



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

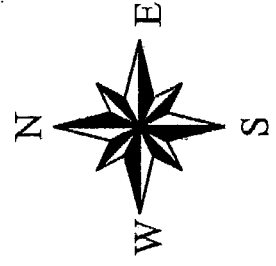
**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT C

Square Footage Analysis Map

Conditional Use Permit - Case No. 03-CUP-016 & Oak Tree Permit - Case No. 03-OTP-017

Square Footage
Analysis





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

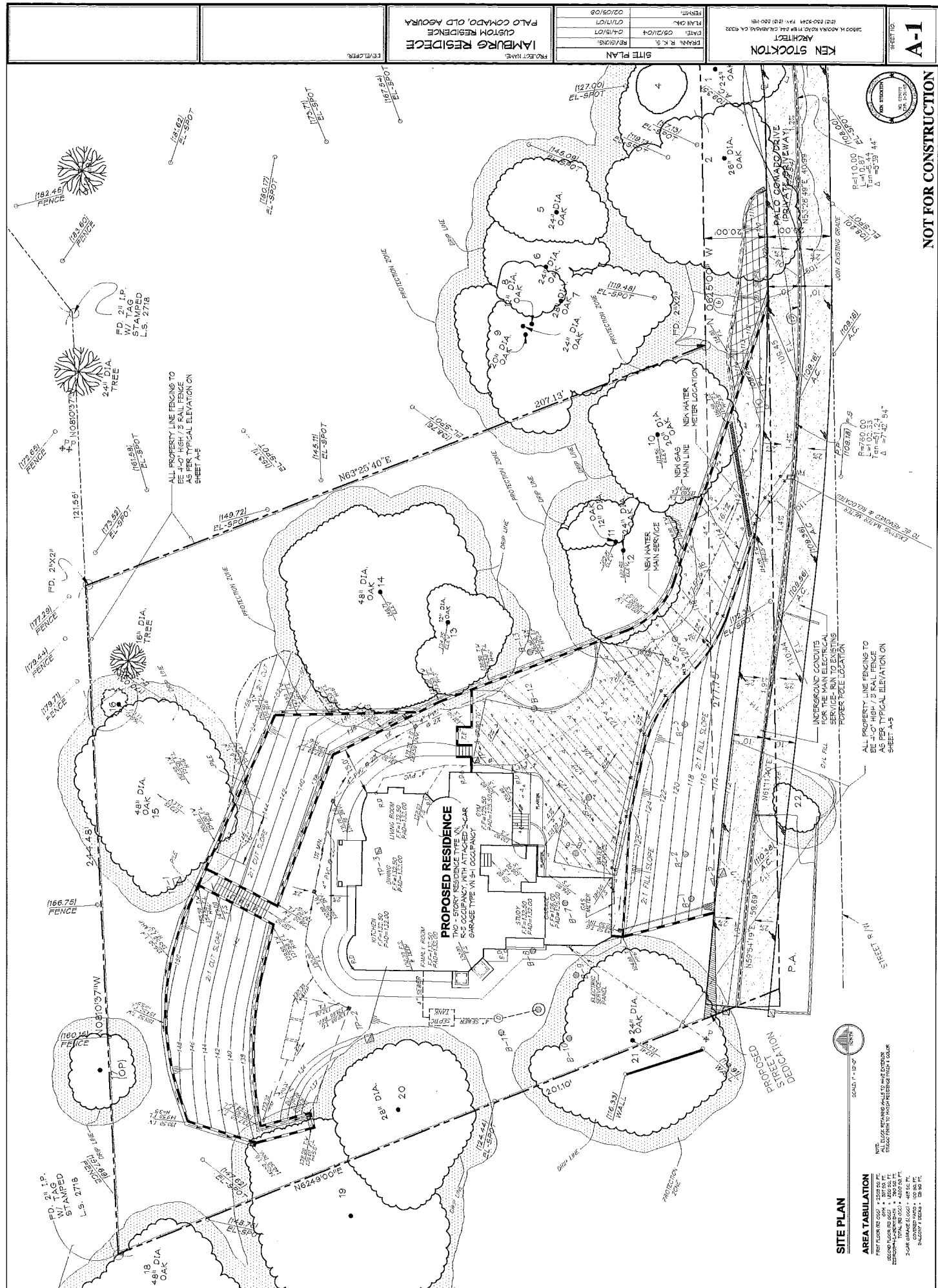
EXHIBIT D

Reduced Copy of the Architectural/Grading/Landscape Plans

DATE: 08/21/04	REVISIONS:
DATE: 04/15/07	
DATE: 02/09/08	



NOT FOR CONSTRUCTION



PROPOSED RESIDENCE
 TWO-STORY RESIDENCE TYPE
 R-2 OCCUPANCY WITH ATTACHED GARAGE
 GARAGE TYPE VN-S1 OCCUPANCY

SITE PLAN
AREA TABULATION
 FIRST FLOOR RS 2500' x 2500' 50' FT.
 SECOND FLOOR RS 2500' x 2500' 50' FT.
 TOTAL RS 2500' x 5000' 100' FT.
 2.50 ACRES (43,560 SQ. FT.)
 2.50 ACRES (43,560 SQ. FT.)

NOTE:
 1. ALL PROPERTY LINE FENCING TO BE 5' TALL FENCE AS PER TYPICAL ELEVATION ON SHEET A-5
 2. INTERGRADING CONDUITS FOR THE MAIN ELECTRICAL SERVICE RUN TO EXISTING POWER POLE LOCATION
 3. ALL PROPERTY LINE FENCING TO BE 5' TALL FENCE AS PER TYPICAL ELEVATION ON SHEET A-5

