



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

AMENDED
MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
February 21, 2008

ITEM 3: The following persons spoke in favor ~~opposition~~ of the project.

Mike Poyer, Madeos Restaurant

Matthew May, Fat Fish/Urban Café

CALL TO ORDER: Vice Chair Zacuto called the meeting to order at 6:32 p.m.

FLAG SALUTE: Commissioner Rishoff

ROLL CALL: Vice Chair Curtis Zacuto, Commissioners Ilce Buckley Weber, Cyrena Nouzille, and Steve Rishoff. Chair John O'Meara was absent.

Also present were Director of Planning and Community Development Mike Kamino, Assistant Community Development Director Doug Hooper, Senior Civil Engineer Jay Patel, Associate Planner Valerie Darbouze, Oak Tree and Landscape Consultant Ann Burroughs and Recording Secretary Sheila Keckhut.

DISCUSSION ITEM NO. 5 WAS MOVED TO THE FIRST ITEM ON AGENDA

COMMISSIONER NOUZILLE RECUSED HERSELF FROM ITEMS NO. 3 AND NO. 4 OF THE AGENDA DUE TO CONFLICTS OF INTEREST

APPROVAL OF MINUTES: Amended Minutes – January 17, 2008 Planning Commission Meeting

On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the Amended Minutes of the January 17, 2008 Planning Commission Meeting. Motion carried 4-0. Chair O'Meara was absent.

Amended Minutes – February 7, 2008 Planning Commission Meeting

On a motion by Commissioner Buckley Weber, seconded by Commissioner Rishoff, the Planning Commission moved to approve the Amended Minutes of the February 7, 2008 Planning Commission Meeting. Motion carried 4-0. Chair O'Meara was absent.

COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

CONTINUED PUBLIC HEARING

3. REQUEST: A request for approval of a Conditional Use Permit to construct five (5) detached buildings totaling 33,680 square feet in size for retail and restaurant use (Shops at Oak Creek); and a request for a Sign Permit for approval of the project's proposed sign program.
- APPLICANT: Danari Oak Creek, LLC
c/o Adler Realty Investments, Inc.
20950 Warner Center Drive, Suite C
Woodland hills, CA 91367
- CASE NOS.: 06-CUP-007 and 06-SP-037
- LOCATION: 28941-29145 Canwood Street
(A.P.N. 2048-011-(049-053) and 2048-011-061)
- ENVIRONMENTAL DETERMINATION: Compliant with the Certified Environmental Impact Report for the Tract

RECOMMENDATION: Staff recommended if the Planning Commission wished to approve Conditional Use Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037, staff will return with a Resolution and conditions approval for adoption.

PUBLIC COMMENTS: Vice Chair Zacuto opened the Public Hearing

The following persons spoke in favor of the project.

Michael Adler, Applicant, Adler Realty Investments

Ken Soudani, VTBS Architects, applicant's architect

The following persons spoke in opposition of the project.

Mike Poyer, Madeos Restaurant

Matthew May, Fat Fish/Urban Café

RECESS: Vice Chair Zacuto called for a recess at 8:20 p.m.

RECONVENE: Vice Chair Zacuto reconvened the meeting at 8:42 p.m.

REBUTTAL: Ken Soudani, VTBS Architects, applicant's architect gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Michael Adler, Applicant, Adler Realty Investments answered questions of the Planning Commission.

ACTION: On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to direct staff to prepare a draft Resolution of denial for Conditional Use Permit No. 06-CUP-007 and Sign Permit Case No. 06-SP-037 for the Planning Commission's consideration at the March 6, 2008 Planning Commission meeting. Motioned carried 3-0. Commissioner Nouzille recused. Chair O'Meara was absent.



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
March 6, 2008**

CALL TO ORDER:

Chair O'Meara called the meeting to order at 6:34 p.m.

FLAG SALUTE

Vice Chair Zacuto

ROLL CALL:

Chair John O'Meara, Vice Chair Curtis Zacuto, Commissioners Cyrena Nouzille and Steve Rishoff. Commissioner Illece Buckley Weber was absent.

Chair O'Meara stated the Commission had received notification of Commissioner Buckley Weber's absence prior to the meeting and that she had requested to be excused. There were no objections to excusing the absence.

Also present were Assistant Community Development Director Doug Hooper, Assistant Engineer Kelly Fisher, Assistant Planner Renee Madrigal, and Recording Secretary Sheila Keckhut.

APPROVAL OF MINUTES:

Amended Minutes – February 21, 2008 Planning Commission Meeting

On a motion by Vice Chair Zacuto, seconded by Commissioner Rishoff, the Planning Commission moved to approve the Amended Minutes of the February 21, 2008 Planning Commission Meeting. Motion carried 2-0-2. Chair O'Meara and Commissioner Nouzille abstained. Commissioner Buckley Weber was absent.

COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

CONTINUED PUBLIC HEARING

2. REQUEST: A request for approval of a Conditional Use Permit to construct five (5) detached buildings totaling 33,680 square feet in size for retail and restaurant use (Shops at Oak Creek); and a request for a Sign Permit for approval of the project's proposed sign program.

APPLICANT: Danari Oak Creek, LLC
c/o Adler Realty Investments, Inc.
20950 Warner Center Drive, Suite C
Woodland hills, CA 91367

CASE NOS.: 06-CUP-007 and 06-SP-037

LOCATION: 28941-29145 Canwood Street
(A.P.N. 2048-011-(049-053) and 2048-011-061)

ENVIRONMENTAL DETERMINATION: Compliant with the Certified Environmental Impact Report for the Tract

RECOMMENDATION: Based on direction given on February 21, 2008, staff recommended the Planning Commission adopt a motion to deny Conditional User Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037, based on the findings of the draft Resolution.

PUBLIC COMMENTS: Chair O'Meara took public comments.

The following person spoke on this agenda item.

Michael Adler, Applicant, Adler Realty Investments

ACTION: On a motion by Commissioner Rishoff, seconded by Commissioner Vice Chair Zacuto, the Planning Commission moved to adopt Resolution 926, denying Conditional Use Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037. Motioned carried 2-0-2. Chair O'Meara and Commissioner Nouzille abstained. Commissioner Buckley Weber was absent.

Attachment D

*Planning Commission Staff Reports
(December 6, 2007; February 21, 2008; and March 6, 2008)*



**DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT**

ACTION DATE: December 6, 2007

TO: Planning Commission

APPLICANT: Danari Oak Creek, LLC
c/o Adler Realty Investments, Inc.
20950 Warner Center Drive, Suite C
Woodland Hills, CA 91367

CASE NOS.: 06-CUP-007 and 06-SP-037

LOCATION: 28941-29145 Canwood Street
(A.P.N. 2048-011-(049-053) and 2048-011-061)

REQUESTS: A request for approval of a Conditional Use Permit to construct five (5) detached buildings totaling 33,680 square feet in size for retail and restaurant use (Shops at Oak Creek); and a request for a Sign Permit for approval of the project's proposed sign program.

**ENVIRONMENTAL
DETERMINATION:** Compliant with the Certified Environmental Impact Report for the Tract

RECOMMENDATION: If the Planning Commission wishes to approve Conditional Use Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037, staff will return with a Resolution and conditions approval for adoption.

ZONING DESIGNATION: CRS-FC (Commercial Retail Services - Freeway Corridor Overlay)

GENERAL PLAN DESIGNATION: CG (Commercial-Retail/Services)

I. BACKGROUND AND PROJECT DESCRIPTION

As background, on June 12, 2002, the City Council approved J.h. Snyder Company's Oak Creek residential and commercial subdivision on property located on the north side of Canwood Street, east of Kanan Road, on 38.72 acres of land. Specifically, the City Council approved Tract Map No. 53752 and Conditional Use Permit No. 01-CUP-009, granting entitlement for the development of 336 apartment units which were completed in 2004. The City Council's approval of the Tract Map allowed for the property to be subdivided into seven lots consisting of two (2) multi-family residential lots, five (5) commercial lots, and three (3) permanent open space lots. The five commercial lots were located across the southern edge of the property, adjacent to Canwood Street, and extended onto the west and east sides of Medea Creek, within the Commercial Retail Service (CRS) zone and the Freeway Corridor (FC) Overlay zones. These five lots were conceptually assumed to accommodate approximately 85,000 square feet of office space in two buildings located on two separate parcels, as well as approximately 23,700 square feet of restaurant buildings located on three separate parcels. The City Council's approval of the Tract Map was part of the overall Kanan Road/101 Freeway interchange project and included a significant change in zoning of the property from Commercial Retail Service to a mix of High Density Residential and Commercial Retail uses. The Kanan Road/101 Freeway interchange project also involved the realignment of Canwood Street, removal of the Denny's Restaurant and three (3) commercial buildings, modifications to the creek, removal of non-conforming billboards, undergrounding of utilities, land exchange, and dedication of the hillsides as open space.

On March 6, 2003, the Planning Commission approved the applicant's request to amend the Tentative Tract Map to reconfigure the five commercial lots into six (6) commercial lots. This map reconfiguration was intended to still allow for two office buildings, as well as four restaurants, instead of three restaurants. The combined size of the commercial lots did not change from the original Tentative Tract Map. The Final Map was approved by the City Council on August 27, 2003.

In lieu of developing one of the two anticipated office buildings in the tract, HBF Holdings LLC, received the City Council's approval of a Conditional Use Permit to construct a 125-unit Homewood Suites Hotel on a 3.15 acre parcel (Parcel 8), at the eastern end of the tract. The three-story hotel includes four detached buildings totaling 88,109 square feet in size. The property owner, J.h. Snyder Company, received the Planning Commission's approval of a Lot Line Adjustment to increase the size of the lot from 2.54 acres to accommodate the construction of the hotel. To accomplish the increased lot size, the Lot Line Adjustment application included a request to reduce the size and reconfigure the lot lines of two adjoining parcels (Lots 7 to the west and Lot C to the north).

When the City Council originally approved the Master Tentative Tract Map and the Conditional Use Permit in 2002, they included a condition of approval that requires the applicant to submit new Conditional Use Permit applications for development and approved uses on the commercial lots. It was originally anticipated that each parcel would be sold separately and developed separately. Thus the Conditional Use Permit was a way to control and review each project incrementally. Instead, Alder Realty Investments, Inc. bought the remaining vacant parcels and plans to develop them at once. While the size of the buildings are shown for each commercially zoned parcel on the Tract Map, as part of Conditional Use Permit review the Planning Commission has discretion on the size, location, design and use of the individual buildings. The Planning Commission also has discretion in determining how each use and development of the commercial lots is compatible with the others and with the overall development of the Oak Creek project concept. The Master Plan for the tract shows the vacant lots to have development potential for up to 40,000 square feet of office space and 23,700 square feet of restaurant space within the vacant lots, but the property owner could request buildings of smaller sizes and alternate uses for the Planning Commission's consideration.

In this instance, the applicant is requesting approval to construct five (5) separate buildings within the five (5) vacant lots within the Commercial Retail Service (CRS) and Freeway Corridor Overlay (FC) zones. Specifically, the project includes 13,440 square feet of retail space and 20,240 square feet of restaurant space. Two stand-alone restaurants are proposed, on either side of the Medea Creek, which are 7,500 square feet and 6,800 square feet in size. Four smaller restaurants of 980 square feet to 2,000 square feet in size within a multi-tenant building (Building A). Each of the five buildings would be single-story in height.

The development proposal will require administrative approval of a Lot Line Adjustment to reconfigure the existing five parcels to accommodate the proposed uses and required on-site parking. The applicant is also seeking a Sign Permit from the Planning Commission for approval of a Sign Program.

The property has been pregraded with the development of the apartments to the north, and is relatively flat. However, additional fill is proposed to raise the pad elevations above the current condition. On the west side of the creek, the topography descends to the southeast. The property descends to the southwest on the east side of the creek.

Access to the property would be taken from two driveways on Canwood Street, on the west side of the creek, and one driveway on the east side of the creek that would be shared with the existing Homewood Suites Hotel to the east. McDonald's Restaurant is located west of the project site and the Archstone Oak Creek Apartments are located to the north. Canwood Street and the 101 Freeway is located to the south. The required development standards for the project are noted below.

Pertinent Data for the Proposal

	<u>Existing</u>	<u>Proposed</u>	<u>Allowed/ Required</u>
1. Lot Area			
Parcel 3	1.65 acres	1.41 acres	0.23 ac. min.
Parcel 4	0.90 acres	0.61 acres	0.23 ac. min.
Parcel 5	1.00 acres	1.53 acres	0.23 ac. min.
Parcel 6	1.33 acres	1.47 acres	0.23 ac. min.
<u>Parcel 7</u>	<u>0.82 acres</u>	<u>0.68 acres</u>	<u>0.23 ac. min</u>
Total	5.70 acres	5.70 acres	N/A
2. Building Size			
A (Parcel 3)	N/A	7,380 sq. ft.	N/A
B-1 (Parcel 4)	N/A	6,000 sq. ft.	N/A
B-2 (Parcel 5)	N/A	6,800 sq. ft.	N/A
C-1 (Parcel 6)	N/A	7,500 sq. ft.	N/A
<u>C-2 (Parcel 7)</u>	<u>N/A</u>	<u>6,000 sq. ft.</u>	<u>N/A</u>
Total	N/A	33,680 sq. ft.	N/A
3. Bldg. Height			
A (Parcel 3)	N/A	22.5 ft. (30.16 ft. to peak)	35 ft. max.
B-1 (Parcel 4)	N/A	17.75 ft. (22 ft. to peak)	35 ft. max.
B-2 (Parcel 5)	N/A	22.75 ft. (26 ft. to peak)	35 ft. max.
C-1 (Parcel 6)	N/A	To be determined	35 ft. max.
C-2 (Parcel 7)	N/A	27.75 ft.	N/A
4. Building Lot Coverage			
A (Parcel 3)	N/A	12%	60% max.
B-1 (Parcel 4)	N/A	22%	60% max.
B-2 (Parcel 5)	N/A	11%	60% max.
C-1 (Parcel 6)	N/A	12%	60% max.
<u>C-2 (Parcel 7)</u>	<u>N/A</u>	<u>21%</u>	<u>60% max.</u>
Total	N/A	14%	60% max

Pertinent Data for the Proposal

	<u>Existing</u>	<u>Proposed</u>	<u>Allowed/ Required</u>
5. Parking			
A (Parcel 3)	N/A	87 spaces	84 spaces min.
B-1 (Parcel 4)	N/A	24 spaces	24 spaces min.
B-2 (Parcel 5)	N/A	83 spaces	82 spaces min.
C-1 (Parcel 6)	N/A	83 spaces	73 spaces min.
<u>C-2 (Parcel 7)</u>	<u>N/A</u>	<u>24 spaces</u>	<u>24 spaces min.</u>
Total	N/A	301 spaces	287spaces min
6. Landscape Coverage	N/A	12%	10% min.
7. No. of Oak Trees	1	1 (to be retained)	N/A

II. STAFF ANALYSIS

Site Plan

With the exception of Building B-2, on the west side of the creek, each of the buildings is proposed to be situated along the Canwood Street frontage, with parking proposed to the north. Public access to each of the five buildings would be taken from the parking lot, rather than on the street frontage side. Each building will have finished floor elevations above Canwood Street, allowing for visibility from the street and 101 Freeway. Specifically, the east portions of Building A will be approximately 2 feet higher than the street but, on average, will be approximately level with Canwood Street. Buildings B-1 and B-2 will be approximately 3 and 4 feet respectively above Canwood Street. Building C-1, located on the east side of Medea Creek, is proposed 12 feet above Canwood Street and Building C-2 is proposed to be situated 14 feet above Canwood Street.

With the exception of Building A, the project meets the development standards of the zone, building coverage (60% maximum), building height (35 feet maximum) and setbacks from property lines. The minimum front and rear setback requirements of the CRS zone are equal to the height of the buildings. Building A is 22.5 feet in height, however the grading plan notes a minimum front (south) yard setback of 20 feet. Since no Variance application was filed for the encroachment, the applicant will be required to relocate or reconfigure the building to meet this minimum setback requirement. There is no minimum side yard setback requirement that is applicable for this project.

Although the locations of the buildings, as conditioned, exceed the minimum distance from the south property line, the issue of building locations and prominence was an issue of extensive discussions between staff, the Economic Development Committee and the applicant. Since our review of the project in its preliminary design stage, staff expressed concerns to the applicant about the linear placement of the buildings, which is parallel to Canwood Street and the 101 Freeway to the south. By locating the buildings along Canwood Street, the parking lots are screened from the roadways, as recommended in the City's Architectural Design Guidelines and Standards, and provide a privacy buffer to the apartment residents to the north. Previous iterations of the site plan called for all five building located along Canwood Street. At staff recommendation, the applicant considered locating Building B-1 adjacent to the north property line, but reconsidered due to potential impacts to the apartment residents to the north, as well as rear yard setback requirements. Instead, the applicant relocated Building B-2 further north, adjacent to the creek. Staff had also recommended that footprint of Building B-1 be cantered, similar to Buildings C-1 and C-2 on the east side of the creek, to reduce the visual massing of the building as viewed from the roadway and freeway, but the applicant has chosen not to the make this change.

A key component in the City's approval of the tract was the opportunity to develop the mixed use site with an emphasis on pedestrian amenities. The first phase of the tract development included the residential component to the north, which provides walkways and hiking trails that provide access into the commercial lots to the south. The natural features of the Medea Creek were enhanced with native revegetation of the creek through the commercial lots. The City has anticipated that the creek would be a draw for pedestrians, with pedestrian paths on both sides of the creek and outdoor dining areas overlooking the creek. In fact, the name of the tract, "Oak Creek," is symbolic of the City's desire to develop the site with a strong orientation to the creek and its natural features.

The applicant is proposing such amenities, however staff and the Architectural Review Panel has encouraged the applicant to further enhance the site plan. Specific recommendations included eliminating the six (6) parking spaces located east of Building B-1, adjacent to Canwood Street to provide more landscaping features near the pedestrian courtyard that is adjacent to the creek. Other recommendations included 1) adding more trellises along parking lot walkway between the apartments and Building A, 2) providing landscaping in lieu of the 4 parking space island located northwest of Building A; 3) reconfiguring Building A in an "L-shaped" configuration, which would allow a more private outdoor seating courtyard for the small restaurants and break the linear mass of the building; 4) providing more outdoor seating on the east end of Building A and on the north end of Building B-2, which would have views of the adjacent Oak tree, which could also be up-lit in the evening; 5) re-angling the driveway between Buildings A1-5 and B-1 to provide a direct view of the Oak tree as motorists enter the site; and 6) providing greater pedestrian amenities to interact with the creek in addition to the walkways. Such amenities can include covered trellises, more benches and more enhanced railing.

The applicant has chosen not to make these changes for the following reasons: 1) additional trellises in front of Building A may conflict with the trellis within the outdoor seating area; 2) the elimination of any parking spaces within the site will impact require a reduction in building sizes; 3) the addition more outdoor dining near the Oak tree may be unnecessary since outdoor dining is proposed on the creek side of the building and more outdoor seating area will require more on-site parking; and 4) since the Oak tree is situated below the parking lot, it may not be necessary to orient the main driveway to offer clearer visibility of the Oak tree. Rather motorists entering the site would be visually drawn to the bermed landscape feature within the parking lot, west of Building B-2. The applicant has provided a courtyard and on the west side of the creek which includes benches, and a walkway, open rail fencing and bollard light at the top of the creek slopes. However, there may be more opportunities to enhance these areas with a wider landscape buffer between the parking lots, buildings and the walkways.

To further enhance the creek orientation, another feature that staff suggested to the applicant was to incorporate a pedestrian bridge over Medea Creek, or some other method to connect the east and west sides of the creek. Access between the five lots will be provided via a sidewalk on Canwood Street and the applicant has not expressed an interest in constructing a new bridge. However, such a bridge would offer a key, and safe, linkage between the buildings and a strong interest for pedestrians to interact with the creek.

The Oak Creek project was master planned as a residential and commercial development that is designed with compatible uses and site planning that takes advantage of the unique creek and hillside environment. Another goal was to make sure that the project is designed as one integrated pedestrian oriented center as opposed to five separate projects. The site is highly visible from the freeway and the Freeway Corridor Overlay zone also calls for development and design that compliments and enhances the city's low-intensity and semi-rural character. The Planning Commission has discretion to incorporate site plan changes that they deem necessary to accomplish these goals.

Architectural Design

The applicant is requesting approval of the elevation plans for four of the five buildings. Building elevations for Building C-1, on the east side of Medea Creek, were withdrawn since they were drawn for a specific client who has since opted not to locate at this site. It is the applicant's desire to obtain approval of the Site Plan configuration proposed for Building C-1, but return at a later date with new building elevations under a new and separate Conditional Use Permit application specifically for that building.

One of the intended purposes of the City Architectural Design Guidelines and Standards is to preserve the surrounding semi-rural character of the community. The Freeway Corridor standards are intended to promote the City's image as viewed from the freeway and to recognize the

importance of the land use, architectural design, and appearance of development with the freeway corridor. The single-story design of the building is intended to achieve a low-scale, pedestrian-friendly appearance. The Architectural Review Panel reviewed several iterations of the project and supports the proposed building elevation plans that are intended to incorporate craftsmen elements and colors that are of compatible architectural vocabulary with the apartments and hotel within the tract. Materials and colors proposed for the buildings vary, but include variations of off-white, tan, beige and taupe colored wood siding colored siding; green and off-white colored wood trim; ledge stone veneer on each building except Building C-2; and charcoal colored concrete roof shingles on each building. The buildings are proposed with a mansard roofs and the heights of the buildings, vary from 17.75 feet (Building B-1) to 27.75 feet (Building C-2). In order to provide articulation and help break up the linear massing of the buildings, a tower element and cupola elements are proposed on Buildings A, B-1 and B-2. These roof elements add to the height of the buildings, but would not exceed the 35-foot maximum building height for the zone. Since the towers are considered architectural elements and do not function as two stories, the building height was measured by staff to the top of the single-story parapets. Thus, the buildings will comply with the required development standards relative to front and rear yard setbacks, as conditioned. Other elements include wood trellis over the outdoor eating areas of Building A and over the trash enclosures.

This project is unique in that four of the five buildings are placed along the street frontage, but the pedestrian entries are from the interior of the lot. Therefore, as the backs of the buildings front onto the street it is important that the street elevations do not appear as backs of the buildings. The applicant has proposed a number of design enhancements to address the Canwood Street building frontage, including use of varying roof planes and treatment, differing window styles and placement, trellises, a mix of wood and stone siding, and slight off-sets of wall planes. The building elevations are generally found to be consistent with the "Oak Creek Design Guidelines" which were adopted as part of the Master Plan and was intended to promote a unifying design theme for the entire development.

Sign Program

The applicant is requesting approval of a Sign Permit for approval of Sign Program for the project. The applicant has stated that the Sign Program provided for consideration is intended to present sign design guidelines that address size, scale, location, methods of fabrication and illumination for future commercial tenants. Since the tenants within the project may change, the applicant has stated that the guidelines contextually illustrate the scale and proportion of possible tenant sign types.

The proposed sign program includes a proposed, perpendicular-oriented monument at each driveway entrance indicating the building addresses and name of the center ("Shops at Oak Creek"). The sign is proposed to include a ledge stone base and columns, with reverse pan channel,

gold colored lettering with LED illumination for halo perimeter lighting reflecting off the brown colored sign panel. The sign panel would not exceed the maximum size of 48 square feet, nor 6 feet in height.

Since each building has frontage on Canwood Street, as well as a public entrance facing the parking lot, each tenant would be entitled to two signs. The size of the primary signs is dictated by the amount of frontage each tenant space has, not to exceed 50 square feet or one square foot of sign area per linear foot of tenant frontage. The secondary sign cannot exceed 10 square feet. The proposed sign program shows conceptual tenant signs that exceed these requirements. Staff requests the Planning Commission comment on the proposed locations of the signs and their compatibility and proportions with the building architecture. Staff also requests the Planning Commission provide direction on whether the primary (larger) tenant signs be allowed to be oriented toward the street frontage (south sides of the buildings), or whether the larger signs should be oriented toward the parking areas, at the public entrances. The Sign Program calls for each tenant sign to be halo-lit. As stated in the previous section, as four of the five buildings back onto Canwood Street, any signs facing Canwood Street should be of a design and scale that enhances the street elevation rather than detracts from it. Sign location and method of illumination would be also be important in achieving a well designed sign program that compliments the buildings, particularly as this site is highly visible from the freeway.

