

**Letter from Old Agoura HOA**

DATE: February 12, 2008  
RE: Review of Proposed Project  
FROM: Planning and Zoning Committee,  
Old Agoura Homeowners Association  
TO: Mike Kamino, Director  
Department of Planning & Community Development  
City of Agoura Hills  
SUBJECT: 06-SPR- 011 and 96-OTP-031 (Mike and Darin Millet)

Description

Proposed addition to existing 916 sq.ft. house on a lot of 41,500 sq. ft. at 5446 Fairview Place

Comment

We originally reviewed and recommended this project in August 2006. The changes to the plans since that letter have been minimal and positive in nature.

The potential horse-keeping area that is now indicated on the site plan is very large. It should be kept free of hardscape so that the property is not rendered "horse useless" for a future owner.

We note that the plans call for asphalt shingles and we would like to see the owners choose one with maximum texture. The earth tone stucco and ranch style porch details are pleasing as is the plan for a permeable d.g. driveway.

Our only additional comment concerns the garage and auxiliary building. Whether the owners build the garage or convert the auxiliary building for that purpose, we would ask that it be configured so that the garage doors do not face the street and that the design be in keeping with the design of the house and that the same materials and colors be used.

Should you have questions about these comments please contact Robyn Britton, Planning and Zoning Committee, Old Agoura Homeowners Association.

Thank you for the opportunity to comment.

CC: Rene Madrigal, Assistant Planner  
Brittney Tang, Planning Technician

## **Geotechnical Review Letter**

Date: July 25, 2007  
GDI #: 06.00103.0155

## CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Britteny Tang

Project Location: 5446 Fairview Place, Agoura Hills, California.

Planning Case #: 06-SPR-011(Millett)

Building & Safety #: None

Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2007), "Geologic and Soils Engineering Exploration, Proposed Addition, Lot 14, Block 9, Tract 8451, 5446 Fairview Place, Agoura Hills, California," GH13506-G, dated May 22, 2007.

Plans: None

Previous Reviews: None

### FINDINGS

Planning/Feasibility Issues

Acceptable as Presented

Response Required

Geotechnical Report

Acceptable as Presented

Response Required

### REMARKS

Grover Hollingsworth and Associates, Inc. (consultant) prepared a "Geologic and Soils Engineering Exploration" for the proposed additions along the north and east side of the existing residence at 5446 Fairview Place in the City of Agoura Hills, California. Formal plans for the proposed development were not available at the time of the above referenced exploration.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case No. 06-SPR-011(Millett) from a geotechnical perspective. Report Review Comments should be addressed once a building plan becomes available. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

### Report Review Comments

1. The consultant should review development plans when they become available. Additional geotechnical recommendations should be provided as necessary to address all geotechnical aspects of the development plans. The proposed grading plan should be utilized as a base map for the updated geotechnical map.
2. All foundations should comply with the setback requirements of the City of Agoura Hills. A request for variance from the City's code requirements may be evaluated from a geotechnical standpoint based on a cross section through the foundations and slopes and supporting analyses and documentation. The section should depict the existing and proposed grade, type of subsurface materials and geologic

structures, foundation location relative to the slope face, and any supporting documentation, analyses (e.g.: slope stability analyses), and discussion of the purpose for reducing the setback requirements.

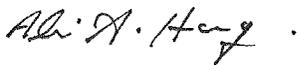
### **Plan-Check Comments**

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans: *"All cut-slopes should be mapped during grading. Stabilization measures should be applied where future cuts expose adversely oriented joint surfaces or intersections of joint surfaces."*
5. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
6. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
7. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
8. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
9. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
10. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

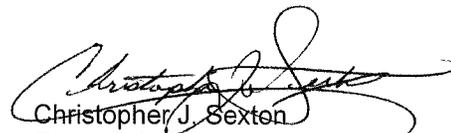
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

**GeoDynamics, INC.**



Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/07)



Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/08)

**Reduced photocopies of Project Plans**

# FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT  
P.O. BOX 280192 ENGINO, CA 91428  
TEL (818) 705-7768 FAX (818) 996-1342

THESE DOCUMENTS, SPECIFICATIONS, AND THE SEALS CONTAINED HEREIN ARE THE PROPERTY OF MICHAEL SILVA ARCHITECT. NO PART OF THESE DOCUMENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MICHAEL SILVA ARCHITECT. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DOCUMENTS SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ARCHITECT'S ETHICS AND MAY BE SUBJECT TO LEGAL ACTION.

SCALE:  
I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED/LICENSED ARCHITECT IN THE STATE OF CALIFORNIA.

