

Letter from Old Agoura HOA

DATE: February 12, 2008
RE: Review of Proposed Project
FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association
TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills
SUBJECT: 06-SPR- 011 and 96-OTP-031 (Mike and Darin Millet)

Description

Proposed addition to existing 916 sq.ft. house on a lot of 41,500 sq. ft. at 5446 Fairview Place

Comment

We originally reviewed and recommended this project in August 2006. The changes to the plans since that letter have been minimal and positive in nature.

The potential horse-keeping area that is now indicated on the site plan is very large. It should be kept free of hardscape so that the property is not rendered "horse useless" for a future owner.

We note that the plans call for asphalt shingles and we would like to see the owners choose one with maximum texture. The earth tone stucco and ranch style porch details are pleasing as is the plan for a permeable d.g. driveway.

Our only additional comment concerns the garage and auxiliary building. Whether the owners build the garage or convert the auxiliary building for that purpose, we would ask that it be configured so that the garage doors do not face the street and that the design be in keeping with the design of the house and that the same materials and colors be used.

Should you have questions about these comments please contact Robyn Britton, Planning and Zoning Committee, Old Agoura Homeowners Association.

Thank you for the opportunity to comment.

CC: Rene Madrigal, Assistant Planner
Brittney Tang, Planning Technician

Geotechnical Review Letter

Date: July 25, 2007
GDI #: 06.00103.0155**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Britteny Tang

Project Location: 5446 Fairview Place, Agoura Hills, California.

Planning Case #: 06-SPR-011(Millett)

Building & Safety #: None

Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2007), "Geologic and Soils Engineering Exploration, Proposed Addition, Lot 14, Block 9, Tract 8451, 5446 Fairview Place, Agoura Hills, California," GH13506-G, dated May 22, 2007.

Plans: None

Previous Reviews: None

FINDINGS

Planning/Feasibility Issues

 Acceptable as Presented Response Required

Geotechnical Report

 Acceptable as Presented Response Required**REMARKS**

Grover Hollingsworth and Associates, Inc. (consultant) prepared a "Geologic and Soils Engineering Exploration" for the proposed additions along the north and east side of the existing residence at 5446 Fairview Place in the City of Agoura Hills, California. Formal plans for the proposed development were not available at the time of the above referenced exploration.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case No. 06-SPR-011(Millett) from a geotechnical perspective. Report Review Comments should be addressed once a building plan becomes available. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Report Review Comments

1. The consultant should review development plans when they become available. Additional geotechnical recommendations should be provided as necessary to address all geotechnical aspects of the development plans. The proposed grading plan should be utilized as a base map for the updated geotechnical map.
2. All foundations should comply with the setback requirements of the City of Agoura Hills. A request for variance from the City's code requirements may be evaluated from a geotechnical standpoint based on a cross section through the foundations and slopes and supporting analyses and documentation. The section should depict the existing and proposed grade, type of subsurface materials and geologic

structures, foundation location relative to the slope face, and any supporting documentation, analyses (e.g.: slope stability analyses), and discussion of the purpose for reducing the setback requirements.

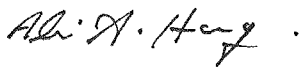
Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad and flatwork areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: "*Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly.*"
4. The following note must appear on the grading and foundation plans: "*All cut-slopes should be mapped during grading. Stabilization measures should be applied where future cuts expose adversely oriented joint surfaces or intersections of joint surfaces.*"
5. The following note must appear on the grading and foundation plans: "*Excavations shall be made in compliance with CAL/OSHA Regulations.*"
6. The following note must appear on the foundation plans: "*All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel.*"
7. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
8. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
9. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
10. Provide a note on the grading and foundation plans that states: "*An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map.*"

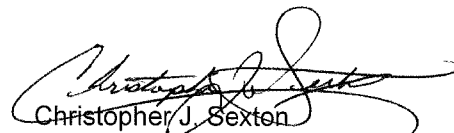
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)

Reduced photocopies of Project Plans

FORM

ARCHITECTURAL

MICHAEL SILVA, ARCHITECT
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DATE	REVISION
07/26/06	PLAN REVIEW
08/19/07	PLANNING SUBMITTAL
09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS
02/18/08	PLANNING REVISIONS