Since the specific sign proposals are subject to change at this time, staff recommends the Planning Commission provide comment and direction on the Sign Program and require each tenant to receive the Planning Commission's approval of a Sign Permit when such specific signage is proposed. Staff also recommends that the on-site directional and traffic safety signage that is proposed as part of the Sign Program be subject to staff's approval prior to building permit issuance.

Lighting Plan

A lighting plan has been submitted for the Planning Commission's consideration. The Architectural Review Panel recommends approval of the plan, with recognition given to the City's desire to achieve a pedestrian-friendly and inviting project. Accordingly, the applicant is providing bollard lights along the pedestrian paths adjacent to the creek and Oak tree. Although discouraged in the City Lighting Guidelines, wall-mounted sconces are proposed on each building as an evening attraction. Staff supports the sconce lighting because they're primarily internally oriented, thus pedestrian oriented, and not oriented toward the street. In addition, directional lights are proposed under each trellis.

Staff supports the lighting plan, but requests the Planning Commission comment on the lantern-style fixture lights proposed within the parking lot. While the Architectural Review Panel supports the style for this pedestrian-oriented project, staff is concerned that the horizontal glare from such fixtures may be a visual nuisance as viewed from Canwood Street and the 101 Freeway.

While the applicant has submitted light fixture details for the project, a detailed lighting and photometric plan has not been submitted. Staff is recommending that prior to the issuance of a building permit the applicant be required to submit a detailed photometric plan for review and approval by the Director of Planning and Community Development.

Oak Trees and Landscaping

One (1) Oak tree is located on the west side of Medea Creek, at the northeast corner of Parcel 5. This is the only Oak tree identified in the project area but it would not be disturbed by the project construction. When the apartments to the north of the project site were constructed and surrounding lots graded, this Oak tree was preserved with a retaining wall on three sides of the tree. The base of the tree is situated approximately 11 feet below the proposed adjacent parking lot elevation. The protected zone of the Oak tree, and its existing retaining wall system, will not be disturbed or encroached upon as part of the proposed commercial construction. As such, the City Oak Tree Consultant did not require an Oak Tree Permit for this project and no mitigation measures were deemed necessary.

The applicant has submitted a preliminary landscape plan that has been reviewed by the City Landscape Consultant. The proposed landscape plan notes that 12% of the entire project site will be landscaped, which will exceed the minimum required landscape coverage of 10% for the CRS zone. However, the City Landscape Consultant is uncertain whether there will be sufficient landscaping in the parking lot areas. The landscape plan indicates that 17.3% of the parking lot will be landscaped and that 58% shade coverage would be provided. It appears, though, that the drive aisles within the parking lots were excluded from these calculations. The City Landscape Consultant requested the parking lot areas be recalculated to include drive-aisles, which is staff's policy for all commercial projects, but the applicant's landscape architect has not provided this information. As such, the City Landscape Consultant recommends that the applicant be conditioned to landscape at least 15% of the parking lots and that at least 50% shade coverage is provided. With the inclusion of the drive-aisles in the landscaping calculations, the applicant may be required to provide additional landscape planters in the parking lot areas, which could impact the number of on-site parking spaces and, consequently, the sizes of the buildings. However, there is surplus parking, as noted in the next section.

Landscaping along the street should compliment the buildings elevation since they are the backs of the buildings, which can be evaluated by the City Landscape Consultant in review of the final landscape plan. This would include the incorporation of landscape berms along the street frontage. Staff also recommends an open, split-rail designed fence be located between the sidewalk and westerly parking lot, west of Building A. Landscape screening of the loading areas will also be evaluated. One switch-back handicap ramp is proposed within the street frontage east of the creek, at the southwest corner of the site, however staff feels the pathway and retaining walls can be properly screened with landscaping.

Traffic and Parking

The original EIR which was prepared for the tract and certified by the City Council found two significant impacts that were unavoidable, even with the use of mitigation measures: air quality and traffic. The traffic impact of full development of the tract was found to be significant and unavoidable until the Kanan Road/ Highway 101 interchange and associated improvements were implemented. These improvements were completed in the Summer of 2007. The original applicant agreed through the project development agreement to provide traffic mitigation improvements for the entire tract that included: 1) \$3,150,000 of street improvements and utility undergrounding; 2) \$1,469,872 of Traffic Impact Fees; 3) the dedication of 2.4 acres of land for the Kanan Road/101 interchange project, including the realignment of Canwood Street.

The current applicant has provided additional traffic information to staff indicating that the current project would result in less traffic trips being generated than that assumed under the tract's Final EIR. The current project is expected to generate approximately 4,839 daily trips, including 285 AM peak hour and 428 PM peak hour trips. It was previously estimated that the Homewood Suites Hotel within the tract would result in 60 AM peak hour trips and 69 PM peak hour trips. Thus, total number of peak hour trips estimated to be generated from the commercial development within the tract, including the hotel, is 345 AM peak hour trips and 497 PM peak hour trips. The project analyzed in the EIR would have generated 411 AM and 541 PM peak hour trips. Since the project has been vested by certification of the Final EIR and, more importantly execution and implementation of the terms of the tract's Development Agreement, no additional environmental analysis, including traffic mitigation analysis, may be prepared by the City. However, based on the information provided to staff, it appears that the traffic impacts of this project would be comparable, if not less, than that originally anticipated in the Final EIR.

The required number of on-site parking spaces to be provided is based on the various proposed uses. Specifically, the Zoning Ordinance requires 1 space per 250 square feet of gross retail area; 1 space per 300 square feet of gross office area; and 15 spaces per 1,000 square feet of gross restaurant seating and waiting area. Based on the floor area for each tenant space provided by the applicant, a minimum of 287 parking spaces are required for the project. The applicant is proposing 301 parking spaces. All proposed parking spaces are required to be of standard size: 8.5 feet by 18 feet.

Staff would note that although the uses within the buildings may change, each tenant will be required to have sufficient on-site parking. The lot line adjustments proposed by the applicant will provide, as currently proposed, sufficient on-site parking for each use within their individual parcels. However, the property owner is required per the conditions of approval for the tract to enter into a shared parking agreement. This agreement would allow each commercial use within the tract, including the Homewood Suites Hotel to the east, to use neighboring, off-site parking spaces if needed. In fact, the existing westerly driveway serving Homewood Suites Hotel would serve as the primary access driveway to Parcels 6 and 7 to the west.

Engineering Review

The project area has been rough graded to accommodate the construction of the Archstone Oak Creek Apartments to the north. The site will still require remedial dragging in removal and recompaction of the soil to provide suitable building pad areas and vehicular access driveways. The grading of the site will require approximately 2,530 cubic yards of cut and 9,620 cubic yards of fill on the west side of Medea Creek (Parcels 3, 4 and 5), and 4,324 cubic yards of cut and 2,361 cubic yards of fill on the east side of Medea Creek (Parcels 6 and 7). A total of 7,394 cubic yards of import is proposed for the west side of Medea Creek and a total of 1,590 cubic yards of export is proposed for the east side of Medea Creek. Staff would note that earlier this year the City Engineer approved the applicant's request for an administrative stock pile permit as issued this year for the placement of 8,000 cubic yards of soil to be spread on the project site, west of Medea Creek, at a maximum 2-foot depth. This soil, which was exported from the Agoura Design Center project on Canwood Street, is intended to be used for on-site grading purposes. However, the issuance of a stock pile permit does not grant grading entitlement for this proposed development project.

A series of retaining walls exist on the project site. On the west side of Medea Creek, a 7-foot high retaining wall is located on the southwest edge of the Oak tree. Two, 6-foot high retaining walls are located along the north property, adjacent to the apartments, and extend along the west property line of Parcel 3. New retaining walls will be required for pedestrian access between the apartments and the westerly parking lot. The Building Official is requiring this access to be modified to accommodate handicap access. One new, 4-foot high retaining wall is proposed southwest of the Oak tree, between the parking lot and pedestrian walkway and three new retaining walls to accommodate the pedestrian plaza area and access stairwell, east of Building B-1 and adjacent to Medea Creek and Canwood Street. Staff recommends the new retaining walls be of decorative split-face block, or similar material, approved by the Director of Planning and Community Development.

On the east side of Medea Creek, a soil nail retaining wall is located on the north side of Parcels 6 and 7, and three retaining walls are located along the embankment of Medea Creek. New retaining walls of 3-5 feet in height are proposed to accommodate a new handicap access ramp and outdoor dining area southwest of Building C-1, and two separate water/irrigation service pads adjacent to Canwood Street.

The grading plan establishes finished floor elevations of Building A1-5 of 871 to 874 feet, which will be approximately level with the average elevation Canwood Street, in front of the building. The finish floor elevations of Buildings B-1 and B-2 will be approximately 3 and 4 feet respectively above Canwood Street. Building C-1, located on the east side of Medea Creek, is to have a finished floor elevation of 872 feet, which will be 12 feet above Canwood Street. Building C-2 will be situated 14 feet above Canwood Street.

The City Engineer is requiring the applicant to provide meandering sidewalks where feasible, which is the City's policy for new commercial and multi-family residential projects. The City Engineer will consider the topography of adjacent on-site slopes in making this determination. For this project, meandering sidewalks appear more feasible, without requiring additional retaining walls, on the west side of Medea Creek. Meandering sidewalks will serve to promote the pedestrian experience and connectivity with internal walkways and walkways along the creek. Street improvements will also include new curbs and gutters, as well as possible striping for new left-turn pockets into the project site. The City Engineer will also require his approval of Lot Line Adjustment to accommodate the proposed reconfigured parcels.

The pre-grading of the property was reviewed by the City Geotechnical Consultant and was included in the scope of work for development of the apartments to the north. The applicant's geotechnical consultant, The J. Byer Group, submitted an addendum to the original geotechnical reports prepared for the site for the specific development of this proposed project. The City Geotechnical Consultant found the report to be in general compliance with the City standards and has recommended approval of this updated report, subject to compliance with the conditions noted in the attached letter dated October 4, 2007. These conditions may be addressed prior to issuance of a Building Permit.

Environmental Review

The project involves the proposed development of retail and restaurant uses on a 5.71 acre site. The Final Environmental Impact Report (EIR) was prepared for the J.h. Snyder Company mixed use development project dated May, 2002, which include this proposed site, among contiguous other parcels. The City Environmental Analyst determined that this proposed project is generally consistent with the project analyzed in the prior EIR, and is consistent with the Commercial Retail Service zoning for the site. For this particular site, the EIR assumed two office buildings of a total of 95,000 square feet, and three restaurants of 17,000 square feet, resulting in a grand total of 112,000 square feet of building area on 8.98 acres. This area has since been developed with the Homewood Suites Hotel, with the remaining site area to the west (5.7 acres) currently being proposed for approximately 20,000 square feet of restaurant uses and 13,400 square feet of retail uses.

A Development Agreement was prepared between the original project and the City of Agoura Hills in July of 2002. The project is vested per the Development Agreement that was approved by the City Council. The EIR found two significant impacts that are unavoidable, even with the use of mitigation measures: traffic and air quality. The traffic impact was found to be significant and unavoidable until the planned Kanan Road/Highway 101 interchange and associated improvements were implemented. This work has now been accomplished. A discussion of air quality impacts, if prepared for this proposed project, would be somewhat different than the EIR based on changes in analysis since 2002 as mandated by the South Coast Regional Air Quality Board. The mitigation measures in the EIR, nonetheless, would still be required.

The City Environmental Analyst concludes that because the project has been vested by the Final EIR, and more importantly, the execution of a Development Agreement, no additional environmental analysis per the California Environmental Quality Act (CEQA) may be prepared by the City.

III. FINDINGS

The Zoning Ordinance states that in order for the Planning Commission to approve this project, the Commission must be able to make the specific findings for approval. The project as proposed and conditioned, meets the development requirements for the CRS (Commercial Retail Services) and the FC (Freeway Corridor Overlay) zones. Various retail and restaurant uses are allowed in the zones. As conditioned, the project complies with the development standards with regard to building height, lot coverage, and parking. It also complies with the General Plan in that this project facilitates the development of vacant and underutilized freeway parcels with commercial uses which capitalize on their freeway access, as called for in Policy 1.2 of the Land Use Element.

The Planning Commission may use its discretionary authority to require more than minimal Zoning Code requirements as well as other design changes to meet the original intent of this mixed use development. The Planning Commission also has the discretion to impose conditions as it may deem necessary to ensure compatibility of the uses with surrounding developments and may include, but not be limited to: requiring special yards; open spaces, buffers, fences, and walls; requiring more landscaping; regulation of vehicular access and traffic circulation; regulation of signs; regulation of hours or operation and methods of operation; control of potential nuisances; prescribing standards for maintenance of buildings and grounds; and description of development schedules and development standards. If the Planning Commission finds that the project, as conditioned, is appropriate for the site, location, topography, etc., staff will return with a Resolution of Approval and Conditions for the Planning Commission's adoption. Meanwhile, staff has prepared the attached draft list of project Conditions for the Planning Commission's consideration.

IV. RECOMMENDATION

Based on the forgoing review and analysis, it is recommended that the Planning Commission direct staff to return with the appropriate Resolution for adoption.

V. ATTACHMENTS

- Draft Conditions for Conditional Use Permit and Sign Permit
- Letter from City Geotechnical Consultant
- Reduced Photocopies of the Plans
- Vicinity Map

Case Planner: Doug Hooper, Assistant Director of Community Development



**DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT**

To: Planning Commission

From: Planning Staff

Subject: Conditional Use Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037 (Danari Oak Creek, LLC)

Date: February 21, 2008

I. BACKGROUND

On December 6, 2007, the Planning Commission held a public hearing to consider Danari Oak Creek, LLC's request for a Conditional Use Permit to construct five (5) detached buildings totaling 33,680 square feet in size for retail and restaurant use (Shops at Oak Creek) (Case No. 06-CUP-007). The applicant also requested approval of a Sign Permit for approval of the project's sign program (Case No. 06-SP-037). The project site is located on 5.7 acres on the north side of Canwood Street, east of Kanan Road and west of Clareton Drive, at 28941-29145 Canwood Street.

Upon receiving written and oral testimony from staff and the applicant, the Planning Commission continued the hearing to February 7, 2008, to allow the applicant an opportunity to submit design revisions recommend by the Planning Commission. At the request of the applicant, the Planning Commission approved a request to again continue the hearing to the February 21, 2008 Planning Commission meeting.

Staff had provided several recommendations regarding the project design for the Planning Commission to consider in their review of the project. Among the recommendations listed in the December 6, 2007 staff report were: 1) Add more trellises along the parking lot walkway between the apartments and Building A; 2) Provide landscaping in lieu of the 4 parking space island located northwest of Building A; 3) Reconfigure Building A in an "L-Shape" configuration, which would allow a more private outdoor seating courtyard for the small restaurants and break the linear mass of the building; 4) Provide more outdoor searing on the east end of Building A and on the north end of Building B-2, which would have views of the adjacent Oak tree, which is also planned to be up-lit in the evening; 5) Re-angle the driveway between Buildings A and B-1 to provide a direct view of the Oak tree as motorists enter the site; 6) Eliminate the 6 parking stalls located east of Building B-1, adjacent to Canwood Street, to provide more landscape features near the pedestrian courtyard that is adjacent to the creek; 7) Provide greater pedestrian amenities to interact

with the creek in addition to the walkways. Such amenities can include covered trellises, more benches and more enhanced railing; and 8) Incorporate a key and safe pedestrian linkage to connect the east and west sides of the creek that would provide strong interest for the pedestrians to interact with the creek.

Based on their review of the project and in addition to considering staff recommendations, the Planning Commission offered the following recommendations concerning the project design and proposed use for the applicant to consider incorporating into revised plans.

Site Plan and Landscape Plan

- The creek should be better utilized in the project design.
- Provide a strong pedestrian connection between the properties on the east and west sides of Medea Creek. Consider providing a pedestrian bridge over the creek to accomplish this connection.
- Provide a wider landscape buffer along the creek.
- Add more landscaping within the project, including the provision of more Sycamore and Oak trees.
- Provide more decorative paving within the project.
- Provide a pedestrian connection from the northwest corner of the parking lot to the adjacent sidewalk on Canwood Street.
- Canter the footprint of Building B-1.
- The footprint of Building A appears too linear and should be modified to reduce its visual mass.
- Eliminate the parking spaces adjacent to the creek.
- Consider providing subterranean parking for the project to allow for more restaurant uses.

Architectural Design

- Modify the design of Building A to reduce its linear appearance.
- Reconsider the orientation of Buildings A and B-1 to reduce their massive appearance as viewed from Canwood Street.
- Provide an alternate parking lot fixture that is more in keeping with the building architecture. The light fixtures should include LED illumination and be shielded.

Retail/Restaurant Uses

- Consider uses within Building A other than quick-serve restaurants.
- Consider providing two restaurant uses within Building C-1.

II. STAFF ANALYSIS

In an effort to address the recommendations of the Planning Commission, the applicant has submitted revised plans for the Planning Commission's review. Based on changes being proposed, the applicant is requesting direction from the Planning Commission on whether to proceed in finalizing the project design, including the submittal of revised grading plans that, to date, have not been revised since the December 6, 2007, public hearing. A list of the design changes being proposed by the applicant include the following:

1. The number of parking stalls on the west side of Medea Creek has been reduced by 21 stalls in order to increase public open space and landscaping. This was accomplished by reducing the ratio of expected restaurant seating area for the restaurants from 60% to 45% of the gross square footage. Although reconfigured, the total size of the outdoor seating area in front of Building A remains approximately the same as the previous scheme reviewed by the Planning Commission. In order to provide additional landscape area, the total number of parking spaces on the west side of the creek has been reduced to 197, which is one more than the City's minimum requirement for the proposed uses. However, the Zoning Ordinance allows for shared parking within shopping centers, which includes a reduction in the required number of parking stalls for restaurant uses that exceed 10% of the gross floor area of the shopping center. In this instance, the proposed restaurant space accounts for 60% of the gross floor area. The portions which exceed 10% of the gross floor area require one (1) parking stall per 100 square feet of floor area, instead of 15 stalls per 1,000 square feet of seating and waiting area. This calculation, based on the estimated restaurant seating area proposed by the applicant, results in an approximate surplus of 38 parking stalls within the project site.
2. Building A has been moved 3 feet further north, back from Canwood Street. The proposed building setback now ranges from a minimum of 23 feet to 37 feet from the property line. Tenant space A-1, within Building A, was moved 10 feet further north in order to reduce the building mass as viewed from Canwood Street and to provide additional separation between the patio/dining area and the parking lot to the west.
3. The pedestrian patio area on the north side of Building A has been increased by 12-28 feet, resulting in a proposed depth that ranges from 18 feet to 52 feet. This patio area is intended to incorporate seating areas, trellises, public art and extensive use of pavers in lieu of concrete walks.
4. The parking lot landscaping has been increased, particularly in the parking aisles in front of Building A. Also, one (1) parking stall has been removed from the triangular shaped landscape planter located in the parking lot, northwest of Building A.

5. Nine (9) parking stalls were removed from the northwest corner of project, west of Medea Creek. Four (4) parking stalls were moved an additional 18 feet from the creek. This allows for a landscape area of 33 feet to 44 feet in depth. This landscape area was previously proposed with a depth of approximately 12 feet. More benches were added to the pedestrian path along the creek.
6. The trash enclosure serving Building B-2 has been moved away from the creek, allowing for more landscaping between the enclosure and the creek walk.
7. The building elevations and roof plan for Building A have been changed to due to the proposed modifications on the building's footprint.
8. The trellis elements on the north side of Building A have been redesigned to allow trees to be interspersed with the trellises in the newly deepened patio area.
9. The Landscape Plan calculation has been modified to meet the parking lot tree shade requirements.
10. A new parking lot light fixture has been selected that is intended to be more in keeping with the building design (reference colored fixture specifications within the revised Lighting Fixture Schedule). The lighting plans and calculations have been revised to match the new west side of the parking lot design as well.
11. The proposed sign plans have been coordinated with the new west side layout and Building A elevation changes. As was noted in the December 6, 2007 staff report, the applicant has stated that the Sign Program provided for consideration is intended to present sign design guidelines that address size, scale, location, methods of fabrication and illumination for future commercial tenants. Since the specific tenant signs are subject to change at this time, each tenant will be required to receive the Planning Commission's approval of a Sign Permit when such specific signage is proposed.

The Planning Commission had requested staff to report back on the feasibility of the applicant providing a pedestrian bridge that could span across Medea Creek, in order to provide a key pedestrian linkage between both sides of the project. The applicant estimates a 240-foot clear span bridge over Medea Creek to cost approximately \$800,000 to construct. The City Engineer agrees with this estimate, which is based on a 163-foot pedestrian bridge in Calabasas that will cost \$712,000 to construct. Staff also agrees with the applicant who estimates that required permits from the Army Corp of Engineers and the State Fish and Game Department for construction of a bridge over Medea Creek could take up to two years to obtain. The Planning Commission has discretion on whether the requirement to construct such a bridge is appropriate for the project and whether the construction of the bridge could be deferred with a bond to allow the applicant time to obtain the necessary permits. However, staff recommends that the applicant be required to provide a key and safe

pedestrian linkage between both sides of the creek, whether it is by construction of a new bridge or another method which the applicant has not brought forth to date.

Since the applicant has not submitted a complete set of revised plans, the Planning Commission cannot take final action on the project. If the Planning Commission finds the current site plan to be acceptable (including the configuration and siting of the buildings, parking lot and landscaping), the Commission can give direction to the applicant to proceed with completing the revisions and to continue the matter for consideration of a resolution of approval at the next appropriate Planning Commission meeting. In that case, the Planning Commission may wish to consider some additional features below to help further enhance the pedestrian experience and creek orientation:

- Additional coverage of the pedestrian plaza area at Building A with trellises, including a wrap-around trellis at the west side of the building.
- The use of enhanced pavement at parking lot driveway north of Building A for traffic calming.
- Enhanced connectivity between the buildings through interior walkways so that pedestrians would not have to go onto sidewalk on Canwood Street.
- More trellises within the parking and adjacent to the creek to enhance the pedestrian experience and to reduce the visual mass of the parking lot.
- Stronger demarcation of sidewalk connections at both ends of the creek to help invite people to walk across the bridge instead of driving from one side to the other. Also, design enhancements to the existing north side of the Canwood Street bridge, such improvements to the railing or pavement surface.

Staff recommends the Planning Commission provide direction to the applicant on the latest project design and direct staff to return with the appropriate Resolution and final set of plans for adoption.

III. RECOMMENDATION

Based on the forgoing review and analysis, it is recommended that the Planning Commission direct staff to return with the appropriate Resolution and final set of plans for adoption.

IV. ATTACHMENTS

- Letter from David and Jennifer Lebowitz
- Minutes of the December 6, 2007 Planning Commission Meeting
- Reduced Photocopies of Revised Project Plans
- December 6, 2007 Staff Report



**DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT**

TO: Planning Commission

FROM: Planning Staff

**SUBJECT: Conditional Use Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037
(Danari Oak Creek, LLC)**

DATE: March 6, 2008

BACKGROUND AND DISCUSSION

On December 6, 2007, and February 21, 2008, the Planning Commission held a public hearing for Danari Oak Creek, LLC's request for a Conditional Use Permit to construct the Shops at Oak Creek project, consisting of five (5) detached buildings totaling 33,680 square feet in size for retail and restaurant use. The applicant also requested a Sign Permit for approval of the project's proposed sign program. The project site is located on 5.7 acres of vacant land on the north side of Canwood Street, east of Kanan Road, and west of Clareton Drive (28941-29145 Canwood Street).

During the February 21, 2008 public hearing, the applicant requested the Planning Commission take final action on the Conditional Use Permit and Sign Permit requests. Based on their review of the project plans as submitted, and the oral and written testimony received during the public hearings, the Planning Commission voted 3-0 to direct staff to return for adoption a draft Resolution of denial for the requests. Chair O'Meara was absent from the hearing and Commissioner Nouzille recused herself from participating in the hearing due to a conflict of interest.

A draft Resolution of denial is attached for the Commission's review and adoption. Staff would note that the decision of the Planning Commission is final unless it is appealed to the City Council.