ALL PROPERTY LINE FENCING TO BE 5' TALL FENCE AS PER TYPICAL ELEVATION ON SHEET A-5

ALL PROPERTY LINE FENCING TO BE 5' TALL FENCE AS PER TYPICAL ELEVATION ON SHEET A-5

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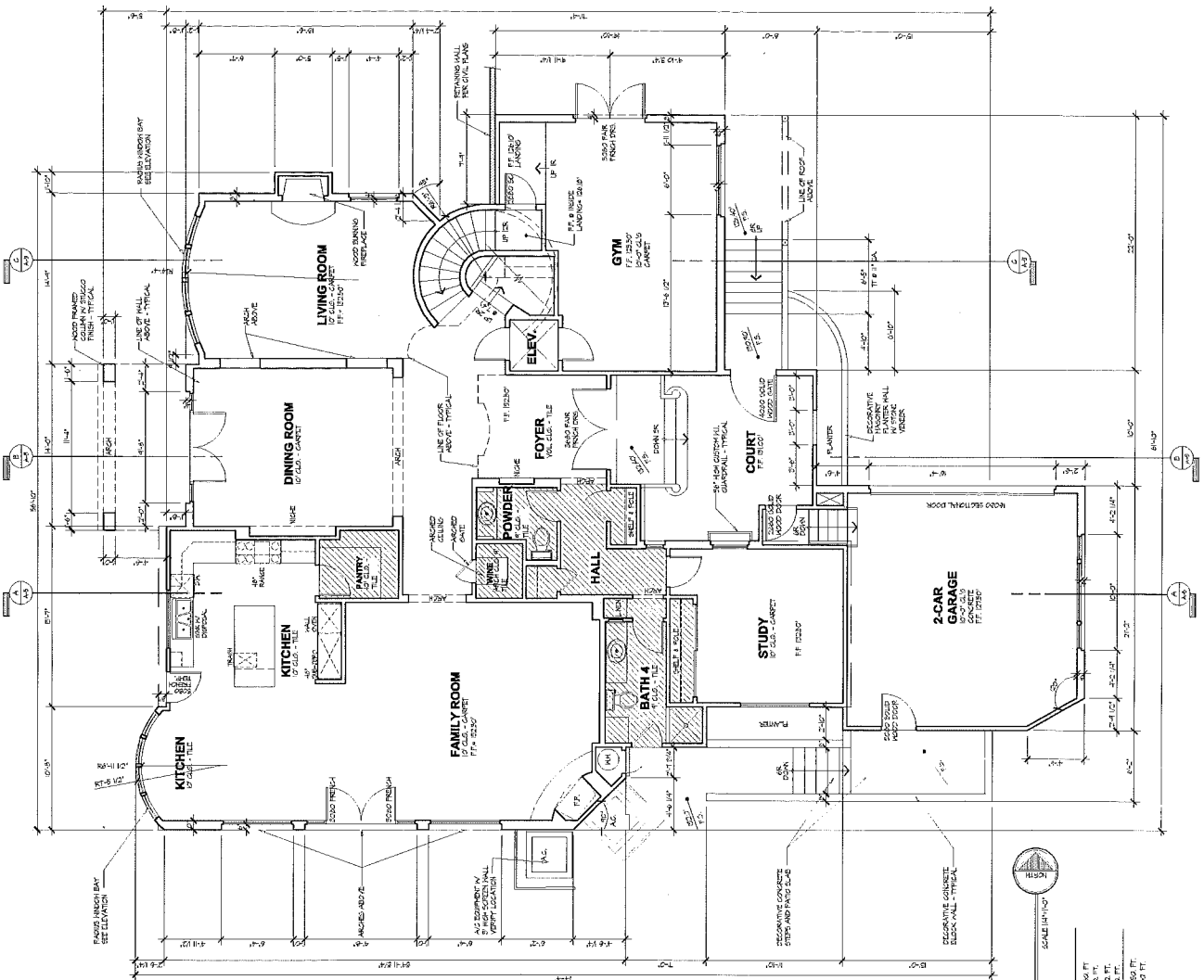
ALL PROPERTY LINE FENCING TO BE 5' TALL FENCE AS PER TYPICAL ELEVATION ON SHEET A-5

PROJECT NAME:	LAMBRØ RESIDENCE
DATE:	03/21/04
PLAN NO.:	03/21/04
REVISIONS:	02/03/08

PROJECT NAME: LAMBRØ RESIDENCE
 CUSTOM RESIDENCE
 PALO CROMADO, OLD ASUCRA



NOT FOR CONSTRUCTION



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FINISH SCHEDULE
 FLOOR: 10' x 11' + 2000 sq. ft.
 WALL: 10' x 11' + 2000 sq. ft.
 CEILING: 10' x 11' + 2000 sq. ft.
 TOTAL: 10' x 11' + 2000 sq. ft.
 TOTAL: 10' x 11' + 2000 sq. ft.

DATE: 03/21/04

PROJECT NAME	LAMBURG RESIDENCE
DATE	05/21/04
REVISIONS	05/28/04
DATE	05/28/04
REVISIONS	05/28/04
DATE	05/28/04
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DATE	05/28/04
REVISIONS	05/28/04
DATE	05/28/04
REVISIONS	05/28/04

PROJECT NAME
LAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO COMADO, OLD ABOURA

DATE
05/28/04

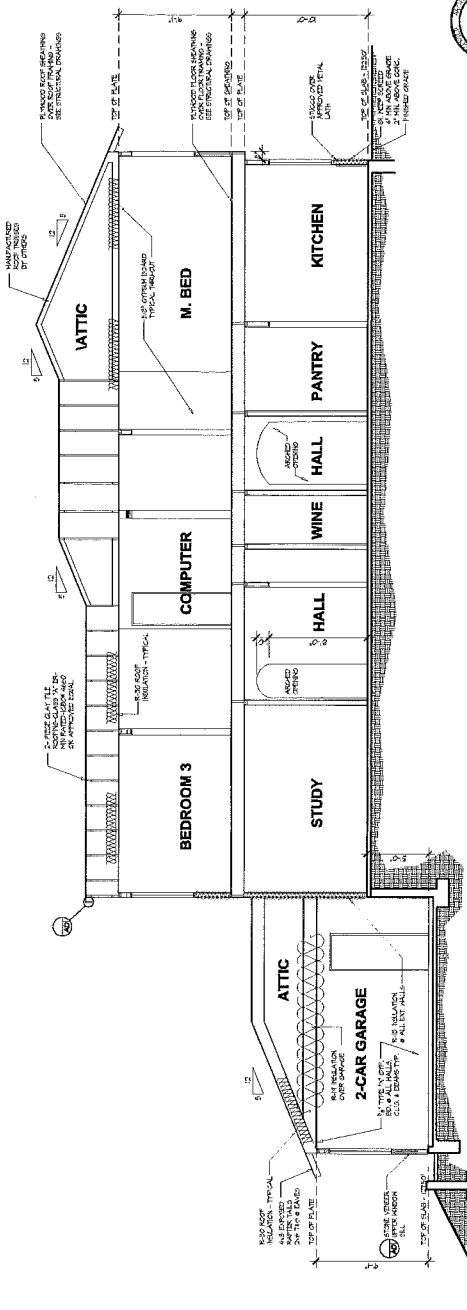
DATE
05/28/04

NOT FOR CONSTRUCTION



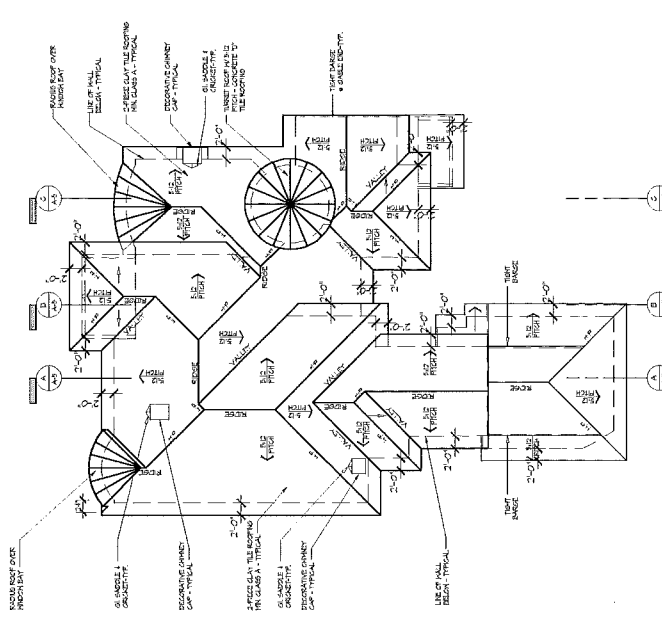
SCALE: 1/4" = 1'-0"

BUILDING SECTION



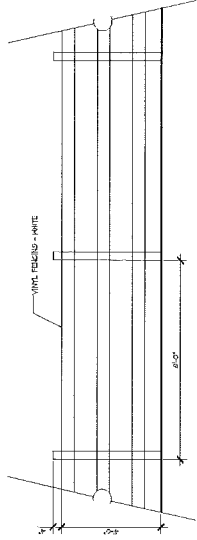
SCALE: 1/4" = 1'-0"