DATE	REVISION
07/26/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
12/18/07	PLANNING REVISIONS
02/18/08	PLANNING REVISIONS

PROJECT TITLE:  
**MILLETT RESIDENCE**

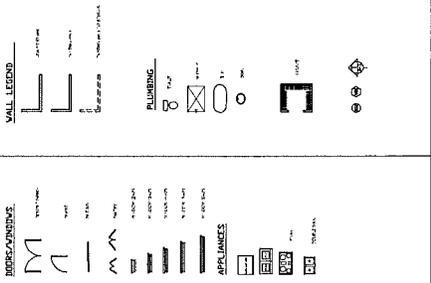
615-988-6174  
910-048-0520  
54445 FAIRVIEW PLACE  
AGOURA HILLS, CA 91301

SITE PLAN  
GENERAL NOTES

PROJECT NO: 06-5PR-011  
SCALE: 1/16" = 1'-0"

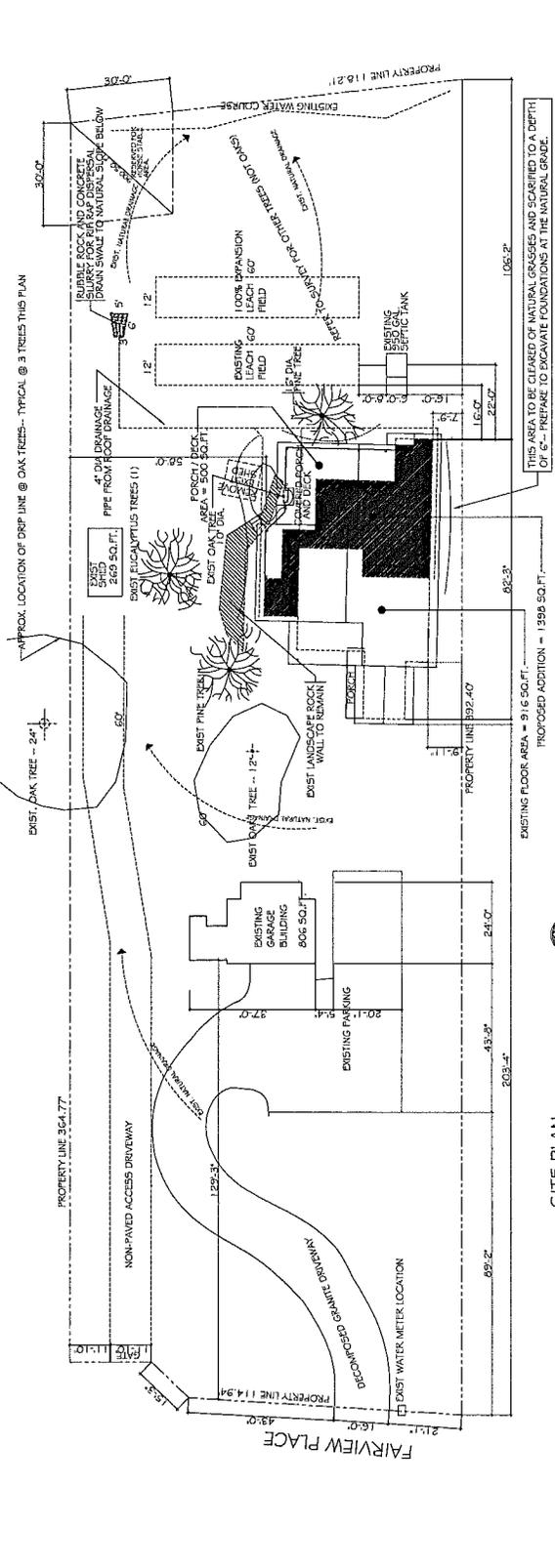
DATE:  
DRAWN BY: RGM  
REVIEWED BY: MS  
SHEET NO: 06-OTF-031

# A-1



1. APPROVED SEWER GAS SHUT OFF VALVE SHALL BE INSTALLED ON THE MAIN GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE READY FOR FUTURE USE.
2. APPROVED SEWER GAS SHUT OFF VALVE SHALL BE INSTALLED ON THE MAIN GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE READY FOR FUTURE USE.
3. APPROVED SEWER GAS SHUT OFF VALVE SHALL BE INSTALLED ON THE MAIN GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE READY FOR FUTURE USE.
4. APPROVED SEWER GAS SHUT OFF VALVE SHALL BE INSTALLED ON THE MAIN GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE READY FOR FUTURE USE.
5. APPROVED SEWER GAS SHUT OFF VALVE SHALL BE INSTALLED ON THE MAIN GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE READY FOR FUTURE USE.
6. APPROVED SEWER GAS SHUT OFF VALVE SHALL BE INSTALLED ON THE MAIN GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE READY FOR FUTURE USE.

