



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: May 15, 2008

TO: Planning Commission

APPLICANT: Residential Design Works, Inc. for Jon Shuken
3475 Old Conejo Road, #C-3
Newbury Park, CA 91320

CASE NO.: 07-CUP-012

LOCATION: 6491 Chesebro Road
(A.P.N. 2055-029-003)

REQUEST: Request for approval of a Conditional Use Permit to construct a 5,587 square foot, two-story, single-family residence with a 765 square foot attached three-car garage, and 1,024 square feet of attached covered patios and a 923 square-foot accessory structure used for storage.

ENVIRONMENTAL DETERMINATION: Compliant with the Certified Environmental Impact Report for the Tract

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 07-CUP-012 subject to conditions, based on the findings of the attached Draft Resolution.

ZONING DESIGNATION: OS-OA-D (Open Space, Old Agoura, Drainage)

GENERAL PLAN DESIGNATION: OS – Open Space

I. PROJECT DESCRIPTION AND BACKGROUND

The applicant, David Rhea for Jon Shuken, is proposing to construct a 5,587 square-foot, two-story, single-family residence with an attached 765 square-foot, three-car garage, 1,024 square feet of attached covered patios and a 923 square-foot accessory structure for storage. The 1.46-acre lot is located on Chesebro Road in the Palo Comado Ranch residential tract in the OS-OA (Open Space-Old Agoura Design Overlay and Drainage) zone. The residential project is the first within an 8-lot subdivision approval by the City Council in 2000. The tract is surrounded by restricted open space land, a vacant lot to the west, single-family homes to the south, and the Agoura Pony Club to the east. Although the OS zone development standards require minimum lot sizes of 5 acres, the City Council approved the clustering of smaller sized lots in the flatter portion of the property, primarily adjacent to Chesebro Road, for the preservation of the Chesebro Creek and the hillsides.

New single-family homes are subject to review by the Planning Commission. Although the average topographic slope of the property is less than 10% (in this case 9%), the OS zone requires a Conditional Use Permit be required for any new construction as well as by the tract map conditions that created these 8 lots. This lot is not subject to the Hillside Ordinance Development Standards. The proposed single-family residence is a permitted use in the OS zone. The maximum allowable building lot coverage in the OS zone is 10%. The total proposed lot coverage for the project (footprint, covered patios and garages) is 6,332 square feet, which represents 10% of the lot size. An accessory structure is included in the lot coverage but the other hardscape improvements, such as a pool, are excluded per the OS zone requirements. At this time, the applicant is considering only a pool as additional improvement. As designed, the project meets the development requirements relative to lot coverage, minimum yard setbacks and building height. The following is a summary of the proposed development relative to the City Code requirements.

Pertinent Data for the Proposal

	Existing	Proposed	Required
A. Lot Size	63,637 sq.ft.	63,637 sq.ft.	217,800 sq.ft.
	1.46 acres	1.46 acres	5 acres
Width	186 ft.	N/A	N/A
Depth	350 ft.	N/A	N/A
B. Building Setbacks from Property Lines			
<u>1. Residence Setbacks</u>			
Front (East)	N/A	50 feet	50 feet min.
Rear (West)	N/A	152 feet	50 feet min.
Side (North)	N/A	25 feet	25 feet min.
Side(South)	N/A	69 feet	25 feet min.

than 35 feet. The height of the accessory structure is measured at 14 feet per the Zoning Ordinance requirement.

In an effort to evaluate the compatibility of the proposed size of the home with the neighboring structures approved and built, a survey of 12 developed lots in the neighborhood was conducted. The results revealed an average size for the living areas to be 3,867 square feet. The average developed lot size was found to be 3.5 acres. Because of the limited amount of development in that area, the sample data included parcels in the OS (5 acre min. lot size) and RV (1-acre min. lot size) zones. The disparity amongst these developed lots is great; lots vary from a low 1.2 acres to 20.6 acres. The same applies to the residences size ranging from 2,800 square feet to 7,000 square feet. The proposed residence would be 5,587 square foot with a 765 square foot attached three-car garage on a 1.45-acre lot in the OS zone which equates to a floor area ratio of 0.09. The sample data is not homogenous enough to consider comparing the existing floor area ratio to the project. Staff is recommending that this project be considered on its own merit rather than as compared to existing residences in the area as this is an isolated tract. This recently approved Tract was analyzed for its development potential and constraints. The applicant has worked with staff in modifying the size of the house and in designing the project to be in keeping with the intent of the approval of the tract.

B. Architectural Review

The applicant proposes a rustic style of architecture for the residence. The house would be built on a raised foundation. The exterior materials include concrete tiles, horizontal wood-like siding, stone veneer, wide overhangs with exposed rafter tails and wooden columns. The design incorporates long covered porches in the front and rear elevations of the house. Two covered balconies are also used in the rear of the house; these balconies are setback from the first floor walls which allow for a more graduated elevation between the first and second floors. The gable roofs over the patios and balconies are supported by heavy wood members. The gutters are proposed to be copper. As for the windows, the architect proposes to use a Craftsman design with three panes. The overall color scheme uses an earth tone palette including green and dark gray. The accessory structure will be treated with the same building materials and colors as the house. The Architectural Review Panel (ARP) found the architectural style of the proposed residence to be in keeping with the Old Agoura Design Overlay requirements and the City Architectural Design Guidelines and Standards. The applicant incorporated all of the ARP's recommended changes into the house design. This proposed design includes articulation of the footprint that exceeds the typical architectural features that are used to enhance a facade. In this case, each room has multiple exposures to the outside space. The second story is split into two sections to minimize the mass. The entry to the garage is oriented away from the right-of-way. The focus point of the residence is intended to be the covered porch. A letter from the Old Agoura Homeowners Association regarding the project is attached.

C. Oak Tree/Landscaping Review

Despite the flat topography of the lot, the applicant was required to provide a Landscape Plan for verification of compliance with the Environmental Impact Report prepared for the Tract. Also, landscaping is required for newly created manufactured 2:1 slopes to stabilize the soil and the plant palette must be native and compatible with the existing mature landscaping surrounding the site. Irrigated landscaping, as proposed, is limited to around the perimeter of the house in order to minimize impacts to the creek and oak trees along the creek. The City Oak tree/Landscape Consultant has reviewed the Landscape Plan and supports the design and palette subject to conditions. Potential impacts were analyzed for this project. The project does not require the removal of oak trees or encroachment in the protected zone of oak trees. Monitoring of construction activities and implementation of mitigation measures per the EIR will be conducted by staff.

D. Engineering/Public Works Review

The preliminary Grading Plan has been reviewed by the Engineering Department. Although, the topography of this rectangular lot slopes slightly downward toward the west, near the creek, grading will be occurring toward the front east end of the parcel. The applicant's civil engineer proposes 350 cubic yards of cut and 1,228 cubic yards of fill to level out the slight undulations of the lot. No grading is proposed within the flood hazard areas and the protected zones of the oak trees. The project is conditioned to provide an equestrian trail along the front property line, as required by the City's General Plan. Chesebro Road which is a private street was improved by the developer of the tract. No other improvements are required of the applicant.

The City Geotechnical and Geological Consultant has reviewed and approved the Geotechnical Report submitted for the project by the applicant's consultant, Earth Systems Southern California. The City Consultant recommends approval of the Geotechnical Report at this feasibility and planning stage, subject to conditions noted in the attached letter.

A septic system will serve the proposed residence. The applicant is to be conditioned to obtaining approval from the Los Angeles County Health Services Department of the proposed system prior to issuance of Building Permits. The system will, which will be located in the rear of the lot, will not conflict with the proposed structures.

D. Environmental Review

The project involves the proposed development of a single-family residence and detached structure. The Final EIR was prepared for the Palo Comado Ranch Tract dated February 2000, which includes this site, among contiguous parcels. Staff determined that his project is generally consistent with the Tract subdivision analyzed in the prior EIR and is consistent with the Open Space zoning for the site. For this particular site, the EIR assumed the development a single-family residence and ancillary uses. Staff concludes that because the project has been analyzed for compliance with the EIR, no additional

environmental analysis per the California Environmental Quality Act (CEQA) is required. The mitigation measures in the EIR, nonetheless, would still be required.

In conclusion, staff finds that the proposed project meets the development standards established by the Open Space zone and the Old Agoura Design Overlay zone and the project is designed and sited to be compatible with its natural surroundings. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The applicant has met the 10% building coverage even though his lot is 30% of the minimum lot size in the OS zone. The proposed house size and articulation is in proportion with the lot size and the proposed style adds to the variety of architectural styles found in Old Agoura. The use of natural materials of that particular style is in keeping with the semi-rural character of the neighborhood. The project as designed would help maintain the equestrian character of the Old Agoura, as called for in the General Plan Community Design Element.