ROOF PLAN

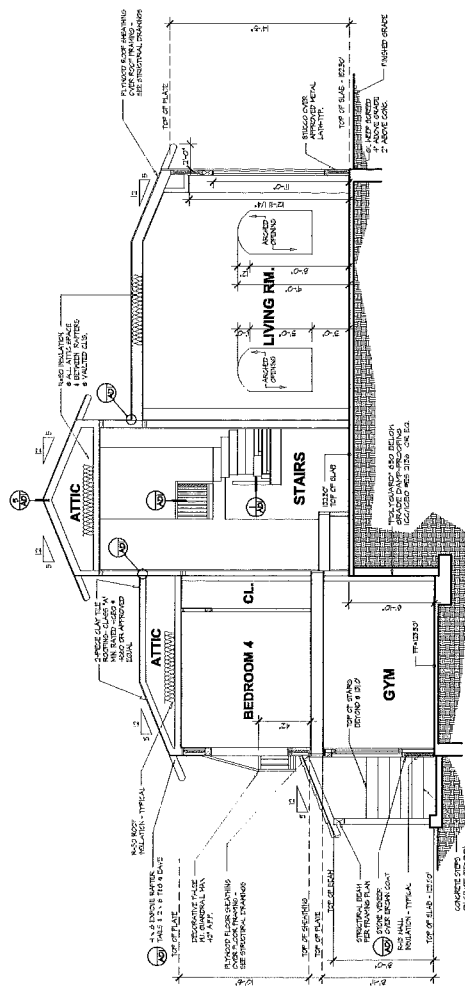


SCALE: 1/4" = 1'-0"

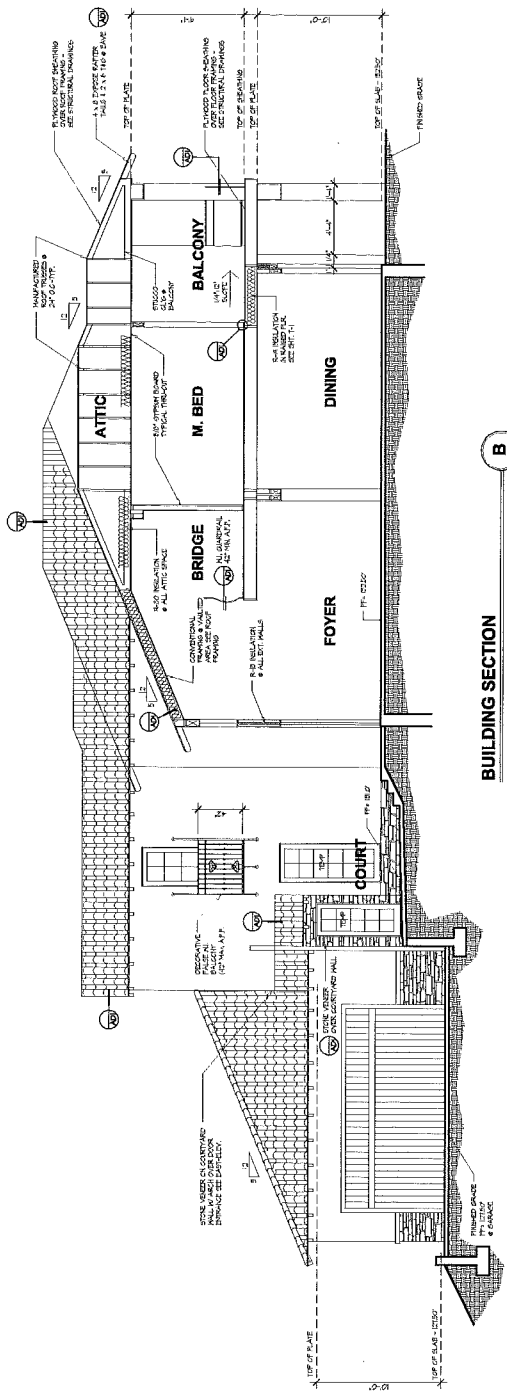
A



PROPERTY LINE FENCING ELEV.
SCALE: 1/8" = 1'-0"



BUILDING SECTION C
SCALE: 1/8" = 1'-0"



BUILDING SECTION B
SCALE: 1/8" = 1'-0"

PROJECT NAME LAMBURG RESIDENCE CUSTOM RESIDENCE PALO COMADO OLD AEBURA	DRAWN BY R. S.	CHECKED BY R. S.	DATE 05/21/04	REVISIONS 05/23/04	PROJECT NO. 12/06/04
	BUILDING SECTIONS	ARCHITECT KEN STOCKTON	2800 N. ARDEN ROAD, P.O. BOX 44, CALAHEIS, VA 22019 (703) 622-4145 FAX: (703) 622-4004	SHEET NO. A-5	NOT FOR CONSTRUCTION





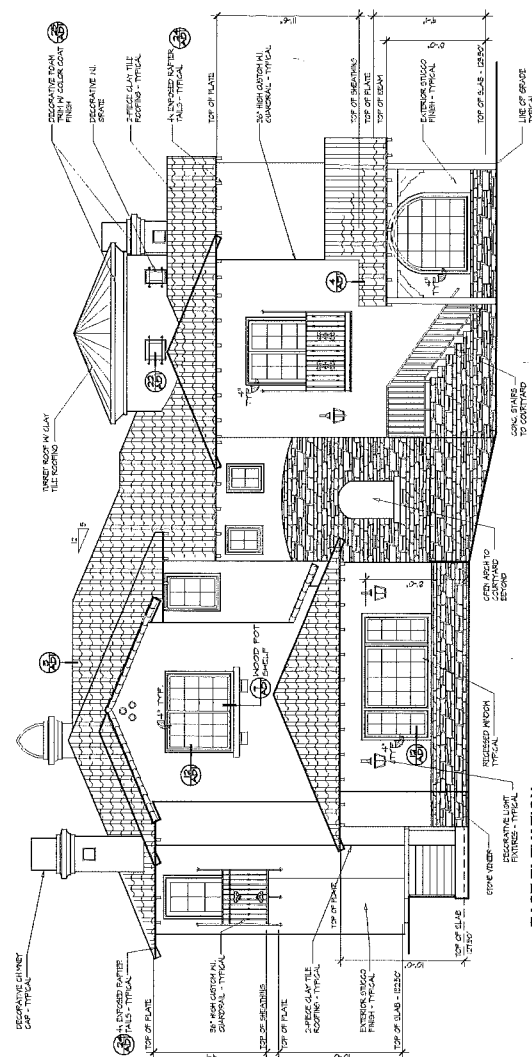
KEN STOCKTON
ARCHITECT
28500 N AGOURA ROAD, STE 100, CALIFORNIA, CA 92024
(949) 450-8248 FAX: (949) 450-8248