11. MATERIALS AND ITEMS NOT OF VALUE ARE TO BE RECLAIMED AS THE PROPERTY OF THE CONTRACTOR AND ARE TO BE DEPOSITED OFF THE PROPERTY. OWNER RESERVES THE RIGHT TO TAKE POSSESSION OF CERTAIN ITEMS THAT ARE DISCARDED, IF THEY SO DESIRE.
12. PROTECTION AGAINST WEATHER SHALL BE PROVIDED AT ALL TIMES. SLOPE MATERIAL OR COVERINGS SHALL BE PROTECTED FROM WEATHER DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ADJACENT AREAS.
13. PROTECTION AGAINST WEATHER SHALL BE PROVIDED AT ALL TIMES. SLOPE MATERIAL OR COVERINGS SHALL BE PROTECTED FROM WEATHER DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ADJACENT AREAS.
14. ALL AREAS OF THE BUILDING SHALL BE KEPT BROOK CLEAN AT ALL TIMES. MATERIALS REMOVED FROM THE SITE SHALL NOT BE ALLOWED TO ACCUMULATE OVER FOOT PATHS WORKS. THE CONTRACTOR SHALL PAY FOR ALL OTHER FEES AND PERMITS.
15. FEES AND PERMITS: THE OWNER SHALL PAY FOR THE BUILDING PERMIT. THE CONTRACTOR SHALL PAY FOR ALL OTHER FEES AND PERMITS.
16. GROUND CONDITIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING GROUND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES HAVING JURISDICTION.
17. IF IT IS DETERMINED THAT IN CONSTRUCTION WORK, CERTAIN DETAILS AND CONDITIONS MAY BE REQUIRED TO COMPLETE THE PROJECT IN ALL ASPECTS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES HAVING JURISDICTION.
19. PLUMBING CONTRACTOR SHALL VERIFY ALL REQUIREMENTS FOR NEW PLUMBING, AND CONNECTIONS TO EXISTING LATERALS. FIELD LOCATIONS, SPECIFICATIONS, AND DIMENSIONS OF NEW PLUMBING SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION.
20. CONTRACTOR TO VERIFY ALL REQUIREMENTS, SPECIFICATIONS, AND DIMENSIONS OF NEW PLUMBING PRIOR TO INSTALLATION.
21. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES HAVING JURISDICTION.
22. WHERE WORK CONNECTS WITH WORK OF OTHER TRADES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES HAVING JURISDICTION.
23. CUTTING AND PATCHING: AT SUCH TIME AS ORDERED, AND AFTER ALL MECHANICALS HAVE FINISHED THEIR WORK, THIS CONTRACTOR SHALL PATCH AND REPAIR ANY OF THEIR WORK TO MATCH THE EXISTING SURFACE FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND AGENCIES HAVING JURISDICTION.



FLOOR AREA CALCULATION:

EXISTING LOT COVERAGE	41,500 SQ. FT. = 5%
EXISTING FLOOR AREA	916 SQ. FT.
PROPOSED FLOOR AREA	2,315 SQ. FT.
TOTAL FLOOR AREA	3,231 SQ. FT.

LEGAL DESCRIPTION:

TRACT 8451  
BLOCK 9  
LOT 14  
ZONING: R-1  
OCCUPANCY: SINGLE-FAMILY RESIDENTIAL  
ASSOCIATE PARCEL NUMBER: 2055-014-016  
MAP SHEET: PLAN 217-26-27

FLOOR AREA CALCULATION:

EXISTING LOT COVERAGE	41,500 SQ. FT. = 5%
EXISTING FLOOR AREA	916 SQ. FT.
PROPOSED FLOOR AREA	2,315 SQ. FT.
TOTAL FLOOR AREA	3,231 SQ. FT.

LEGAL DESCRIPTION:

TRACT 8451  
BLOCK 9  
LOT 14  
ZONING: R-1  
OCCUPANCY: SINGLE-FAMILY RESIDENTIAL  
ASSOCIATE PARCEL NUMBER: 2055-014-016  
MAP SHEET: PLAN 217-26-27

FLOOR AREA CALCULATION:  
EXISTING LOT COVERAGE = 41,500 SQ. FT. = 5%  
EXISTING FLOOR AREA = 916 SQ. FT.  
PROPOSED FLOOR AREA = 2,315 SQ. FT.  
TOTAL FLOOR AREA = 3,231 SQ. FT.

LEGAL DESCRIPTION:  
TRACT 8451  
BLOCK 9  
LOT 14  
ZONING: R-1  
OCCUPANCY: SINGLE-FAMILY RESIDENTIAL  
ASSOCIATE PARCEL NUMBER: 2055-014-016  
MAP SHEET: PLAN 217-26-27

NPDES AND SUSMP NOTES

1. THE SITE IS LESS THAN ONE ACRE IN SIZE AND THE DURATION IS NOT A CONSIDERATION IN STEPS UNDER 1.AC.
2. THIS IS NOT A NEW DEVELOPMENT. IT IS A RENOVATION OF AN EXISTING SINGLE-FAMILY RESIDENCE.
3. THE EXISTING SEWER SYSTEM IS TO BE REPAIRED AND THE EXISTING SEWER MAINS ARE TO BE REPLACED. THE EXISTING SEWER MAINS ARE TO BE REPLACED WITH 12" DIA. 1500 PSI PVC SEWER MAINS. THE EXISTING SEWER MAINS ARE TO BE REPLACED WITH 12" DIA. 1500 PSI PVC SEWER MAINS. THE EXISTING SEWER MAINS ARE TO BE REPLACED WITH 12" DIA. 1500 PSI PVC SEWER MAINS.
4. THE WALKWAYS ARE BROKEN STONE PATHS WITH GRASSES BETWEEN THE JOINTS.

SITE PLAN  
SCALE: 1/16" = 1'-0"

# FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT  
 P.O. BOX 260192 ENGINO, CA 91426  
 TEL.(818) 705-7768 FAX (818) 986-1342

THESE DOCUMENTS, SPECIFICATIONS AND THE IDEAS CONTAINED THEREIN ARE THE PROPERTY OF MICHAEL SILVA ARCHITECTURAL AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF MICHAEL SILVA ARCHITECTURAL. THESE DOCUMENTS CONTAIN THE CONCEPTS AND EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

SEAL:  
 I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED/LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF CALIFORNIA.