PROJECT TITLE:
MILLET RESIDENCE
 818-989-6174
 810-949-0580
 5-445 FAIRVIEW PLACE
 AGGUA HILLS, CA 91301

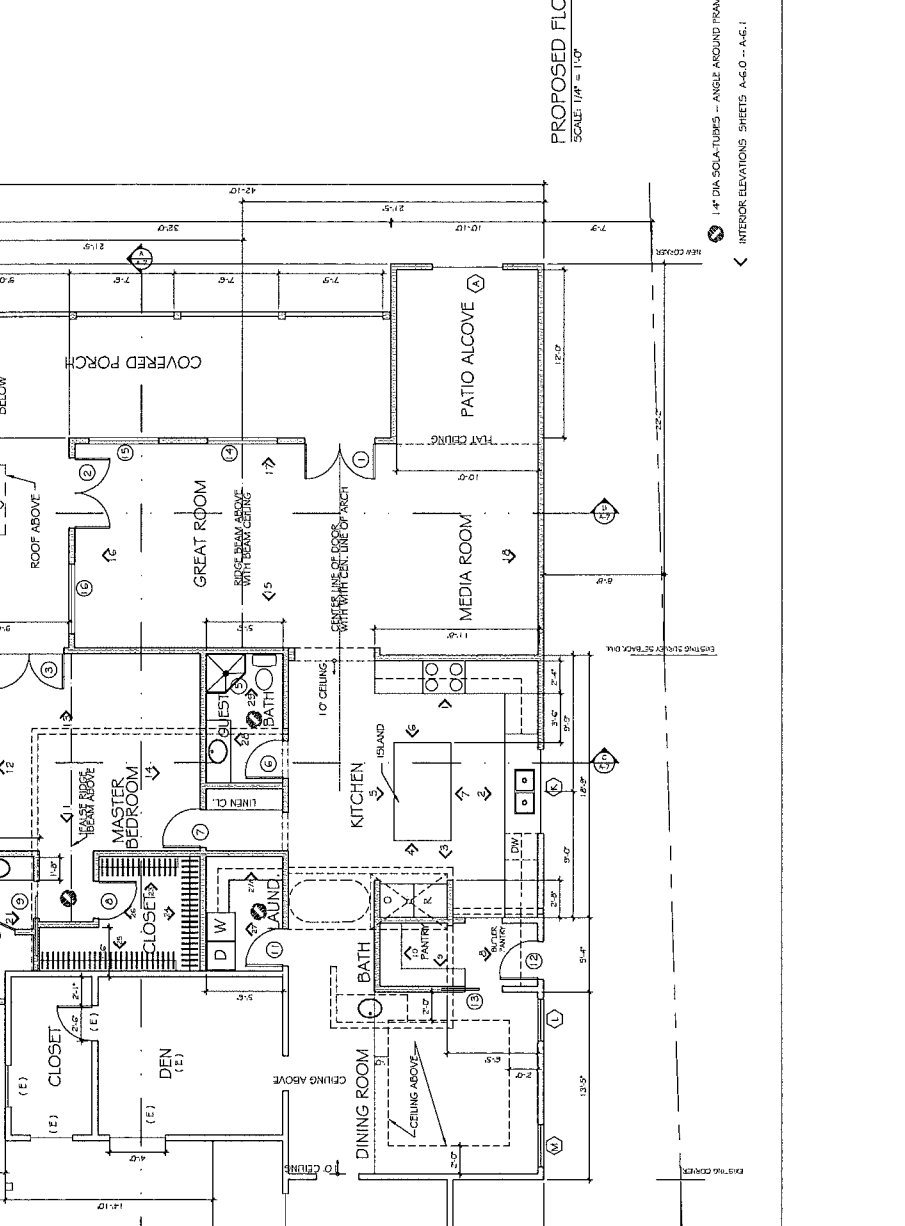
SHEET TITLE:
**PROPOSED FLOOR PLAN
 DOOR / WINDOW SCHEDULES**

PROJECT NO:
 SCALE: AS SHOWN
 DATE: 07/26/06
 DRAWN BY: RGM
 REVIEWED BY: MS
 SHEET NO: **06 - 5FP - 031**

A-3.0

DOOR SCHEDULE	SIZE	TYPE	COMMENTS	SPEC.
(1)	2'-6" X 6'-9"	FRANCH DOOR / LITE SWING	TEMP. GLASS	WOOD
(2)	2'-6" X 6'-9"	FRANCH DOOR / LITE SWING	TEMP. GLASS	WOOD
(3)	2'-6" X 6'-9"	FRANCH DOOR / LITE SWING	TEMP. GLASS	WOOD
(4)	2'-6" X 6'-9"	NOT USED	NOT USED	WOOD
(5)	2'-6" X 6'-9"	SHOWER ENCLOSURE DOOR	TEMP. GLASS	ALUMI. FRAMES
(6)	2'-6" X 6'-9"	GUEST BATHROOM CORE	TEMP. GLASS	WOOD
(7)	2'-6" X 6'-9"	CLOSET / CLOTHING	TEMP. GLASS	WOOD
(8)	2'-6" X 6'-9"	CLOSET SWING / WOOD S.C. /	TEMP. GLASS	WOOD
(9)	2'-6" X 6'-9"	MASTER BATH / POCKET DOOR	TEMP. GLASS	WOOD
(10)	2'-6" X 6'-9"	SWING / WOODS.C.J	TEMP. GLASS	WOOD
(11)	2'-6" X 6'-9"	LAUNDRY / WOODS.C.J	TEMP. GLASS	WOOD
(12)	2'-6" X 6'-9"	BUTLER PANTRY SWING / WOOD	TEMP. GLASS	WOOD
(13)	2'-6" X 6'-9"	S.C. POCKET / H. FRAME	TEMP. GLASS	WOOD