REVISIONS
DATE: 05/21/04
12/05/04
01/07/06

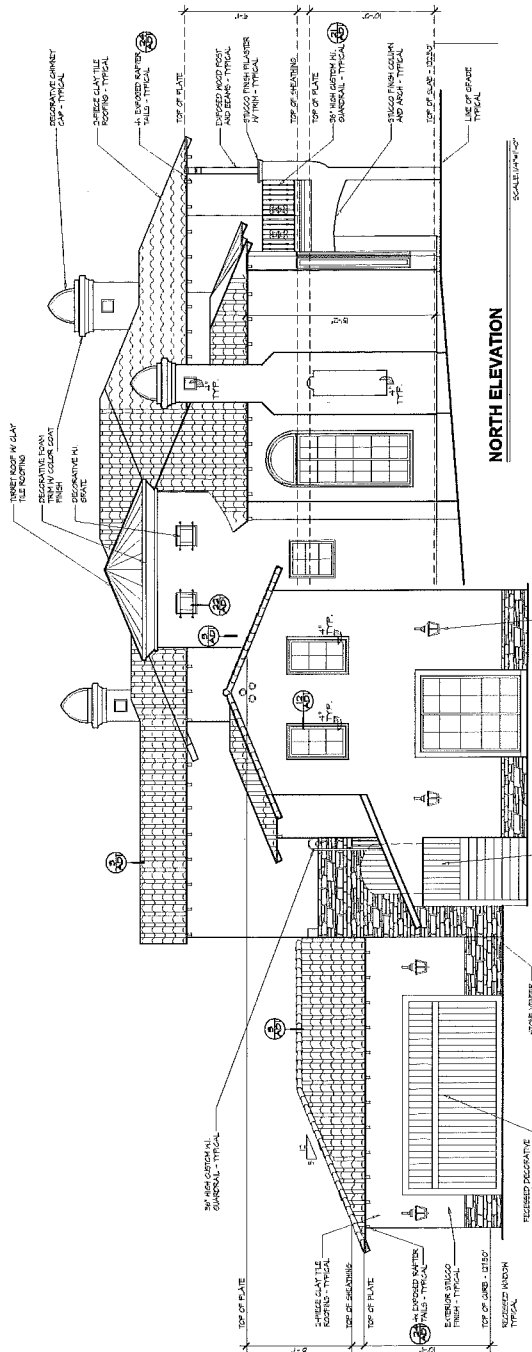
PROJECT NAME
LAMBURØ RESIDENCE
CUSTOM RESIDENCE
PALO COMADO, OLD AGOURA

DEVELOPER

EAST ELEVATION



NORTH ELEVATION



SCALE: 1/8\"/>

SCALE: 1/8\"/>

<p>1 GUARDRAIL DETAIL SCALE: 1/2" = 1'-0"</p>	<p>17 FLUSH RAKE DETAIL SCALE: 1/2" = 1'-0"</p>	<p>16 FOAM WINDOW JAMB DETAIL SCALE: 1/2" = 1'-0"</p>	<p>18 FLUSH RAKE W BARGE DETAIL SCALE: 1/2" = 1'-0"</p>	<p>23 EAVE DETAIL SCALE: 1/2" = 1'-0"</p>	<p>24 EXP RAFTER TAILS SCALE: 1/2" = 1'-0"</p>
<p>11 FOAM SILL DETAIL SCALE: 1/2" = 1'-0"</p>	<p>12 KINDOM DETAIL SCALE: 1/2" = 1'-0"</p>	<p>13 GARAGE DOOR DETAIL SCALE: 1/2" = 1'-0"</p>	<p>8 STONE VENEER DETAIL SCALE: 1/2" = 1'-0"</p>	<p>9 FIREPLACE ELEVATION SCALE: 1/2" = 1'-0"</p>	<p>10 CHIMNEY CAP DETAIL SCALE: 1/2" = 1'-0"</p>
<p>6 FRAMED CORBEL & ARCHES SCALE: 1/2" = 1'-0"</p>	<p>7 POT SHELF DETAIL SCALE: 1/2" = 1'-0"</p>	<p>2 CHIMNEY FLASHING DETAIL SCALE: 1/2" = 1'-0"</p>	<p>3 RIDGE DETAIL SCALE: 1/2" = 1'-0"</p>	<p>4 ROOF TO WALL CONNECTION SCALE: 1/2" = 1'-0"</p>	<p>10 CHIMNEY CAP DETAIL SCALE: 1/2" = 1'-0"</p>
<p>1 STAIR RAILING DETAIL SCALE: 1/2" = 1'-0"</p>	<p>20 WALL FLASHING DETAIL SCALE: 1/2" = 1'-0"</p>	<p>30 VALLEY DETAIL SCALE: 1/2" = 1'-0"</p>	<p>4 ROOF TO WALL CONNECTION SCALE: 1/2" = 1'-0"</p>	<p>10 CHIMNEY CAP DETAIL SCALE: 1/2" = 1'-0"</p>	<p>10 CHIMNEY CAP DETAIL SCALE: 1/2" = 1'-0"</p>

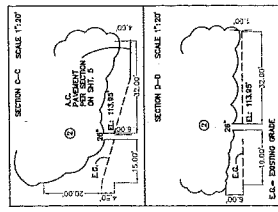
EASEMENTS:

- ① - AN EASEMENT (NOT PLOTTABLE)
- ② - AN EASEMENT FOR INGRESS AND EGRESS RECORDED IN BOOK 7332 PAGE 80, O.R. (LILLOBLE)
- ③ - AN EASEMENT FOR FUEL LINES PURPOSE RECORDED IN BOOK 30949 PAGE 191, O.R. (NOT PLOTTABLE)
- ④ - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2545, RECORDED ON AUG. 25, 1971
- ⑤ - AN EASEMENT FOR PRIVATE AND FUTURE STREETS AND PRIVATE DRIVWAYS
- ⑥ - AN EASEMENT FOR UTILITIES AND SERVICE PURPOSES PER INSTRUMENT 89-289994, OF O.R. RECORDED ON FEB. 04, 1988

BENCHMARK:
 PD. B.M. # 8982 AT THE N.W. CORNER
 SECTION OF FAIRVIEW PL.
 AND CHESBRO RD.
 ASSUMED E.L. = 100.00'

TOTAL LOT AREA = 49,326 S.F.
 TOTAL BLDG. FOOTPRINT = 3,080 S.F.
 TOTAL GRADED AREA = 23,770 S.F.
 TOTAL DRIVEWAY & PAVING AREA = 5,188 S.F.
 AVG. SLOPE = 1 FT. X 13.889 FT. X 100 = 27.68%
 49,326 S.F.
 PERCENT OF GRADED AREA
 (23,770 S.F. - 5,188 S.F.) X 100 = 37.65%
 49,326 S.F.
 MINIMUM PERCENT OF PARCEL TO REMAIN
 IN OPEN SPACE
 100% - 37.65% = 62.35%

- CONSTRUCTION NOTES:**
- ① - CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO.1
 - ② - CONSTRUCT DECK DRAIN PER DETAIL "B" SHEET NO.1
 - ③ - CONSTRUCT NO. 6 CATCH BASIN PER DETAIL "C" SHEET NO.1
 - ④ - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
 - ⑤ - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET J
 - ⑥ - CONSTRUCT CONCRETE DRAIN BEHIND WALL PER DETAIL "E" SHEET NO.1
 - ⑦ - CONSTRUCT DRY WELL PER DETAIL "F" SHEET NO.1
 - ⑧ - CONSTRUCT TROUGH DRAIN PER DETAIL "G" SHEET NO.1
 - ⑨ - CONSTRUCT 12" CATCH BASIN PER DETAIL "H" SHEET NO.1
 - ⑩ - CONSTRUCT 6" CONCRETE CURB PER DETAIL "I" SHEET NO.1
 - ⑪ - CONSTRUCT INVERTOR PER DETAIL "J" SHEET NO.1
 - ⑫ - REMOVE EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
 - ⑬ - CONSTRUCT LONGITUDINAL GUTTER PER A.P.M.A. STD. PLAN 125-1.



NOTE:
 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.