RECOMMENDATION

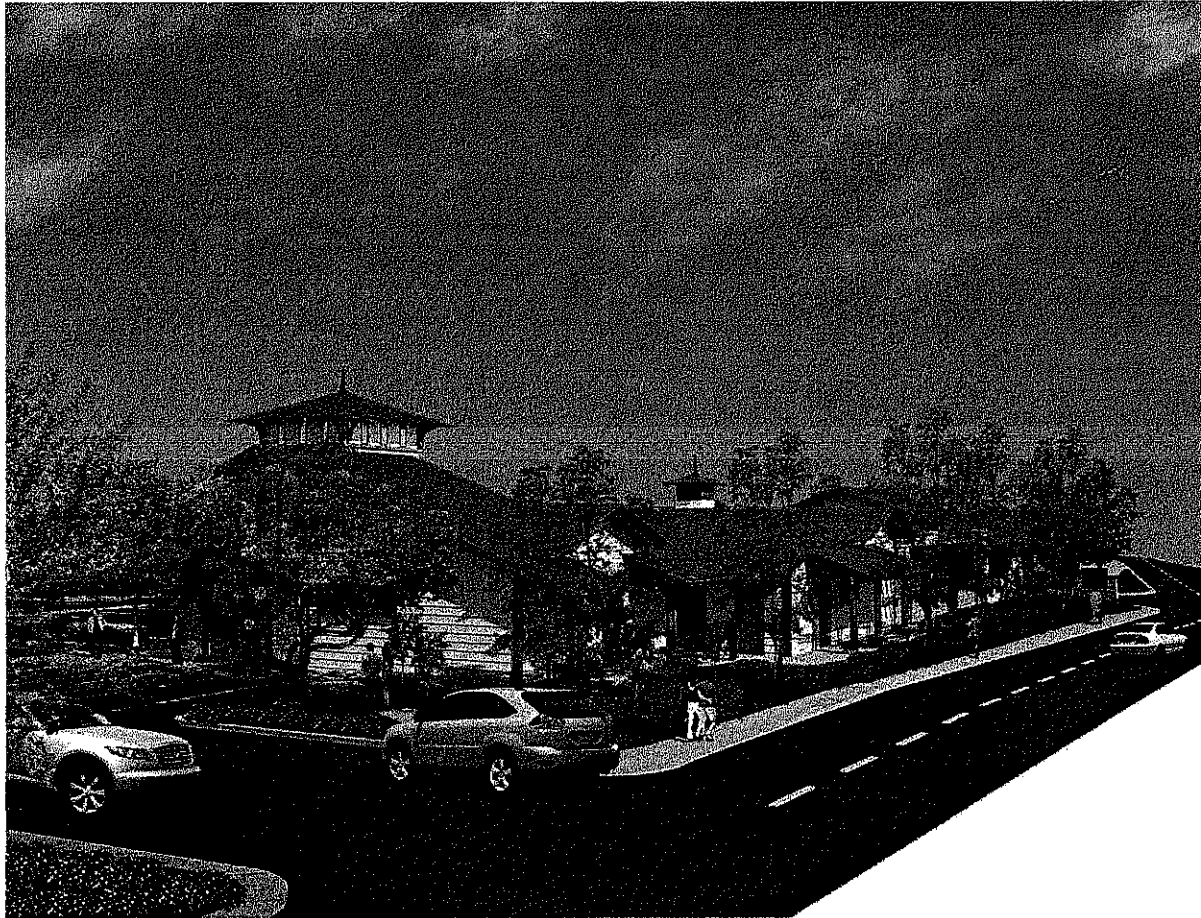
Based on direction given on February 21, 2008, staff recommends the Planning Commission adopt a motion to deny Conditional Use Permit Case No. 06-CUP-007 and Sign Permit Case No. 06-SP-037, based on the findings of the draft Resolution.

ATTACHMENT

- Draft Resolution of Denial No. 926
- Draft Minutes of the February 21, 2008 Planning Commission Meeting
- February 21, 2008 Staff Report

Attachment E

Reduced Copies of Project Plans



STREET VIEW 2

SHOPS at OAK CREEK

Owner:
Adler Realty Investments
20950 C Warner Lane
Woodland Hills, California 91367

04-09-05
Van Tilburg Banvard & Soderbergh, AIA
26058

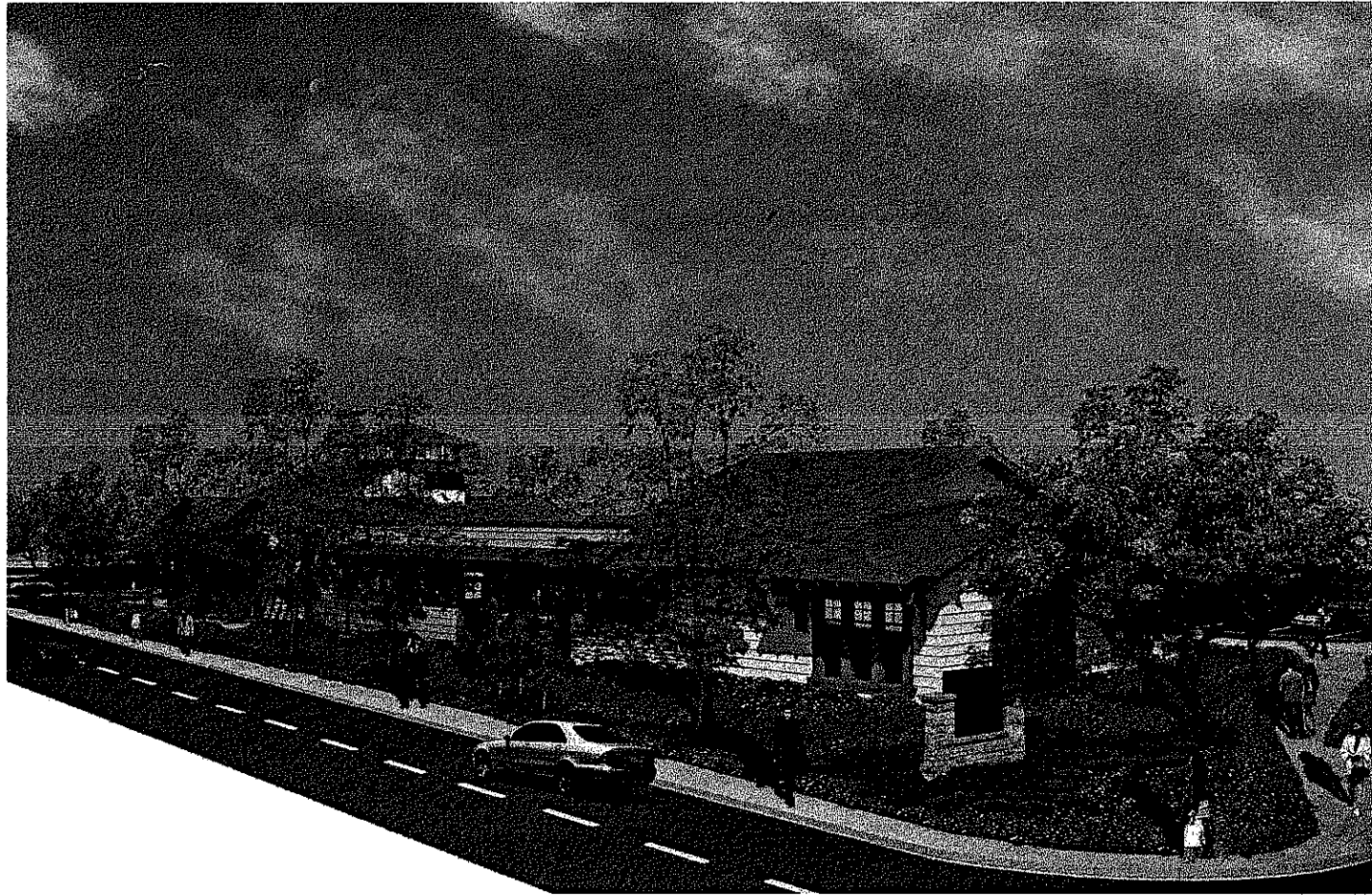


STREET VIEW 3

SHOPS at OAK CREEK

Owner:
Adler Realty Investments
20950 C Warner Lane
Woodland Hills, California 91367

04-08-05
Van Tilburg Banvard & Soderbergh, AIA
20058



STREET VIEW 4

SHOPS at OAK CREEK

Owner:
Adler Realty Investments
20950 C Warner Lane
Woodland Hills, California 91367

04-09-08
Van Tilburg Banvard & Soderbergh, AIA
28058



AERIAL

SHOPS at OAK CREEK

Owner:
Adler Realty Investments
20950 C Warner Lane
Woodland Hills, California 91367

03-13-08
Van Tilburg Banvard & Soderbergh, AIA
26068



PLAZA

SHOPS at OAK CREEK

Owner:
Adler Realty Investments
20950 C Warner Lane
Woodland Hills, California 91367

03-13-03
Van Tilburg Banvard & Soderbergh, AIA
26058



DETAIL

SHOPS at OAK CREEK

Owner:
Adler Realty Investments
20950 C Warner Lane
Woodland Hills, California 91367

03-13-04
Van Tilburg Banvard & Soderbergh, AIA
28056

PARCEL 3 (1.30 acres)

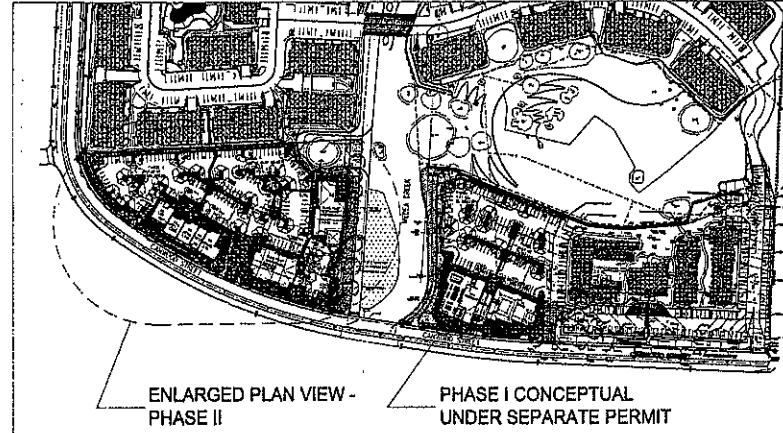
RESTAURANT @ 15' 1000 S.F. = 40 SPACES
(5909 s.f. x .45= 2569 s.f. serving area)
PATIO @ 15' 1000 S.F. = 19 SPACES
(1287 s.f. total)
RETAIL @ 4' 1000 S.F. = 8 SPACES
(1437 s.f. total)

PARKING REQUIRED BY CITY = 65 SPACES
PARKING PROVIDED = 65 SPACES

NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.



OAK CREEK OVERALL SITE PLAN
SCALE = 1" = 100'



PARCEL 4 (0.69 acres)

RETAIL @ 4' 1000 S.F. = 24 SPACES
(6000 s.f. total)
TOTAL SPACES FOR PARCEL 4 = 24 SPACES

PARCEL 5 (1.87 acres)

RESTAURANT @ 15' 1000 S.F. = 68 SPACES
(6835 s.f. x .68 = 4511 s.f. serving area)
PATIO @ 15' 1000 S.F. = 16 SPACES
(958 s.f. total)
TOTAL SPACES FOR PARCEL 5 = 83 SPACES

PARKING REQUIRED BY CITY = 107 SPACES
PARKING PROVIDED = 108 SPACES

NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.

ARCHITECTURAL SHEET INDEX
A1.0 SITE PLANS
A5.1 BUILDING A PLANS & DETAILS
A5.2 BUILDING B-1 PLANS & DETAILS
A5.3 BUILDING B-2 PLANS & DETAILS
A6.1 BUILDING A ELEVATIONS
A6.2 BUILDING B-1 ELEVATIONS
A6.3 BUILDING B-2 ELEVATIONS

VAN METER, BARWARD & SODERBERG, AIA
ARCHITECTS - PLANNERS - INTERIORS

1010 PLYMOUTH BLVD, SUITE 200
DALLAS, TEXAS 75201
PHONE: 214.823.8800
FAX: 214.823.8801
WWW: VMSO.COM

SHOPS at OAK CREEK
Greater Dallas City of Opium Hills, TX 75241

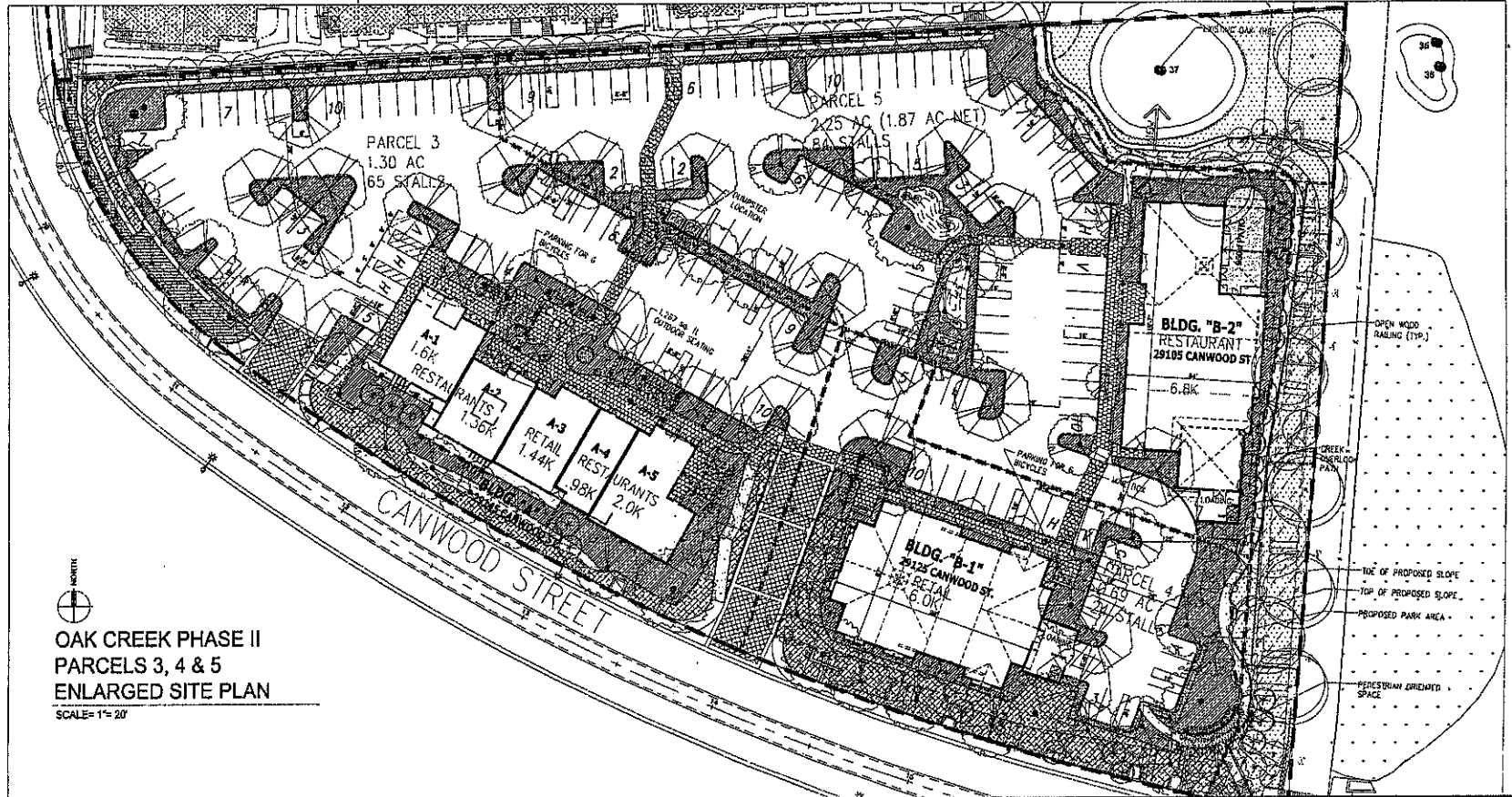
OWNER:
A ADLER
Adler Properties, Inc.
2959 C Wilmore Center Lane, Woodland Hills, CA 91367

SITE PLAN

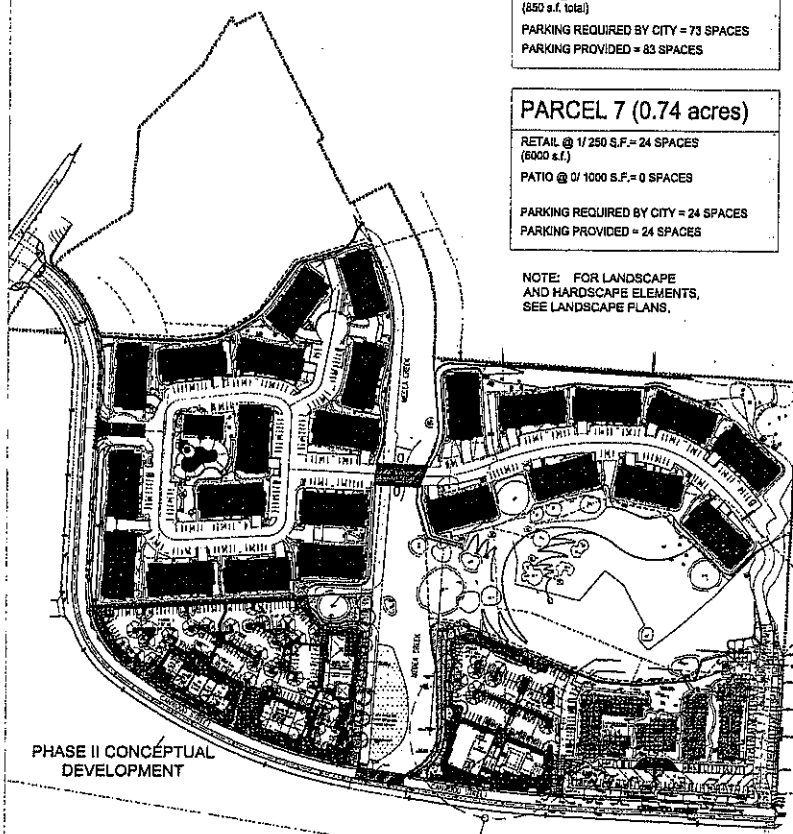
PHASE II
PARCELS 3, 4 & 5
BUILDINGS A & B

DATE	DATE	DESCRIPTION

PROJECT	DATE	DRAWN	BY	BY



OAK CREEK PHASE II
PARCELS 3, 4 & 5
ENLARGED SITE PLAN
SCALE = 1" = 20'



PHASE II CONCEPTUAL DEVELOPMENT

PARCEL 6 (1.42 acres)
 RESTAURANT @ 15/ 1000 S.F. = 60 SPACES
 (4000 s.f. actual serving area)
 PATIO @ 15/ 1000 S.F. = 13 SPACES
 (850 s.f. total)
 PARKING REQUIRED BY CITY = 73 SPACES
 PARKING PROVIDED = 83 SPACES

PARCEL 7 (0.74 acres)
 RETAIL @ 1/ 250 S.F. = 24 SPACES
 (6000 s.f.)
 PATIO @ 0/ 1000 S.F. = 0 SPACES
 PARKING REQUIRED BY CITY = 24 SPACES
 PARKING PROVIDED = 24 SPACES

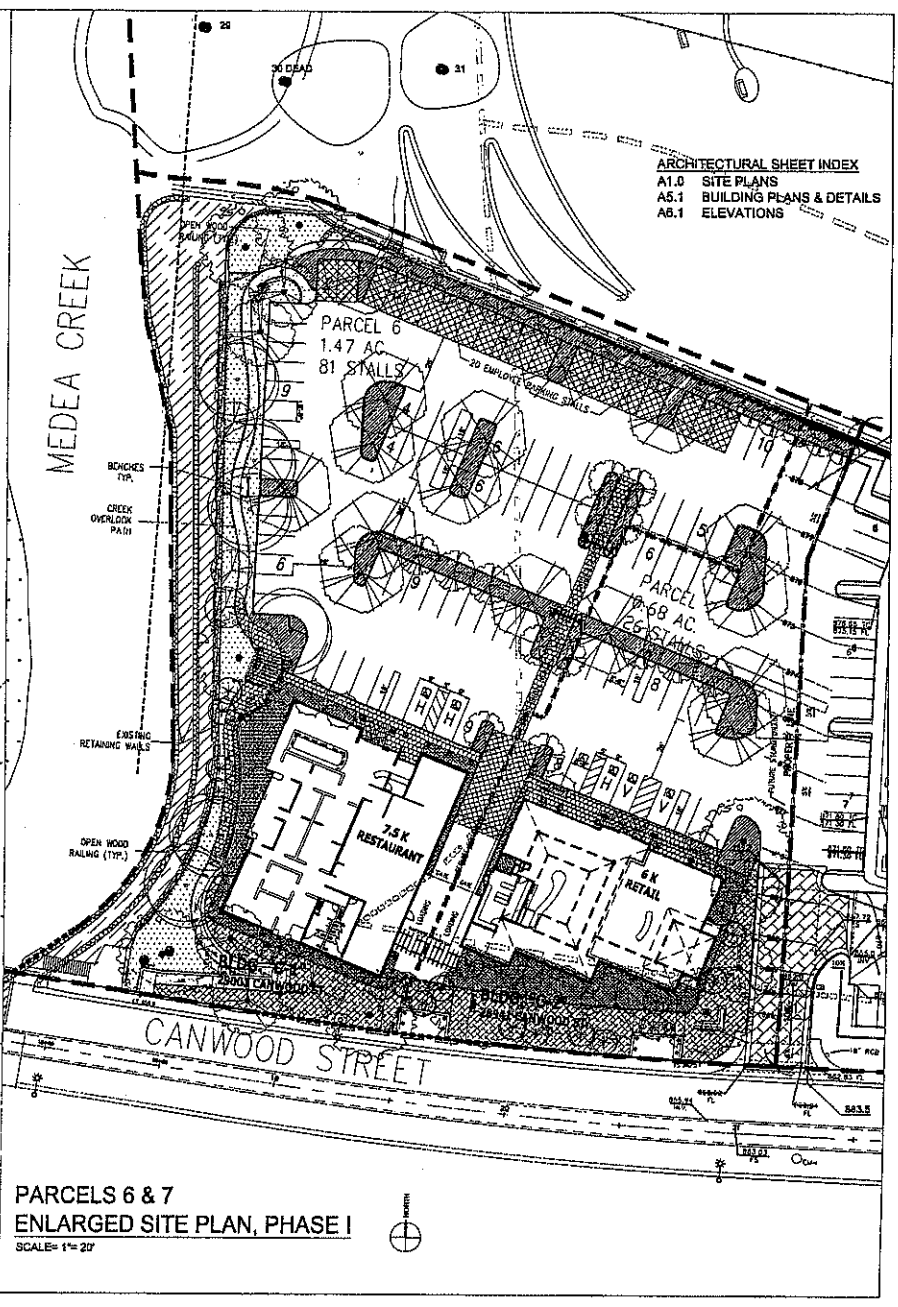
NOTE: FOR LANDSCAPE AND HARDSCAPE ELEMENTS, SEE LANDSCAPE PLANS.