III. RECOMMENDATION

Based on the above analysis, staff recommends that the Planning Commission adopt the attached Draft Resolution approving Conditional Use Permit 07-CUP-012, subject to conditions.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval with a Mitigation Monitoring Program
- Exhibit A: Letter from the Old Agoura Homeowners Association
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Square Footage Analysis Map
- Exhibit D: Reduced Copies of the Proposed Project Architectural Plans
- Exhibit E: City's Oak Tree/Landscape & Geological/Geotechnical Consultant Comments
- Exhibit F: Photographs of the Property and Color and Material Board

Case Planner: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 07-CUP-012

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Residential Design Works for Jon Shuken with respect to the real property located at 6491 Chesebro Road, (Assessor's Parcel Number 2055-029-003) requesting the approval of a Conditional Use Permit to construct a 5,587 square-foot, two-story, single-family residence with a 765 square-foot attached three-car garage, 1,024 square feet of attached covered patios and a 923 square-foot accessory structure used for storage. A public hearing was duly held on May 15, 2008 at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid Public Hearing.

Section 3. The Planning Commission finds, pursuant to Section 9677 the Agoura Hills Zoning Ordinance, that:

- A. The proposed use as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Open Space zone and the Old Agoura Design Overlay district, which provides general design standards for residential developments. A single-family residence is an allowed use in the OS zone. Minimum development standards have been met with regard to height and lot coverage as well as the oak tree preservation guidelines and architectural design standards and guidelines.
- B. The proposed use as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed building style of architecture and building materials including stone, simulated wood siding and slate tiles are compatible with the neighborhood and meet the semi-rural design requirements of the Old Agoura Design Overlay District.
- C. The proposed use as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare in that the proposed use will ensure adequate light, air and privacy, and open space to surrounding properties. Geotechnical and geological reports have been prepared for the proposed project, which include mitigation measures to minimize potential risks of geotechnical and geological hazards. Both proposed structures will be compliant with the Building Code. The site will be served by a private septic system and access to the site will be taken from Chesebro Road, which is already improved.

- D. The proposed use as conditions, will comply with each of the applicable provisions of the Zoning Ordinance in that the project is consistent with the development standards of the Open Space Zone and the Old Agoura Design Overlay District in that the project meets the maximum lot coverage established for that zone and the equestrian use of the parcel is protected.
- E. The proposed use as conditioned, will be compatible with the surrounding area and will create a desirable environment for current and future occupants. The project will not modify accessibility to its lot and adjacent lots. The project will not significantly impact view-sheds of surrounding properties. Furthermore, the project was designed to accommodate for a horse-keeping facility.
- F. The proposed use as conditioned, is consistent with the goals, objectives and policies of the General Plan, the proposed project will not impact natural features and will preserve the semi-rural character of the Old Agoura neighborhood. Despite the lot size, the project will not impede on areas designated for horses or other farm animals as called for in the Community Design Element, Implementation Measures 2.1 through 2.4 of the General Plan

Section 5. The project is a request for one, single-family residence. The project has been analyzed for compliance with the Final Environmental Impact Report which includes this specific site, among other contiguous parcels. No additional environmental analysis per the California Environmental Quality Act (CEQA) is required.

Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Site Plan/Architectural Review Case No. 07-CUP-012, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 15th day of May, 2008 by the following vote to wit:

AYES:
NOES:
ABSTAIN:
ABSENT:

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

Conditions of Approval
(Conditional Use Permit Case No. 07-CUP-012)

PLANNING CONDITIONS

Entitlement Requirements

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plans; Floor Plans, Roof Plan, Landscape Plan and Grading Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse provided that the applicant has been given written notice to cease such violation and has filed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. Unless this permit is used within two (2) years from the date of City approval, Case No. 07-CUP-012 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of

Conditions of Approval

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building valuation. Actual fees will be determined at the time of building permit issuance.

11. The applicant shall comply with all applicable Public Health Statutes, Ordinances, and Regulations related to the disposal of sewage.
12. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. At this time, the required school impact fee is \$2.97 per square foot.
14. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9223 per square foot of new floor area.
15. Prior to issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until the City's Environmental Planner is notified and a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
16. The approved grading plan and construction plans, resolution, conditions of approval, the mitigated negative declaration and the mitigation monitoring and reporting program and a color and material board shall be on site at all time during the construction of the project.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
18. All proposed retaining walls shall consist of materials subject to review and approval by the Director of Planning and Community Development.
19. Vehicle routes and access to the property for construction purposes shall be subject to review and approval by the City Engineer.
20. No construction work or repair work shall be performed between the hours of 7:00 p.m. to 7:00 a.m. or any Sunday or holiday.
21. The applicant and delegated contractors shall participate with City staff in a pre-construction meeting prior to issuance of a grading permit. Any change in the

construction team shall be reported to the Building and Safety Department in a timely manner.

22. A copy of all communications between the City and the applicant shall be kept on-site at all times.
23. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
24. Intermittent inspections shall be scheduled by the applicant as required by the Building and Safety Department and coordinated with the Engineering and Planning Department.

Solid Waste Management Requirements

25. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
26. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
27. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

Environment Requirements

28. The applicant shall comply with each mitigation measure listed in the Final EIR and outlined in the Mitigation Monitoring Program for the project approved in March 2000. The Mitigation Monitoring Program is attached to these Conditions of Approval.
29. A list of all project conditions of approval and mitigation measures of the Mitigation Monitoring Program shall be included, along with a signed copy of the Resolution, on the construction plans submitted prior to issuance of a Grading or Building Permit.

Landscape/Oak Tree Requirements

Oak Trees

30. The final grading plan, oak tree location map and landscape plans must agree and all shall include the tag number, exact trunk location, canopy, and protected zones of each oak tree. All inconsistencies, including numbering of the trees, must be resolved to the satisfaction of the City Oak Tree Consultant.
31. Prior to approval, the final grading plan shall be reviewed and approved by the City Oak Tree Consultant. The plan shall include oak tree protection notes to the satisfaction of the City Oak Tree Consultant.
32. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree.
33. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time.
34. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter if the natural duff has been disturbed.
35. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
36. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect, preserve or promote the health of the subject oak trees at that time.
37. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.

38. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
39. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping/Irrigation

40. Landscape plans shall be submitted for review and approval by the City Planning and Community Development Department prior to issuance of a Grading Permit.
41. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
42. Prior to the approval of building permits, the applicant shall submit three (3) sets of landscape plans for review by the City Landscape Consultant and approval by the Director of Planning and Community Development meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas

- Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
- h. The Planting Plan shall indicate the botanical name and size of each plant.
- i. Plant symbols shall depict the size of the plants at maturity.
- j. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
- k. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
- l. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
- m. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- Design and static pressures
 - Point of connection
 - Backflow protection
 - Valves, piping, controllers, heads, quick couplers
 - Gallon requirements for each valve
- n. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
43. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
44. The landscape plan may not include any non-native plants considered invasive in the Santa Monica Mountains by the California Native Plant Society or the California Exotic Pest Plant Council.
45. The final landscape plan shall generally conform to the Planting Plan prepared by Robert Crandall and dated March 16, 2008, with the following exception:
- a. Mitigation Measure 4.3-20 from the Environmental Impact Report restricts lawns and ornamental landscaping to within twenty feet (20') of building pads. All plant material outside of this boundary must be left in a natural state or be vegetated with planted species native to the area. The

area at the northwest corner of the property outside this twenty foot (20') line must also be planted in natives.

46. The Old Agoura Overlay District recommends locally native, low water-use landscape plantings with a naturalistic appearance to preserve the rural character of the area. The current plant palette, which includes only twenty-five percent (25%) native plant species, must be revised to include more native plant material which would be more in keeping in this neighborhood, located adjacent to a national park. *Cercis occidentalis* and *Aesculus californica* are both attractive small flowering trees that would be good suggestions to replace the Crape Myrtles. Other suggestions for trees would be *Quercus agrifolia*, *Arbutus menziesii* and *Cercocarpus betuloides*. Many shrubs, perennials and groundcovers also exist that would make good substitutions for some of the non-native plant material used in the plan. Just a few suggestions would be *Heuchera* hybrids, *Mimulus*, *Trichostema lanatum*, *Ceanothus*, *Iris douglasiana*, *Ribes viburnifolium*, *Arctostaphylos*, and *Rosa californica*.

ENGINEERING CONDITIONS

47. PRIOR TO PERMITTING (GRADING, BUILDING, ENCROACHMENT, ETC)
- 2.01 All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
 - 2.02 Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department.
 - 2.03 All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
 - 2.04 Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
 - 2.05 Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval.

- 2.06 Submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer. The report shall be reviewed and approved by the City Geotechnical/Geological Consultant.
- 2.07 Other Agency Permit/Approval: Prior to issuance of permits from the Engineering Department, this project will require a permit from the following agencies:
 - Los Angeles County Health Department – Provide written documentation showing septic system approval.
 - Las Virgenes Municipal Water District
- 2.08 Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. Contact Engineering Department @ 818.597.7322 for approved City certification forms.
- 2.09 Provide a preliminary title report not older than 30 days.
- 2.10 All grading shall conform to the City's Grading Ordinance, Chapter 33 of the Uniform Building Code.
- 2.11 Any/all work affecting existing easements (ie: LVMWD, SCE, etc.) shall require written documentation confirming the respective utility purveyor's approval. This requirement shall be completed prior to constructing any work that affects said easements. Prior to the issuance of a grading permit, the applicant shall provide documentation to the City Engineer that ALL applicable requirements pertaining to Shell Oil's gas line/easement have been met.

