNDARY
- EXISTING GRADE CONTOUR
- PROPOSED GRADE CONTOUR
- SPOT ELEVATION
- PROPOSED SLOPE PER PLAN
- RETAINING WALL
- LANDSCAPE WALL (NO PERMIT REQUIRED)
- DAYLIGHT OUTFALL LINE
- DIRECTION OF FLOW (SLOPE)
- CONSTRUCTION NOTE NUMBER

ABBREVIATIONS

- AB - ABOVE
- BE - BOTTOM
- CB - CATCH BASIN
- CD - CENTERLINE
- CF - CHAIN LINK FENCE
- CG - CENTERLINE
- CH - CHAIN LINK FENCE
- CI - CENTERLINE
- CO - CURB
- CP - POINT OF BEGINNING
- CR - CENTERLINE
- CS - CENTERLINE
- CT - TOP OF CURB
- CU - CURB
- CV - CURB
- CA - CENTERLINE
- CB - CATCH BASIN
- CC - CENTERLINE
- CD - CENTERLINE
- CE - CENTERLINE
- CF - CENTERLINE
- CG - CENTERLINE
- CH - CENTERLINE
- CI - CENTERLINE
- CL - CENTERLINE
- CM - CENTERLINE
- CN - CENTERLINE
- CO - CENTERLINE
- CP - CENTERLINE
- CQ - CENTERLINE
- CR - CENTERLINE
- CS - CENTERLINE
- CT - CENTERLINE
- CU - CENTERLINE
- CV - CENTERLINE
- CW - CENTERLINE
- CX - CENTERLINE
- CY - CENTERLINE
- CZ - CENTERLINE
- DA - CENTERLINE
- DB - CENTERLINE
- DC - CENTERLINE
- DD - CENTERLINE
- DE - CENTERLINE
- DF - CENTERLINE
- DG - CENTERLINE
- DH - CENTERLINE
- DI - CENTERLINE
- DJ - CENTERLINE
- DK - CENTERLINE
- DL - CENTERLINE
- DM - CENTERLINE
- DN - CENTERLINE
- DO - CENTERLINE
- DP - CENTERLINE
- DQ - CENTERLINE
- DR - CENTERLINE
- DS - CENTERLINE
- DT - CENTERLINE
- DU - CENTERLINE
- DV - CENTERLINE
- DW - CENTERLINE
- DX - CENTERLINE
- DY - CENTERLINE
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- DT - CENTERLINE
- DU - CENTERLINE
- DV - CENTERLINE
- DW - CENTERLINE
- DX - CENTERLINE
- DY - CENTERLINE

NOTE: SEE ARCHITECTURAL SITE PLAN FOR OFFSITE STRUCTURES.

GRADING AND DRAINAGE PLAN
 6021 COLODNY DRIVE
 AGOURA HILLS, CA 91301
 PROJECT NO. 07-SPR-010, APN 20555-028-036
 SHEET 2 OF 4



CITY OF AGOURA HILLS APPROVAL

PREPARED BY:
Geo Metrics
 PROJECT ENGINEER: [Signature]
 DATE: [Blank]

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

ABBREVIATIONS

AS - ASHTRAY
 BF - BOTTOM OF FOOTING
 CB - CATCH BASIN
 C - CENTERLINE
 CL - CL - CENTERLINE
 CO - CL - CENTERLINE
 CR - CURB
/>