ENLARGED PLAN VIEW - PHASE I

OVERALL SITE PLAN
 SCALE = 1" = 100'



PARCELS 6 & 7
 ENLARGED SITE PLAN, PHASE I
 SCALE = 1" = 20'



ARCHITECTURAL SHEET INDEX
 A1.0 SITE PLANS
 A5.1 BUILDING PLANS & DETAILS
 A6.1 ELEVATIONS

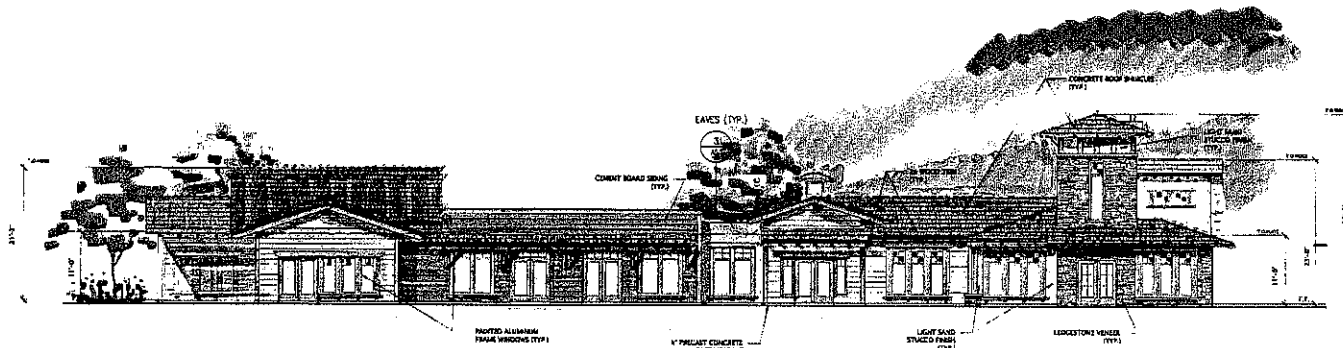
SHOPS at OAK CREEK
 COMMERCIAL CENTER, 2005 CENTER LANE, WOODBRIDGE, VA 22191

OWNER:
ADLER
 2005 Center Lane, Woodbridge, VA 22191

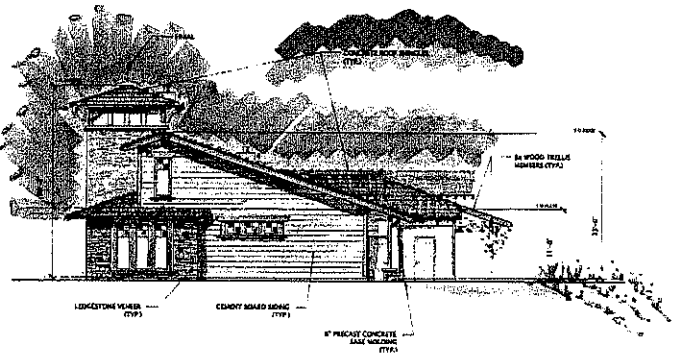
SITE PLAN
 PHASE I
 PARCELS 6 & 7
 BUILDINGS C1 & C2

NO.	DATE	DESCRIPTION

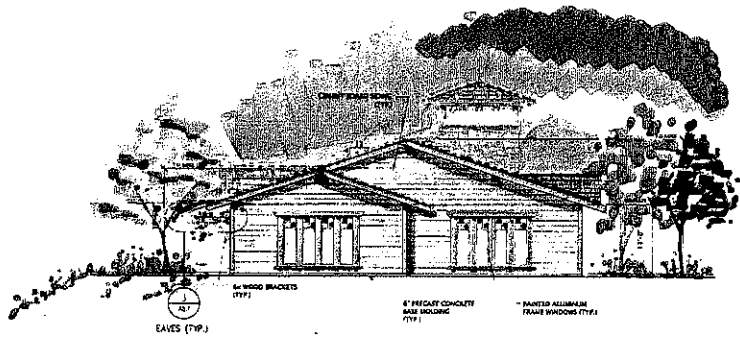
PROJECT	DATE	DATE	DATE



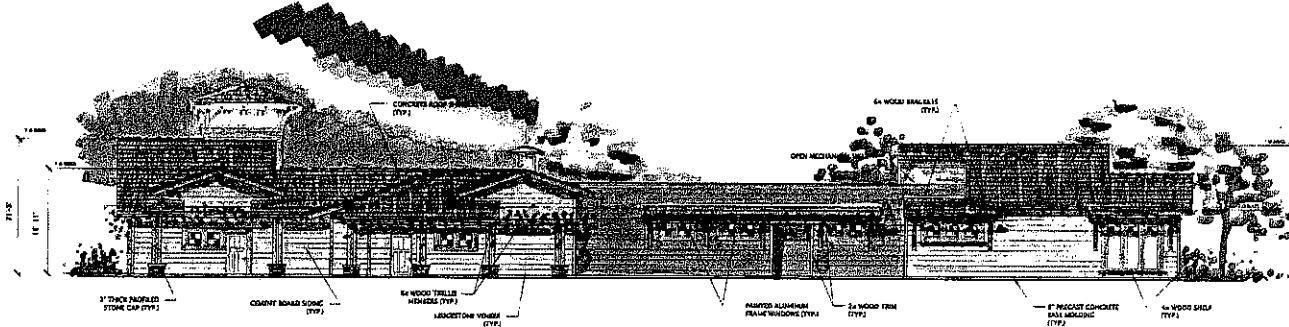
NORTH ELEVATION (ENTRY SIDE) SCALE 1/8" = 1'-0"



EAST ELEVATION (UNIT A5) SCALE 1/8" = 1'-0"



WEST ELEVATION (UNIT A1) SCALE 1/8" = 1'-0"



SOUTH ELEVATION (CANWOOD SIDE) SCALE 1/8" = 1'-0"

VAN TILBURG, BAWARD & SODERBERG, AIA
ARCHITECTS
1101 S. W. AVENUE, SUITE 200
DENVER, CO 80202 (303) 733-7000
FAX: (303) 733-7001
WWW.VAN-TILBURG.COM

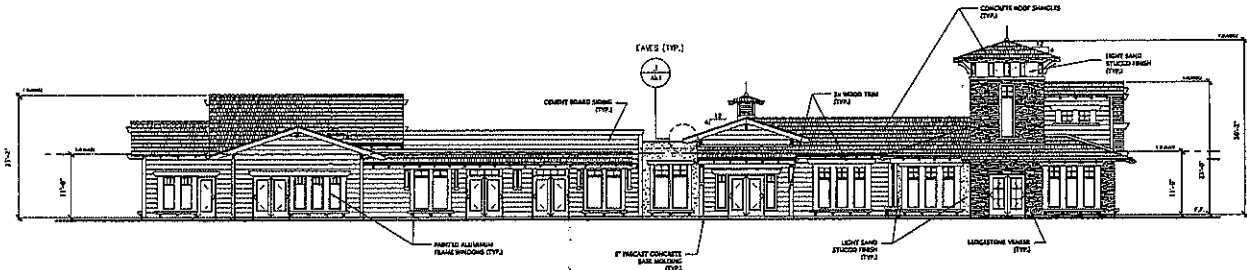
SHOPS at OAK CREEK
Columbian Street, City of Aspen, CO, 81601

OWNER:
ADLER
SOUTH-BRANDENBURG, INC.
20850 C Warner Center Lane, Woodland Hills, CA 91367

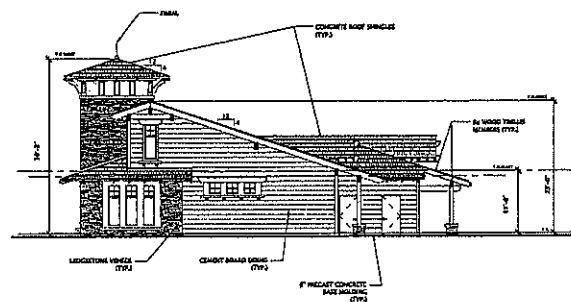
ELEVATIONS
PHASE II
PARCEL 3
BUILDING A

NO.	DATE	DESCRIPTION

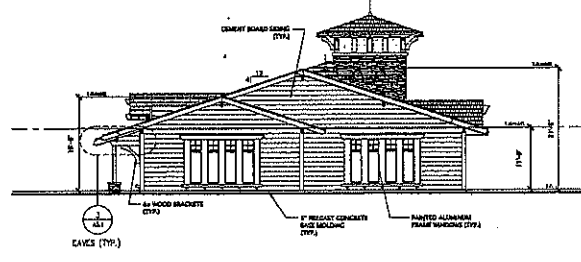
PROJECT:	2004	DATE:	6/29/05
DESIGN:	VTS	CHECK:	



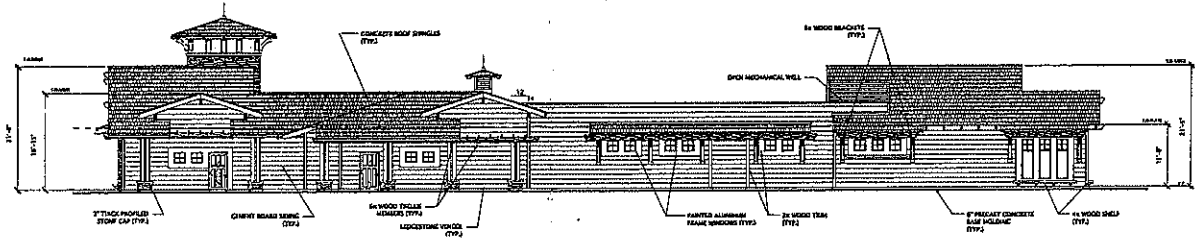
NORTH ELEVATION (ENTRY SIDE) SCALE: 1/8"=1'-0"



EAST ELEVATION (UNIT A5) SCALE: 1/8"=1'-0"



WEST ELEVATION (UNIT A1) SCALE: 1/8"=1'-0"



SOUTH ELEVATION (CANWOOD SIDE) SCALE: 1/8"=1'-0"

VAN TILBURG, BARWARD & SOBERBERCH, AIA
 ARCHITECTS - PLANNERS - INTERIORS
 3011 15th Street, Suite 100, San Francisco, CA 94103
 415.774.1111

SHOPS at OAK CREEK
 PROJECT NO. 2009-001
 OWNER:

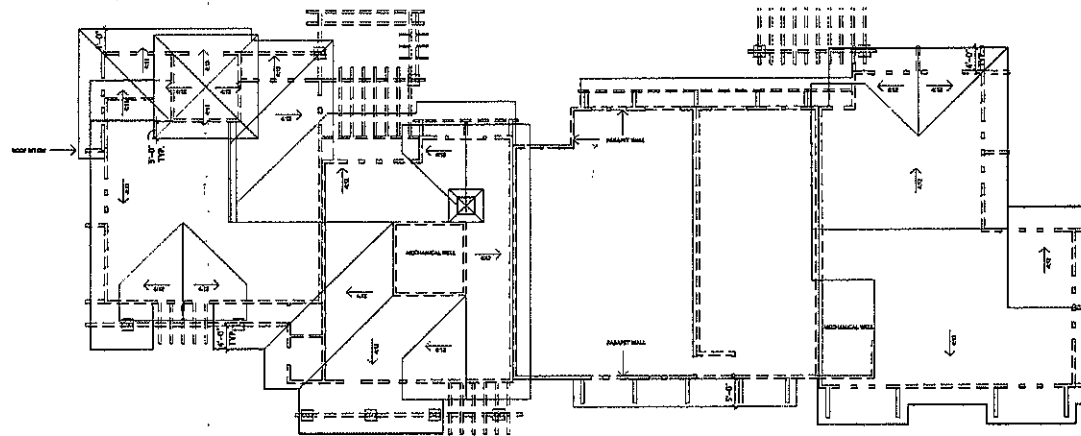
ADLER
 CONSTRUCTION, INC. OF OREGON, 1001 1/2 N. GASTRICH, GASTRICH, OH 43025
 20099 C Warner Center Lane, Woodland Hills, CA 91367

ELEVATIONS
 PHASE II
 PARCEL 3
 BUILDING A

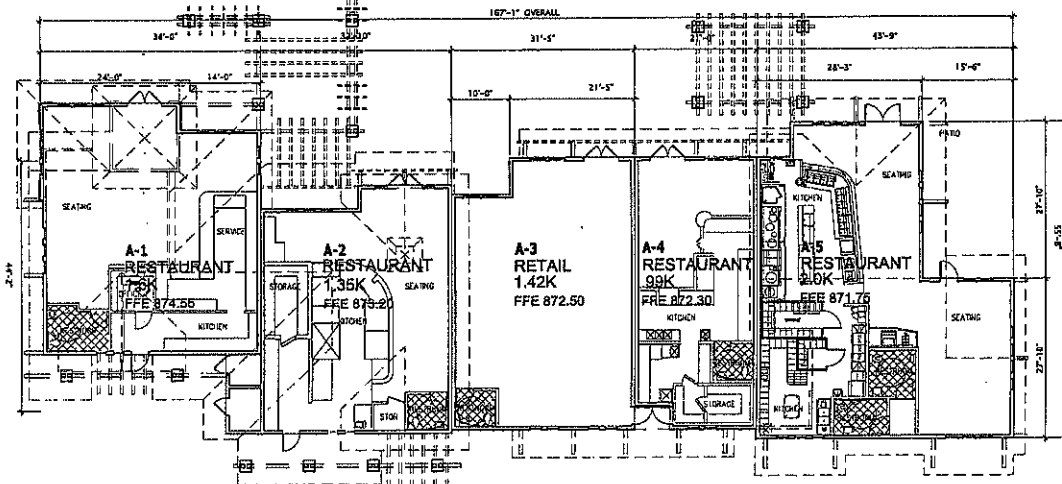
REV.	DATE	DESCRIPTION

PREPARED BY: JMB DATE: 02/11/09
 DRAWING NO.: A-6.1

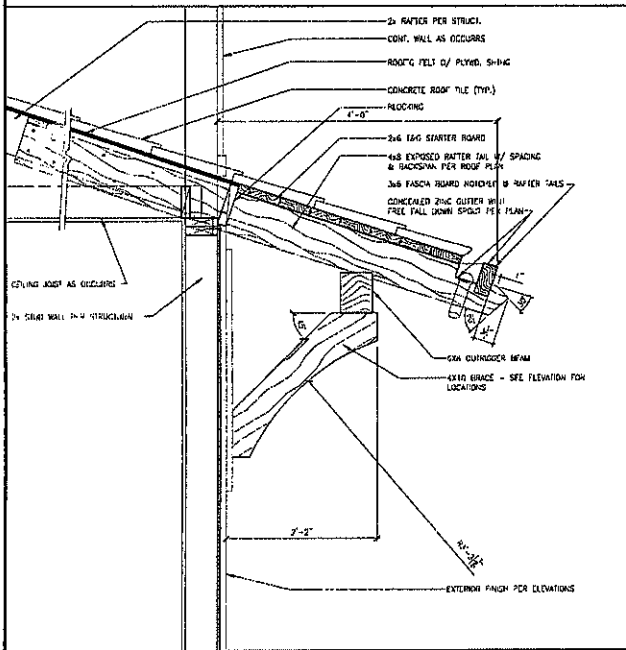
A-6.1



① ROOF PLAN



② GROUND FLOOR PLAN
(7,345 SQ. FT. RETAIL)



TIMBER BRACED EAVE DETAIL

SCALE: 1/4" = 1'-0" ③

ADLER
ARCHITECTS
1001 W. 10TH STREET
TULSA, OKLAHOMA 74107
TEL: (918) 441-1111
FAX: (918) 441-1112
WWW.ADLERARCHITECTS.COM

VAN TULBURG, BUNYARD & SODERSBERGH, AIA
ARCHITECTS • PLANNERS • INTERIORS

SHOPS at OAK CREEK
General Store, City of Norman, OK, USA

Owner:
ADLER
Early Development, Inc.
28800 C Highway Center Lane, Woodland Hills, CA 91367

BLDG. PLANS
PHASE II
PARCEL 3
BUILDING A

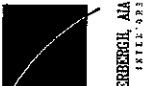
REV.	DATE	DESCRIPTION

PROJECT: SHOP
DATE: 02/11/08
DRAWN BY: CLOUTY

A-5.1

OAK CREEK BUILDING PLAN A
SCALE = 1" = 8'





VAN TILBURG, BARVARD & SODERBERGH, AIA
1811 JEFFERSON STREET
NASHVILLE, TN 37212
615.259.1811

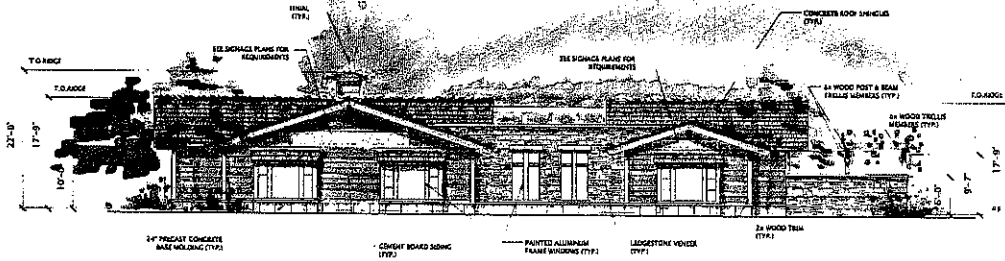
OWNER:
ADLER ARCHITECTS, INC.
21721 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

SHOPS at OAK CREEK
Conwood State, City of Appaloosa, CA 91301

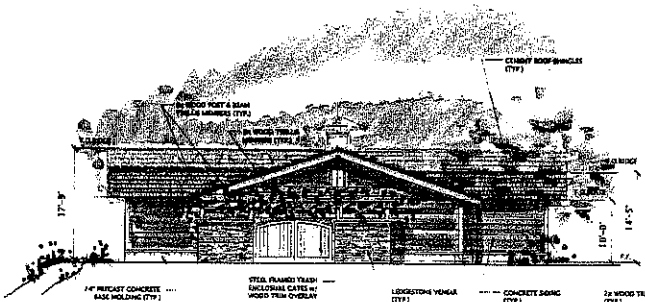
OWNER:
ADLER ARCHITECTS, INC.
21721 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

ELEVATIONS

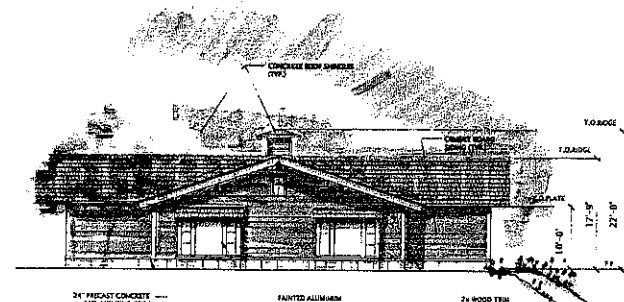
**PHASE II
PARCEL 4
BUILDING B-1**



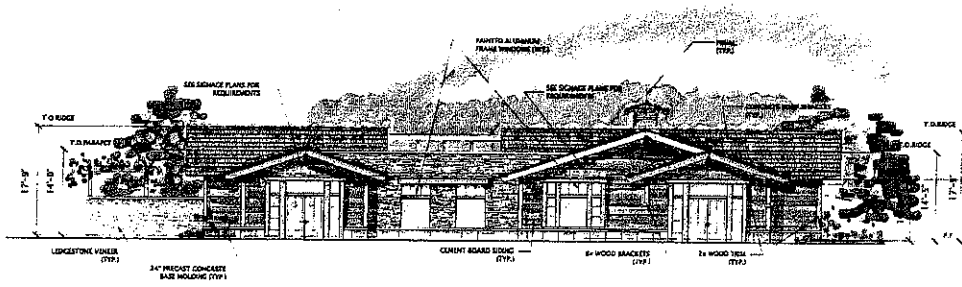
SOUTH ELEVATION (CANWOOD SIDE) SCALE 1/8"=1'-0" 1



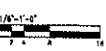
EAST ELEVATION SCALE 1/8"=1'-0" 3



WEST ELEVATION SCALE 1/8"=1'-0" 2



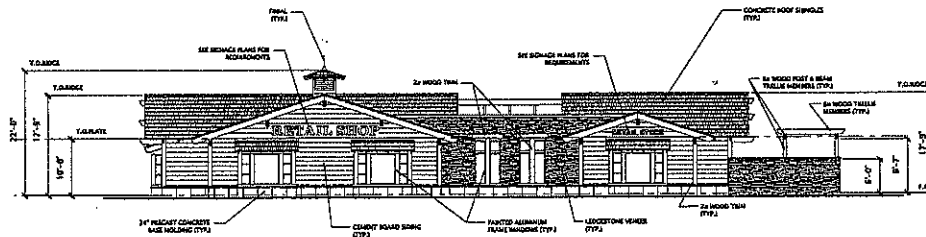
NORTH ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0" 4



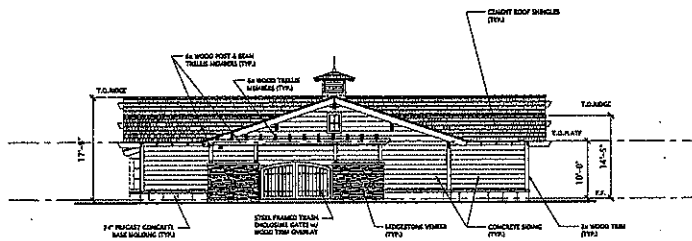
DATE	DESCRIPTION

PROJECT: 2008	DATE: 03/20/09
DRAWN: GJK	CHECKED:

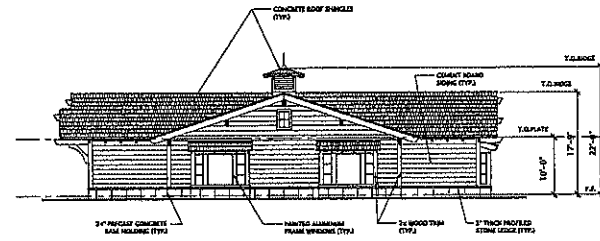
A-6.2



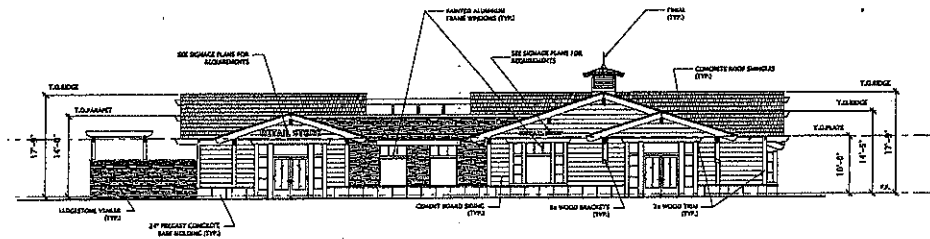
SOUTH ELEVATION (CANWOOD SIDE) SCALE 1/8"=1'-0" 1




EAST ELEVATION SCALE 1/8"=1'-0" 3



WEST ELEVATION SCALE 1/8"=1'-0" 2



NORTH ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0" 4



 CONSULTING ARCHITECTS

 1122 W. 5TH STREET

 PASADENA, CA 91104

 TEL: 626-795-2333

 FAX: 626-795-2334

 WWW: www.van-tilburg.com

SHOPS at OAK CREEK

Canwood Street, City of Agoura Hills, CA 91301

ADLER

Architectural Firm, Inc.