DATE	REVISION
07/26/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:

MILLETT RESIDENCE

616-899-6174  
 616-643-5520  
 5446 FAIRVIEW PLACE  
 AGOURA HILLS, CA 91301

SHEET TITLE:

EXISTING FLOOR PLAN

PROJECT NO.:

SCALE: AS SHOWN

DATE: 07/26/06

DRAWN BY: RGM

REVIEWED BY: MG

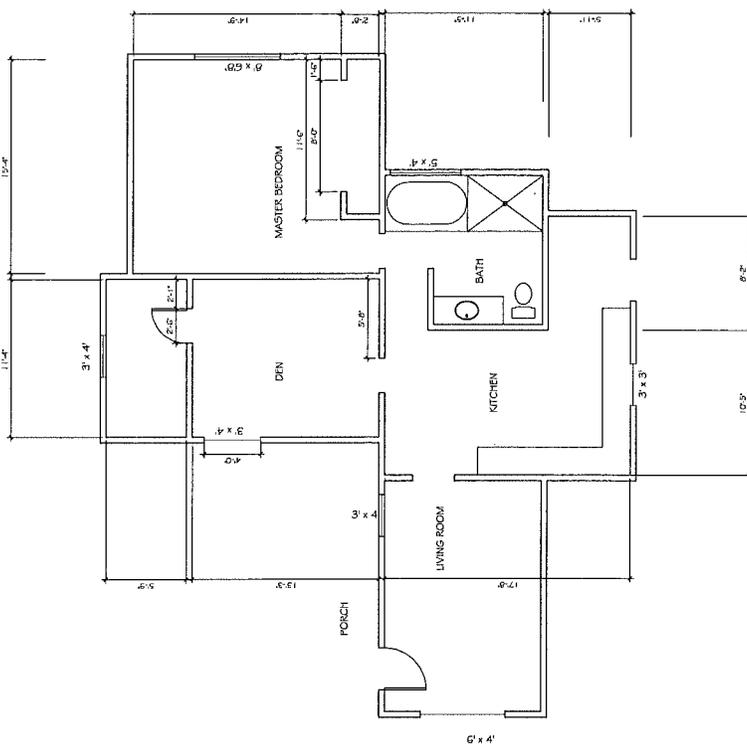
SHEET NO. 06 - SPS - 01 | 06 - 01P - 03 |

# A-1.1

LEGEND AND SYMBOLS:

- ROOM NUMBER
- ROOM NUMBER
- CLOSET
- DOOR
- WINDOW
- SKYLIGHT
- STAIR
- PORCH
- PATIO
- TERRACE
- BALCONY
- DRIVE
- GARAGE
- POOL
- SPA
- HOT TUB
- FIRE PLACE
- BUILT IN APPLIANCES
- FLOOR FINISH
- CEILING FINISH
- WALL FINISH
- PARTITION WALL
- GLASS PARTITION WALL
- GLASS CURTAIN WALL
- GLASS DOOR
- GLASS WINDOW
- GLASS SKYLIGHT
- GLASS PATIO DOOR
- GLASS PORCH DOOR
- GLASS TERRACE DOOR
- GLASS BALCONY DOOR
- GLASS DRIVE DOOR
- GLASS GARAGE DOOR
- GLASS POOL DOOR
- GLASS SPA DOOR
- GLASS HOT TUB DOOR
- GLASS FIRE PLACE
- GLASS BUILT IN APPLIANCES
- GLASS FLOOR FINISH
- GLASS CEILING FINISH
- GLASS WALL FINISH
- GLASS PARTITION WALL
- GLASS CURTAIN WALL
- GLASS DOOR
- GLASS WINDOW
- GLASS SKYLIGHT
- GLASS PATIO DOOR
- GLASS PORCH DOOR
- GLASS TERRACE DOOR
- GLASS BALCONY DOOR
- GLASS DRIVE DOOR
- GLASS GARAGE DOOR
- GLASS POOL DOOR
- GLASS SPA DOOR
- GLASS HOT TUB DOOR
- GLASS FIRE PLACE
- GLASS BUILT IN APPLIANCES
- GLASS FLOOR FINISH
- GLASS CEILING FINISH
- GLASS WALL FINISH

1" = 1/4" (VERTICAL) 1/8" = 1/8" (HORIZONTAL)



- EXISTING WALL
- - - REMOVE WALL
- ▬ NEW WALL



EXISTING FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

# FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT  
 P.O. BOX 260192 ENO, CA 91426  
 TEL(818) 705-7768 FAX (818) 986-1242

THESE DRAWINGS, SPECIFICATIONS, AND THE BOOKS CONTAINED HEREIN ARE THE PROPERTY OF MICHAEL SILVA ARCHITECT, AN ARCHITECT, AND NO PART OF WHICH SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF MICHAEL SILVA ARCHITECT. THE USER OF THESE DRAWINGS ASSUMES ALL LIABILITY FOR ANY CONSEQUENCES OF ANY USE OF THESE DRAWINGS WITHOUT THE RESTRICTIONS.