LEGEND AND SYMBOLS

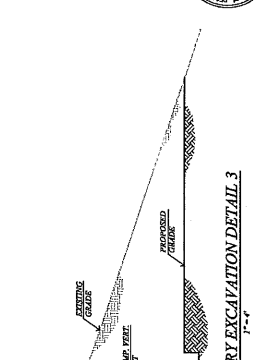
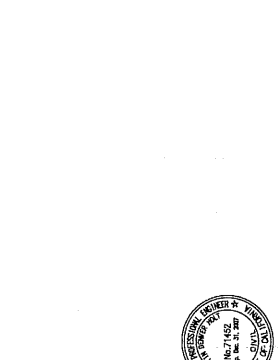
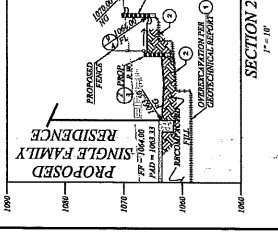
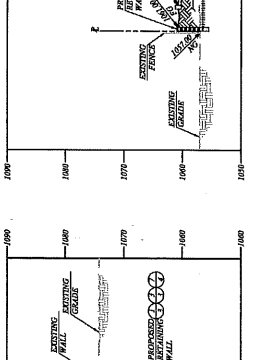
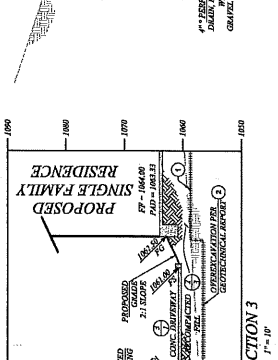
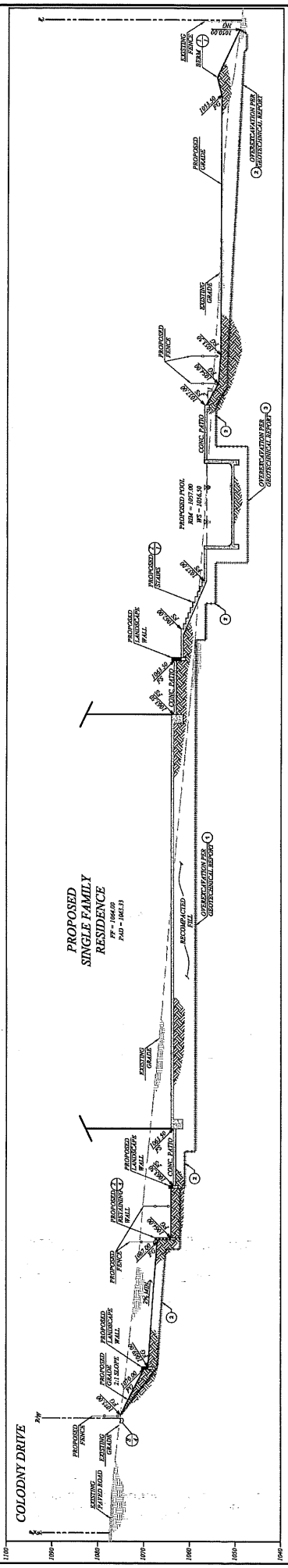
PROJECT BOUNDARY
 EXISTING GRADE CONTOUR
 PROPOSED GRADE CONTOUR
 SPOT ELEVATION
 PROPOSED SLOPE PER PLAN
 RETAINING WALL
 LANDSCAPE WALL (NO PERMIT REQUIRED)
 DAYLIGHT CUTTILL LINE
 DIRECTION OF FLOW (SLOPE)
 CONSTRUCTION NOTE NUMBER

CONSTRUCTION NOTES

1 OVER EXCAVATE ENTIRE BUILDING PLUS 2 FEET TO A DEPTH OF 3 FEET TO EXISTING GRADE AND REINFORCE WITH 12" X 12" REINFORCING BARS AND 4" CONCRETE SLAB. BY THE GEOTECHNICAL ENGINEER.

2 OVER EXCAVATE ALL LANDSCAPE AND HARDSCAPE FILL AREAS 1' TO 2' TO EXISTING GRADE AND REINFORCE WITH 12" X 12" REINFORCING BARS AND 4" CONCRETE SLAB. BY THE GEOTECHNICAL ENGINEER.

3 OVER EXCAVATE ENTIRE POOL PLUS 2 FEET TO A DEPTH OF 3 FEET TO EXISTING GRADE AND REINFORCE WITH 12" X 12" REINFORCING BARS AND 4" CONCRETE SLAB. BY THE GEOTECHNICAL ENGINEER.



REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY: **GeoWaters**
 5124 Colodny Dr., Agoura Hills, CA 91301
 (805) 386-7127
 (805) 386-7123 Fax

PROJECT ENGINEER: _____ DATE: _____

CITY OF AGOURA HILLS APPROVAL

CITY OF AGOURA HILLS
 AGOURA HILLS

CROSS SECTIONS
 6021 COLODNY DRIVE
 AGOURA HILLS, CA 91301
 07-SFR-010, APN 2055-028-038
 SHEET 3 OF 4

PROJECT NO. _____ OF _____

CITY OF AGOURA HILLS DWG. NO. _____ DATE _____

ABBREVIATIONS

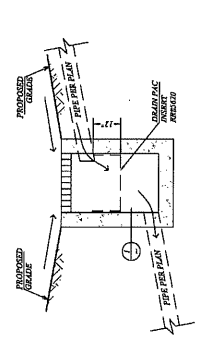
AC - ADJUSTABLE FRAME
 INV - INVERT
 NG - NATURAL GROUND
 CB - BOTTOM OF BASIN
 PL - PROPERTY LINE
 C - CENTERLINE
 CO - CLEAN OUT
 DB - DRAIN BASIN
 SH - SEWER MANHOLE
 TR - TOP OF BERM
 TC - TOP OF COATING
 FC - FINISHED GRADE
 FL - FLOWLINE
 FS - FRESH SURFACE
 IS - INLET SURFACE
 IS - INLET SURFACE
 IS - INLET SURFACE

LEGEND AND SYMBOLS

PROJECT BOUNDARY
 EXISTING GRADE CONTOUR
 PROPOSED GRADE CONTOUR
 SPOT ELEVATION
 RETAINING WALL
 LANDSCAPE WALL (NO PERMIT REQUIRED)
 DAYLIGHT CUTTILL LINE
 DIRECTION OF FLOW (SLOPE)

CONSTRUCTION NOTES

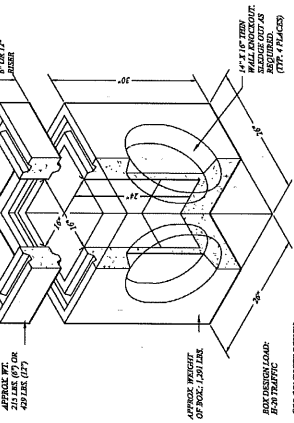
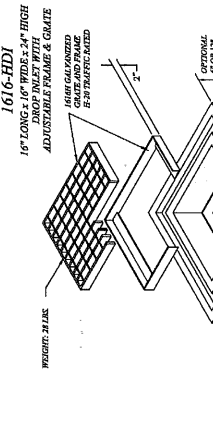
- OVER EXCAVATE ENTIRE BUILDING PLUS 2 FEET TO A DEPTH OF 18" BY THE GEOTECHNICAL ENGINEER.
- OVER EXCAVATE ALL LANDSCAPE AND HARDSCAPE TILL AREAS 1' TO 2' BELOW FINISHED GRADE BY THE GEOTECHNICAL ENGINEER.
- OVER EXCAVATE ENTIRE POOL PLUS 2 FEET TO A DEPTH OF 2' BELOW FINISHED GRADE BY THE GEOTECHNICAL ENGINEER.