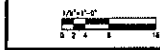
 20950 C. Wilshire Center Lane, Woodland Hills, CA 91367

ELEVATIONS

 PHASE II

 PARCEL 4

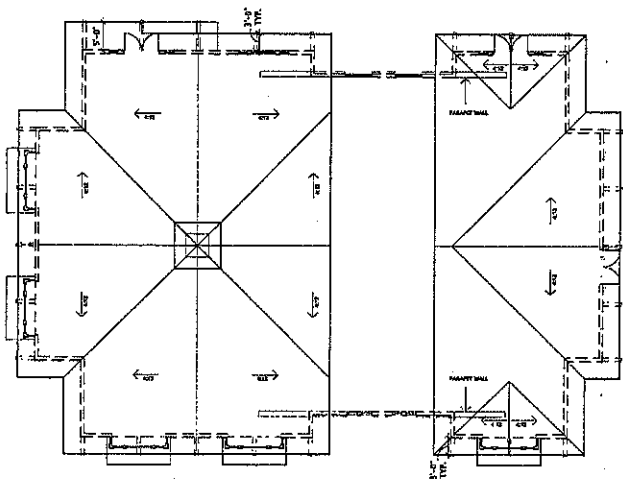
 BUILDING B-1



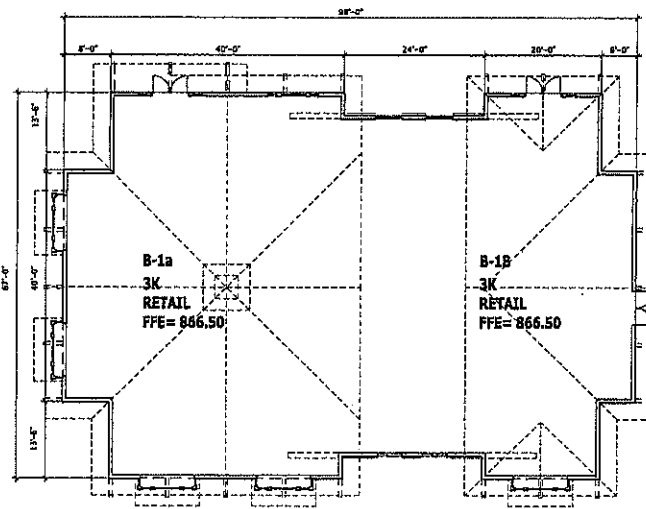
NO.	DATE	DESCRIPTION

PROJECT: 2204 DATE: 09/11/08
 DRAWING NO.: 0202

A-6.2



ROOF PLAN

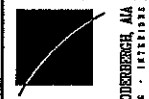


GROUND FLOOR PLAN
(6,000 SQ. FT. RETAIL)



OAK CREEK BUILDING PLAN B

SCALE= 1"= 8'



ARCHITECT: JAMES J. ADLER
 1500 W. 17TH AVENUE
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1111
 WWW.ADLERARCHITECT.COM

MANUFACTURER: BARNARD & SODERBERG, LLC
 11511 E. 17TH AVENUE
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1111
 WWW.BARNARDANDSODERBERG.COM

BLDG. PLANS

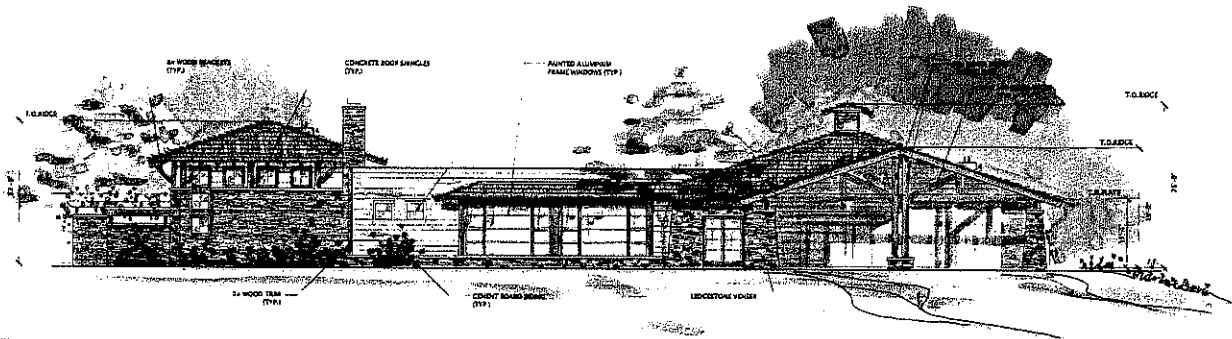
PHASE II
 PARCELS 4 & 5
 BUILDING B-1

ADLER ARCHITECTURE, INC.
 20500 C-Winter Center Lane, Woodland Hills, CA 91367

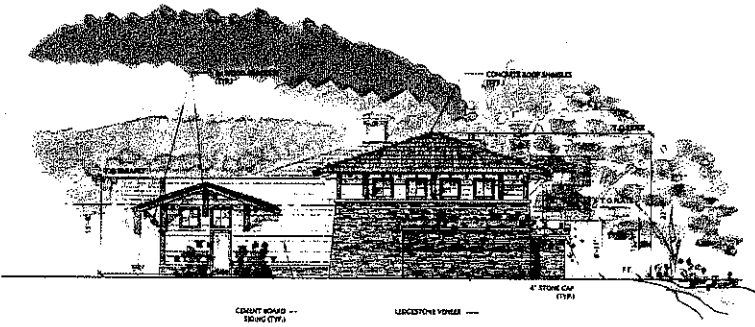
SHOPS at OAK CREEK
 Commercial Street, City of Aspen, CO, USA

DATE	DATE	DESCRIPTION

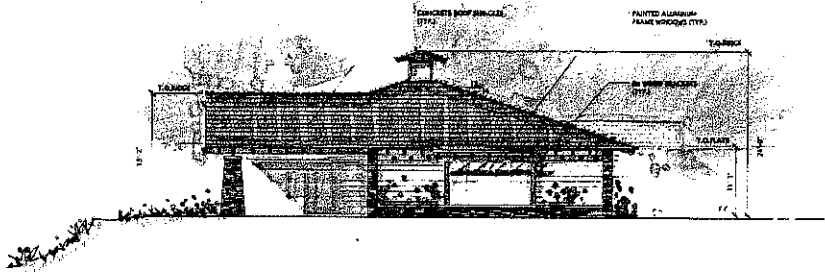
PROJECT: 2004 DATE: 02/15/04
 DRAWING NO.: 2-001B



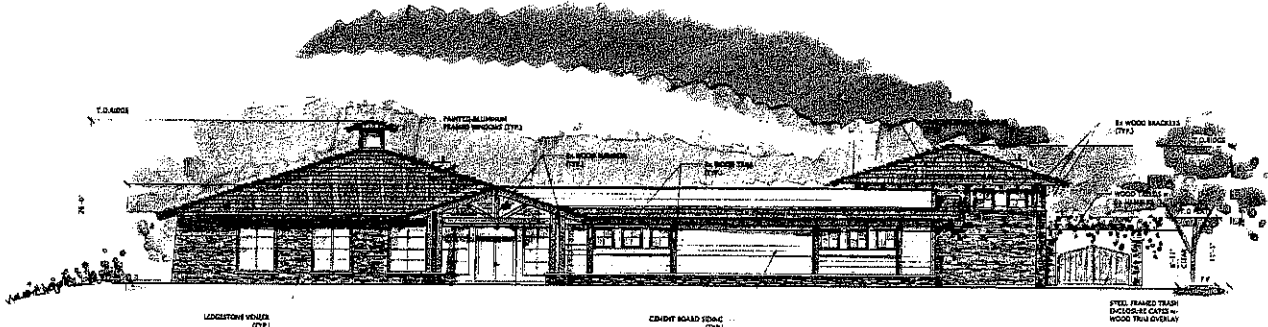
EAST ELEVATION (CREEK SIDE) SCALE 1/8"=1'-0" 1




SOUTH ELEVATION SCALE 1/8"=1'-0" 3



NORTH ELEVATION (OAK TREE SIDE) SCALE 1/8"=1'-0" 2



WEST ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0" 4


 VAN TILBURG, BANVARD & SODERBERGH, AIA
 1155 TOWERS DRIVE, SUITE 100
 WOODLAND HILLS, CA 91364
 TEL: 818.709.1100
 FAX: 818.709.1101
 WWW: www.vtsa.com

SHOPS at OAK CREEK
 Commercial Street, City of Agoura Hills, CA 91301

OWNER:
ADLER
 21731 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

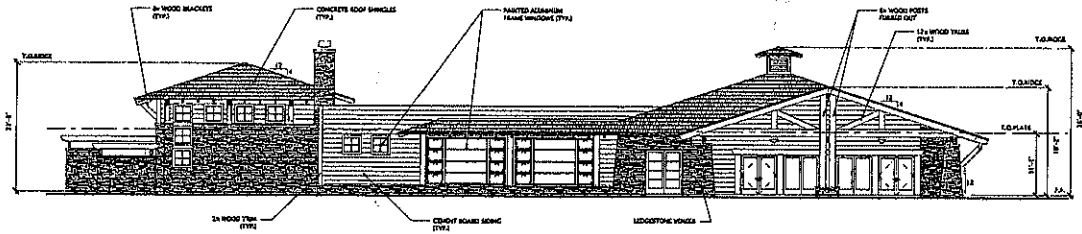
ELEVATIONS

PHASE II
 PARCEL 5
 BUILDING B-2

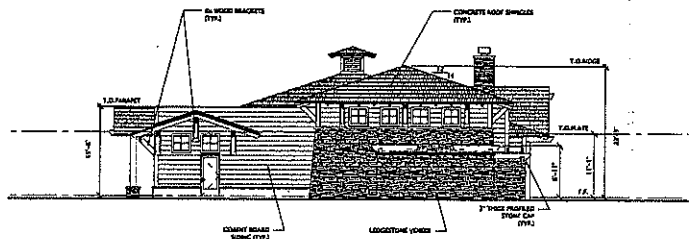


TASK	DATE	DESCRIPTION

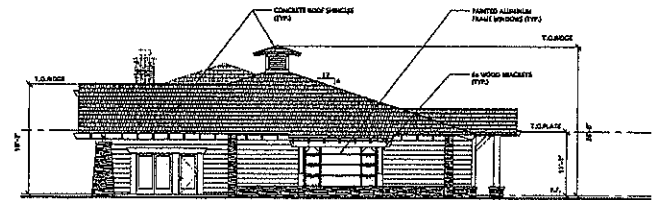
PROJECT: 2004
 SHEET: 28/70/02
 DESIGN: HSB
 DRAWN: [Name]
 CHECKED: [Name]



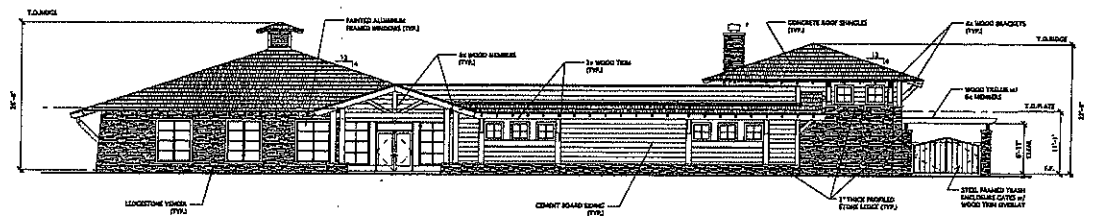
EAST ELEVATION (CREEK SIDE) SCALE 1/8"=1'-0"



SOUTH ELEVATION SCALE 1/8"=1'-0"



NORTH ELEVATION (OAK TREE SIDE) SCALE 1/8"=1'-0"



WEST ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0"



VAN TULBURG, HANWARD & SODZBERGHE, AIA
ARCHITECTS • PLANNERS • INTERIORS

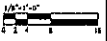
SHOPS at OAK CREEK
Crescent Street, City of Napa, CA 94559



ADLER
30000 S. Warner Center Lane, Woodland Hills, CA 91367

ELEVATIONS

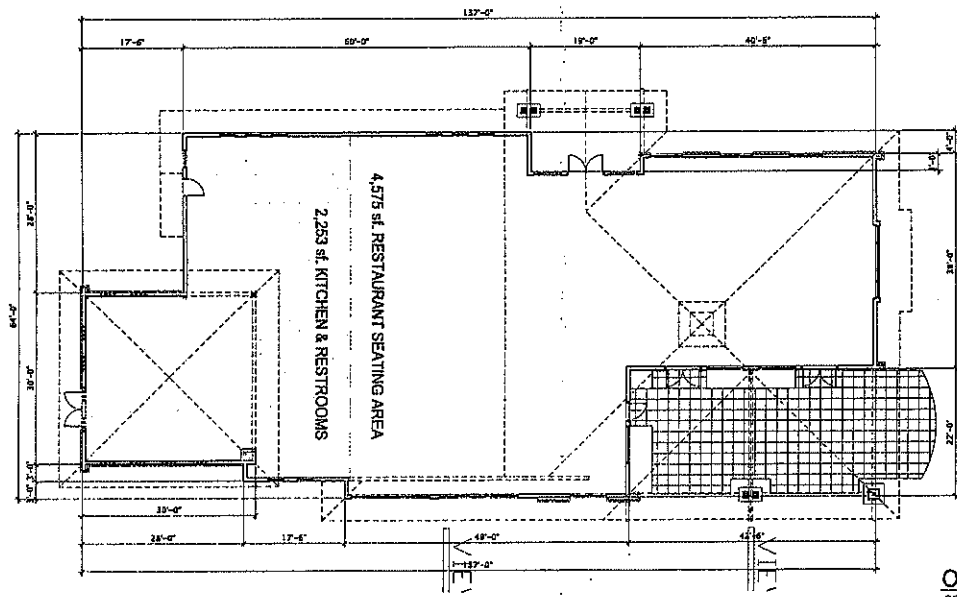
PHASE II
PARCEL 5
BUILDING B-2



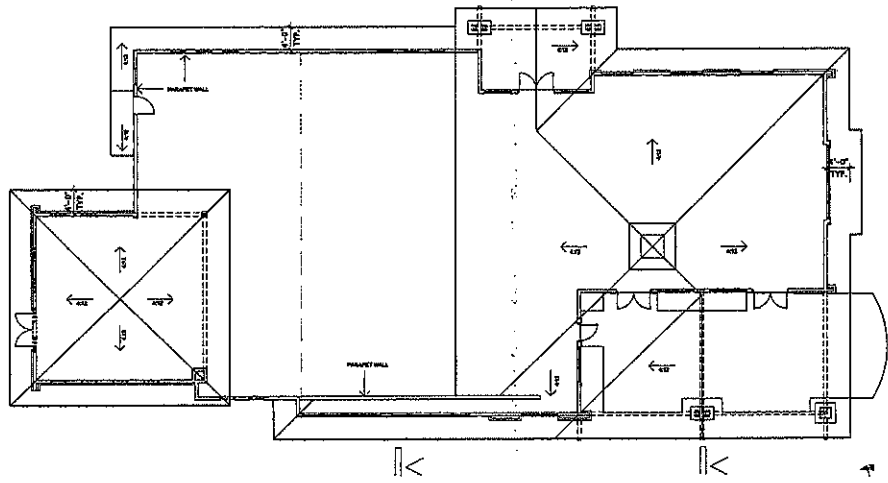
DATE	BY	DESCRIPTION

PROJECT: 2006 DATE: 01/10/06
DRAWN BY: CHECKED:

A-6.3



GROUND FLOOR PLAN
(6,828 SQ. FT. RETAIL)



ROOF PLAN

OAK CREEK BUILDING PLANS - BUILDING B-2

SCALE: 1/8" = 1'-0"



INTERIOR DESIGN
OFFICE: 4010 W. WASHINGTON
SUITE 100
DENVER, CO 80202

ARCHITECTURE
OFFICE: 4010 W. WASHINGTON
SUITE 100
DENVER, CO 80202

INTERIORS
OFFICE: 4010 W. WASHINGTON
SUITE 100
DENVER, CO 80202

VAN TILBURG, BARNARD & SODERBERG, AIA
ARCHITECTS • PLANNERS • INTERIORS

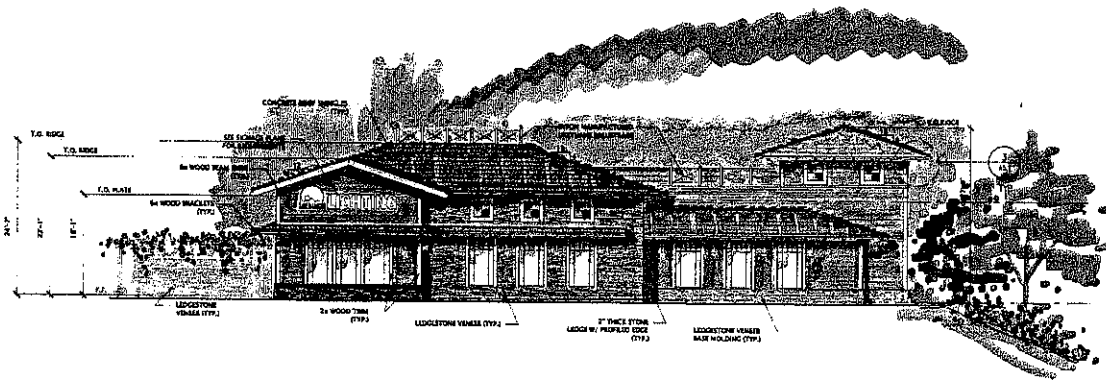
SHOPS at OAK CREEK
COMMERCIAL, CITY OF AUSTIN, TX, USA

OWNER:
ADLER
ADLER DEVELOPMENT, INC.
20550 C Winmar Center Lane, Woodland Hills, CA 91367

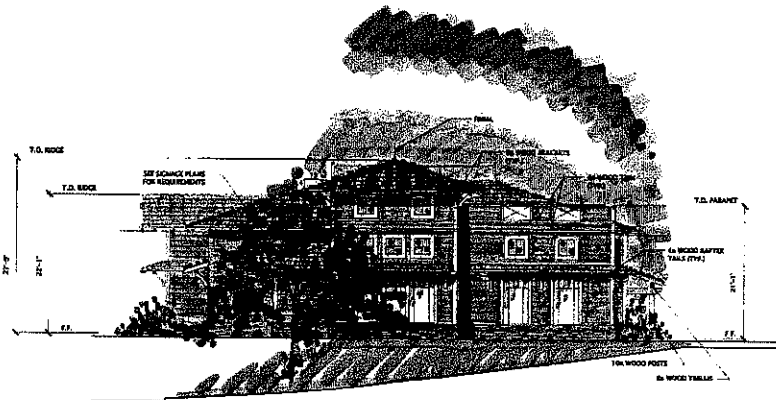
BLDG. PLANS
PHASE II
PARCELS 4 & 5
BUILDING B-2

DATE	SCALE	DESCRIPTION

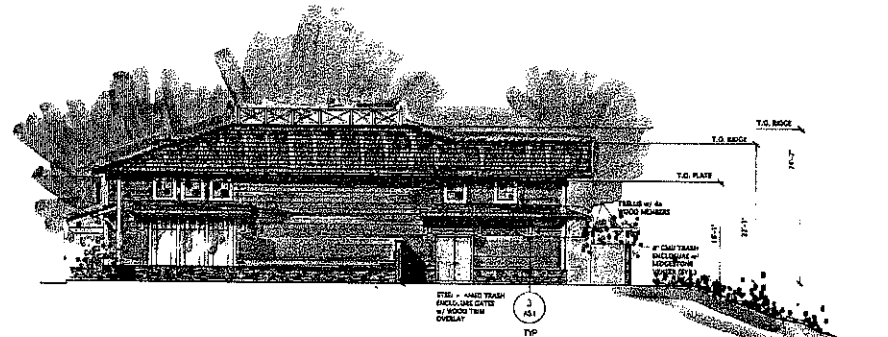
A-5.3



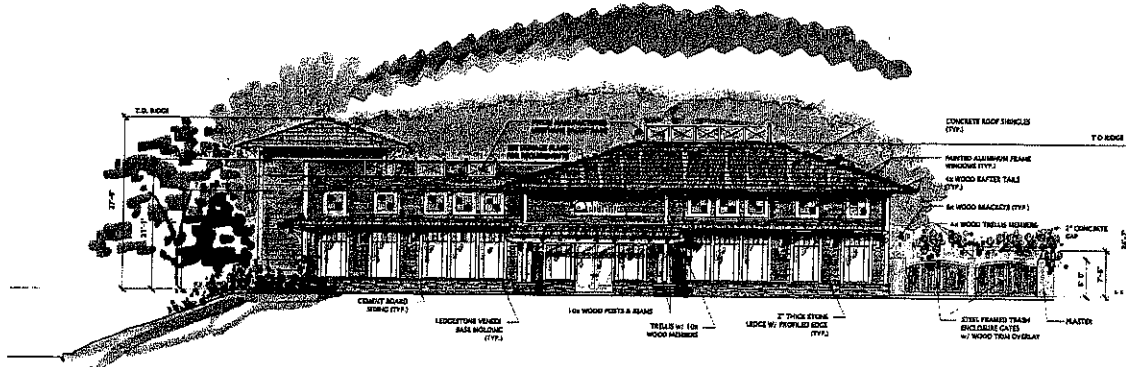
SOUTH ELEVATION (CANWOOD SIDE) SCALE 1/8"=1'-0" 1



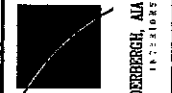
EAST ELEVATION SCALE 1/8"=1'-0" 3



WEST ELEVATION SCALE 1/8"=1'-0" 2



NORTH ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0" 4



VAN TILBURG, BANVARD & SODERBERGH, AIA
 ARCHITECTS
 2121 Venture Boulevard, Suite 300, Woodland Hills, CA 91364
 TEL: (818) 705-1111 FAX: (818) 705-1112

SHOPS at OAK CREEK
 General Design, City of Woodland Hills, CA 91367

ADLER
 ARCHITECTS
 2121 Venture Boulevard, Suite 300, Woodland Hills, CA 91364

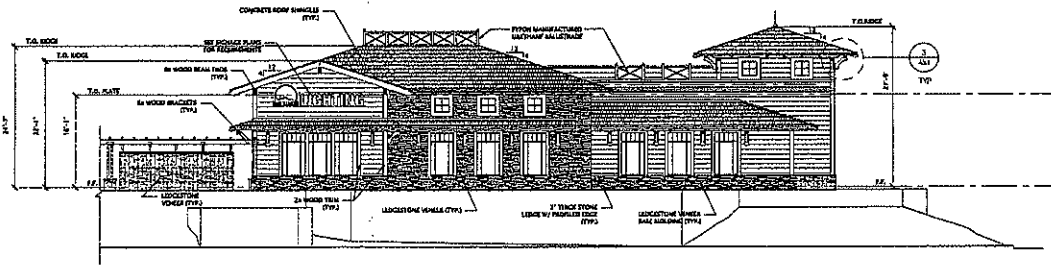
ELEVATIONS

**PHASE I
 PARCEL 7
 BUILDING C2**

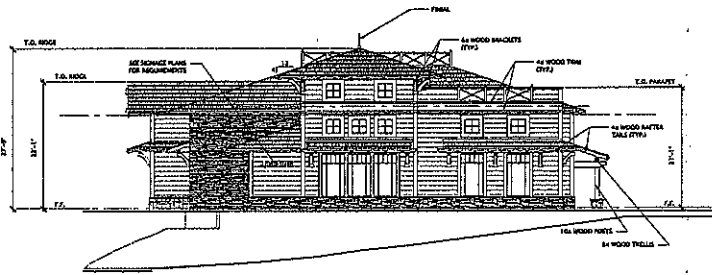
1/8"=1'-0"

NO.	DATE	DESCRIPTION

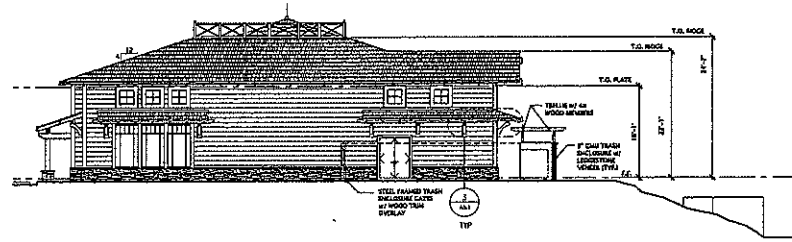
PROJECT	TEAM	SITE	DATE
SHOPS at OAK CREEK			06/12/20
DRAWN	DATE	SCALE	OVERS



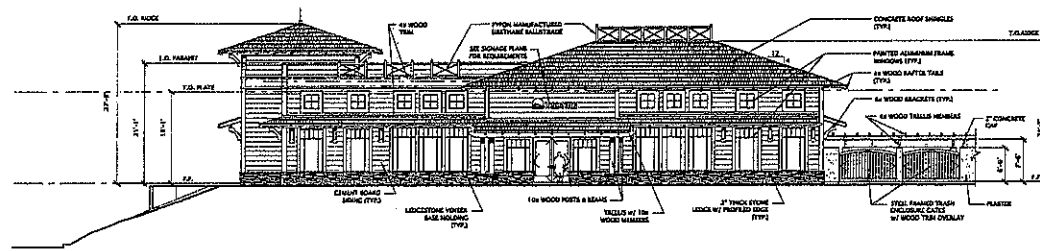
SOUTH ELEVATION (CANWOOD SIDE) SCALE 1/8"=1'-0"



EAST ELEVATION SCALE 1/8"=1'-0"



WEST ELEVATION SCALE 1/8"=1'-0"



NORTH ELEVATION (ENTRY SIDE) SCALE 1/8"=1'-0"



REGISTERED ARCHITECTS
 1000 17TH AVENUE, SUITE 100
 DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112
 WWW: www.van-telbore.com

VAN TELBORE, BANVARD & SODERBERGH, AIA
 ARCHITECTURE • PLANNING • INTERIORS

SHOPS at OAK CREEK
 Cornerwood Street, City of Aurora, CO, 80011

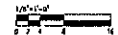
OWNER:
ADLER
 20250 C. Warner Center Lane, Woodland Hills, CA 91367