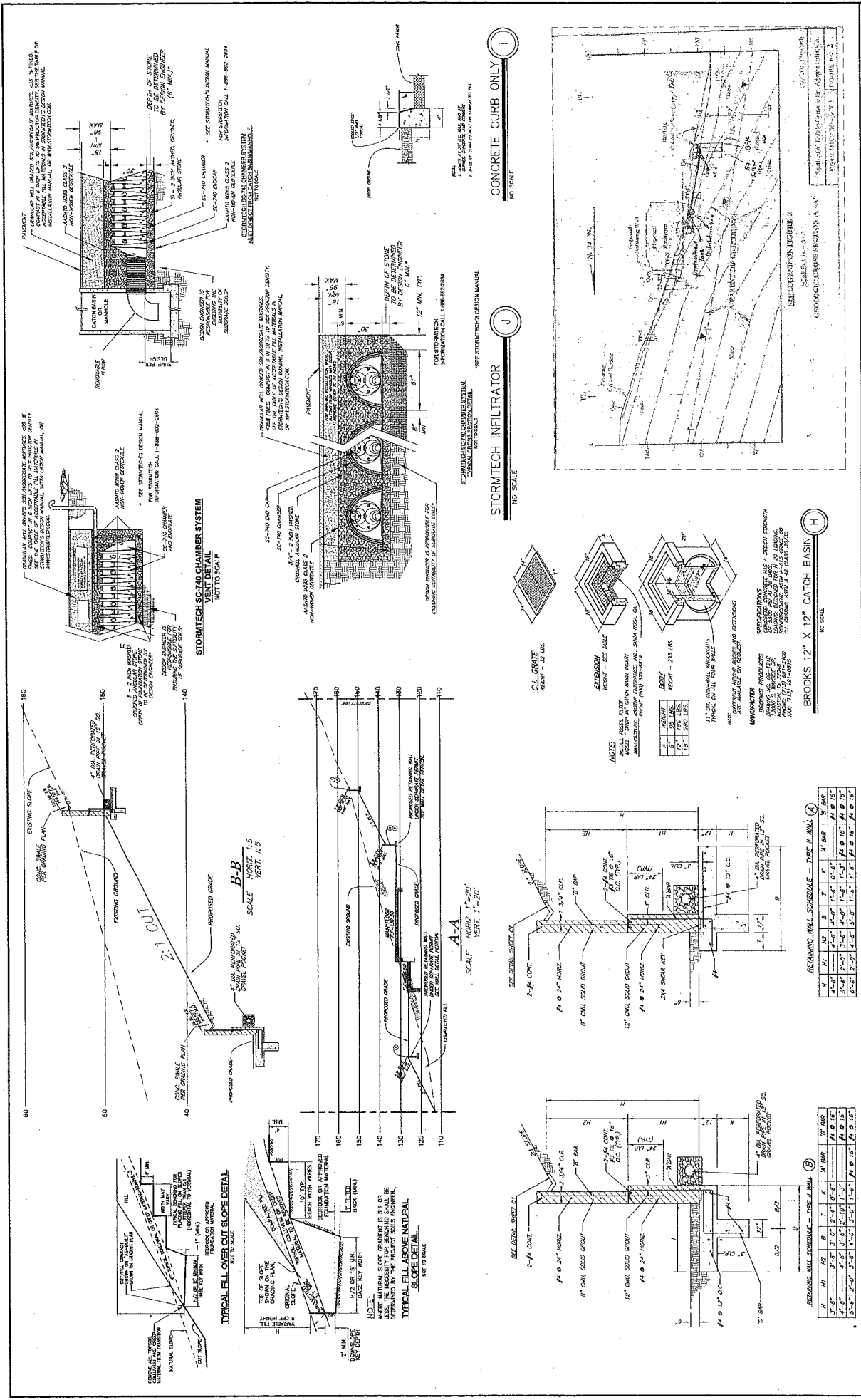


REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	REVIEWED BY	DATE	PROJECT ENGINEER	DATE	DATE	DATE	DATE	DATE

PREPARED BY: CALCTIC ENGINEERING GROUP
 1000 W. 10TH ST., SUITE 100, ANAHEIM, CA 92801
 TEL: (714) 771-1111 FAX: (714) 771-1111

CITY OF AGOURA HILLS APPROVAL
 RAIMOND ADEVA
 CITY ENGINEER

CITY OF AGOURA HILLS
 PROJECT NO. _____
 SHEET 2 OF 6



STREET IMPROVEMENT NOTES

1. ALL WORK SHALL CONFORM TO THESE IMPROVEMENT PLANS, THE CURRENT PUBLIC UTILITIES MAPS, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SPPM), AND THE STANDARD PLANS FOR CONSTRUCTION (SPPM).
2. NO DEVIATION FROM THESE PLANS SHALL BE MADE UNLESS A CHANGE ORDER IS APPROVED BY THE CITY ENGINEER.
3. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN CITY LIMITS SHALL REGISTER WITH THE CITY OF AGOURA HILLS PRIOR TO COMMENCING WORK.
4. CONTRACTORS SHALL COMPLY WITH ALL CALIFORNIA SAFETY STANDARDS.
5. CONTRACTORS SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR (PH) 48 HOURS PRIOR TO COMMENCING WORK, AND NOTIFY FOUR (4) HOURS PRIOR TO COMMENCING WORK, AND NOTIFY FOUR (4) HOURS PRIOR TO COMMENCING WORK, AND NOTIFY FOUR (4) HOURS PRIOR TO COMMENCING WORK.
6. ALL WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 7:00 AM AND 4:00 PM AND IS SUBJECT TO INSPECTION BY THE PUBLIC WORKS DEPARTMENT.
7. CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.
8. CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.
9. CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.
10. CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.

PUBLIC UTILITIES SERVICES

- WATER:** LAS VEGAS METROPOLITAN WATER DISTRICT
1500 S. WILSON AVENUE
CAGUIAS, CA 91302
(951) 880-1110
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
1500 S. WILSON AVENUE
CAGUIAS, CA 91302
(951) 880-1110
- TELEPHONE:** SBC (PAC BELL)
1500 S. WILSON AVENUE
CAGUIAS, CA 91302
(951) 353-8889
- GAS:** SOUTHERN CALIFORNIA GAS
1500 S. WILSON AVENUE
CAGUIAS, CA 91302
(951) 701-3264
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
1500 S. WILSON AVENUE, BLDG 49 EAST
CAGUIAS, CA 91302
(951) 353-3334
- CABLE:** 4323 TELLER ROAD
CAGUIAS, CA 91302
(951) 353-3334
- CABLE:** CALSTAR COMMUNICATIONS
3606 CROSSCREEK ROAD
CAGUIAS, CA 91302
(951) 353-3334
- CALTRANS:** CALTRANS
5680 REEDER BOULEVARD
AGOURA HILLS, CA 91306
(951) 353-1428

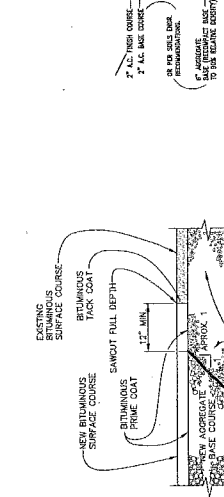
UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-327-8800

TWO WORKING DAYS BEFORE YOU DIG

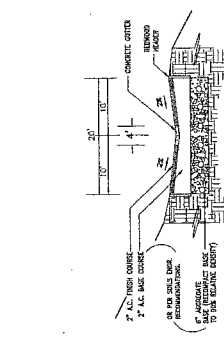
STORMWATER POLLUTION

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE SPECIFIED. THE CITY ENGINEER SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. REFER TO DETAIL DRAWINGS FOR FURTHER INFORMATION.
2. ALL TRAFFIC MEDIANS SHALL BE DESIGNED AND CONSTRUCTED PER CITY ENGINEER APPROVAL.
3. TRENCH WORK SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE SPECIFIED. THE CITY ENGINEER SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. REFER TO DETAIL DRAWINGS FOR FURTHER INFORMATION.



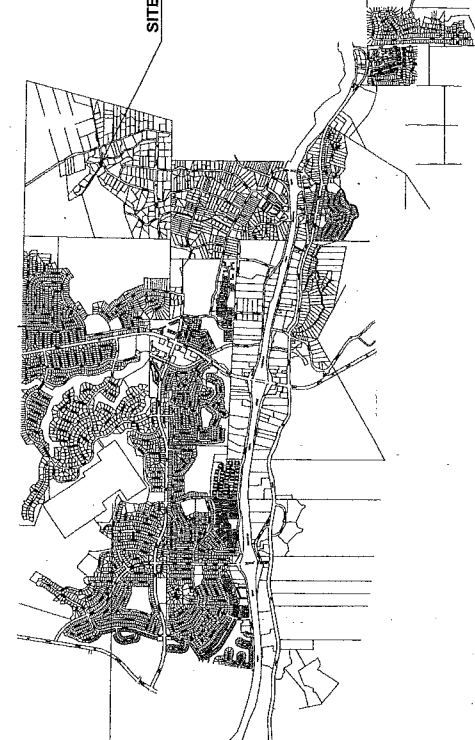
ASPHALT PAVEMENT JOINT DETAIL
NO SCALE

EXISTING ASPHALT PAVEMENT TO BE PROTECTED TO PREVENT LOSS OF DENSITY AND SUPPORT TO ADJACENT BITUMINOUS PAVEMENT.