(14)	2'-6" X 6'-9"	PART. DR. / LITE GLAZING	TEMP. GLASS	WOOD

WINDOW SCHEDULE	SIZE	TYPE	COMMENTS	SPEC.
(A)	5'-0" X 4'-0" BAY	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
(B)	NOT USED	NOT USED	NOT USED	WOOD
(C)	NOT USED	NOT USED	NOT USED	WOOD
(D)	NOT USED	NOT USED	NOT USED	WOOD
(E)	5'-0" X 5'-0" (PK)	WOOD / MEDICAL GLAZING	TEMP. GLASS	WOOD
(F)	5'-0" X 2'-6"	HALF ROUND / MEDICAL GLAZING	TEMP. GLASS	WOOD
(G)	3'-0" X 4'-0"	WOOD / SMT. DUAL GLAZING	TEMP. GLASS	WOOD
(H)	3'-0" X 4'-0"	WOOD / SING. DUAL GLAZING	TEMP. GLASS	WOOD
(I)	2'-0" X 1'-0"	WOOD / SING. DUAL GLAZING	TEMP. GLASS	WOOD
(J)	1'-5" X 2'-0"	WOOD / SING. DUAL GLAZING	TEMP. GLASS	WOOD
(K)	1'-5" X 1'-0"	WOOD / SING. DUAL GLAZING	TEMP. GLASS	WOOD
(L)	6'-0" X 4'-0"	WOOD / SING. DUAL GLAZING	TEMP. GLASS	WOOD
(M)	3'-0" X 5'-0"	WOOD / SING. DUAL GLAZING	TEMP. GLASS	WOOD



FORM

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09/27/07	REVISIONS
10/03/07	REVISIONS
12/18/07	OAK TREE REVISIONS
12/19/07	PLANNING REVISIONS
02/16/08	PLANNING REVISIONS

PRODUCT TITLE:

MILLETT RESIDENCE

010-895-6174
 010-845-0520
 5446 FAIRVIEW PLACE
 AGoura HILLS, CA 91901

SHEET TITLE:

ROOF PLAN

PROJECT NO.:

SCALE AS SHOWN

DATE: 07/26/06

DRAWN BY: RGM

REVIEWED BY: MS

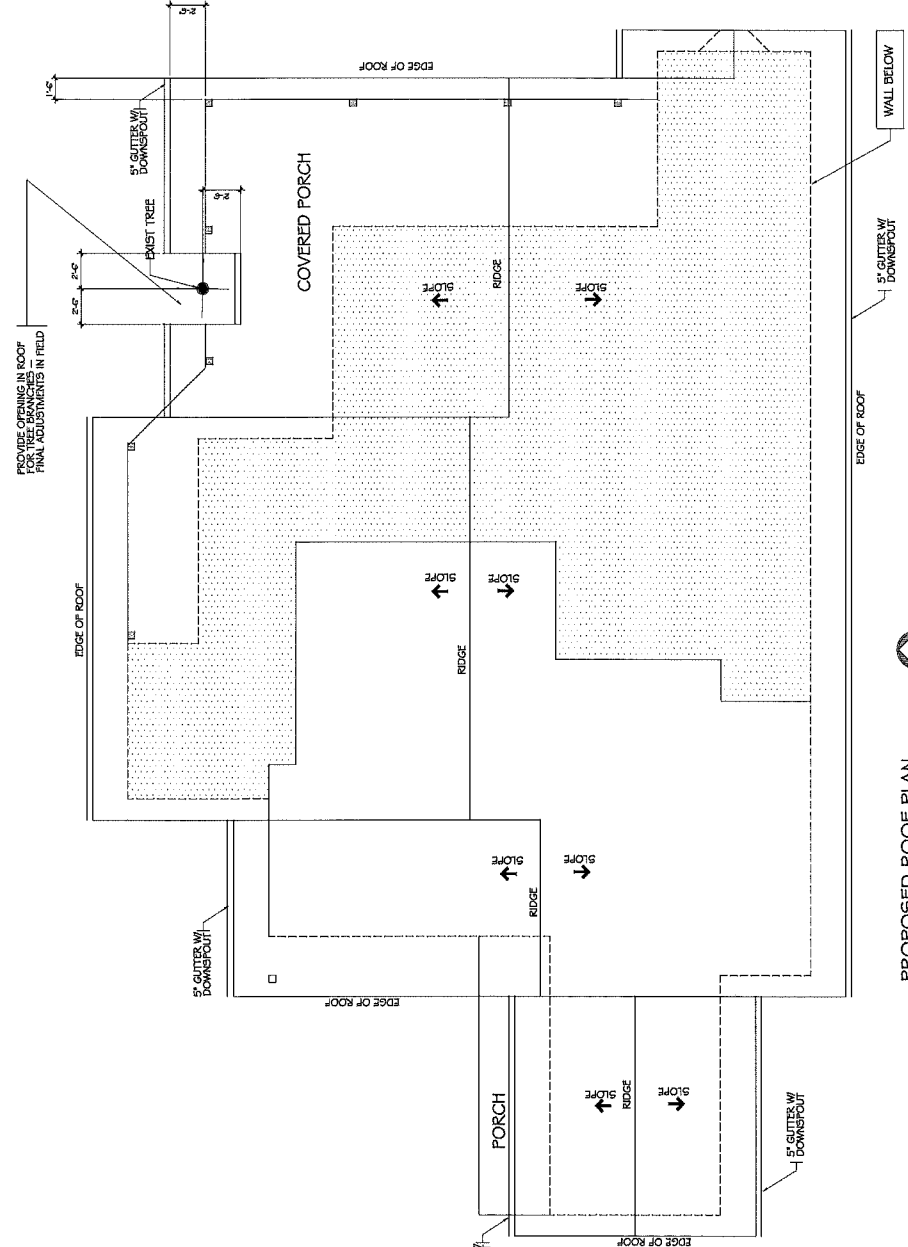
SHEET NO. 06 - 017 - 01 |

A-2

LEGEND AND SYMBOLS:

- EXTERIOR WALLS
- WINDOW OPENINGS
- COVERED PORCH
- ROOF SLOPE
- ROOF RIDGE
- ROOF EDGE
- 5' GUTTERS W/ DOWNSPOUT
- EXISTING TREE
- ROOF OPENINGS IN FIELD
- ROOF ADJUSTMENTS IN FIELD
- ROOF SLOPE
- ROOF RIDGE
- ROOF EDGE
- 5' GUTTERS W/ DOWNSPOUT
- WALL BELOW