ELEVATIONS

PHASE I

PARCEL 7

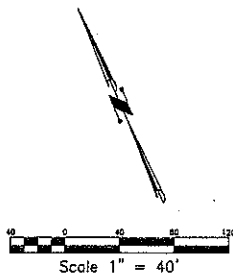
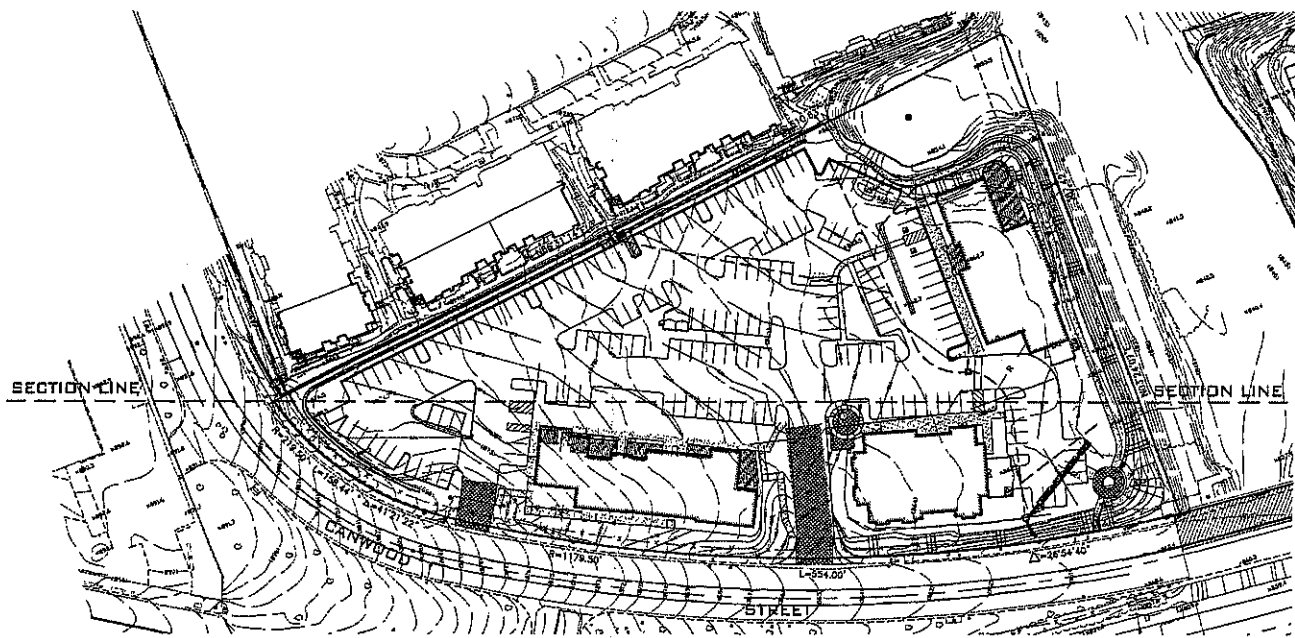
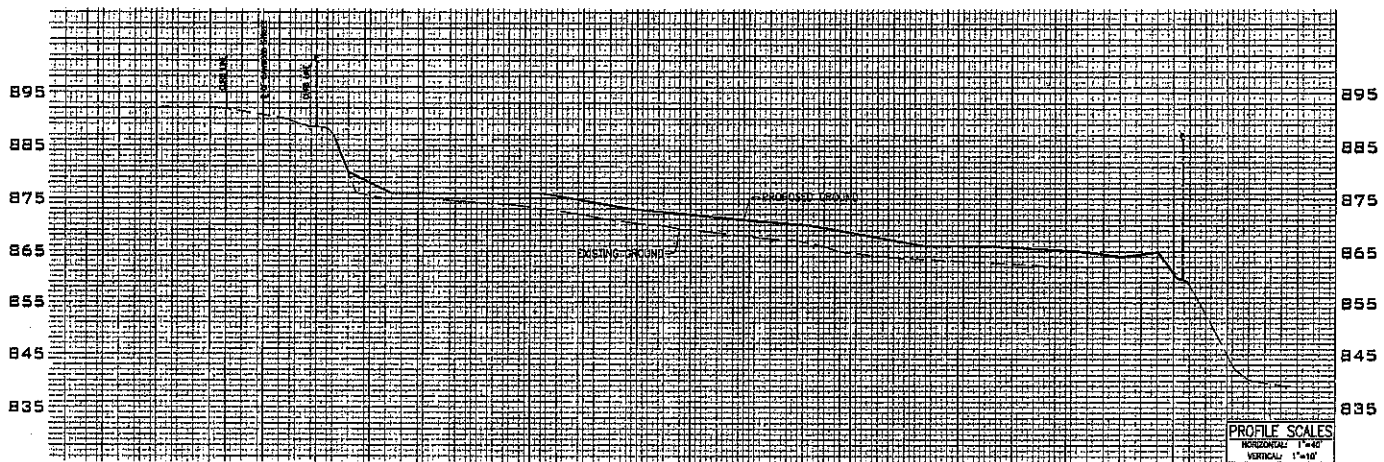
BUILDING C2



NO.	DATE	REVISION

PROJECT: 2004 DATE: 02/11/08
 DRAWING NO: 03002

A-6.1



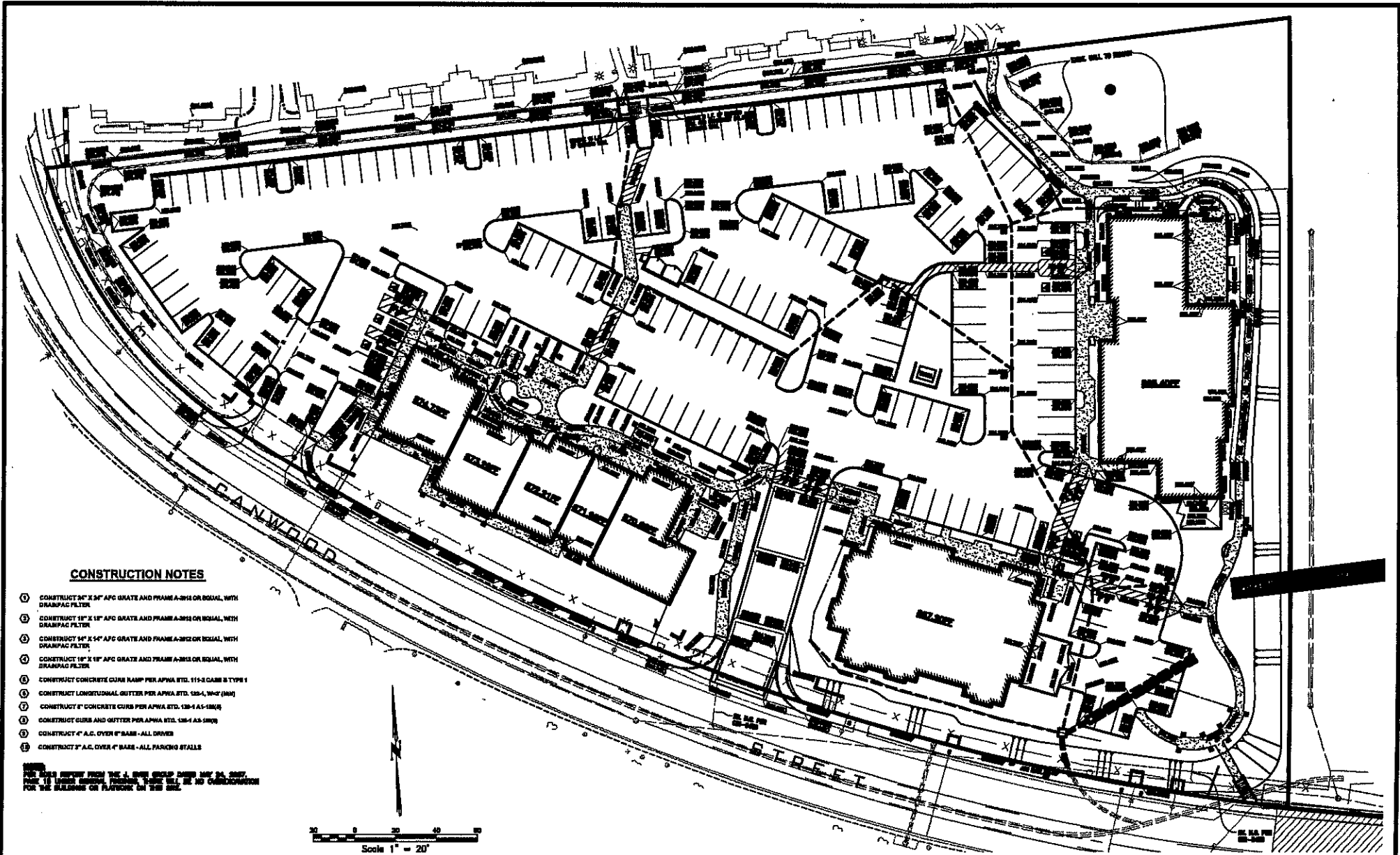
DATE	REVISIONS

PREPARED BY:
WESTON ENGINEERING, INC.
 LAND PLANNING, ENGINEERING, AND SURVEYING
 6333 TOPANGA CANYON BLVD., SUITE 303
 WOODLAND HILLS, CA 91367
 818-324-8844 VOICEMAIL 818-324-8846 FAX
 EMAIL: weston@weston.com

PREPARED FOR:
ADLER REALTY
 31731 VENTURA BLVD., SUITE 300
 WOODLAND HILLS, CA 91364

PROJECT:
LINE OF SITE SECTION
 FOR D.U.P. SUBMITTAL - CANYON ST.
 EAST AND WEST SIDE OF MCDONALD CREEK

M.G. 05-399
 SCALE: 1"=40'
 DATE: 02-11-08
 SHEET 1 OF 1



CONSTRUCTION NOTES

- ① CONSTRUCT 24" X 24" AFG GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER
- ② CONSTRUCT 18" X 18" AFG GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER
- ③ CONSTRUCT 14" X 14" AFG GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER
- ④ CONSTRUCT 16" X 16" AFG GRATE AND FRAME A-2015 OR EQUAL, WITH DRAIN/PAC FILTER
- ⑤ CONSTRUCT CONCRETE CURB RAMP PER APWA STD. 115-2 CAME B TYPE 1
- ⑥ CONSTRUCT LONGITUDINAL GUTTER PER APWA STD. 125-4, W-2 (24")
- ⑦ CONSTRUCT 6" CONCRETE CURB PER APWA STD. 130-4 A1-180/R
- ⑧ CONSTRUCT CURB AND GUTTER PER APWA STD. 130-4 A3-180/R
- ⑨ CONSTRUCT 4" A.C. OVER 6" BARS - ALL DRIVES
- ⑩ CONSTRUCT 2" A.C. OVER 4" BARS - ALL PARKING STALLS

SEE SHEET 101 FOR THE 1" SCALE GRADING PLAN AND 24" SCALE PLAN FOR THE LARGER GRADING. THERE WILL BE NO CONSTRUCTION FOR THE BUILDING OR PAVING ON THIS SHEET.



REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

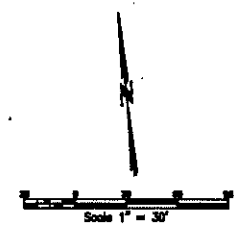
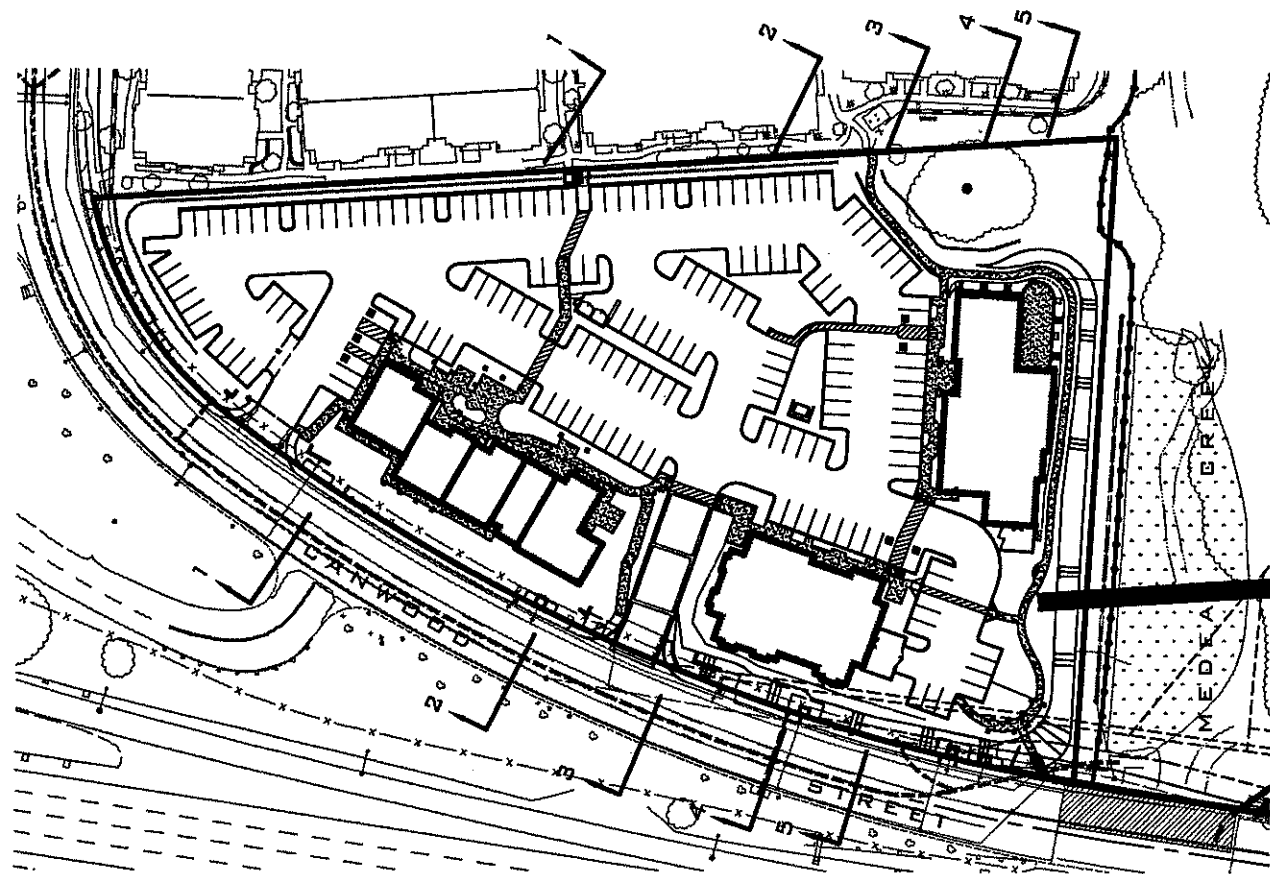
PREPARED BY:
 WESTCOIN ENGINEERING, INC.
 10000 W. 10th Street, Suite 100
 Denver, Colorado 80231
 Phone: 303.755.1100
 Fax: 303.755.1101
 Email: westco@westcoinc.com

CITY OF AGOURA HILLS APPROVAL

DATE: 10/15/2010



CONCEPTUAL GRADING PLAN
 FOR C.U.P. SUBMITTAL
 CANWOOD ST. - WEST SIDE OF MEDEA CREEK
 SHEET 2 OF 3




WESTCON ENGINEERING, INC.
 LAND PLANNING, ARCHITECTURE, LAND SURVEYING
 10011 WOODLAND HILLS BLVD. SUITE 200
 WOODLAND HILLS, CA 91367
 TEL: 818/706-1100 FAX: 818/706-1101
 EMAIL: info@westcon.com

PREPARED FOR:
ADLER REALTY
 31751 VENTURA BLVD. SUITE 200
 WOODLAND HILLS, CA 91364

PROJECT:
LINE OF SITE SECTIONS
 FOR U.S.P. SUBMITTAL - DANWOOD ST.
 WEST SIDE OF MEDA CREEK

DATE: 04-20-00
 SCALE: 1"=30'
 SHEET: 04-20-00
 SHEET 1 OF 2

DATUM 1007
652.00
DATE: 04/11/2007
SECTION 1

DATUM 1007
655.00
DATE: 04/11/2007
SECTION 2

DATUM 1007
657.00
DATE: 04/11/2007
SECTION 3

DATUM 1007
649.00
DATE: 04/11/2007
SECTION 4

DATUM 1007
649.00
DATE: 04/11/2007
SECTION 5

 WESTCON ENGINEERING, INC.
LAND PLANNING, ARCHITECTURE, LAND SURVEYING
14511 TORANCA CANYON BLVD., SUITE 110
WOODLAND HILLS, CA 91367
P: 818.340.1000 F: 818.340.1001
WWW.WESTCONENGINEERING.COM

FOR
ADLER REALTY
21731 VENTURA BLVD. SUITE 300
WOODLAND HILLS, CA 91364

LINE OF SITE SECTIONS
FOR C.U.P. SUBMITTAL - DANWOOD ST.
WEST SIDE OF MEDICA CREEK

SA 05-20
SHEET 1-07
DATE 04-25-07
WESTCON

JOB ADDRESS:

ADDRESS HERE
 STREET NAME OF TOWN OR CITY
 COUNTY NAME, STATE

ACCESSOR PARCEL NO. S:

200-01-00, 200-01-00
 200-01-00, 200-01-00

BENCH MARK:

MARK BENCH MARK NO. 1 OR 2 OR 3 OR 4 OR 5 OR 6 OR 7 OR 8 OR 9 OR 10 OR 11 OR 12 OR 13 OR 14 OR 15 OR 16 OR 17 OR 18 OR 19 OR 20 OR 21 OR 22 OR 23 OR 24 OR 25 OR 26 OR 27 OR 28 OR 29 OR 30 OR 31 OR 32 OR 33 OR 34 OR 35 OR 36 OR 37 OR 38 OR 39 OR 40 OR 41 OR 42 OR 43 OR 44 OR 45 OR 46 OR 47 OR 48 OR 49 OR 50 OR 51 OR 52 OR 53 OR 54 OR 55 OR 56 OR 57 OR 58 OR 59 OR 60 OR 61 OR 62 OR 63 OR 64 OR 65 OR 66 OR 67 OR 68 OR 69 OR 70 OR 71 OR 72 OR 73 OR 74 OR 75 OR 76 OR 77 OR 78 OR 79 OR 80 OR 81 OR 82 OR 83 OR 84 OR 85 OR 86 OR 87 OR 88 OR 89 OR 90 OR 91 OR 92 OR 93 OR 94 OR 95 OR 96 OR 97 OR 98 OR 99 OR 100

TOPOGRAPHY NOTE:

TOPOGRAPHY SHOWN HEREON WAS OBTAINED AND ANALYZED BY
 DATE

BOUNDARY NOTE:

BOUNDARY SHOWN HEREON WAS OBTAINED BY
 DATE

NOTE:

SEE SHEET FOR ADDITIONAL NOTES AND
 DATE

- 1-1 SEE SHEET FOR ADDITIONAL NOTES
- 2-1 SEE SHEET FOR ADDITIONAL NOTES
- 3-1 SEE SHEET FOR ADDITIONAL NOTES
- 4-1 SEE SHEET FOR ADDITIONAL NOTES
- 5-1 SEE SHEET FOR ADDITIONAL NOTES

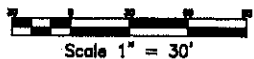
EROSION CONTROL NOTES:

1. A GRID-ON CHART FOR EROSION CONTROL SHALL BE AVAILABLE AT ALL TIMES DURING THE EARLY PERIOD. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY BARRIERS OR TO SUPPLY ANY DAMAGED EROSION CONTROL MEASURES WHEN SUCH IS NECESSARY. THE SOILS LABORATORY PROJECT NUMBER IS (018) 804-0000 AND THE CONTACT PERSON IS MICHAEL J. JONES.
2. DITCHES SHALL NOT BE EXCAVATED OR RECEIVED WITHOUT THE CIVIL ENGINEER'S PERMISSION AND APPROVAL BY THE CITY BUILDING OFFICE.
3. AFTER A DITCHING, ALL SILT AND MUDS SHALL BE REMOVED FROM DITCH SIDES AND CHECK DAMS WHICH SHALL BE REPAIRED AND/OR REPAIRED AS NECESSARY.
4. A BARRIERS SHALL BE POSTED ON THE SIDE THROUGHOUT THE DITCH DURING TWO FEET.
5. ALL DRAINAGE DITCHES WHICH SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE PUMP HAS BEEN OPERATING DURING FOURTY PERCENT.
6. OPERATING PLANTERS SHALL BE INSTALLED, FULLY OPERATIONAL AND SUFFICIENTLY COVERED BEFORE BEING APPROVED.
7. ALL LOOSE SOILS AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON DITCHING OPERATIONS AND PERIODICALLY THROUGHOUT AS DIRECTED BY THE INSPECTOR.
8. WHERE OR STORM TRUNKS THAT ARE CUT THROUGH DRAIN DITCH OR OTHER SILENT DITCHES SHALL BE FLAGGED WITH DANGER DASH FROM THE TOP OF PIPE TO THE TOP OF DASH.
9. ALL UNLAWY TRUNKS SHALL BE PROTECTED TO PREVENT DAMAGE WHEN ANY CHANGE DAMAGE OR BECOME A HAZARD ON THE PUBLIC RIGHT-OF-WAY OR DOMESTIC FRAME PROPERTY.
10. ANY ALTERNATIVE CONTROL MEASURES MUST BE APPROVED BY THE CITY BUILDING OFFICE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRAFFIC FROM BEING OBSTRUCTED WHEN CONSTRUCTING A TEMPORARY CONTROL.