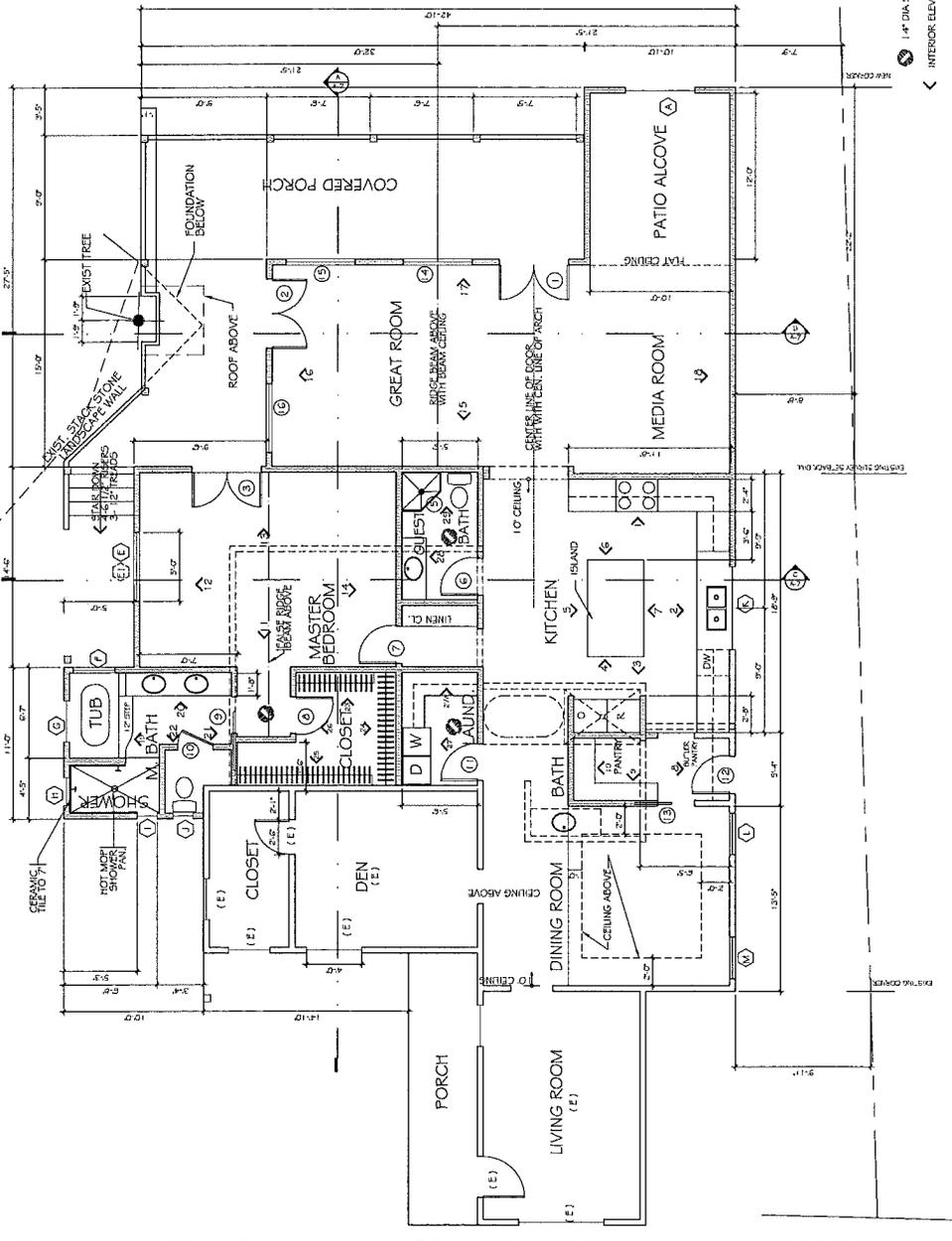
SCALE:  
 I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED/BOICONSID ARCHITECT UNDER THE LAWS OF THE STATE OF CALIFORNIA.

DATE	REVISION
07/26/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS
02/18/08	PLANNING REVISIONS

PROJECT TITLE:  
 MILLETT RESIDENCE  
 818-989-6174  
 810-949-0580  
 5-445 FAIRVIEW PLACE  
 AGGUA HILLS, CA 91301  
 SHEET TITLE:  
 PROPOSED FLOOR PLAN  
 DOOR / WINDOW SCHEDULES

PROJECT NO.:  
 SCALE: AS SHOWN  
 DATE: 07/26/06  
 DRAWN BY: RGM  
 REVIEWED BY: MS  
 SHEET NO.: 06 - 5FP - 031  
**A-3.0**