NOTES:
 1. WHERE NOT LISTED, REFER TO SET



PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

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09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:

MILLETT RESIDENCE

814-369-6174
 816-843-0520
 5446 FAIRVIEW PLACE
 AGOURA HILLS, CA 91301

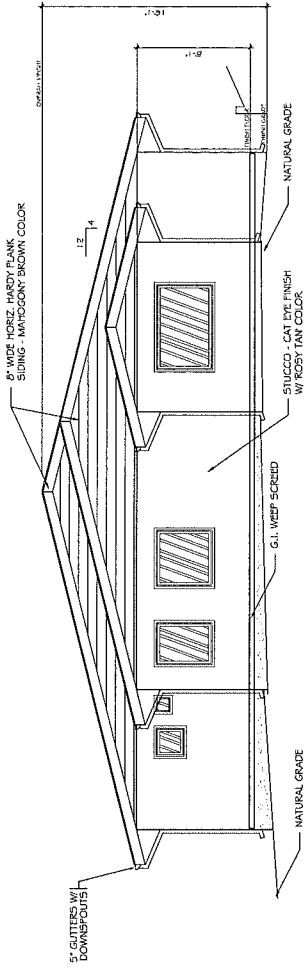
SHEET TITLE:

ELEVATIONS

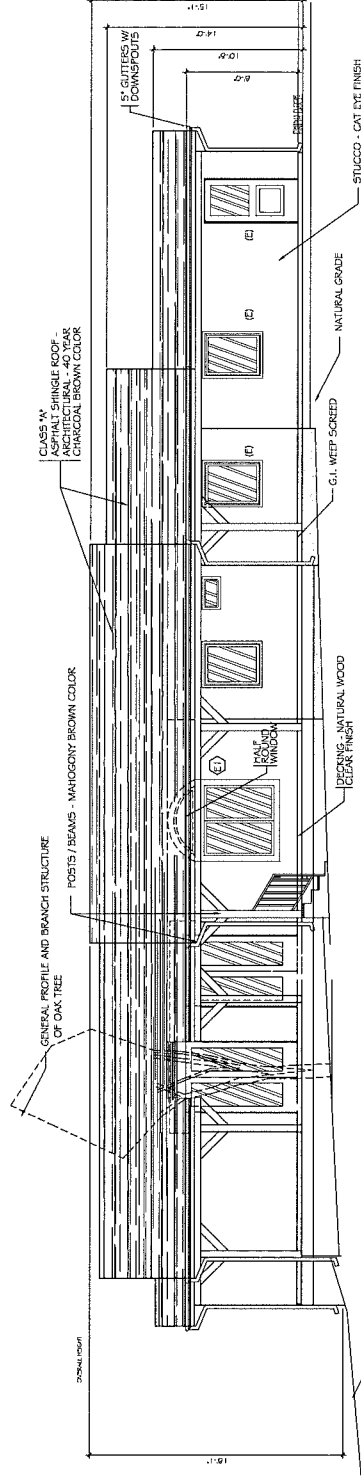
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 SCALE: AS SHOWN
 DATE: 07/26/06
 DRAWN BY: RGM
 REVIEWED BY: MS