B. Public Improvements

Refer to attached Exhibit 'A' for Plan Check Submittal Requirements.

- 2.21 Design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area. Such public improvements may include, but not be limited to, the following:
 - All water appurtenances are to be per LVMWD; and
 - Construction of an equestrian trail including fencing.

- 2.22 This property is within the LVMWD service area. Applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

C. Sewer

- 2.31 No sewer line is available for direct connection. Applicant shall obtain DHS approval for septic system prior to grading permit issuance, and shall provide written documentation to City showing DHS approval.

D. Water

- 2.41 All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City. Prior to Building Permit issuance, applicant shall provide a copy of the "will-serve" letter from LVMWD.

E. Drainage/Hydrology

- 2.51 A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
- 2.52 Proposed site/portion of site falls within SFHA (Special Flood Hazard Area) as indicated on the FIRM (Flood Insurance Rate Maps) and is subjected to flooding in a 100 year frequency storm. This site plan will be subject to the provisions of the National Flood Insurance program and comply with the City's Flood Damage Prevention Ordinance #2409.

F. Stormwater (NPDES)

- 2.61 Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:

1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;

2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.

2.62 Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Urban Stormwater Mitigation Plan (USMP) shall be submitted to and approved by the Engineering Department. The USMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

2.63 SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;

4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

- 2.64 Other Conditions: Construction shall not encroach into the 100-year flood limits. Any future construction shall be subject to approvals from the City Engineer and FEMA. All proposed construction activities shall be subject to the provisions of the National Flood Insurance program and comply with the City's Flood Damage Prevention Ordinance #2409.

48. PRIOR TO CERTIFICATE OF OCCUPANCY

- 3.01 All remaining fees/ deposits required by the Engineering Department must be paid in full.
- 3.02 All requirements including construction of improvements covered in Section 2, must be completed to the satisfaction of the City Engineer.
- 3.03 The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
- 3.04 The applicant shall *record a covenant for continued stormwater maintenance, using City-approved forms*, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
- 3.05 Other Conditions: Upon receiving Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

BUILDING AND SAFETY

49. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. Plans for the required system shall be approved by the Fire Department prior to the issuance of Building Permits for the residence. Fire Sprinklers are required per Sec. 904.2.9 of the Agoura Hills Building Code.
50. The City Building Code requires that a minimum setback of structure to toe of slope per Agoura Hills Building Code, Sec. 1806.5.3 shall be demonstrated. Minimum setback from a descending slope is $H/2$, ($1/2$ the vertical height of the slope, including portions not on property), or provide the equivalent protection determined by the soils engineer. This deviation will need to be verified by City soils engineer and approved by Building Official.
51. Exterior elements and materials must be in compliance with all Fire Zone 4 requirements, Agoura Hills Building Code, Sec.6402.1.
52. Dual pane windows shall be utilized as required for Fire Zone 4 compliance.
53. Projects shall demonstrate the use of Class-A roofing material.
54. Preliminary and final site plan and construction plan shall show location of A/C condensing units or other HVAC equipment located on or around structure.
55. Building Permits shall not be issued until grading is approved and the City, Fire District and all other Departments' requirements have been satisfied.

SPECIAL CONDITIONS

None

END

MITIGATION MONITORING PLAN

INTRODUCTION

The Mitigation Monitoring Program describes the procedures the applicant and others will use to implement the mitigation measures adopted in connection with the approval of the Specific Plan and Water Reclamation Plant and the methods of monitoring such actions. A Monitoring Program is necessary only for impacts which would be significant if not mitigated. The following consists of a monitoring program table noting the responsible agency for mitigation monitoring, the schedule and a list of all Specific Plan-related mitigation measures.

PURPOSE

The Mitigation Monitoring Program (MMP) has been prepared in conformance with Section 21081.6 of the California Environmental Quality Act. It is the intent of this program to (1) verify satisfaction of the required mitigation measures of the EIR; (2) provide a methodology to document implementation of the required mitigation; (3) provide a record of the Monitoring Program; (4) identify monitoring responsibility; (5) establish administrative procedures for the clearance of mitigation measures; (6) establish the frequency and duration of monitoring; and (7) utilize existing review processes wherever feasible.

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	1. Enforcement Agency	2. Monitoring Agency	3. Monitoring Phase
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4.1 GEOTECHNICAL CONSIDERATIONS

4.1-1. A final geotechnical report shall be prepared by the applicant and submitted to the City Engineer and City Geotechnical Engineer for review and approval. All recommendations in this final report, together with modifications required by the City, shall be incorporated into the project design. The geotechnical report shall address: slope stability, retaining wall construction, adequate structural setbacks from Palo Comado Creek, foundation design, erosion control (construction and long-term), debris transport, and drainage conveyance. The final geotechnical report shall address all required infrastructure improvements for the project.

4.1-2. Prior to recordation of the final map, an engineering geologist shall certify that each lot in the subdivision has adequate room to accommodate leach fields for all parcels where homes are proposed. Leach field locations shall be identified on a base map of the subdivision to demonstrate that all required set backs can be respected in the design of all septic systems. Septic systems shall be designed and tested for individual lots prior to the issuance of building permits. Verification of groundwater levels at each septic system shall occur between March 1 and April 30.

Applicant with Engineering Consultant	Plan Check and Field Verification	1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Building Permits
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Applicant with Engineering Consultant	Plan Check and Field Verification	1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Recordation of Final Map
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Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency
			1. Enforcement Agency 2. Monitoring Agency 3. Monitoring Phase

4.2 HYDROLOGY

4.2-1. A stormwater pollution prevention plan (SWPPP) shall be completed, to the satisfaction of the Regional Water Quality Control Board - Los Angeles Region and the City of Agoura Hills. The SWPPP shall include measures to minimize the generation of fugitive dust, prevent erosion and prevent hazardous materials contamination of the Palo Comado Creek during construction. Appropriate specific measures shall be required of each individual lot developer prior to issuance of grading permits for the lot under review.

4.2-2. In order to ensure that no post-development water quality impacts to the Palo Comado Creek occur, the developer of the tract shall identify specific and appropriate BMPs to be implemented (as approved by the City) for each lot under review prior to issuance of grading permits. These BMPs shall become requirements of such grading permits.

4.2-3. All finished floor elevations of on-site residences shall be, at minimum, one foot above the 100-year flood elevation of Palo Comado Creek. Prior to final design approval of each residential lot, the lot developer shall demonstrate, through a HEC-2 study, that grading impacts comply with the City's floodplain ordinance.

4.2-4. The project applicant shall obtain a Letter of Map Revision (LOMR) relative to adjustments to the 100-year FEMA flood plain prior to recordation of the tract map.

4.2-5. Bridge structures shall be designed and constructed in accordance with the City's floodplain ordinance to minimize affects to the 100-year flood flow of the spanned watercourse.

Home Builder

Plan Check and Field Verification

1. Comm. Dev. Department
2. RWQCBLAR and Comm. Dev. Department
3. Prior to Issuance of Grading Permits

Home Builder

Plan Check and Field Verification

1. Comm. Dev. Department
2. Comm. Dev. Department
3. Prior to Issuance of Grading Permits

Home Builder

Plan Check and Field Verification

1. Comm. Dev. Department
2. Comm. Dev. Department
3. Prior to Final Design Approval

Home Builder

Plan Check and Field Verification

1. Comm. Dev. Department
2. Comm. Dev. Department
3. Prior to Recordation of Tract Map

Applicant

Plan Check and Field Verification

1. Comm. Dev. Department
2. Comm. Dev. Department
3. Prior to Issuance of Grading Permits

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency
<p>4.2-6. The Homeowners Association for the subdivision shall be responsible for maintaining all fossi filters or other pre-discharge filtering devices designed to intercept first-flush stormwater flows. The Association shall also be responsible for maintaining the natural condition of the portion of Palo Comado Creek within the subdivision boundary. No small drains, impoundments, or in-creek modifications shall be permitted within Palo Comado Creek.</p>	Applicant	<p>Review of CC&Rs and Annual Reports</p>	<p>1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Grading Permits and Annual Reports</p>
<p>4.3 BIOLOGICAL RESOURCES</p> <p>4.3-1. No grading, excavating, or paving shall occur within the protected zone (area encompassing the dripline plus an additional five feet) of oak trees without a permit issued by the Department of Planning and Community Development or Planning Commission. In addition, all other provisions of the City's tree removal ordinance shall be complied with.</p>	Home Builder	Field Verification	<p>1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Grading Permits</p>
<p>4.3-2. Nothing shall be nailed to any oak tree during the construction period.</p>	Home Builder	Field Verification	<p>1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Grading Permits</p>
<p>4.3-3. No planting, irrigation, or utilities installation will occur within the protected zone of any native oak tree unless specified within an approved oak tree permit.</p>	Home Builder	Field Verification	<p>1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Certificate of Occupancy</p>
<p>4.3-4. Prior to issuance of grading permits, the vigor of the trees located within or partially within proposed lot limits shall be assessed by a qualified Oak Tree Consultant (OTC). Any trees in a weakened condition shall be treated as deemed necessary by the OTC, and approved by the City of Agoura Hills Department of Planning and Community Development Department.</p>	Home Builder and Oak Tree Consultant	Field Verification	<p>1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Grading Permits</p>