DOOR SCHEDULE		WINDOW SCHEDULE		COMMENTS		SPEC.	
NO.	SIZE	TYPE	TYPE	SIZE	TYPE	COMMENTS	SPEC.
1	2'-6" X 2'-0" (P.C.)	FRENCH DOOR / LITE SWING	WOOD / MEDICAL GLAZING	3'-0" X 4'-0" (BAY)	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
2	2'-6" X 5'-0" (P.C.)	FRENCH DOOR / LITE SWING	WOOD	NOT USED	NOT USED	NOT USED	WOOD
3	2'-6" X 5'-0" (P.C.)	FRENCH DOOR / LITE SWING	WOOD	NOT USED	NOT USED	NOT USED	WOOD
4	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
5	2'-0" X 6'-0"	SHOWER ENCLOSURE DOOR	ALUMI FRAMED	5'-0" X 5'-0" (P.C.)	WOOD / MEDICAL GLAZING	TEMP. GLASS	5MG-IN
6	2'-0" X 6'-0"	GUEST BATHROOM DOOR	WOOD	3'-0" X 4'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
7	2'-0" X 6'-0"	CLOSET / CLOTHING	WOOD	3'-0" X 4'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
8	2'-0" X 6'-0"	CLOSET / CLOTHING	WOOD	3'-0" X 4'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
9	2'-0" X 6'-0"	MASTER BATH / POCKET DOOR	WOOD	2'-0" X 1'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
10	2'-0" X 6'-0"	SWING / WOODS	WOOD	1'-5" X 2'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
11	2'-0" X 6'-0"	LAUNDRY / WOODS	WOOD	1'-5" X 1'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
12	2'-0" X 6'-0"	BUTLER PANTRY SWING / WOOD	WOOD	6'-0" X 4'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
13	2'-0" X 6'-0"	5-C. PROJECT 14 FINISH / FRAME	WOOD	3'-0" X 5'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
14	2'-0" X 6'-0" (P.C.)	POOR, 2ND LITE GLAZING	WOOD	3'-0" X 5'-0"	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD



PROPOSED FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

1" DIA. SOLA-TUBES -- ANGLE AROUND FRAMING  
 INTERIOR ELEVATIONS SHEETS A-6.0 - A-6.1

--- EXISTING WALL  
 - - - - - REMOVE WALL  
 = = = = = NEW WALL





# FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT  
 P.O. BOX 260192 ENGINO, CA 91426  
 TEL(818) 705-7768 FAX (818) 996-1342

THESE DOCUMENTS, SPECIFICATIONS, AND THE DEED GOVERNED THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES, LOCAL, STATE AND FEDERAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES, LOCAL, STATE AND FEDERAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES, LOCAL, STATE AND FEDERAL.

SEAL:  
 I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF CALIFORNIA

DATE	REVISION
07/26/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:

MILLETT RESIDENCE

814-369-6174  
 816-843-0520  
 5446 FAIRVIEW PLACE  
 AGOURA HILLS, CA 91301

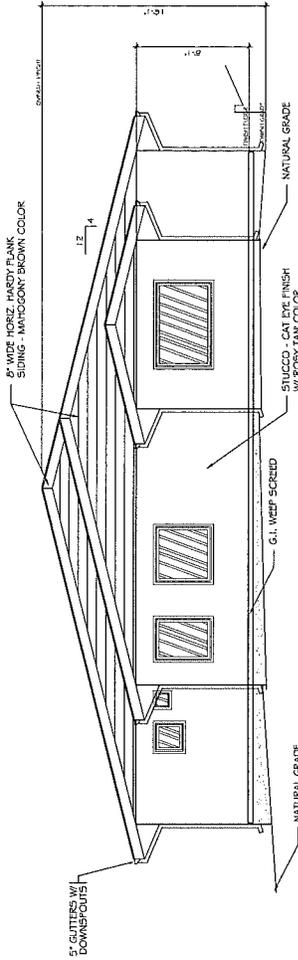
SHEET TITLE:

ELEVATIONS

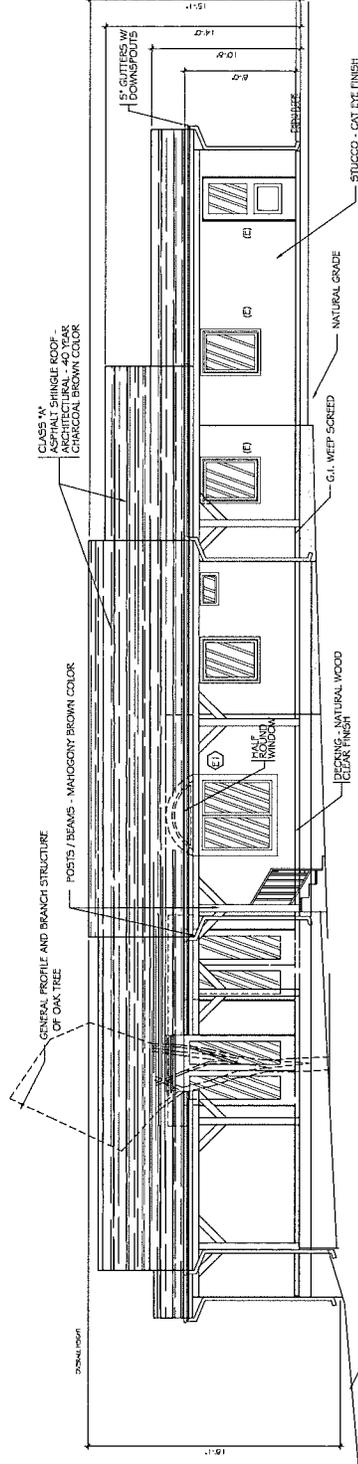
PROJECT NO:  
 SCALE: AS SHOWN  
 DATE: 07/26/06  
 DRAWN BY: RGM  
 REVIEWED BY: MS