SHEET NO: 06 - SPR - 031

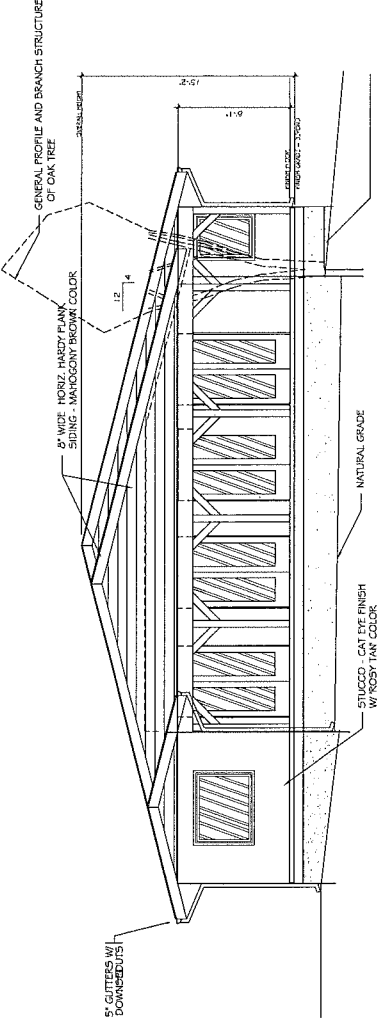
A-4.0



FRONT (WEST) ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT (NORTH) ELEVATION
 SCALE: 1/4" = 1'-0"



REAR (EAST) ELEVATION
 SCALE: 1/4" = 1'-0"

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09/27/07	REVISIONS
10/03/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:

MILLETT RESIDENCE

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 5446 FAIRVIEW PLACE
 AGOURA HILLS, CA 91301

SHEET TITLE:

ELEVATIONS

PROJECT NO.:

SCALE: AS SHOWN

DATE: 07/25/06

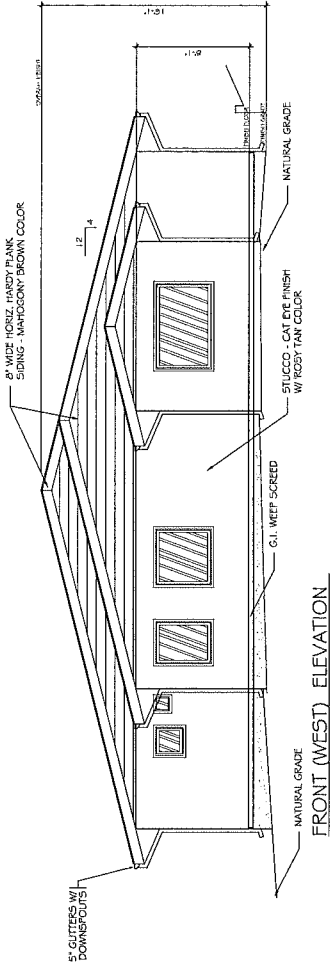
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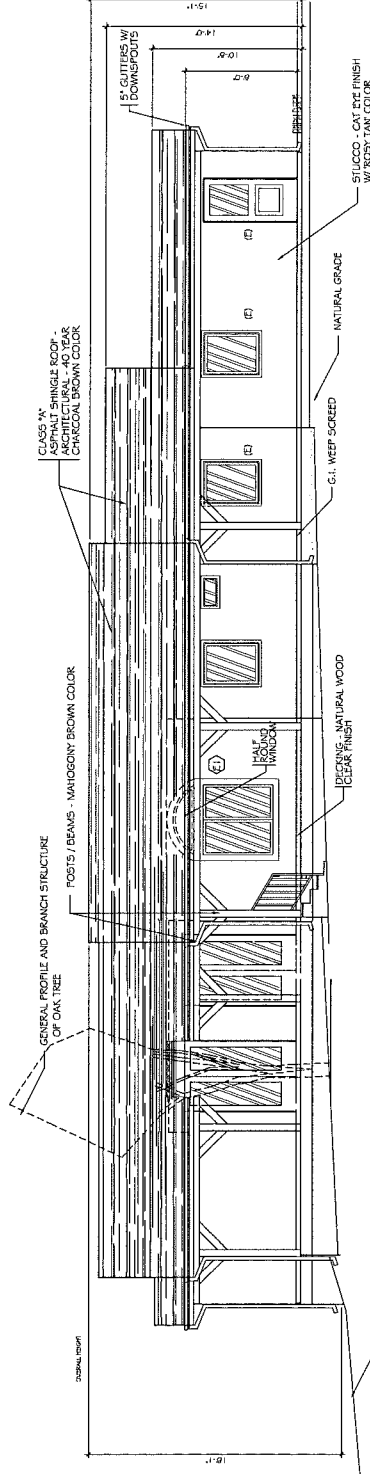
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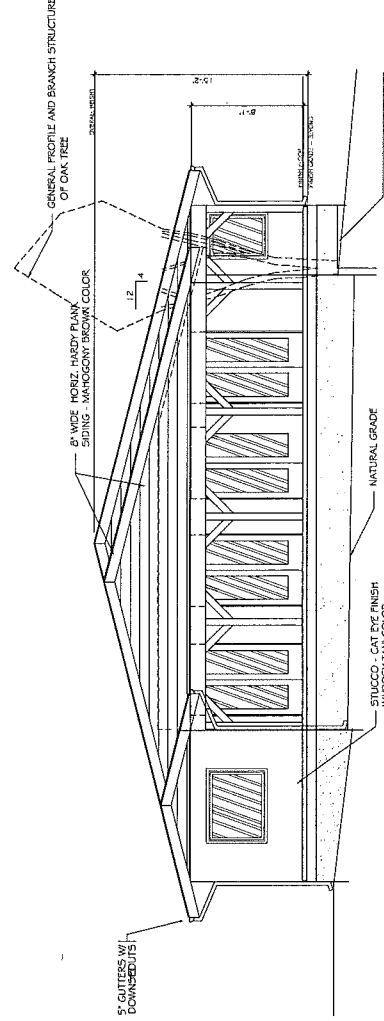
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FRONT (WEST) ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT (NORTH) ELEVATION
 SCALE: 1/4" = 1'-0"