STREET CROSS-SECTION
SCALE 1" = 10'

NOTES:
1. ALL NEW SURF COURSE SHALL BE A MINIMUM OF 7" THICK.
2. ALL NEW SURF COURSE SHALL BE A MINIMUM OF 7" THICK.
3. ALL NEW SURF COURSE SHALL BE A MINIMUM OF 7" THICK.
4. ALL NEW SURF COURSE SHALL BE A MINIMUM OF 7" THICK.



VICINITY MAP
NO SCALE

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	DESIGNED BY	DATE	EXP. DATE

CITY OF AGOURA HILLS APPROVAL

PROJECT NO. _____

DATE _____

DESIGNED BY _____

REVIEWED BY _____

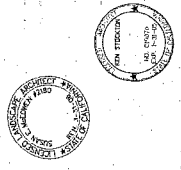
EXP. DATE _____

KEN STOCKTON
ARCHITECT
2800 N. AVENUE 100, P.O. BOX 100, CA 95020
(916) 225-2541 FAX: (916) 225-0152

PRELIMINARY LANDSCAPE PLAN
PROJECT NAME: LAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO COMADO, OLD ASUBRA

DATE: 10.03.08 REV: 1
DRAWN BY: [blank]
CHECKED BY: [blank]

THE OFFICE OF
SUSAN E. MCGOWAN
LANDSCAPE ARCHITECT 2180
329710 OAK LAKE
CASTLE ROCK, CA 94541
661.294.3733



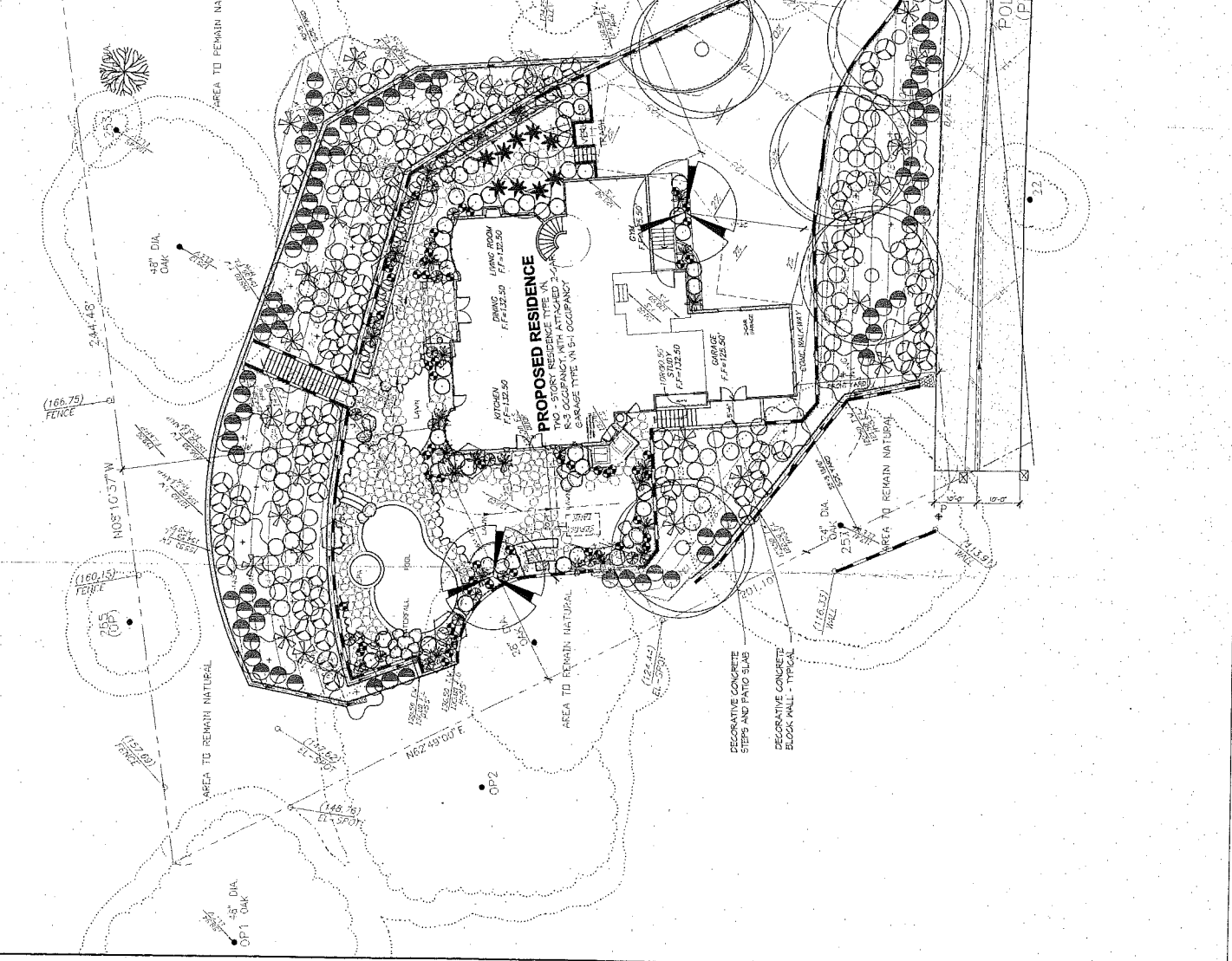
PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 10'-0"
AREA TABULATION
TOTAL AREA: 1.25 ACRES
TOTAL PLANTING AREA: 1.15 ACRES
TOTAL HARDSCAPE AREA: 0.10 ACRES
TOTAL WATER FEATURE AREA: 0.00 ACRES
TOTAL TOTAL AREA: 1.25 ACRES

Symbol	Botanical/Common Name	Qty	Size	Comments
(Tree)	Muhlenbergia scopulorum	11	15-Gal	multi-trunk evergreen
(Tree)	Chamaecyparis	4	15-Gal	evergreen
(Tree)	Western Red Cedar	22	15-Gal	deciduous
(Tree)	White Birch	2	24" box	evergreen
(Tree)	White Birch	5	15-Gal	multi-trunk
(Tree)	White Birch	10	15-Gal	to remain
(Tree)	White Birch	51	5-Gal	to remain
(Tree)	White Birch	83	1-Gal	slope
(Tree)	White Birch	77	1-Gal	slope
(Tree)	White Birch	83	1-Gal	slope
(Tree)	White Birch	22	1-Gal	slope
(Tree)	White Birch	22	5-Gal	spot in the field
(Tree)	White Birch	9	5-Gal	plant @ 10' O.C. or spacing
(Tree)	White Birch	46	5-Gal	plant @ 10' O.C. or spacing
(Tree)	White Birch	23	5-Gal	plant @ 10' O.C. or spacing
(Tree)	White Birch	32	5-Gal	plant @ 10' O.C. or spacing
(Tree)	White Birch	15	1-Gal	plant @ 10' O.C. or spacing