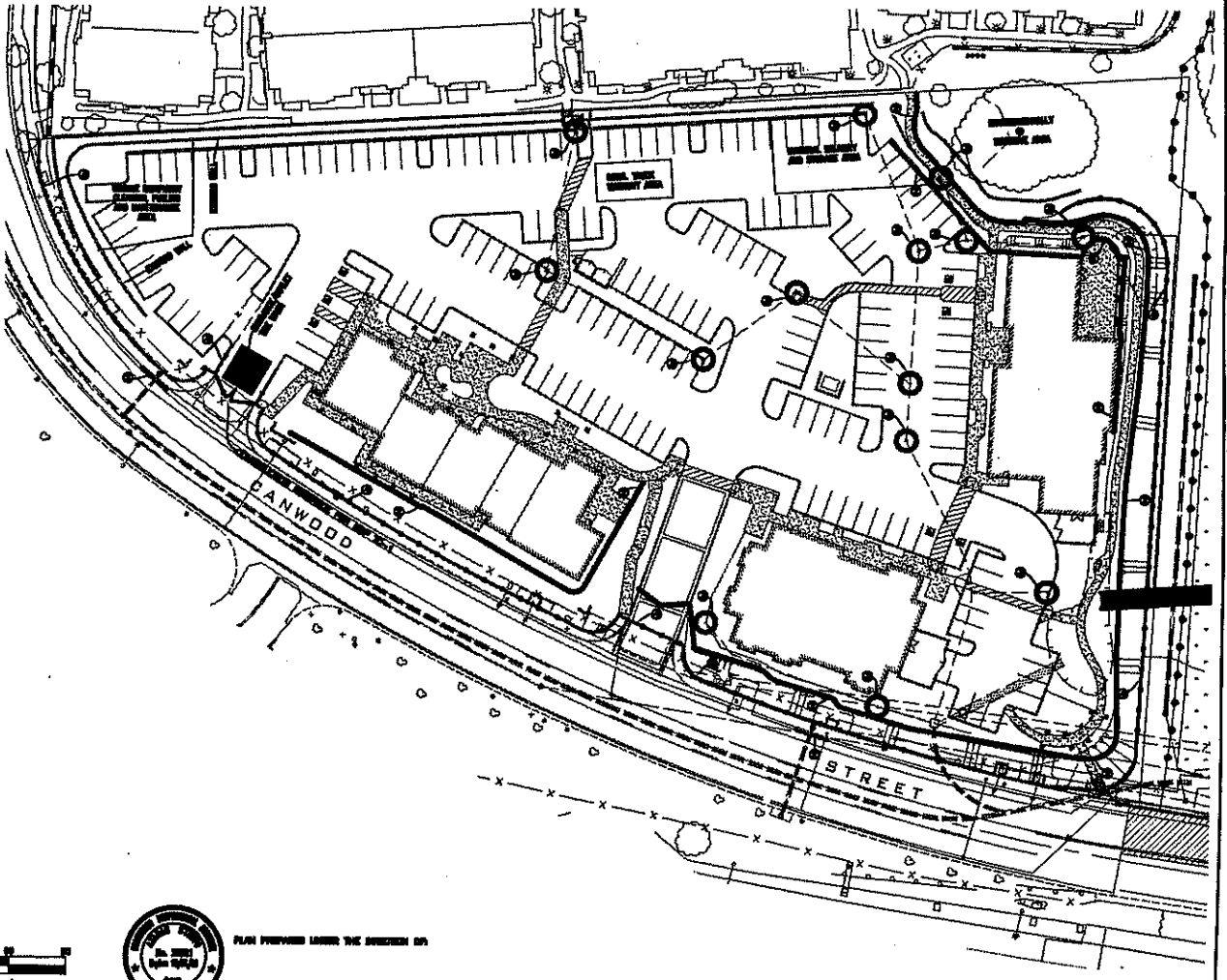
- ① SINGLE ROW OF BAGS - ONE BAG HIGH
- ② DOUBLE ROW OF BAGS - TWO BAGS HIGH
- ③ DRAINAGE BARRIERS PER DETAIL ①
- ④ SILT FENCING PER SAMP SEC-1

DETAIL ①
 TOP TO SCALE



PLAN PREPARED UNDER THE SUPERVISION OF

REGISTERED CIVIL ENGINEER



REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY:
 PRESTON ENGINEERING, INC.
 6358 TOPANGA CANYON BLVD. STE. 333
 WOODLAND HILLS, CA 91367
 (818) 228-0444
 ATANAS STREBYO
 PROJECT ENGINEER

CITY OF AGOURA HILLS APPROVAL

STORM WATER POLLUTION CONTROL PLAN (SWPPP)
 TO BE IMPLEMENTED OCTOBER 1 THROUGH APRIL 15 OF EACH YEAR

PROJECT NO. _____ SHEET 1 OF 1

CITY OF AGOURA HILLS DWG. NO. _____

GRADING NOTES

- ALL GRADERS SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PER-CONSTRUCTION CONFERENCE OF ALL INTERESTING PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGICAL AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGICAL REPORT ARE TO BE COMPLIED WITH AND ANY HERETO MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY MANAGER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE SURVEILLANCE TO ENSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS INGENUITY TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS PREPARED BY APPLICABLE STATE LICENSED PROFESSIONALS, MUST BE SIGNED AND STAMPED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED AND THE FLOOD PLACING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN COMPLIANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP SHOWING THE LIMITS OF ALL LOCATIONS OF ALL GROUND TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL BURNINGS AND FLOODING ELEVATIONS, AND LOCATION AND ELEVATION OF ALL REMOVAL WALL, BACKFILLING AND OUTLETS. GEOLOGICAL CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGICAL MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1.0, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE BOUNDARY OF THE SITE TO THE PERMITS BOUNDARY LINE, UNLESS OTHERWISE APPROVED BY THE CITY MANAGER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OWNED PROPERTIES.
- ALL EQUIPMENT AND MATERIAL STORAGE AND STORAGE SHALL BE ORIENTED ONLY TO THE PERMITS BOUNDARY LINE.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1.0, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP SHOWING THE LIMITS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL BURNINGS AND FLOODING ELEVATIONS, AND LOCATION AND ELEVATION OF ALL REMOVAL WALL, BACKFILLING AND OUTLETS. GEOLOGICAL CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGICAL MAP.
- ALL DRAINAGE SYSTEMS SHOULD BE MAINTAINED THROUGHOUT THE PROJECT AND SHOULD BE APPLIED WHERE FUTURE CUTS EXPOSE ADVERSELY ORIENTED JOINT SURFACES OR INTERSECTIONS OF JOINT SURFACES.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
2551 LAS VIRGENES ROAD
CALABAS, CA 91302
(916) 963-4119
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
3050 POTTSVILLE DRIVE
THOUSAND OAKS, CA 91320
(949) 496-7919
- TELEPHONE:** SBC (714) 861-1111
16451 HANFORD STREET, #116
VAN NUYS, CA 91410
(818) 273-0689
- SEWER:** SOUTHERN CALIFORNIA GAS
8400 CALIFORNIA AVENUE
CHATEAUVILLE, CA 91313
(914) 791-5244
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1555 S. TREMONT AVENUE, SUEDE AIR BASE
ALHAMBRA, CA 91808
(626) 398-3266
- DRAIN:** THE WARRIORS
3223 TULLER ROAD
REDFORD PARK, CA 91288
(909) 673-6318
- DRAIN:** CHATEAU COMMUNICATIONS
3990 CROSSCOUNTRY ROAD
MALIBU, CA 90261
(310) 496-6816
- CALTRANS:** CALTRANS
3900 REYES BOULEVARD
PASADENA, CA 91109
(818) 398-5108



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "NONPOINT SOURCE" POLLUTION PREVENTION PLAN (SWPPP) AS OUTLINED IN THE LOCAL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED TO PREVENT THE TRANSPORT OF COMBINE POLLUTANTS TO OFFER LOCALIZATION DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC, "NONPOINT SOURCE" CONTROL PLAN SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THIS PLAN MUST BE ADOPTED BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 1ST.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL COMBINE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTERS MUST BE CLEANED OUT A MINIMUM OF THREE (3) TIMES PER YEAR, ONE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.
- OWNER SHALL OBTAIN THE NECESSARY A STORMWATER BMP CONVEYANCE AND DEED RESTRICTION FOR THE PROPERTY FROM THE CITY OF LOS ANGELES COUNTY RECORDERS OFFICE UPON COMPLETION OF DRAINAGE AND GRADING WORK.

TOPOGRAPHY NOTE

TOPOGRAPHY SHOWN HEREON WAS SURVEYED AND COMPILED BY:
BARTHOLMEUS

OAK TREE NOTE

PLAN PREPARED UNDER THE DIRECTION OF:

ATAVAS STERIO, R.C.E. 22221 DATE



RECLAIMED WATER

USE RECLAIMED WATER DURING CONSTRUCTION FOR DIRT CONTROL AND SOIL COMPACTION. RECLAIMED WATER METERS FOR CONSTRUCTION USE TO BE SUPPLIED BY LAS VIRGENES MUNICIPAL WATER DISTRICT (916) 963-4116.

CONSTRUCTION NOTES

- CONCRETE DOORSLIP 12" X 24" APC ORNATE AND FRAME A-1010 OR EQUAL, WITH DRAIN/PAC INLET FLOOR
- CONCRETE 24" X 24" APC ORNATE AND FRAME A-1010 OR EQUAL, WITH DRAIN/PAC INLET FLOOR
- CONCRETE 24" X 24" APC ORNATE AND FRAME A-1010 OR EQUAL, WITH DRAIN/PAC INLET FLOOR
- CONCRETE 18" X 12" APC ORNATE AND FRAME A-1010 OR EQUAL, WITH DRAIN/PAC INLET FLOOR
- CONCRETE CONCRETE CURB RAMP PER ALPHA STD. 111-6 CASE B TYPE 1
- CONCRETE LONGITUDINAL BUTTER PER ALPHA STD. 120-1, 90-7 (max)
- CONCRETE F' CONCRETE CURB PER ALPHA STD. 120-1, 90-7 (max)
- CONCRETE CURB AND GUTTER PER ALPHA STD. 120-1, 90-7 (max)
- CONCRETE CURB AND GUTTER PER ALPHA STD. 120-1, 90-7 (max)
- CONCRETE 2" A.G. OVER 6" BASE - ALL DRIVES
- CONCRETE 2" A.G. OVER 6" BASE - ALL PARKING SPACES

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF PROPOSED INSPECTIONS.

ABBREVIATIONS

- AC - ALPHACHECK CONCRETE
 - RF - BOTTOM OF FOOTING
 - CB - CATCH BASIN
 - CF - CURE RATE
 - E - ELEVATION
 - CLF - CURB LINE FLOOR
 - CD - CURB CUT
 - DB - DRAIN BASIN
 - DR - DRAINAGE
 - DB - EDGE OF BUTTER
 - BP - EDGE OF PAVEMENT
 - PF - FINISHED FLOOR
 - FG - FINISHED GRADE
 - FM - FINE MESH MAT
 - FL - FLOOR
 - FS - FINISH SURFACE
 - HC DRIP - HANDED RAMP
 - RP - ROOF PITCH
- BY - DRIVE
HO - HORIZONTAL
NFS - NOT TO SCALE
PL - PROPERTY LINE
PO - POINT OF BEGINNING
RWH - RAIN WATER HOSE
RST - RAIN WATER STRUCTURE
SB - SANITARY SEWER
TT - TOP OF CURB
TF - TOP OF FINISH
TT - TOP OF FINISH
TRM - TRAILER MOUNTED
TNS - TOP OF WALL
TNS - TOP OF WALL
TNS - WATER METER
WV - WATER VALVE

LEGAL DESCRIPTION

PARCEL 1:
LOTS 1, 4, 8 AND 9 OF TRACT NO. 8270, IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1322 PAGES 61 TO 67 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:
THEY PORTION OF LOT 7 AND LOT 8 OF TRACT NO. 8270, IN THE CITY OF AGOURA HILLS, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1322 PAGES 61 TO 67 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTHERLY LINE OF SAID LOT 7, BEING BEARS BE BEARS 44 INCHES 45 SECONDS EAST 3/4 FEET FROM THE WESTERLY CORNER OF THE LINE SHOWN AS BEING 44 INCHES AND DISTANCE OF NORTH 67 DEGREES 44 MINUTES 45 SECONDS WEST 8274 FEET ON SAID TRACT NO. 8270; THENCE LEAVING SAID POINT OF BEGINNING 44 SECONDS WEST 8274 FEET TO A POINT 44 SECONDS EAST 3/4 FEET; THENCE NORTH 67 DEGREES 44 MINUTES 45 SECONDS EAST 3/4 FEET; THENCE NORTH 67 DEGREES 44 MINUTES 45 SECONDS WEST 8274 FEET TO A POINT ON THE NORTHEASTERN LINE OF SAID LOT 7; THENCE ALONG SAID LINE NORTH 67 DEGREES 44 SECONDS WEST 8274 FEET TO SAID CORNER; THENCE NORTHERLY AND EASTERLY ALONG THE GENERALLY WICKELY AND OUTERLY LINE OF SAID LOT 7 THROUGH ALL OF THE PARCELS CORNERS AND ELEVATIONS TO THE POINT OF BEGINNING.

ACCORDING LOTS 7 AND 8:
EXCEPT FROM THAT PORTION OF SAID LAND LYING WITHIN PARCELS 42 AND 43 OF RECORD OF SURVEY AS PER MAP FILED IN BOOK 1322 PAGES 8 AND 9 OF RECORD OF SURVEY, AN UNDIVIDED INTEREST IN ALL MINERAL, OIL, GAS, PETROLEUM AND MINERAL RIGHTS AND NATURAL GAS IN AND UNDER SAID LAND, AS RESERVED BY ROBERT E. SWANSON AND CORA E. SWANSON IN THE DEED RECORDED JAN 8, 1952 AS INSTRUMENT NO. 879 IN BOOK 5008 PAGE 136, OFFICIAL RECORD.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	GRADING TITLE SHEET
2	GRADING SHEET
3	BOUNDARY/EASEMENT SHEET

ESTIMATED EARTHWORK QUANTITIES	
ESTIMATED CIVIC	4,234 cu
ESTIMATED FILL	2,361 cu
ESTIMATED OVER EXCAVATION	1,000 cu
ESTIMATED EXPORT	1,660 cu

BENCHMARK	
MALIBU (DMS)	ARIZONA BOUNDARY CORNER IN ROCK IN THE CORNER NEAR N.A. & CANWOOD ST. 50M N & 1.5M E. C.E. BY (DMS) (DMS) (1971)

RECORD DRAWING STATEMENT	
I, MEHERY CHETNEY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND ORIGINAL CONTRACTOR, THAT THE WORK ON SHEET NO. _____ THROUGH _____ DRAWINGS AS PREPARED DRAWINGS HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, MEMORANDUMS, CHANGE ORDERS, AND FIELD CHANGES.	
REGISTERED CIVIL ENGINEER	DATE _____
REGISTERED GEOTECHNICAL ENGINEER	DATE _____

BOILS APPROVAL	
THIS PLAN HAS BEEN REVIEWED, AND IS IN COMPLIANCE WITH THE REQUIREMENTS IN OUR REPORT(S) DATED _____	
REGISTERED GEOLOGIST	DATE _____
REGISTERED GEOTECHNICAL ENGINEER	DATE _____

CIVIL ENGINEER
NAME: WESTON ENGINEERING, INC.
ADDRESS: 3841 TORANHA CANWOOD BLVD, STE. 33A, WOODLAND HILLS, CA 91367
REPRESENTATIVE: SHAWN GAMBACH
TELEPHONE: (818) 328-8444

GEOTECHNICAL ENGINEER
NAME: THE J. WYER GROUP
ADDRESS: 2815 CHEVY CHASE DR, SHERMAN OAKS, CA 91364
REPRESENTATIVE: JOHN W. WYER
TELEPHONE: (818) 548-3043

OWNER
NAME: ANGLE REALTY INVESTMENT, INC.
ADDRESS: 2188 BURNING WOOD, STE. 204, WOODLAND HILLS, CA 91367
TELEPHONE: (818) 864-2228 X 116

THEMIS GUIDE PAGE 358, GRID A5 AND B6

VICINITY MAP N.T.S.

LEGEND AND SYMBOLS

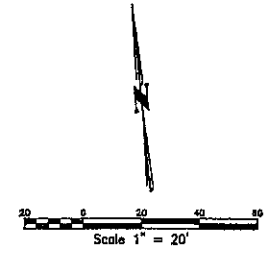
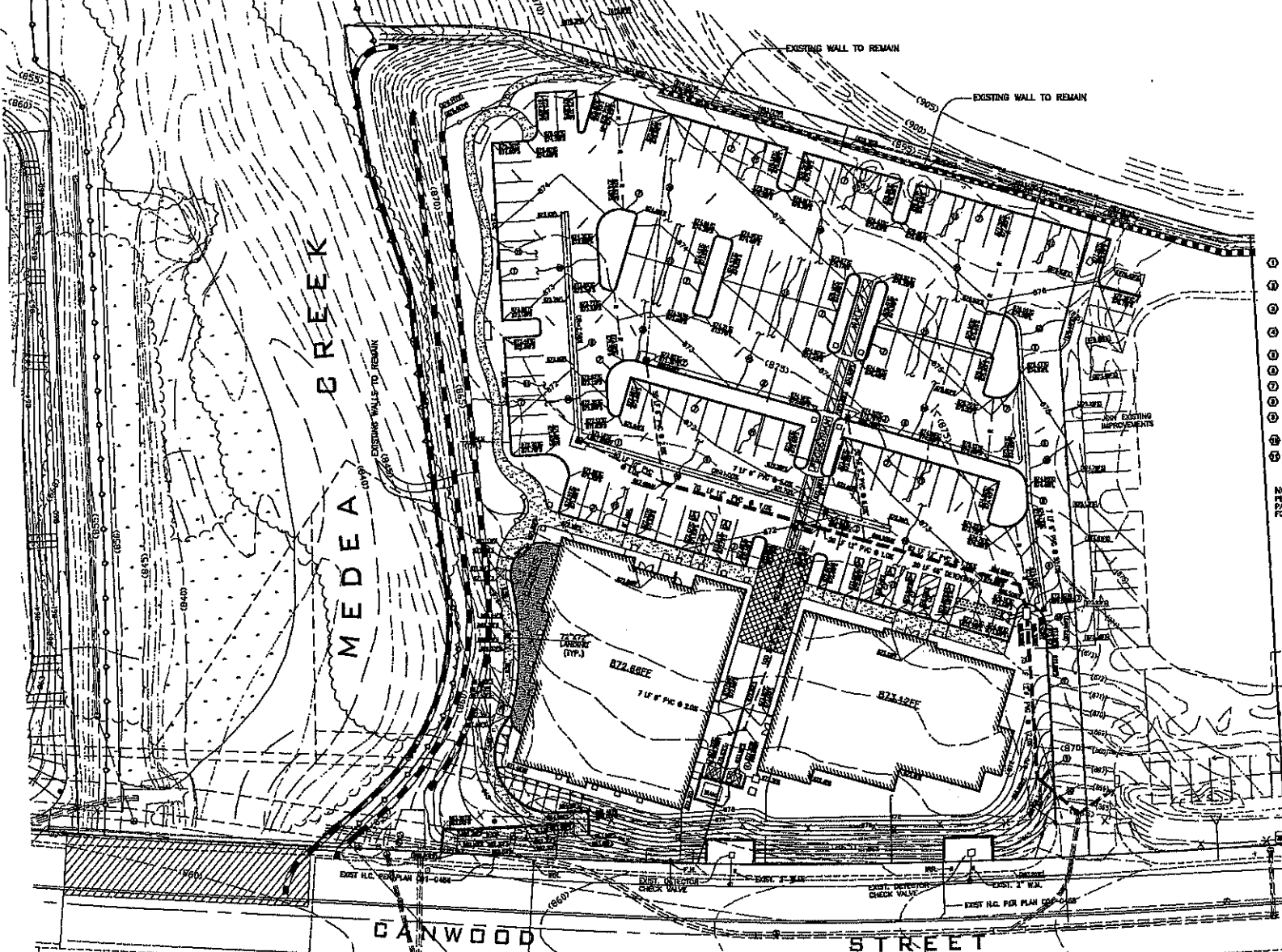
- PROJECT BOUNDARY
- EXISTING GRADE CONTOUR
- PROPOSED GRADE CONTOUR
- ROCK LINE
- SPOT ELEVATION
- PROPOSED SLIPS PER PLAN
- RETAINING WALL
- DAYLIGHT CUTLINE
- DIRECTION OF FLOW (ARROWS)
- 10 YEAR FLOOD LIMIT
- CONSTRUCTION NOTE NUMBER
- BASEMENT BATH NUMBER

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY: WESTON ENGINEERING, INC.
3841 TORANHA CANWOOD BLVD, STE. 33A, WOODLAND HILLS, CA 91367
TEL: 818-328-8444 FAX: 818-328-8445

CITY OF AGOURA HILLS APPROVAL

CONCEPTUAL GRADING PLAN
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDEA CREEK
SHEET 1 OF 3



CONSTRUCTION NOTES

- ① CONSTRUCT DOUBLE 24" X 24" APC GRATE AND FRAME A-2812 OR EQUAL, WITH DRAINPAD INLET FILTER
- ② CONSTRUCT 24" X 24" APC GRATE AND FRAME A-2812 OR EQUAL, WITH DRAINPAD INLET FILTER
- ③ CONSTRUCT 24" X 24" APC GRATE AND FRAME A-2812 OR EQUAL, WITH DRAINPAD INLET FILTER
- ④ CONSTRUCT 18" X 18" APC GRATE AND FRAME A-2812 OR EQUAL, WITH DRAINPAD INLET FILTER
- ⑤ CONSTRUCT CONCRETE CURB RAMP PER APWA STD. 114-2 CASE 6 TYPE 1
- ⑥ CONSTRUCT LONGITUDINAL GUTTER PER APWA STD. 132-4, 9"X6" (94M)
- ⑦ CONSTRUCT 6" CONCRETE CURB PER APWA STD. 132-4 A1-160(9)
- ⑧ CONSTRUCT CURB AND GUTTER PER APWA STD. 132-4 A3-184(9)
- ⑨ CONSTRUCT CURB OPENING CATCH BASK PER APWA STD. 344-2, 36"X36", WITH DRAINPAD FILTER
- ⑩ CONSTRUCT 4" A.C. OVER 6" BANK - ALL DRIVES
- ⑪ CONSTRUCT 2" A.C. OVER 4" BANK - ALL PARKING STALLS

NOTE:
PER SOILS REPORT FROM THE J. REER GROUP DATED MAY 24, 2007, PAGE 15 UNDER GENERAL FINDINGS, THERE WILL BE NO OVEREXCAVATION FOR THE BUILDINGS ON PLATFORM ON THIS SITE.

REV	SYMBOL	DESCRIPTION OF CHANGE	RISE	DATE	BY	DATE

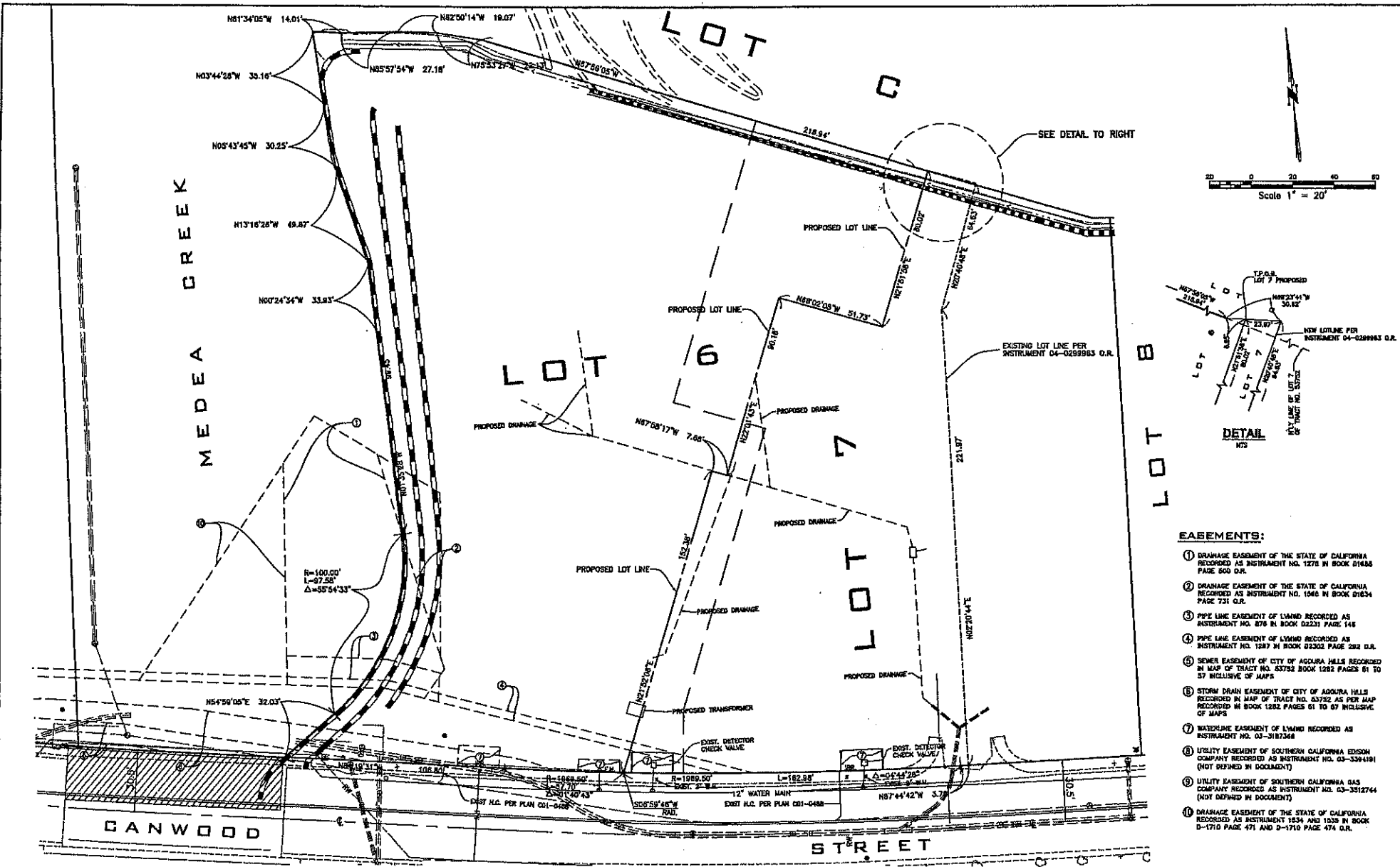
PREPARED BY:

WESTON ENGINEERING, INC.
 2400 S. 1000 W. SUITE 100
 TAYLOR, MISSOURI 64656
 TEL: 816.335.8800
 FAX: 816.335.8801
 WWW.WESTON-ENG.COM