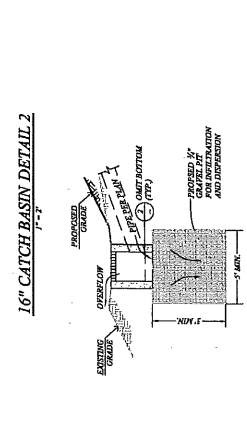
CATCH BASIN DRAIN PAC INSERT DETAIL 4



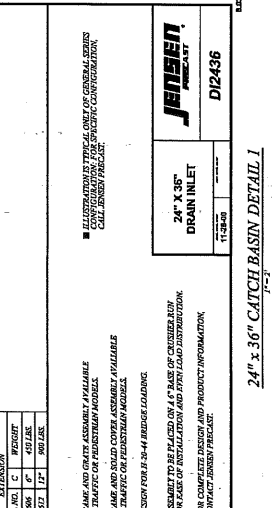
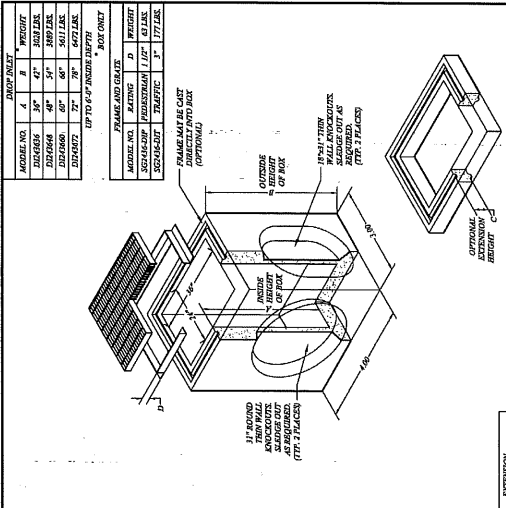
CONCRETE SWALE BEHIND RETAINING WALL DETAIL 7



16\"/>



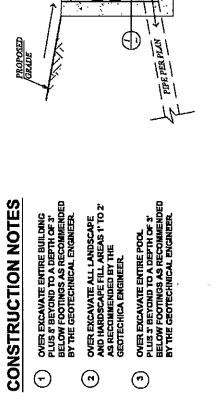
CATCH BASIN GRAVEL PIT DETAIL 3



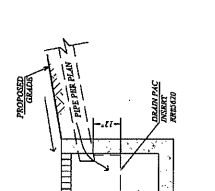
24\"/>

MODEL NO.	A	B	W	PRECISE
2024068	36"	48"	60"	180 LBS
2024069	48"	54"	66"	250 LBS
2024070	54"	60"	72"	350 LBS
2024071	72"	78"	84"	500 LBS

1616 HDI
 16" LONG, 16" HIGH
 ADJUSTABLE FRAME & GRATE
 1616 GALVANIZED
 GRATE AND FRAME
 16" x 16" SQUARE
 PERMIT REQUIRED



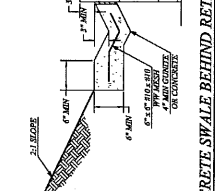
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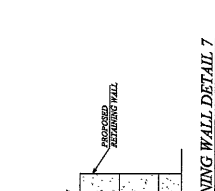
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CONCRETE SWALE TOP OF CUT SLOPE DETAIL 8