SHEET NO: 06 - SPR - 031

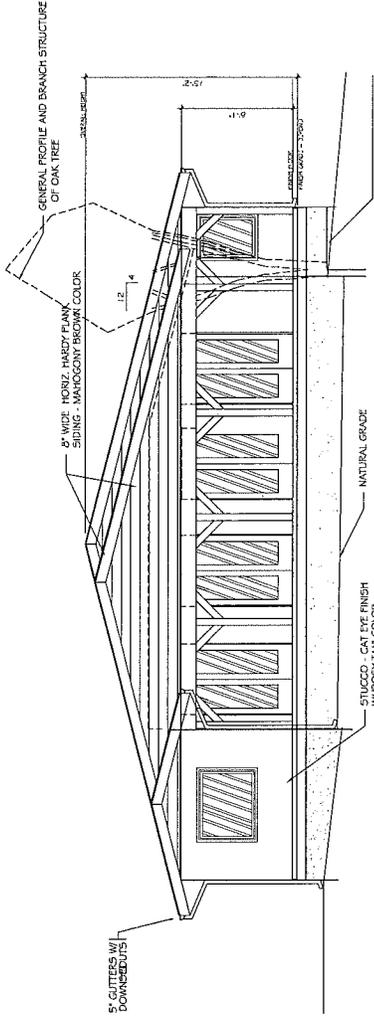
# A-4.0



FRONT (WEST) ELEVATION  
 SCALE: 1/4" = 1'-0"



LEFT (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"



REAR (EAST) ELEVATION  
 SCALE: 1/4" = 1'-0"

# FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT  
 P.O. BOX 280192 ENGINO, CA 91428  
 TEL (818) 705-7788 FAX (818) 996-1342

THESE DOCUMENTS, SPECIFICATIONS AND THE SEALS CONTAINED HEREIN ARE THE PROPERTY OF MICHAEL SILVA ARCHITECT. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF WHICH SHALL BE PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF WHICH SHALL BE PROHIBITED. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF WHICH SHALL BE PROHIBITED.

SEAL:  
 I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF CALIFORNIA.

DATE	REVISION
07/22/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:

MILLETT RESIDENCE

818-999-6174  
 818-999-0526  
 5446 FAIRVIEW PLACE  
 AGOURA HILLS, CA 91301

SHEET TITLE:

ELEVATIONS

PROJECT NO.:

SCALE: AS SHOWN

DATE: 07/25/06

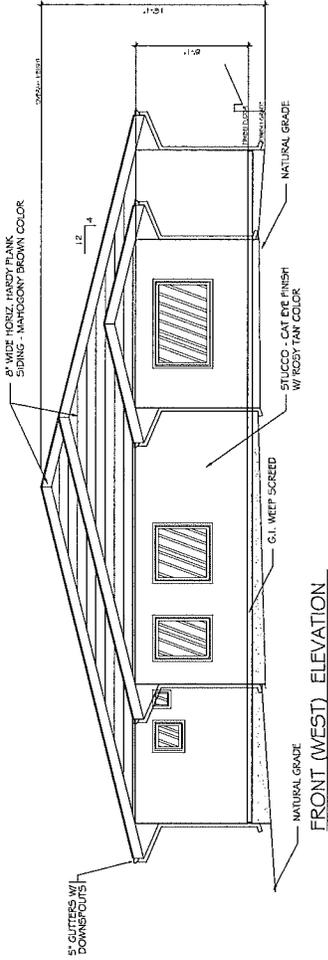
DRAWN BY: RGM

REVIEWED BY: MS

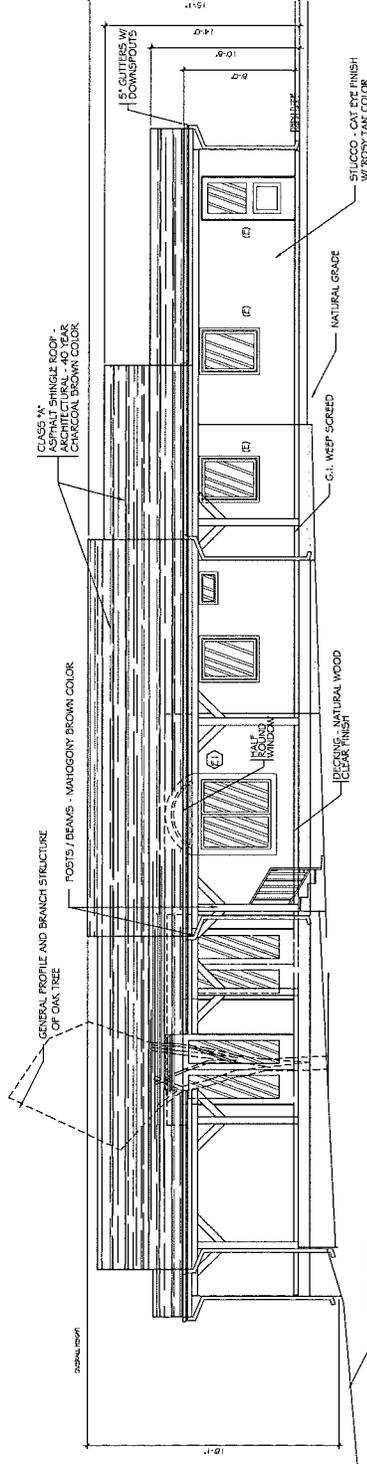
SHEET NO.:

86 - 50P - 031

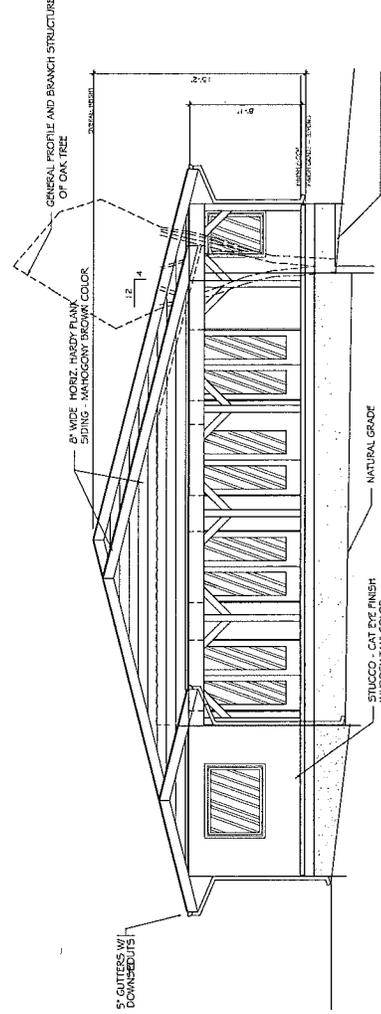
# A-4.0



FRONT (WEST) ELEVATION  
 SCALE: 1/4" = 1'-0"



LEFT (NORTH) ELEVATION  
 SCALE: 1/4" = 1'-0"



REAR (EAST) ELEVATION  
 SCALE: 1/4" = 1'-0"

# FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT  
 P.O. BOX 260192 ENGINO, CA 91426  
 TEL(818) 705-7768 FAX (818) 996-1342

THESE DIMENSIONS, SPECIFICATIONS, AND NOTES CONTAINED HEREIN ARE THE PROPERTY OF MICHAEL SILVA ARCHITECT. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF MICHAEL SILVA ARCHITECT IS PROHIBITED. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF MICHAEL SILVA ARCHITECT SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECTURAL PROFESSIONAL ACT AND THE ARCHITECTURE ACT. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF MICHAEL SILVA ARCHITECT SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECTURAL PROFESSIONAL ACT AND THE ARCHITECTURE ACT. ANY REPRODUCTION OR USE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF MICHAEL SILVA ARCHITECT SHALL BE CONSIDERED A VIOLATION OF THE ARCHITECTURAL PROFESSIONAL ACT AND THE ARCHITECTURE ACT.

SCALE:  
 I HEREBY CERTIFY THAT THIS DRAWING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED/LICENCED ARCHITECT UNDER THE LAWS OF THE STATE OF CALIFORNIA.

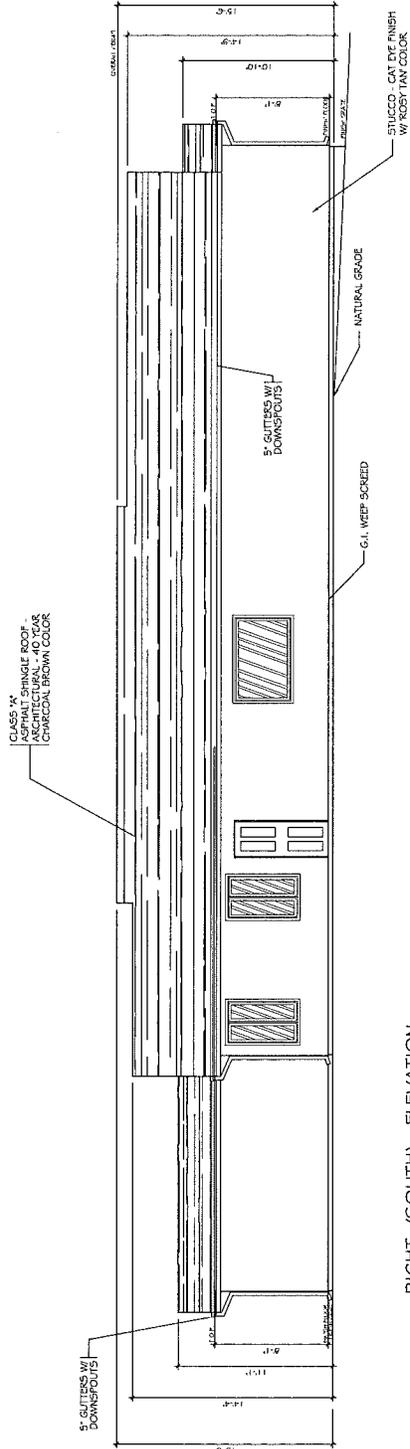
DATE	REVISION
07/24/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:  
 MILLETT RESIDENCE  
 218-399-6174  
 816-943-0520  
 5445 FAIRVIEW PLACE  
 AGORA HILLS, CA 91301

ELEVATIONS

PROJECT NO:  
 SCALE: AS SHOWN  
 DATE:  
 DRAWN BY: ROM  
 REVIEWED BY: MS

SHEET NO: 06 - SPR - 031  
 06 - OTP - 031  
**A-4.1**



RIGHT (SOUTH) ELEVATION  
 SCALE 1/4" = 1'-0"



**Vicinity Map**

Case No. 06-SPR-011 and 06-OTP-031  
5446 Fairview Place (A.P.N 2055-014-018)