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency Monitoring Agency Monitoring Phase
<p>4.3-5. During lot construction, any trees within or partially within the proposed lot limits, and are in a weakened condition shall be treated by a California licensed Pest Control Applicator for diseases (which are abnormal conditions and interfere with the normal physiological functioning of the plant) and/or pests that are present. These recommendations shall be made by a California licensed Pest Control Advisor. Any use of pest abatement services shall not occur if such activities will impact surrounding plant communities or wildlife species.</p>	<p>Home Builder and California Licensed Pest Control Advisor</p>	<p>Field Verification</p>	<ol style="list-style-type: none"> 1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Construction Permits
<p>4.3-6. During all phases of construction, the health of the trees shall be monitored for disease signs and symptoms. Any problems, if they arise, shall be remedied to the satisfaction of the City of Agoura Hills.</p>	<p>Home Builder</p>	<p>Field Verification</p>	<ol style="list-style-type: none"> 1. Comm. Dev. Department 2. Comm. Dev. Department 3. Prior to Issuance of Certificate of Occupancy
<p>4.3-7. If bees are encountered and become a problem in any oak trees during construction activities, they shall be removed by a professional Beekeeper.</p>	<p>Home Builder and professional Beekeeper</p>	<p>Field Verification</p>	<ol style="list-style-type: none"> 1. Comm. Dev. Department 2. Comm. Dev. Department 3. During Construction
<p>MITIGATION MEASURE 4.3-8 HAS BEEN ELIMINATED FROM THE MITIGATION MONITORING PLAN. IT IS NOT APPLICABLE TO THE 8-LOT PROJECT APPROVED BY THE PLANNING COMMISSION.</p>			
<p>4.3-9. Removal or pruning of native vegetation shall not be allowed in any portion of any lot excepting pad grading and fuel modification zones. If determined to be practical by the Los Angeles County Fire Department, fuel modification zones shall not be closer than 75 feet from the water channel on either side. In addition, any brush clearance within the oak tree dripline areas shall be completed by handwork only.</p>	<p>Home Builder and Individual Lot Owners</p>	<p>Field Verification and Plan Check</p>	<ol style="list-style-type: none"> 1. L.A. County Fire Department 2. L.A. County Fire Department 3. Prior to Issuance of Grading Permits

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	1. Enforcement Agency 2. Monitoring Agency 3. Monitoring Phase
<p>4.3-10. Based on review of the conceptual pad sizes and location for each lot, it was estimated that approximately 2.11 acres of southern coast live oak riparian forest would be removed by the project. The removal of southern coast live oak riparian forest shall be replaced by enhancing similar habitat at off-site locations within the project vicinity at a 2:1 ratio as part of individual development of each lot. Replacement of the southern coast live oak riparian forest that occurs within the fuel modification zone shall be accomplished by enhancing similar habitat at a 1:1 ratio at off-site locations within the project vicinity. A vegetation planting and maintenance plan shall be developed by a qualified restoration specialist to address the above revegetation measures. The plan will specify, at a minimum, the following: (1) the location of the planting site; (2) the quantity and species of plants to be planted; (3) planting procedures, including the use of irrigation; (4) the amount and location of exotic species removal from riparian habitat areas, if appropriate; (5) a schedule and action plan to maintain and monitor the plantings for a minimum 5-year period; and (6) a list of criteria (e.g., growth, plant cover, survivorship) by which to measure success of the plantings, as well as contingency measures if the plantings are not successful. Guidelines for preserving remaining riparian habitat shall also be included in the plantings and maintenance plan. This plan shall be submitted to and approved by the City of Agoura Hills, ACOE, and CDFG prior to issuance of grading permits.</p>	<p>Home Builder and Individual Lot Owners and Qualified Biologist</p>	<p>Field Verification and Plan Check</p>	<p>1. ACOE/CDFG/Com. Dev. Depart. 2. Com. Dev. Depart. 3. Prior to Issuance of Grading Permits</p>
<p>4.3-11. Based on review of the conceptual pad sizes and location for each lot, it was estimated that approximately 0.05 acres of southern willow scrub would be removed by the project. The removal of southern willow scrub shall be replaced by enhancing similar habitat at off-site locations within the project vicinity at a 2:1 ratio as part of individual development of each lot. A vegetation planting and maintenance plan as described in Mitigation Measure 4.3-10 shall be developed to address southern willow scrub restoration.</p>	<p>Home Builder and Individual Lot Owners and Qualified Biologist</p>	<p>Field Verification and Plan Check</p>	<p>1. ACOE/CDFG/Com. Dev. Depart. 2. Com. Dev. Depart. 3. Prior to Issuance of Grading Permits</p>

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency Monitoring Agency Monitoring Phase
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4.3-12. Based on review of the conceptual pad sizes and location for each lot, it was estimated that approximately 2.62 acres of oak woodland would be removed by the project. The removal of oak woodland shall be replaced by enhancing similar habitat at off-site locations within the project vicinity at a 2:1 ratio as part of individual development of each lot. Replacement of the oak woodland that occurs within the fuel modification zone shall be accomplished by enhancing similar habitat at a 1:1 ratio at off-site locations within the project vicinity. A vegetation planting and maintenance plan as described in Mitigation Measure 4.3-10 shall be developed to address oak woodland restoration.

Home Builder and Individual Lot Owners and Qualified Biologist	Field Verification and Plan Check	1. ACOE/CDFG/Com. Dev. Depart. 2. Com. Dev. Depart. 3. Prior to Issuance of Grading Permits
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4.3-13. Based on review of the conceptual pad sizes and location for each lot, it was estimated that approximately 6.85 acres of coastal sage scrub would be removed by the project. The removal of coastal sage scrub shall be replaced by implementing the proposed restoration and enhancement program in the upper part of open space Lot 9 at a 1:1 ratio to the amount of this habitat removed and within the fuel modification zone. The shrub seed mix identified in Table 4.3-5 shall be used for this program rather than the mix originally proposed by the applicant. A vegetation planting and maintenance plan as described in Mitigation Measure 4.3-10 shall be developed to address the coastal sage scrub restoration and enhancement.

Applicant and Qualified Biologist	Field Verification and Plan Check	1. CDFG/Com. Dev. Depart. 2. Com. Dev. Depart. 3. Prior to Issuance of Grading Permits
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Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	1. Enforcement Agency	2. Monitoring Agency	3. Monitoring Phase
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4.3-14. The following measures shall be required in order to comply with city, state, and federal regulations regarding impacts to ACOE/CDFG jurisdictional areas:

(a) A jurisdictional delineation, pursuant to ACOE and CDFG protocols, shall be conducted for the stream and various riparian habitats to determine the nature and extent of jurisdictional resources occurring on the site.

(b) Permitting, if needed and as required by ACOE and RWQCB, shall be executed pursuant to Section 404 of the federal Clean Water Act for all impacts to ACOE jurisdictional areas. All conditions of that agreement designed to minimize impacts to biological resources shall be implemented.

(c) If necessary, a Streambed Alteration Agreement shall be executed with CDFG under provisions of Section 1603 of the California Fish and Game Code. All conditions of that agreement designed to minimize impacts to biological resources shall be implemented.