CONCRETE SWALE DETAIL 9



12\"/>

APPROVALS

CITY OF AGOURA HILLS APPROVAL

PROJECT ENGINEER: _____ DATE: _____

DATE: _____

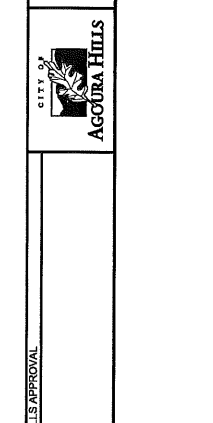
PREPARED BY: **GeoMatics**

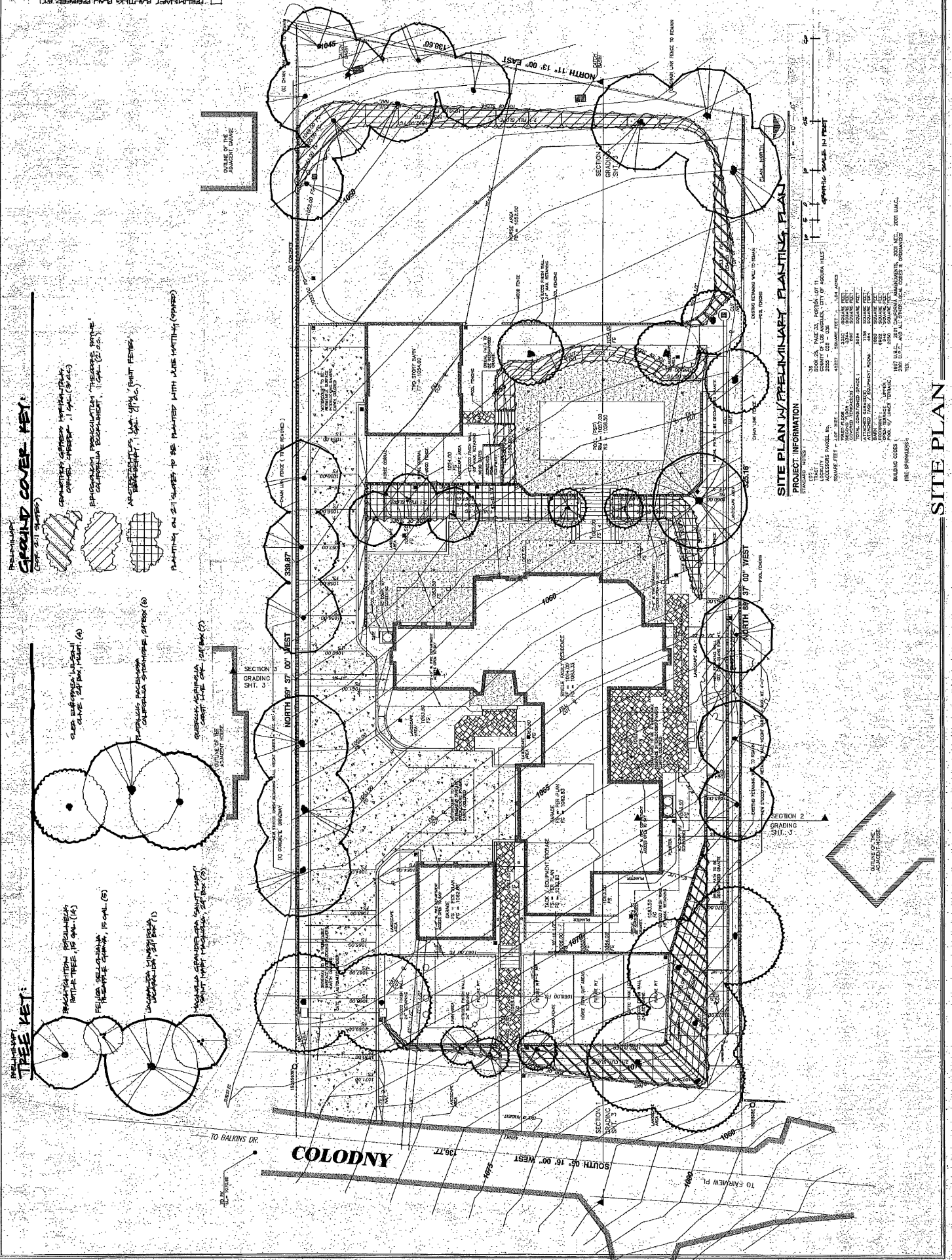
DATE: 07/14/20

PROJECT ENGINEER: _____ DATE: _____

AGOURA HILLS

DRAINAGE DETAILS
 6021 COLONY DRIVE
 AGOURA HILLS, CA. 91301
 07-SPR-010, APN 2056-028-038
 SHEET 4 OF 4





PRELIMINARY TREE KEY:

BRACONCHION BRACHYCARPA
 BUTLE TREE, 15 GAL. (14)

FELIX SELCOWSKA
 FLEUR DE PEONIE, 15 GAL. (15)

WICKSTROMIA
 WICKSTROMIA, 15 GAL. (15)

MAGNOLIA SPICATA
 MAGNOLIA SPICATA, 15 GAL. (15)

PLANTING ON SLOPES TO BE PLANTED WITH JUNE HORTENSIA (OPTIMIZED)

PRELIMINARY GRASS COVER KEY:

PERMANENT GRASS COVER (15 GAL. (15))

PERMANENT GRASS COVER (15 GAL. (15))

PERMANENT GRASS COVER (15 GAL. (15))

PRELIMINARY GRASS COVER KEY:

PERMANENT GRASS COVER (15 GAL. (15))

PERMANENT GRASS COVER (15 GAL. (15))

PERMANENT GRASS COVER (15 GAL. (15))

SITE PLAN / PRELIMINARY PLANTING PLAN

PROJECT INFORMATION

PROJECT NO. 111111
 SHEET NO. A2 OF 27

DATE: 12/15/2023
 SCALE: AS SHOWN

DESIGNED BY: SCHNEIDER ARCHITECTS
 141 CEDAR STREET, SUITE 200
 PORTSMOUTH, NH 03801
 PHONE: 603.777.4593

CLIENT: MR. & MRS. ARAUJO
 6021 COLODNY DRIVE, LOT NO. 36
 APOKIPKA MILLS, CALHOUN TOWNSHIP, CITY OF AUBURN, N.H.