REAR (EAST) ELEVATION
 SCALE: 1/4" = 1'-0"

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09/27/07	REVISIONS
12/19/07	PLANNING REVISIONS

PROJECT TITLE:

MILLETT RESIDENCE

218-399-6174
 816-943-0520
 5445 FAIRVIEW PLACE
 AGORA HILLS, CA 91301

SHEET TITLE:

ELEVATIONS

PROJECT NO.:

SCALE: AS SHOWN

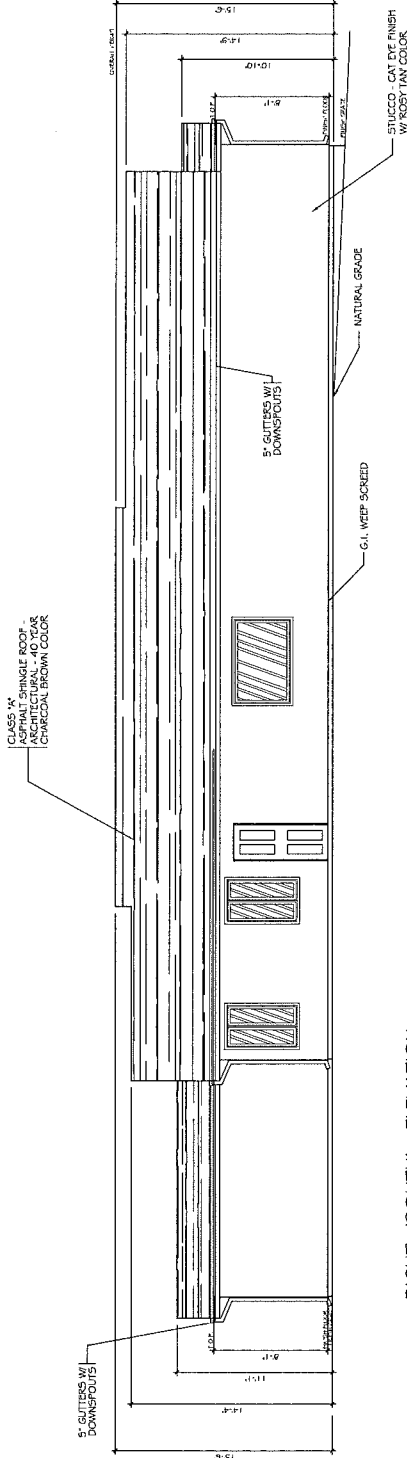
DATE:

DRAWN BY: ROM

REVIEWED BY: MS

SHEET NO.: 08 - SPR - 031

A-4.1



RIGHT (SOUTH) ELEVATION

SCALE 1/4" = 1'-0"

Vicinity Map

Case No. 06-SPR-011 and 06-OTP-031
5446 Fairview Place (A.P.N 2055-014-018)