1. ACOE/CDFG
 2. ACOE/CDFG
 3. Prior to Issuance of Grading Permits

1. ACOE/RWQCB
 2. ACOE/RWQCB
 3. Prior to Issuance of Grading Permits

1. CDFG
 2. CDFG
 3. Prior to Issuance of Grading Permits

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency Monitoring Agency Monitoring Phase
<p>4.3-15 No earlier than 45 days and no sooner than 20 days prior to construction or site preparation activities that would occur during the nesting/breeding season of native bird species potentially nesting on the site (typically March through August), the applicant shall have a field survey conducted by a qualified biologist to determine if active nests of bird species protected by the state or federal Endangered Species Acts, Migratory Bird Treaty Act, and/or the California Fish and Game Code are present in the construction zone or within 100 feet (200 feet for raptors) of the construction zone. If active nests are found, a minimum 50-foot (this distance may be greater depending on the bird species and construction activity, as determined by the biologist) fence barrier shall be erected around the nest site and clearing and construction within the fenced area shall be postponed or halted, at the discretion of a biological monitor, until the nest is vacated and juveniles have fledged, as determined by the biologist, and there is no evidence of a second attempt at nesting. A City-approved biologist shall serve as a construction monitor during those periods when construction activities shall occur near active nest areas to ensure that no inadvertent impacts on these nests occur.</p>	<p>Home Builder and Individual Lot Owners and Qualified Biologist</p>	<p>Field Verification and Plan Check</p>	<ol style="list-style-type: none"> 1. CDFG/Com. Dev. Depart. 2. CDFG/Com. Dev. Depart. 3. Prior to Issuance of Grading Permits
<p>4.3-16. Wildlife fencing of sufficient height and design, to be the responsibility of the future lot owners, shall be constructed along the western boundaries of Lots 6, 7 and 8, and the northern boundary of Lot 8 to prevent human and domestic animals from entering open space habitat areas. Fence posts shall be placed no closer than 15 feet from any oak tree trunk, and shall be no closer than 15 feet on-center within any dripline.</p>	<p>Homeowners</p>	<p>CC&Rs</p>	<ol style="list-style-type: none"> 1. CC&Rs/Com. Dev. Depart. 2. CC&Rs/Com. Dev. Depart. 3. Prior to Issuance of Occupancy Permits
<p>4.3-17. Wildlife fences of sufficient height and design shall be constructed by the project applicant bordering the open space lots in order to prevent human and domestic animal access. These fences shall be constructed along the western lot boundaries. Fence placement in relation to oak trees shall follow the same guidelines as stated in Mitigation Measure 4.3-16.</p>	<p>Homeowners</p>	<p>CC&Rs</p>	<ol style="list-style-type: none"> 1. CC&Rs/Com. Dev. Depart. 2. CC&Rs/Com. Dev. Depart. 3. Prior to Issuance of Occupancy Permits

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency Monitoring Agency Monitoring Phase
<p>4.3-18. Facilities for horses and other livestock shall be placed a minimum of 100 feet from the top of the streambank or 20 feet beyond the dripline, whichever is greater. Organic waste from horses and other livestock shall be contained within these facilities and not transferred to any other portion of the site. This waste shall be taken off site to a suitable disposal area and shall not be allowed to accumulate above a reasonable level. This measure shall be enforced by ordinance and/or CC&Rs.</p>	Howowners	CC&Rs	<ol style="list-style-type: none"> 1. CC&Rs/Com. Dev. Depart. 2. CC&Rs/Com. Deve. Depart. 3. Prior to Issuance of Occupancy Permits
<p>4.3-19. Whenever possible, invasive plant species shall be removed by hand or by hand-operated tools rather than by chemical means. Where control of non-native vegetation is required within the bed, bank, or channel of the stream and the use of herbicides is necessary, the property owner shall employ only those herbicides, such as Rodeo™ (Glyphosate), which are approved for aquatic use. If surfactants are required, they shall be restricted to non-ionic chemicals, such as Agri-Dex, which are approved for aquatic use. No chemical herbicides will be applied within 100 feet of any native Oak tree dripline.</p>	Howowners	CC&Rs	<ol style="list-style-type: none"> 1. CC&Rs/Com. Dev. Depart. 2. CC&Rs/Com. Deve. Depart. 3. Prior to Issuance of Occupancy Permits
<p>4.3-20. Common areas within the proposed project shall be vegetated with native plant species typically found in the project vicinity. Lawns and ornamental landscaping shall only be allowed within 20 feet of building pads in areas adjacent to open space areas (to include those portions of the lots to which access is restricted). Those portions of the lot which are not within or adjacent to open space areas shall either be left in their current natural state or be vegetated with planted species native to the area. A list of plant species that are considered noxious and shall not be allowed for landscaping use are included as Appendix 4.3, and shall be included in the CC&Rs as well as provided to all homeowners by the Homeowners Association.</p>	Howowners	CC&Rs	<ol style="list-style-type: none"> 1. CC&Rs/Com. Dev. Depart. 2. CC&Rs/Com. Deve. Depart. 3. Prior to Issuance of Occupancy Permits
<p>4.3-21. Information shall be developed by a qualified biologist discussing the sensitivity of the ecosystem present on site and methods of minimizing environmental impacts. Items to be discussed shall include problems with outdoor cats and non-native pets such as turtles, frogs, and snakes, use of herbicides, pesticides, and fertilizers, and planting of exotic plant species. This information shall be disseminated to new and future homeowners by the Homeowners Association upon purchase of the lot.</p>	Howowners and Qualified Biologist	CC&Rs	<ol style="list-style-type: none"> 1. CC&Rs/Com. Dev. Depart. 2. CC&Rs/Com. Deve. Depart. 3. Prior to Issuance of Occupancy Permits

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	Enforcement Agency
<p>4.3-24. The construction contractor shall install temporary erosion control measures, if necessary, to reduce impacts to and protect the on-site drainage from excess sedimentation, siltation, and erosion. These measures shall consist of minimization of existing vegetation removal; the use of temporary soil covers, such as hydroseeding, mulch/binder and erosion control blankets to protect exposed soil from wind and rain; and/or the installation of silt fencing, berms, and dikes to protect storm drain inlets and drainage courses.</p>	Homeowner and Construction Contractor	Prior to Construction and grading permits	<ol style="list-style-type: none"> 1. Com. Dev. Depart. 2. Com. Deve. Depart. 3. Prior to Issuance of Construction and Grading Permits
<p>4.3-25. All trees within 100 feet of proposed grading shall be fenced at their Protected Zone, with a minimum 6-foot high chainlink fence before any site grading commences.</p> <p>i Fencing will be installed to prevent equipment storage, debris dumping, parking, etc. from occurring within oak tree driplines during construction. This fence shall remain during all phases of construction and shall not be moved or removed without knowledge of the biological monitor and approval by the City of Agoura Hills Planning and Community Development Department.</p>	Homeowner and Construction Contractor	Prior to grading permits	<ol style="list-style-type: none"> 1. Com. Dev. Depart. 2. Com. Deve. Depart. 3. Prior to Issuance of Grading Permits
<p>i Signs of a minimum size of 2' X 2' must be installed on the fence equidistant around each tree. On a grove of trees, sign spacing shall be 50 feet apart. The signs must read: WARNING - THIS FENCE SHALL NOT BE REMOVED OR RELOCATED WITHOUT WRITTEN AUTHORIZATION FROM THE CITY OF AGOURA HILLS PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT.</p>	Homeowner and Construction Contractor	Prior to construction and grading permits	<ol style="list-style-type: none"> 1. Com. Dev. Depart. 2. Com. Deve. Depart. 3. Prior to Issuance of Construction and Grading Permits
<p>4.3-26. Construction personnel shall be prohibited from entry into areas outside the designated construction area, except for necessary construction related activities, such as surveying. All such construction activities in or adjacent to remaining open space areas shall be coordinated with the biologist.</p>	Homeowner and Construction Contractor	Prior to construction and grading permits	<ol style="list-style-type: none"> 1. Com. Dev. Depart. 2. Com. Deve. Depart. 3. Prior to Issuance of Construction and Grading Permits
<p>4.3-27. Upon completion of construction, the contractor shall be held responsible to restore any haul roads and access roads that are outside of approved grading limits. This restoration shall be done in consultation with the project biologist.</p>	Homeowner and Construction Contractor	Plan Check	<ol style="list-style-type: none"> 1. Com. Dev. Depart. 2. Com. Deve. Depart. 3. Prior to Issuance of Occupancy Certificate

Mitigation Measures/Conditions of Approval	Party Responsible for Implementing Mitigation	Monitoring Action	1. Enforcement Agency 2. Monitoring Agency 3. Monitoring Phase
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OTHER

1. No archaeological or paleontological sites are known to be located within the development area of the project site. However, should such resources be found during site grading, a professional archaeologist or paleontologist will be retained to evaluate the significance of the finding and to identify appropriate methods of preserving or cataloguing any significant resources.

Applicant and Construction Contractor (Archaeologist and/or paleontologist)

Field Verification

1. Comm. Dev. Department
2. Comm. Dev. Department
3. During Grading Operations



**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

**EXHIBIT A: Letter from the Old Agoura
Homeowners Association**

DATE: April 28, 2007
RE: Revised Review of Proposed Project
FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association
TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills
SUBJECT: 07-SPR-001 (Shuken)

Description

The plans show a 5,587 sq. ft. two story residence on a 1.46 acre lot with two 3 car garages of 765 and 923 sq. ft.

Comment

While the size of the house has increased almost 500 sq. ft., it still appears reasonable given the size of homes at this end of Chesebro. The design, with its welcoming front porch, is attractive.

The applicant has designated the larger of two three-car garages as a future barn and opened up a motor court to provide future access to the rear of that structure where there is a good sized future horse keeping area.

We appreciate and applaud the applicant's efforts to keep the property viable for horse-keeping in the future and we are pleased to recommend the project.

Thank you for the opportunity to comment. Should you have questions, please contact Robyn Britton, Planning and Zoning Committee, Old Agoura Homeowners Association.