PROJECT NO. 111111
 SHEET NO. A2 OF 27



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT E

GEODYNAMICS LETTER OF RECOMMENDATION

Date: November 21, 2007
GDI #: 07.00103.0155

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Renee Madrigal

Project Location: AIN 2055-028-036, Agoura Hills, California.

Planning Case #: 07-SPR-010 (Araujo, Ruben)

Building & Safety #: None

Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2007c), "Additional Response to City of Agoura Hills – Geotechnical Review Sheet, AIN: 2055-028-036, Colodny Road, Agoura Hills, California," GH13480-G, dated November 21, 2007.

Grover Hollingsworth and Associates, Inc. (2007b), "Response to City of Agoura Hills – Geotechnical Review Sheet, AIN: 2055-028-036, Colodny Road, Agoura Hills, California," GH13480-G, dated October 19, 2007.

Grover Hollingsworth and Associates, Inc. (2007a), "Geologic and Soils Engineering Exploration, Proposed Dwelling, Pool, Horse Barns, Riding Arena, and Retaining Walls, AIN 2055-028-036, Colodny Road, Agoura Hills, California," GH13480-G, dated June 21, 2007.

Plans: Grading and Drainage Plan, Lot 36, Colodny Road, Agoura Hills, CA 91301, City of Agoura Hills Drawing, Scale: 1"=10'.

Schneider Architects (2007), "Architect Drawings, Sheets A2, A3, A6 and A7," , Job Number: BTS 07-119, dated January 7, 2007.

Previous Reviews: August 8, 2007

FINDINGS

Planning/Feasibility Issues

Acceptable as Presented

Response Required

Geotechnical Report

Acceptable as Presented

Response Required

REMARKS

Grover Hollingsworth and Associates, Inc. (consultant) provided a response to the geotechnical review letter by the City of Agoura Hills dated August 8, 2007 regarding the proposed development at the site located at 6021 Colodny Road, City of Agoura Hills, California. The proposed development includes the construction of a two-story single-family residence with two attached two-car garages at the site located at Colodny Road, City of Agoura Hills, California. The proposed development includes the construction of several manufactured slopes and retaining walls.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the response by the consultant to Comment # 3 of the August 8, 2007 review letter requires further clarification. To expedite the review process, the reviewers contacted the consultant on November 20, 2007 and discussed the remaining item. The consultant provided a letter on November 21, 2007 (attached) with the requested clarification. As such, we recommend the Planning Commission consider approval of Case No. 07-SPR-010 (Araujo, Ruben) from a geotechnical perspective. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

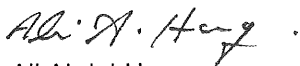
Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

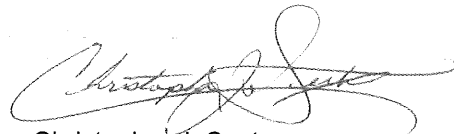
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)

Attachment: Letter dated November 21, 2007

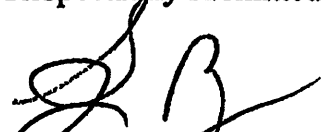
November 20, 2007


GH13480-G

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Should you have any questions please call.

Respectfully submitted,


GREGORY S. BYRNE
Project Geologist


ROBERT A. HOLLINGSWORTH
E.G. 1265/G.E. 2022



GSB:RAH:th:pr

xc: (1) Ruben Araujo
(1) Geodynamics, by email (ali@geodynamics-inc.com)



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT F

ENVIRONMENTAL DETERMINATION



**SITE PLAN/ARCHITECTURAL REVIEW
CASE NO. 07-SPR-010**

**FOR THE PROPERTY LOCATED AT
6021 COLODNY DRIVE, AGOURA HILLS**

EXHIBIT G

VICINITY MAP

SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 07-SPR-010
(A.P.N. 2055-028-036)