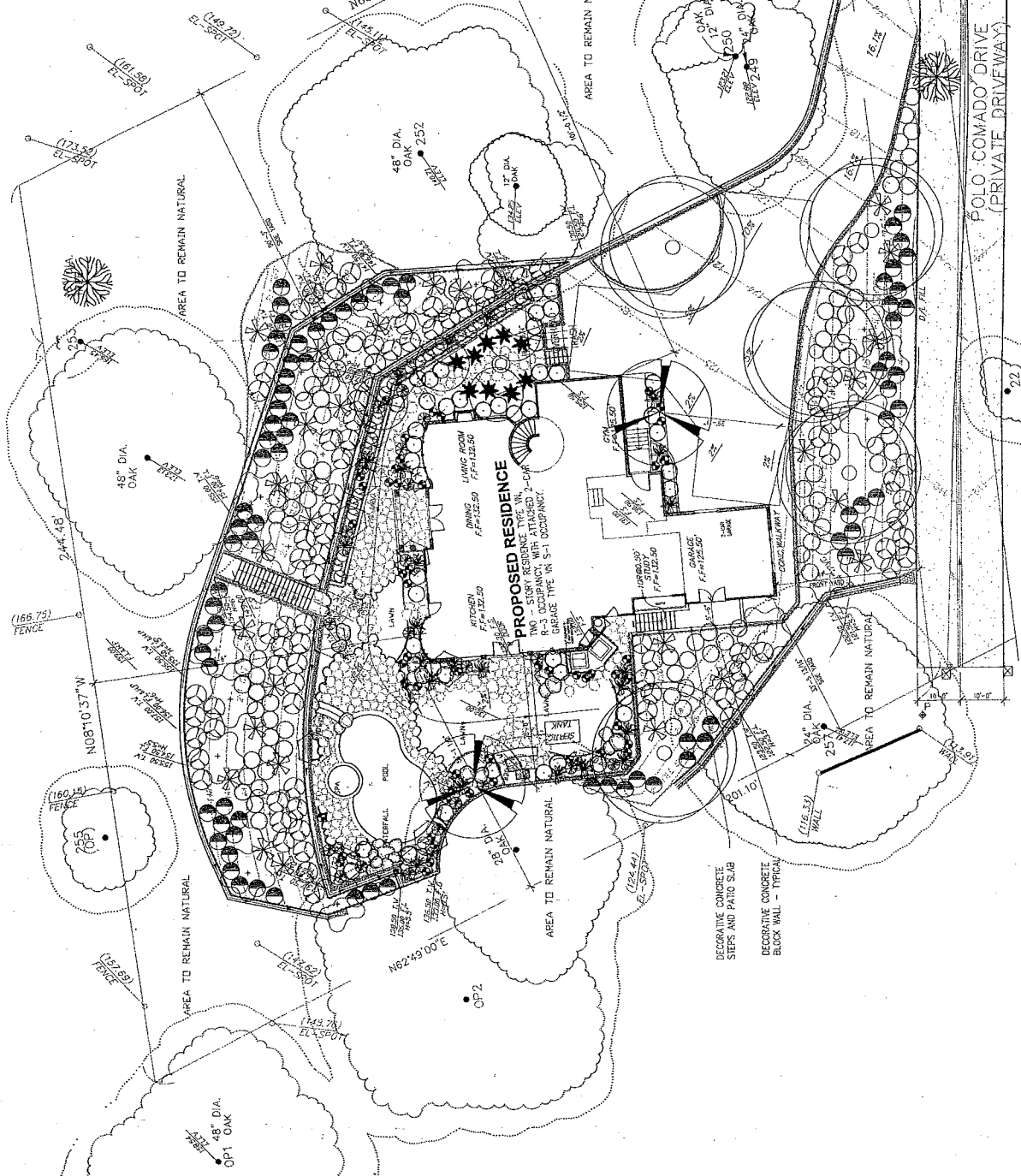
Plant Material Legend

Groundcover: *Zinnia mexicana*, *Chamaecyparis*, *Camille Williams Yellow*, *Rockrose*, *Twin Peak*, *Coyote Bush*

Notes:
1. All quantities are approximate and subject to change.
2. All quantities are based on manufacturer's recommendations.
3. All quantities are based on manufacturer's recommendations.
4. All quantities are based on manufacturer's recommendations.



Plant Material Legend	Plant Material Common Name	Qty	Size	Comments
	15 Gall multi-trunk evergreen	11	15 Gall	
	15-Gal evergreen	4	15-Gal	
	24" box evergreen	22	15 gal	
	24" box multi-trunk evergreen	2	24" box	
	18 Gall multi-trunk evergreen	5	18 gal	
	Existing trees to remain	10	Existing	
	5-Gal deciduous	51	5-Gal	
	1-Gal slope	83	1-Gal	
	1-Gal slope	77	1-Gal	
	1-Gal slope	83	1-Gal	
	1-Gal slope	22	1-Gal	
	5-Gal	22	5-Gal	
	5-Gal	9	5-Gal	
	5-Gal	46	5-Gal	
	5-Gal	23	5-Gal	
	5-Gal	32	5-Gal	
	1 gal spot in the field	15	1 gal	
	18" O.C. 1/2" spacing 18" O.C. 1/2" spacing			
	18" O.C. 1/2" spacing 18" O.C. 1/2" spacing			



PLANTING PLAN

ALL BLOCK WALLS TO HAVE EXTERIOR
FINISH TO MATCH RESIDENCE
STOOD PRIOR TO THIS RESIDENCE

Notes:
1. All plants to be selected
from the list above.
2. All plants to be selected
from the list above.
3. All plants to be selected
from the list above.



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT E

**Memoranda from the City Oak Tree/Landscape Consultant
&
the City Geological/Geotechnical Consultant**

Memo

To: Valerie Darbouze, City of Agoura Hills
From: Kay Greeley, Landscape and Oak Tree Consultant
Date: February 27, 2008
Re: 03-CUP-016 and 03-CUP-017 - Iamburg

I reviewed the following documents submitted with respect to the subject entitlement request:

- Response to Comments 4, prepared by Tree Life Concern Incorporated and dated November 20, 2007
- Grading Plan, prepared by Cal Civic Engineering as submitted January 11, 2008
- Addendum Report II, Percolation Tests and Proposed Private Sewage Disposal System Recommendations, prepared by MTC Engineering, Incorporated and dated May 24, 2007
- Architectural plans, prepared by Ken Stockton and dated December 24, 2007

The applicant responded to all requests for additional information. If the project is to proceed with approval as proposed, I recommend that the following conditions of approval be considered for the project:

Oak Trees

The Oak Tree Report addresses a total of twenty-two (22) oak trees. Eleven (11) of the oak trees are located within the subject site and the remaining eleven (11) oak trees are located off-site within the immediate vicinity. As shown on the attached table, one (1) of the subject trees would be removed and nine (9) of the trees would be encroached upon to accomplish grading, driveway and road improvements. The remaining twelve (12) trees will remain in place with no direct impacts anticipated.

1. The applicant is permitted to remove Oak Tree Number 22 if necessary to allow for widening and paving of Palo Comado Drive. This tree is located on the property located to the east of the applicant's property at 6149 Palo Comado Drive. It is the applicant's responsibility to obtain permission for their removal from the adjacent property owner. The City of Agoura Hills shall have no liability or responsibility in that regard.
2. The applicant is permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan.
3. The applicant is also permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where

- grading is otherwise approved. The quantity of pruning on each tree shall be approved by the City Oak Tree and Landscape Consultant.
4. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 16, 17, 18, and 20 shall be preserved in place with no direct impacts.
 5. To mitigate the removal of Oak Tree Number 22, the applicant shall plant at least four (4) new Coast Live Oak (*Quercus agrifolia*) within the property. Said trees shall include a minimum of one (1) thirty-six inch (36") box-size tree, two (2) twenty-four inch (24") box-size trees and one (1) fifteen (15) gallon container-size tree. The planting locations shall be subject to review and approval by the City Oak Tree and Landscape Consultant.
 6. The design of all retaining walls shall utilize a foundation, construction and drainage detail that minimizes the permitted encroachment into the protected zone of all oak trees, subject to final review and approval by the City Oak Tree and Landscape Consultant.
 7. Prior to the start of any work or mobilization on the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or otherwise approved work limits in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations and installation prior to the start of work or mobilization on the site.
 8. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree except as specifically permitted above.
 9. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time except as specifically required to accomplish the approved encroachments.
 10. All work performed within the protected zone of any oak tree shall be monitored by the project oak tree consultant. Forty-eight (48) hours notice shall be provided to the City Oak Tree Consultant prior to the start of any such work. Contact the City Oak Tree Consultant at (818) 597-7350.
 11. All excavation within the protected zone of any oak tree shall be performed using only hand tools under the direct supervision of the applicant's oak tree consultant or the City Oak Tree Consultant. Light construction equipment may be utilized with prior approval of the City Oak Tree Consultant.
 12. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
 13. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree and Landscape Consultant.
 14. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
 15. All authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
 16. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

17. The applicant shall also comply with all recommendations contained in the Oak Tree Report and addenda as prepared by Tree Life Concern, Inc.
18. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

19. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Susan E. McEowen, Landscape Architect.
20. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
21. The Planting Plan shall indicate the botanical name and size of each plant.
22. Plant symbols shall depict the size of the plants at maturity.

23. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
24. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
25. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
26. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - h. Design and static pressures
 - i. Point of connection
 - j. Backflow protection
 - k. Valves, piping, controllers, heads, quick couplers
 - l. Gallon requirements for each valve
27. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
28. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
29. Native, drought resistant plants shall be utilized on all slopes in accordance with the Old Agoura Design Overlay District requirements.
30. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
31. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

Please advise should there be any comments or questions.

Attachment: Oak Tree Impact Analysis

**OAK TREE IMPACT ANALYSIS
03-CUP-006 - IAMBURG**

Tree#	Health	Trunk Diameter (inches)							Total	Protected Zone (sq ft)	Impact					Comments
		Trunk 1	Trunk 2	Trunk 3	Trunk 4	Trunk 5	None	Remove			Encroach	Trunk	Canopy	%		
1	A	18	17					35	2,043		X		300	15%	Road paving, grading	
2	A	16	16	13				45	2,757		X		700	25%	Road paving, grading	
3	A	5	4	3				12	707	X			0	0%		
4	A	3	3	2				8	707	X			0	0%		
5	A	13	10	9	8	1		41	1,225	X			0	0%		
6	B	12	11	7				30	1,149	X			0	0%		
7	C	12	11	10	8			41	1,753	X			0	0%		
8	C	7						7	804	X			0	0%		
9	B	14	12	9				35	1,210	X			0	0%		
10	A	26						26	2,376		X		350	15%	Driveway, grading	
11	B	7	6	4	3			20	868	X			0	0%		
12	A	17	14	14				45	1,963		X		400	20%	Driveway	
13	B	15						15	1,164		X		125	11%	Driveway	
14	A	28	27					55	4,447		X		700	16%	Driveway	
15	C	25	20	15				60	2,619		X		300	11%	Grading	
16	A	5	2	1				8	707	X			0	0%		
17	A	10	9					19	731	X			0	0%		
18	A	28						28	3,019	X			0	0%		
19	A	37	23					60	4,015		X		200	5%	Grading	
20	A	15	14	11				40	2,185	X			0	0%		
21	B	20						20	2,851		X		150	5%	Road paving, grading	
22	A	8						8	707	X		8	225	32%	Road paving, grading	
Total								658	40,009	12	1	9	8	3,150	8%	

Date: March 21, 2007
GDI #: 06.00103.0109

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Valerie Darbouze

Project Location: 6149 Palo Comado Drive, Agoura Hills, California.

Planning Case #: 03-CUP-016/03-OTP-017/lamburg

Building & Safety #: None

Geotechnical Report: MTC Engineering, Inc. (2007), "Addendum Report III, Proposed Two-Story Residential Building with Retaining Walls, 6149 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SGA4, dated February 6, 2007.

MTC Engineering, Inc. (2004), "Addendum Report I, Proposed Two-Story Residential Building with Retaining Walls, 6149 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SGA, dated October 7, 2003.

MTC Engineering, Inc. (2003), "Preliminary Soils and Geologic Engineering Investigation, Proposed Two-Story Residential Building and Retaining Walls, North of 6145 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SG, dated August 25, 2003.

Plans: Calcivic Engineering Group (2003), Grading Plan, Fairview Place & Palo Comado Drive, Agoura Hills", 16-scale, dated July 7, 2003.

Previous Reviews: October 10, 2003, November 15, 2004 and December 27, 2006).

FINDINGS

Planning/Feasibility Issues

- Acceptable as Presented
 Response Required

Geotechnical Report

- Acceptable as Presented
 Response Required

REMARKS

MTC Engineering, Inc. (Consultant) provided a response to the City of Agoura Hills geotechnical review letter dated December 27, 2006 regarding the proposed two-story, single-family residence with an attached three-car garage, retaining walls, and grading at the subject site. The City of Agoura Hills – Planning Department reviewed the above referenced reports from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. The review was performed by GeoDynamics, Inc. (GDI), the geotechnical consultants of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case # 03-CUP-016. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.

2. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils. If the expansion index is greater than 20, foundation and slab plans should be revised accordingly."*
3. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
4. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
5. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
6. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
7. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
8. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.

Ali A. Haq

Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)

Christopher J. Sexton

Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT F

Environmental Categorical Exemption

Notice of Exemption

To: [] Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

[] County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Sean Ben-Menahem Single Family Residence Addition (Case Nos. 03-SPR-016 & 03-OTP-017)

Project Location-Specific: 6149 Palo Comado (APN 2055-023-073)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: A Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit 03-OTP-017 to build a 4,880 square-foot, two-story, single-family residence with a 463 square-foot 2-car garage with 100 square feet of covered patio and 125 square feet of balconies/deck on a 49,326 square-foot hillside vacant lot.

An Oak Tree Permit is required to review impacts on 22 oak trees. The request is to remove 1 oak tree and encroach in the protected zone of 9 others.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Sean Ben-Menahem

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15301, Class 1 (e). Existing Facilities.
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project is the construction of a single-family residence in a permitted zone. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

Lead Agency Contact Person: Valerie Darbouze, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7328

Signature: Valerie Darbouze Date: 3/13/08 Title: Associate Planner



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT G

**Photographs of the Property
&
Color and Material Board**

**Conditional Use Permit—Case No. 03-CUP-016 & Oak Tree
Permit—Case No. 03-OTP-017**



View of the West Side of the Parcel (Rear Yard)



View of the North Side of the Parcel (Side Yard)

**Conditional Use Permit—Case No. 03-CUP-016 & Oak Tree
Permit—Case No. 03-OTP-017**



9 . 12 . 2006

View of the Private Road Leading to Fairview Place



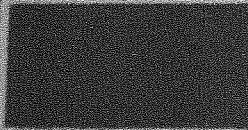
9 . 12 . 2006

View of the Private Road leading to the Developed Parcel to the South

**CONDITIONAL USE PERMIT
CASE NO. 03-CUP-016
&
OAK TREE PERMIT
CASE NO. 03-OTP-017**

MATERIAL SAMPLE BOARD

6149 PALO COMADO DR.



EXTERIOR STUCCO
FRAZEE - B204M
COLOR: SPICE BOUNTY



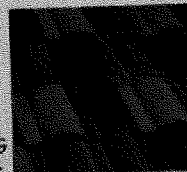
WINDOW FRAMES
VINYL WINDOWS
COLOR: STD. FOREST GRN.



RAFTER TAILS / CORBELS / TRIMS
FRAZEE - M407
COLOR: TIMBER



WROUGHT IRON RAILS
AND GRILLS
COLOR: BLACK



TILE ROOFING
PIONEER TILE
5B2 - CABRILLO BLEND

2 . 28 . 2008