CC: Valerie Darbouze, Assistant Planner



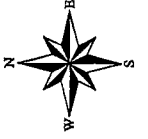
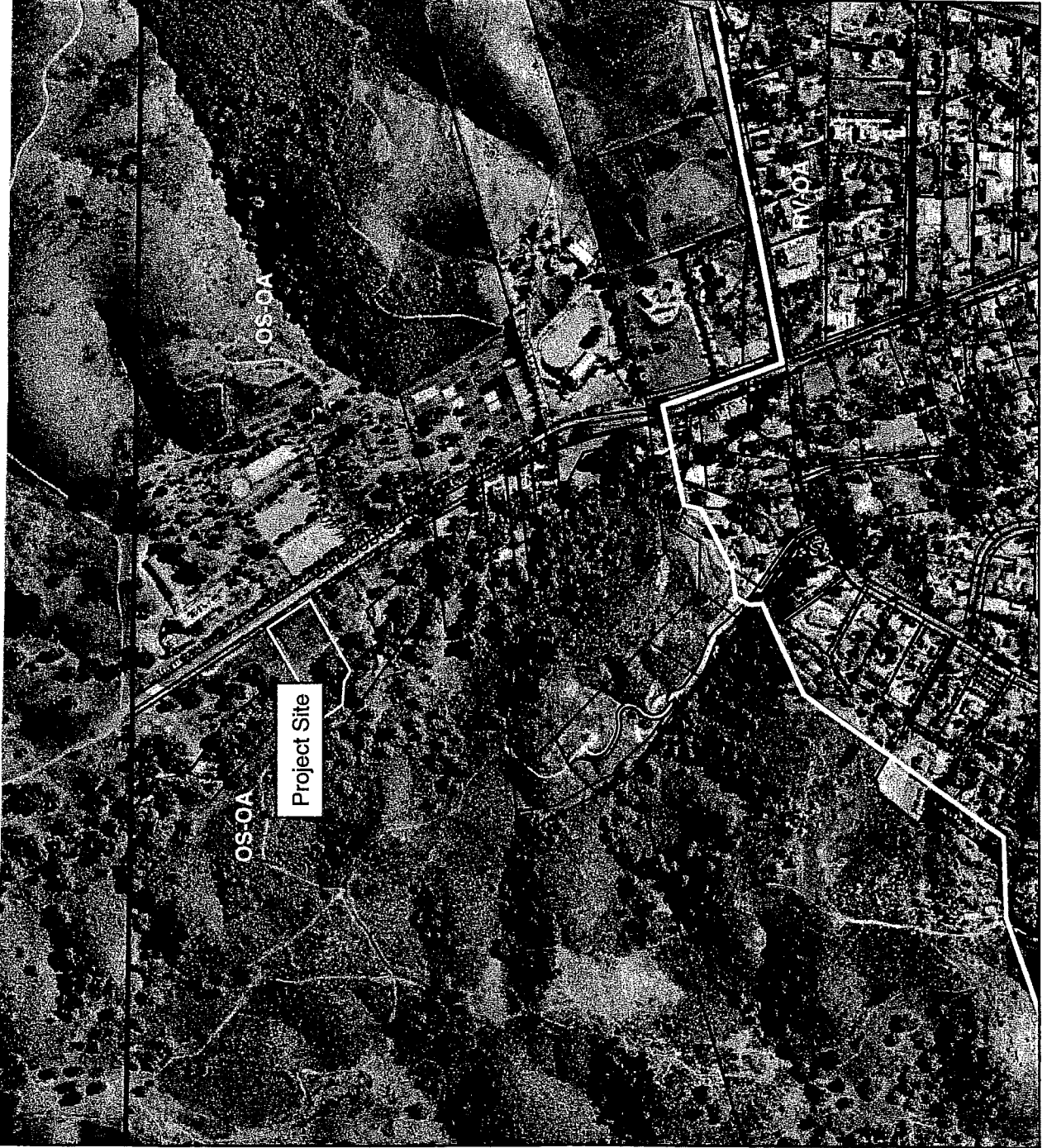
**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

EXHIBIT B: Vicinity/Zoning Map

CONDITIONAL USE PERMIT - CASE NO. 07-CUP-012 & OAK TREE PERMIT - CASE NO. 07-OTP-025

Vicinity/Zoning
Map





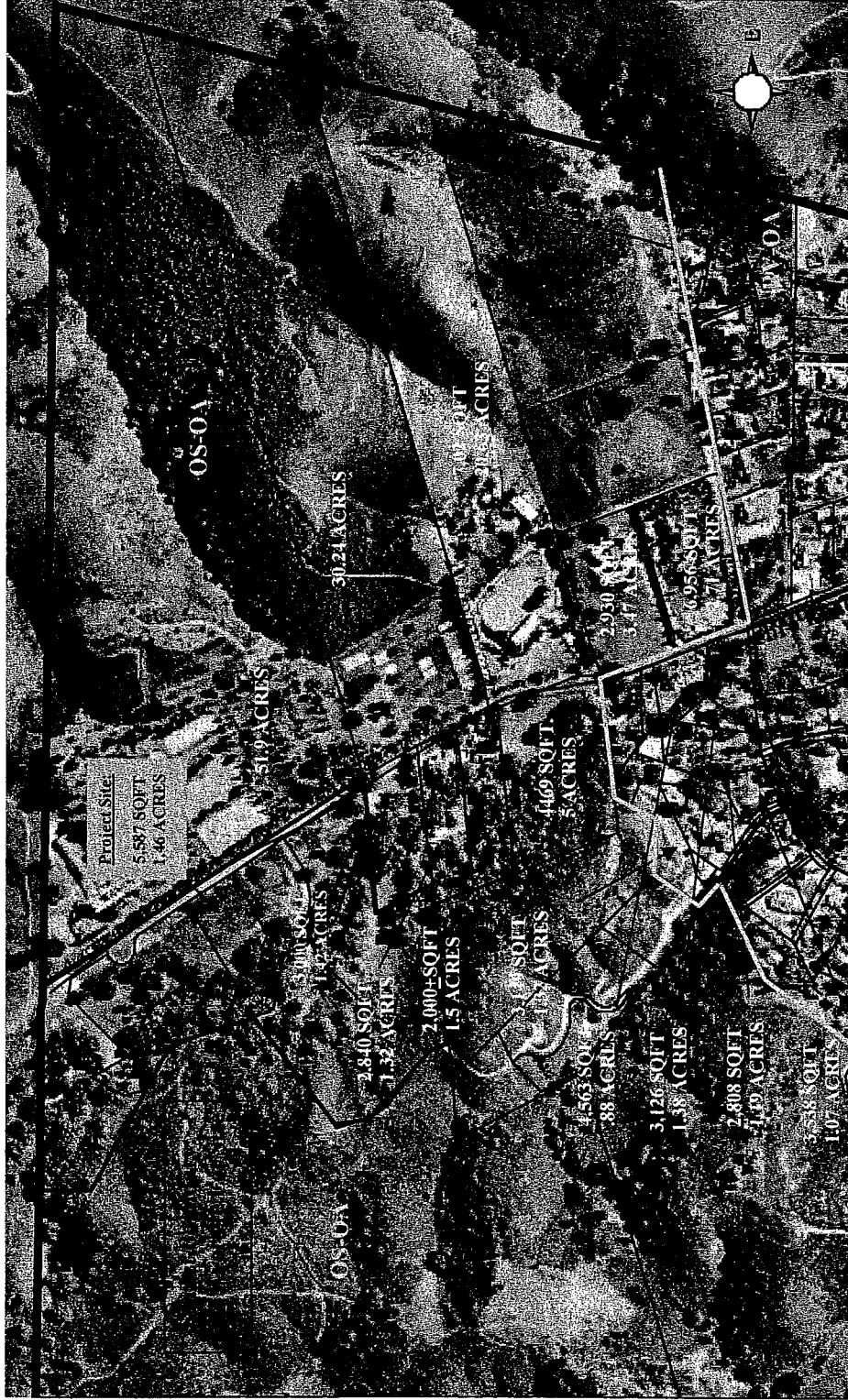
**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

**EXHIBIT C: Square Footage
Analysis Map**

CONDITIONAL USE PERMIT—CASE NO. 07-CUP-012

**SQUARE-FOOTAGE
ANALYSIS MAP**

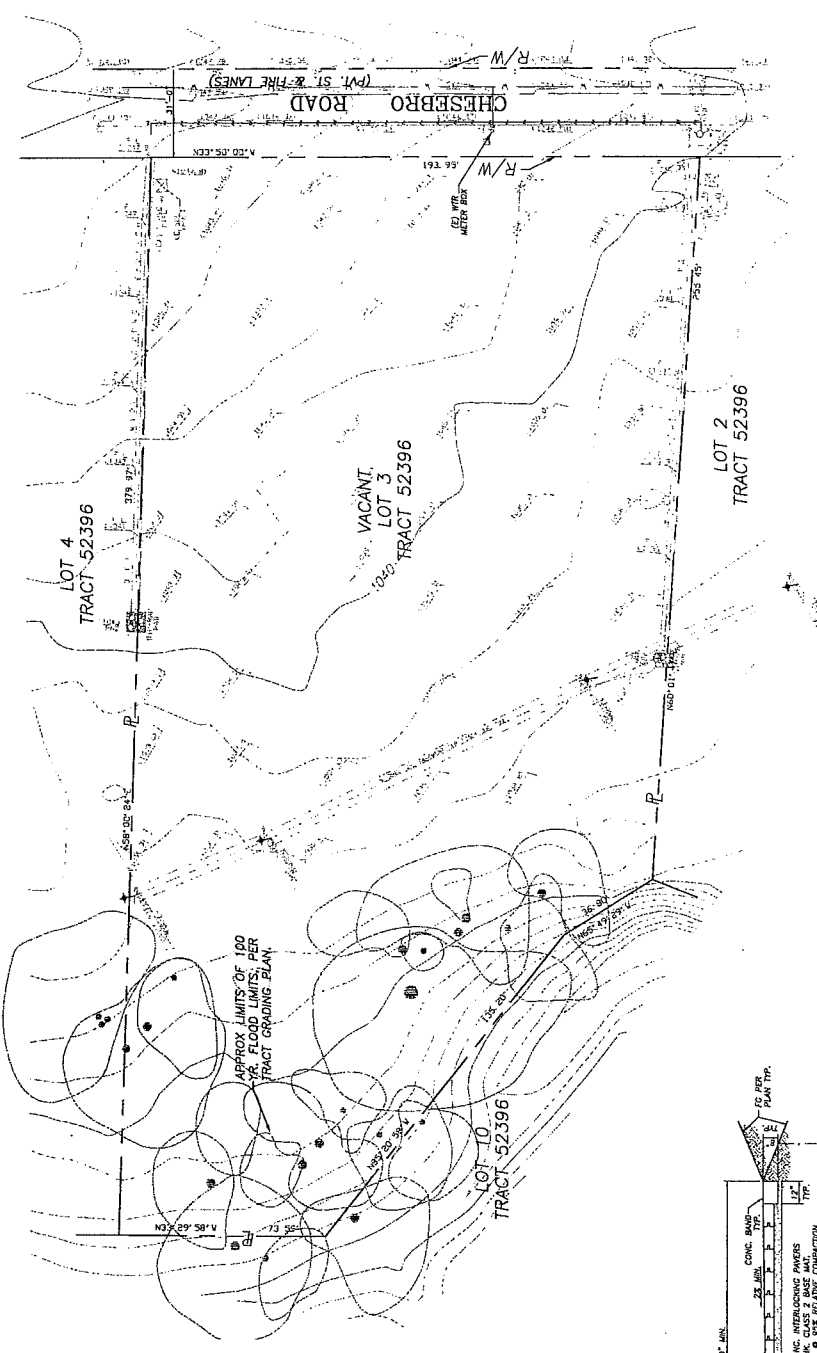




**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

**EXHIBIT D: Reduced Copies of the
Architectural/Grading Plans**



LEGAL DESCRIPTION
 ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
 LOT 2 OF TRACT No. 52396, IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN AND RECORDED IN BOOK 1280 PAGES 6 THROUGH 12, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 EXCEPTING THEREFROM SIZE OF ALL OIL, GAS AND MINERALS AND OTHER RIGHTS AND INTERESTS IN SAID LAND AND THE SUBSURFACE OF SAID LAND TO A DEPTH OF 200 FEET, MEASURED FROM THE SURFACE OF SAID LAND TO THE CENTER OF THE CURVATURE OF ANY CURVE TO WHICH SAID DEPTH INCLUDES ONE HALF OF THE ONE-FIFTH PERCENTAGE TO WHICH SAID DEPTH IS APPLIED, AND THE INTEREST THEREIN, AS SHOWN AND RECORDED IN BOOK 2881 PAGES 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

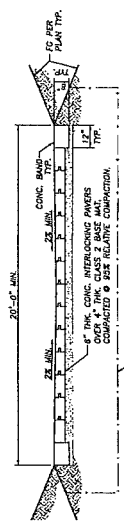
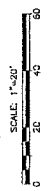
ASSESSOR'S PARCEL NUMBER: 2035-001-028

BASIS OF BEARINGS:
 ALL BEARINGS AND DISTANCES ARE BASED ON THE COURSE OF CENTERLINE OF CHEESBRO ROAD (PRIVATE STREET) AS SHOWN AS 07250'00" ON PARCEL MAP NO. 7718 IN BOOK 1280 PAGES 6 THROUGH 12, INCLUSIVE, OF MAPS.

SLOPE ANALYSIS
 S-1 11.3 100' S-4 AVERAGE PERCENT SLOPE
 S-2 2.2 812.98 4.00' L-1 2 FOOT (CONTOUR INTERVALS)
 S-3 52.386 74' L-2 2.01738 FT LENGTH OF CONTOURS
 S-4 52.386 74' (NO CURVATURE)
 S-5 52.386 74' (NET AREA OF PARCELS)
 (SEPIC SYSTEM OK)

NET LOT SIZE = 62,886.24 SQ. FT.
 TOTAL RECORDED AREA TO REMAIN
 NATURAL = N/A

TOPOGRAPHIC SURVEY PROVIDED BY:
VTN WEST, INC.
 6845 VAN NUTE BLVD.
 VAN NUTE, CA 91405-3983
 818/779-8746/50-FAX



OVER EXCAVATION & RECOMPACTION PER
 SLOPE REPORT
 DETAIL NO. 1 DRIVENWAY
 N.T.S.

APN-2055-029-003

CITY OF AGOURA HILLS

TOPOGRAPHIC SURVEY
 TRACT NO. 52396 LOT 3
 CHEESBRO ROAD
 AGOURA HILLS, CA 91301
 SHEET 2 OF 8

PROJECT NO. _____

CITY OF AGOURA HILLS (PRIN. NO.) _____

DATE _____

SCALE: 1"=50'

APPROVED BY: _____

DATE: _____

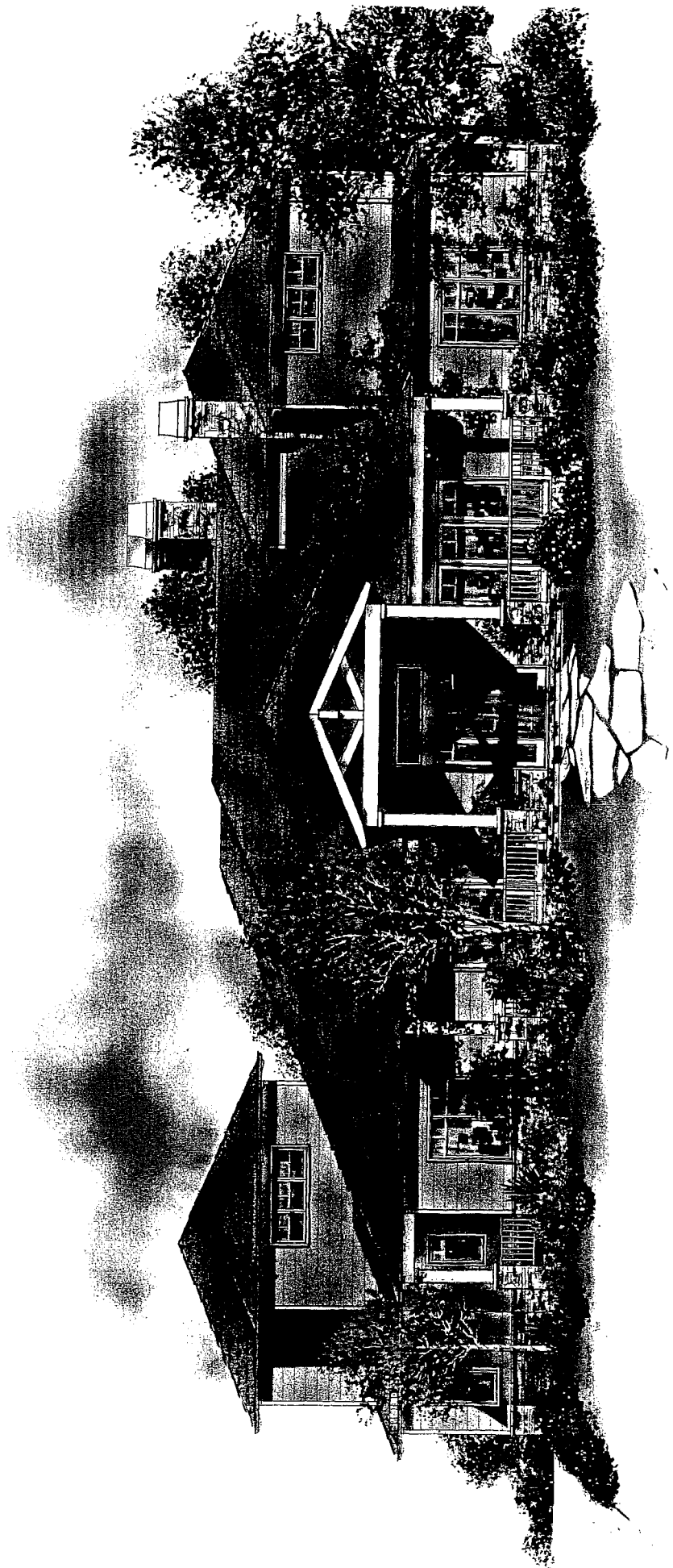
PROJECT ENGINEER: _____

DATE: _____

REVISIONS:

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

PREPARED BY: _____ ASSOCIATES
 851 BANCROFT ROAD
 THOUSAND OAKS CA 91321
 (805) 499-3333





**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

**EXHIBIT E: City Oak Tree/Landscape &
Geological/Geotechnical Consultants Letter**

Memo

To: Valerie Darbouze, City of Agoura Hills
From: Ann Burroughs for Kay Greeley, Landscape and Oak Tree Consultant
Date: April 28, 2008
Re: 07-CUP-012 and 07-OTP-025 – Jon Shuken

As requested, we reviewed the materials submitted with respect to the subject entitlement request for the single-family residence the applicant proposes to construct at 6941 Chesebro Road. Materials reviewed included the following:

- Oak Tree Report, prepared by Richard W. Campbell and dated August 28, 2006
- Landscape plans, prepared by Robert Crandall and dated March 16, 2008
- Grading plans, prepared by Lin Chuan Yeh & Associates, dated September 28, 2007, received by the City of Agoura Hills March 25, 2008
- Shuken Residence plans, prepared by Residential Design Works, Inc. and dated March 24, 2008

We have no further questions at this time. If the project is to proceed as proposed, our current analysis and recommended conditions of approval are as follows:

Oak Trees

The Oak Tree Report addresses a total of twenty-one (21) oak trees. Sixteen (16) of the oak trees are located within the subject site and the remaining five (5) oak trees are located off site, along the southwesterly boundary of the property. Construction of the proposed residence will not require encroachment within the protected zone of any of the oak trees, on or off the site. Therefore, we recommend that the project be approved with the following conditions:

1. The final grading plan, oak tree location map and landscape plans must agree and all shall include the tag number, exact trunk location, canopy, and protected zones of each oak tree. All inconsistencies, including numbering of the trees, must be resolved to the satisfaction of the City Oak Tree Consultant.
2. Prior to approval, the final grading plan shall be reviewed and approved by the City Oak Tree Consultant. The plan shall include oak tree protection notes to the satisfaction of the City Oak Tree Consultant.
3. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree.

4. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time.
5. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter if the natural duff has been disturbed.
6. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
7. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect, preserve or promote the health of the subject oak trees at that time.
8. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
9. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
10. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

11. Prior to the approval of any permits, the applicant shall submit three (3) sets of final landscape plans for final review and approval by the Director. The plans shall meet the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas

- Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
12. The Planting Plan shall indicate the botanical name and container size of each plant.
 13. Plant symbols shall depict the size of the plants at maturity.
 14. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
 15. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
 16. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
 17. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
 18. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
 19. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
 20. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.

21. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
22. The final landscape plan shall generally conform to the Planting Plan prepared by Robert Grandall and dated March 16, 2008, with the following exception:
 - a. Mitigation Measure 4.3-20 from the Environmental Impact Report restricts lawns and ornamental landscaping to within twenty feet (20') of building pads. All plant material outside of this boundary must be left in a natural state or be vegetated with planted species native to the area. The area at the northwest corner of the property outside this twenty foot (20') line must also be planted in natives.
23. The Old Agoura overlay recommends locally native, low water-use landscape plantings with a naturalistic appearance to preserve the rural character of the area. The current plant palette, which includes only twenty-five percent (25%) native plant species, must be revised to include more native plant material which would be more in keeping in this neighborhood, located adjacent to a national park. *Cercis occidentalis* and *Aesculus californica* are both attractive small flowering trees that would be good suggestions to replace the Crape Myrtles. Other suggestions for trees would be *Quercus agrifolia*, *Arbutus menziesii* and *Cercocarpus betuloides*. Many shrubs, perennials and groundcovers also exist that would make good substitutions for some of the non-native plant material used in the plan. Just a few suggestions would be *Heuchera* hybrids, *Mimulus*, *Trichostema lanatum*, *Ceanothus*, *Iris douglasiana*, *Ribes viburnifolium*, *Arctostaphylos*, and *Rosa californica*.

Please contact me should you have any questions at this time.

Date: March 26, 2008
GDI #: 07.00103.0160**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Valerie Darbouze

Project Location: 6491 Chesebro Road, Agoura Hills, California.

Planning Case #: 07-CUP-012/07-OTP-025 (Jon Shuken)

Building & Safety #: None

Geotechnical Report: Earth Systems Southern California. (2008b), "Response to Geotechnical Review for Lot 3, Tract 52396, Chesebro Road, Agoura Hills, California", VT-23997-01, dated March 5, 2008.

Earth Systems Southern California. (2008a), "Septic System Design Layout on New Site Plan for Lot 3, Tract 52396, Chesebro Road, Agoura Hills, California", VT-23997-01, dated March 4, 2008.

Earth Systems Southern California. (2007), "Geotechnical Engineering Report for Lot 3, Tract 52396, Chesebro Road, Agoura Hills, California", VT-23997-01, dated September 17, 2007.

Plans: Lin Chuan Yeh & Associates (2007), "Grading & Drainage Plan, Tract No. 52396, Lot 3 Chesebro Road, Agoura Hills, CA 91301, Sheets 1 through 3," Printing date: September 28, 2007.

Residential Design Work (2007), "Development/Architectural Plans, Shuken Residence, Chesebro Road, Agoura Hills, California 91301, Sheets C, 1-3, 2A, 6-9, 8A," Various Scales, dated October 3, 2007.

Previous Reviews: November 15, 2007

FINDINGS

Planning/Feasibility Issues

 Acceptable as Presented Response Required

Geotechnical Report

 Acceptable as Presented Response Required**REMARKS**

Earth Systems Southern California (consultant) prepared a "Response to Geotechnical Review" for the proposed residential development at the site located at 6491 Chesebro Road in the City of Agoura Hills, California. The proposed development includes the construction of a one-story residence with raised floor, detached garage, swimming pool, driveway and private sewage disposal system. The site is relatively flat and grading for the proposed development is expected to be limited to preparing surface soils for the support of the proposed structures and for drainage.

The City of Agoura Hills – Planning Department reviewed the referenced reports from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon a review of the submitted reports and plans, the referenced reports should be acceptable as presented and we recommend that the Planning Commission consider approval of Case No. 07-CUP-012/07-OTP-025 (Jon Shuken). Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Note to the City

Seismic Hazard Zone: The site is located within a Liquefaction Hazard Zone as defined by the Seismic Hazards Mapping Act (California PRC Div. 2, Chap 7.8, sec, 2690-2699.6). Upon acceptance by the City of this report(s), the City must forward the report(s) to the State Geologist within 30 days of approval.

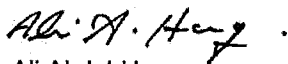
Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The following note must appear on the grading and foundation plans: *"All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer."*
3. The grading plan should include the limits and depths of overexcavation for the swimming pool, the road and flatwork areas as recommended by the Consultant.
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

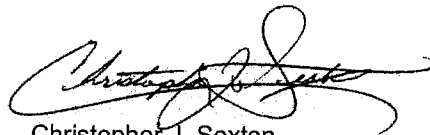
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/09)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)



**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

**EXHIBIT F: Photographs of the Property
& Color and Material Board**



**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 27489 AGOURA ROAD,
AGOURA HILLS**

**SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 06-SPR-009
OAK TREE PERMIT CASE NO. 06-OTP-021
VESTING TENTATIVE PARCEL MAP 67397**

**EXHIBIT F: Photographs of the Property
& Color and Material Board**

**CONDITIONAL USE PERMIT
CASE NO. 07-CUP-012**



West View at the Lot



Northwest View

**CONDITIONAL USE PERMIT
CASE NO. 07-CUP-012**



North View on Chesebro Road



South View on Chesebro Road

COLOR BOARD

LOT: 3 / TRACT: 52396

CHESEBRO RD.

AGOURA HILLS, CA 91301

A.P.N.: 2055-029-003

SHUKEN RESIDENCE

22030 VELICATA ST.

WOODLAND HILLS, CALIFORNIA 91364

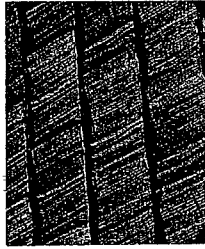
TELEPHONE: (818) 883-4286

RESIDENTIAL DESIGN WORKS

3475 OLD CONEJO RD, SUITE C-3

NEWBURY PARK, CA 91320

TELEPHONE: (805) 375-9960



ROOFING

MONIER LIFE TILE

MADERA - SAGEWOOD

1MDCL4002

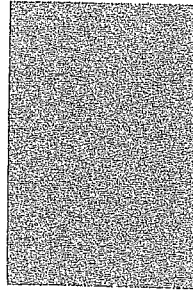


STONE

CULTURED STONE

80% BUCKS COUNTRY LEDGESTONE

20% BUCKS COUNTRY DRESSED FIELDSTONE



SIDING

BENJAMIN MOORE

PROVIDENCE OLIVE - HC 98

TRIM / RAIL

BENJAMIN MOORE

INTENSE WHITE - OC 51