CITY OF AGOURA HILLS APPROVAL



CONCEPTUAL GRADING PLAN
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDEA CREEK
 SHEET 2 OF 3



REV	SYMBOL	DESCRIPTION OF CHANGE	RSE	DATE	ATAMAS STERNO	DATE

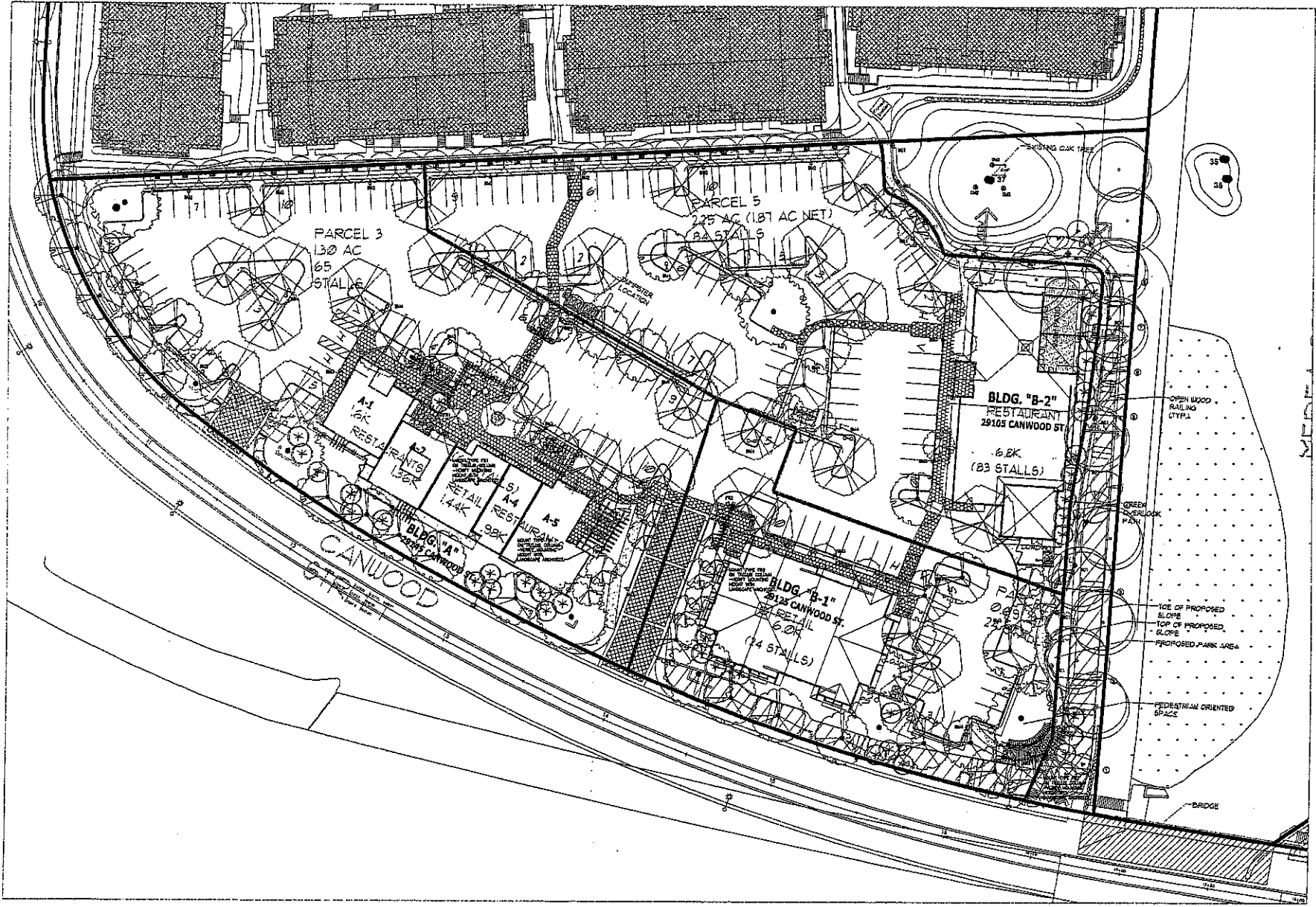
PREPARED BY: WESTCOH ENGINEERING, INC.
 1011 BROADWAY, TORRANCE, CALIF. 90501
 (310) 561-1111
 FAX (310) 561-1112
 WWW.WESTCOH.COM

CITY OF AGOURA HILLS APPROVAL

06-CUP-007



BOUNDARY/EASEMENT SHEET
FOR C.U.P. SUBMITTAL
CANWOOD STREET - EAST SIDE OF MEDEA CREEK
 SHEET 3 OF 3



OAK CREEK WEST SITE LIGHTING PLAN
 SCALE = 1" = 20'



VAN TILBURG, BAYVARD & SOUDERBERG, AIA
 ARCHITECTURE + PLANNING + INTERIORS

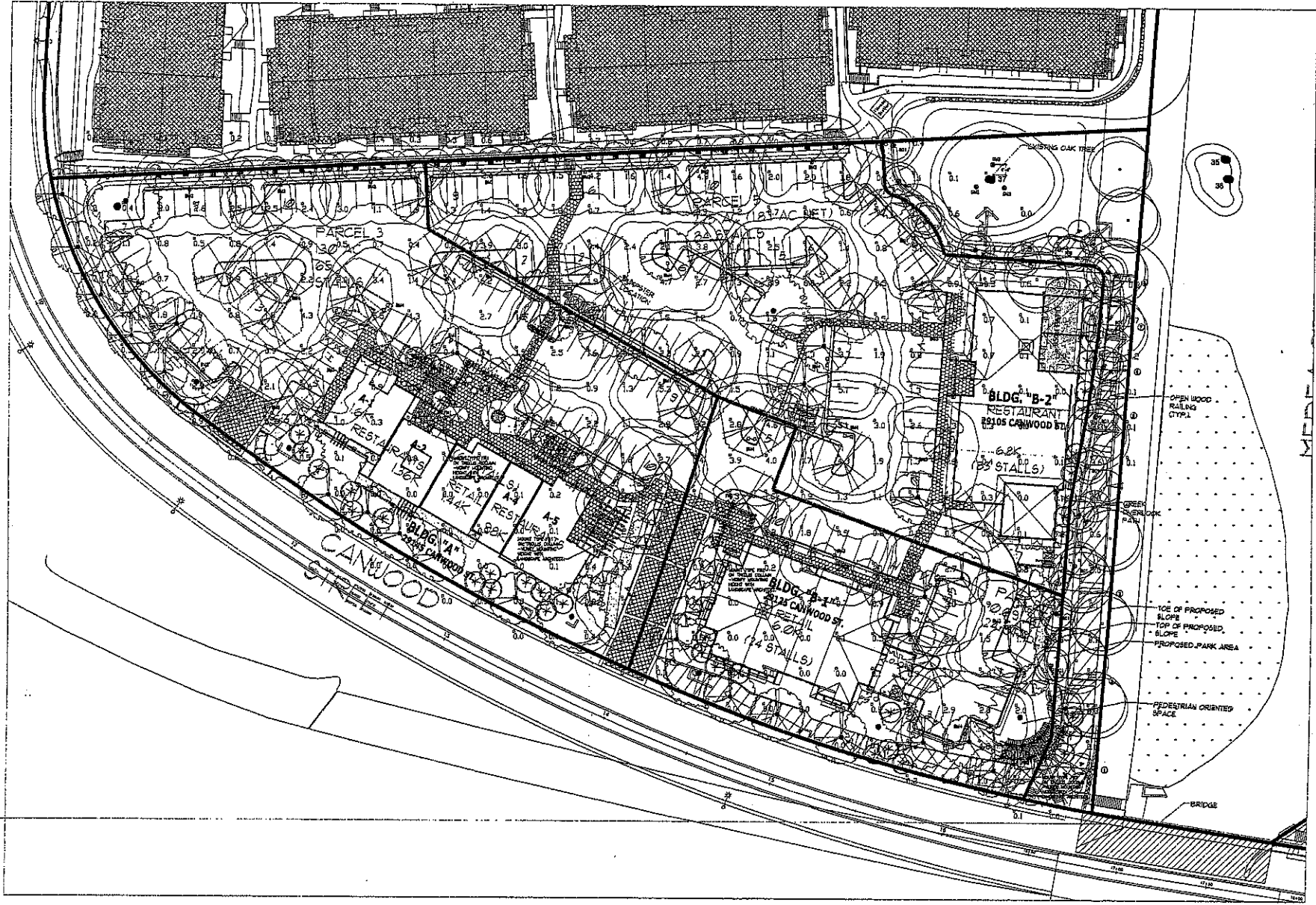
SHOPS at OAK CREEK



ADLER ASSOCIATES, INC.
 27781 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

DATE	DATE	DESCRIPTION

LD-1.0



NORTH
 OAK CREEK WEST SITE LIGHTING PHOTOMETRIC PLAN
 SCALE= 1"= 20'



VAN TILBURG, BANVARD & SODERBERGH, AIA
 ARCHITECTURE • PLANNING • INTERIORS
 1111 S. MAIN ST. SUITE 300
 SAN ANTONIO, TEXAS 78204
 TEL: 512.593.3800
 FAX: 512.593.3801
 WWW: VTBUSA.COM

SHOPS at OAK CREEK
 Commercial Center, City of San Antonio, TX 78204

OWNER:
A ADLER
 Adler Development, LLC
 21721 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

TITLE: PRELIMINARY
 DATE:
 PROJECT NO.:

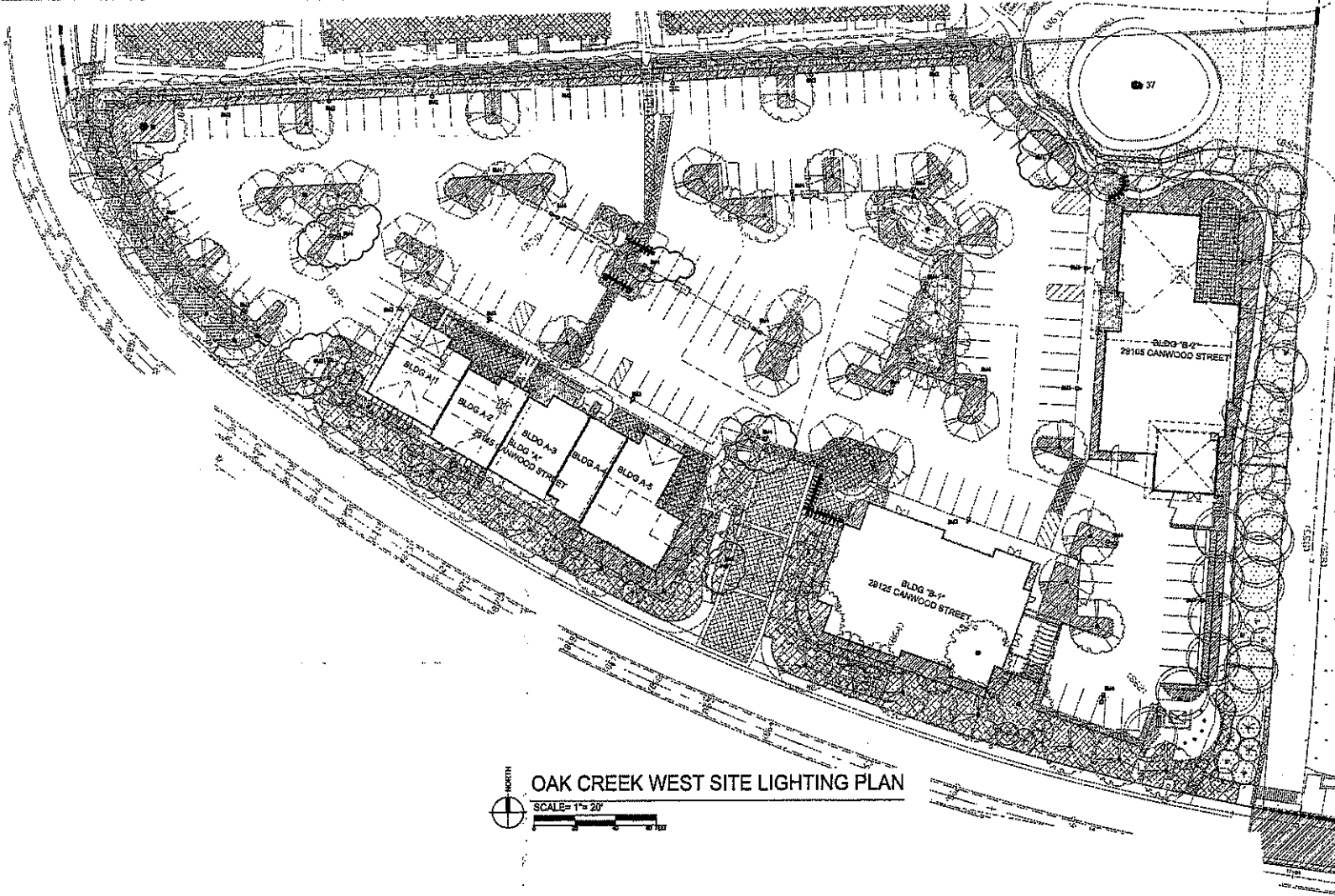
ISSUE	DATE	DESCRIPTION

PROJECT NO.:
 DATE:
 DRAWN BY: CHECKED BY:

LD-1.0-PH

NOTES

- BUILDING ANY FIXTURES TO BE DISPLAYED ON WEST PROPERTY (INCL.)



OAK CREEK WEST SITE LIGHTING PLAN

SCALE=1"=20'



REGISTERED ARCHITECTS
VAN TILBURG, BANWARD & ZODERBERGH, AIA
ARCHITECTS - CLASSIFIED - INTERIORS

SHOPS at OAK CREEK

OWNERS
ADLER
21731 Ventura Blvd., Suite 300, Woodland Hills, CA 91364

SHOPS at OAK CREEK

Parcels 3, 4 & 5
Canwood Street, City of Agoura Hills, CA
Prepared for:
ADLER REALTY
21731 Ventura Blvd., Suite 300, Woodland Hills, CA 91364

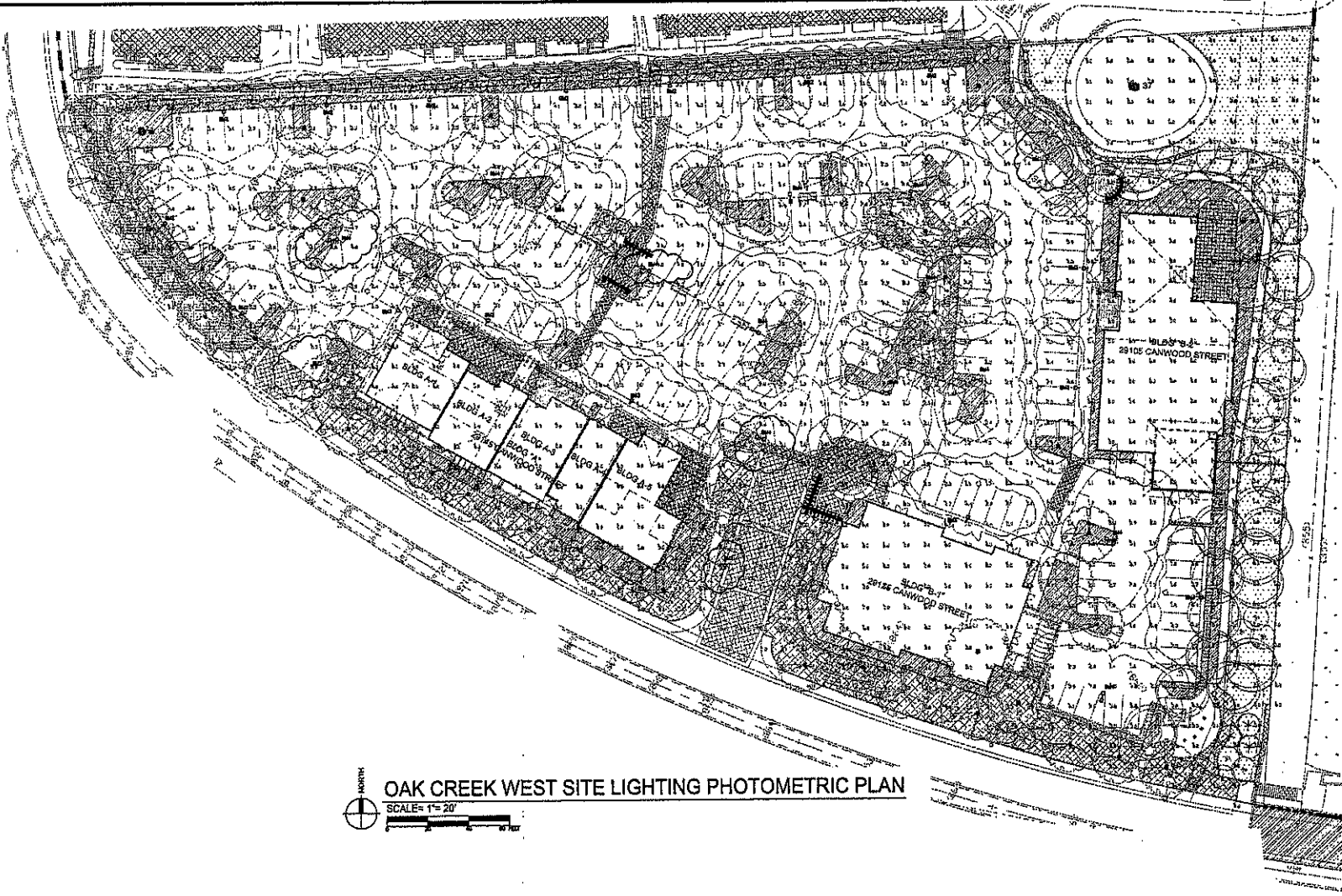
Title		
-------	--	--

DATE	BY	DESCRIPTION

PROJECT	SHEET
DATE	SCALE

LD-1.0

NOTES
 • PUBLIC ART PIECE TO BE DISPLAYED ON WEST PROPERTY (R2,C)



N
OAK CREEK WEST SITE LIGHTING PHOTOMETRIC PLAN
 SCALE= 1"= 20'

Luminaire Schedule			Arrangement	Lumens	LLF	Description	Units
□	GH	EM4	BACK-2-BACK	14000	0.70	PROV-2H3	50
	B	EM3	SINGLE	14000	0.70	PROV-1B-52FH-H56	50
	H	EM2	SINGLE	14000	0.70	PROV-1H-52FH-H56	50
	I	EM1	SINGLE	14000	0.70	PROV-1B	50

ADLER BEALTY
 ARCHITECTS - PLANNERS - INTERIORS

VAN TILBURG, BANVARD & SODERBERG, AIA
 ARCHITECTS - PLANNERS - INTERIORS

ADLER BEALTY ARCHITECTS - PLANNERS - INTERIORS
 21791 Venture Blvd, Suite 300, Woodland Hills, CA 91364

SHOPS at OAK CREEK
 Canwood Street, City of Agoura Hills, CA 91301

ADLER BEALTY
 ARCHITECTS - PLANNERS - INTERIORS
 21791 Venture Blvd, Suite 300, Woodland Hills, CA 91364

SHOPS at OAK CREEK
 Parcels 3, 4 & 5
 Canwood Street, City of Agoura Hills, CA 91301

Prepared by:
 ADLER BEALTY
 ARCHITECTS - PLANNERS - INTERIORS
 21791 Venture Blvd, Suite 300, Woodland Hills, CA 91364



DATE	DATE	DESCRIPTION

PROJECT: **LD-1.0-PH**
 DATE: **06/20/08**

PARCEL 6 (1.42 acres)

RESTAURANT @ 15/ 1000 S.F. = 60 SPACES
(4000 s.f. actual serving area)

PATIO @ 15/ 1000 S.F. = 13 SPACES
(650 s.f. total)

PARKING REQUIRED BY CITY = 73 SPACES
PARKING PROVIDED = 63 SPACES

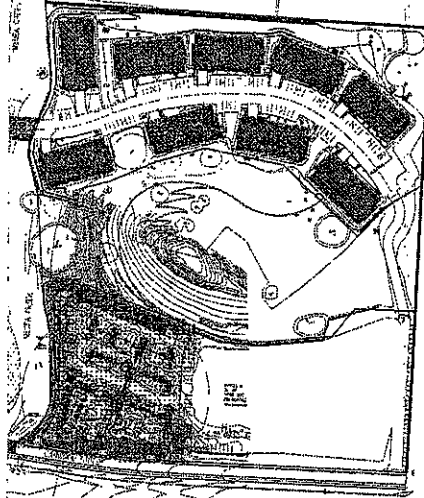
PARCEL 7 (0.74 acres)

RETAIL @ 1/ 250 S.F. = 24 SPACES
(6000 s.f.)

PATIO @ 0/ 1000 S.F. = 0 SPACES

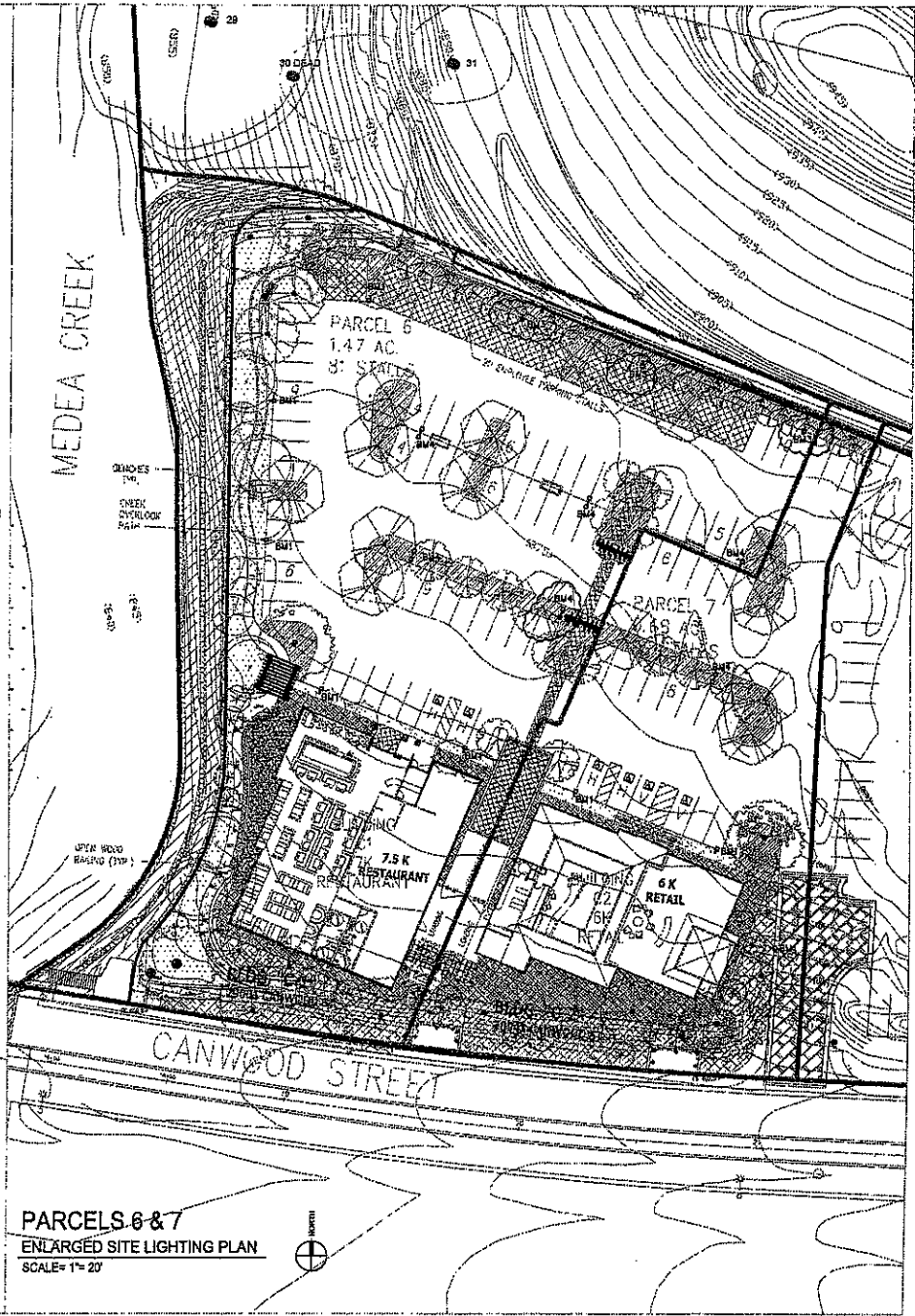
PARKING REQUIRED BY CITY = 24 SPACES
PARKING PROVIDED = 24 SPACES

NOTE: FOR LANDSCAPE
AND HARDSCAPE ELEMENTS,
SEE LANDSCAPE PLANS.



ENLARGED PLAN VIEW

OAK CREEK OVERALL SITE PLAN
SCALE= 1"= 100'



PARCELS 6 & 7
ENLARGED SITE LIGHTING PLAN
SCALE= 1"= 20'

VAN TILBURG, BANYARD & SODENBERGH, AIA
ARCHITECTURE • PLANNING • INTERIORS

PROJECT: 001 00000000
DATE: 08/20/2009
SCALE: AS SHOWN
DRAWN: JTB
CHECKED: JTB
DATE: 08/20/2009

30 DEAR
31

SHOPS at OAK CREEK
General Retail, City of Agoura Hills, CA 91301

OWNER: **ADLER**
21721 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

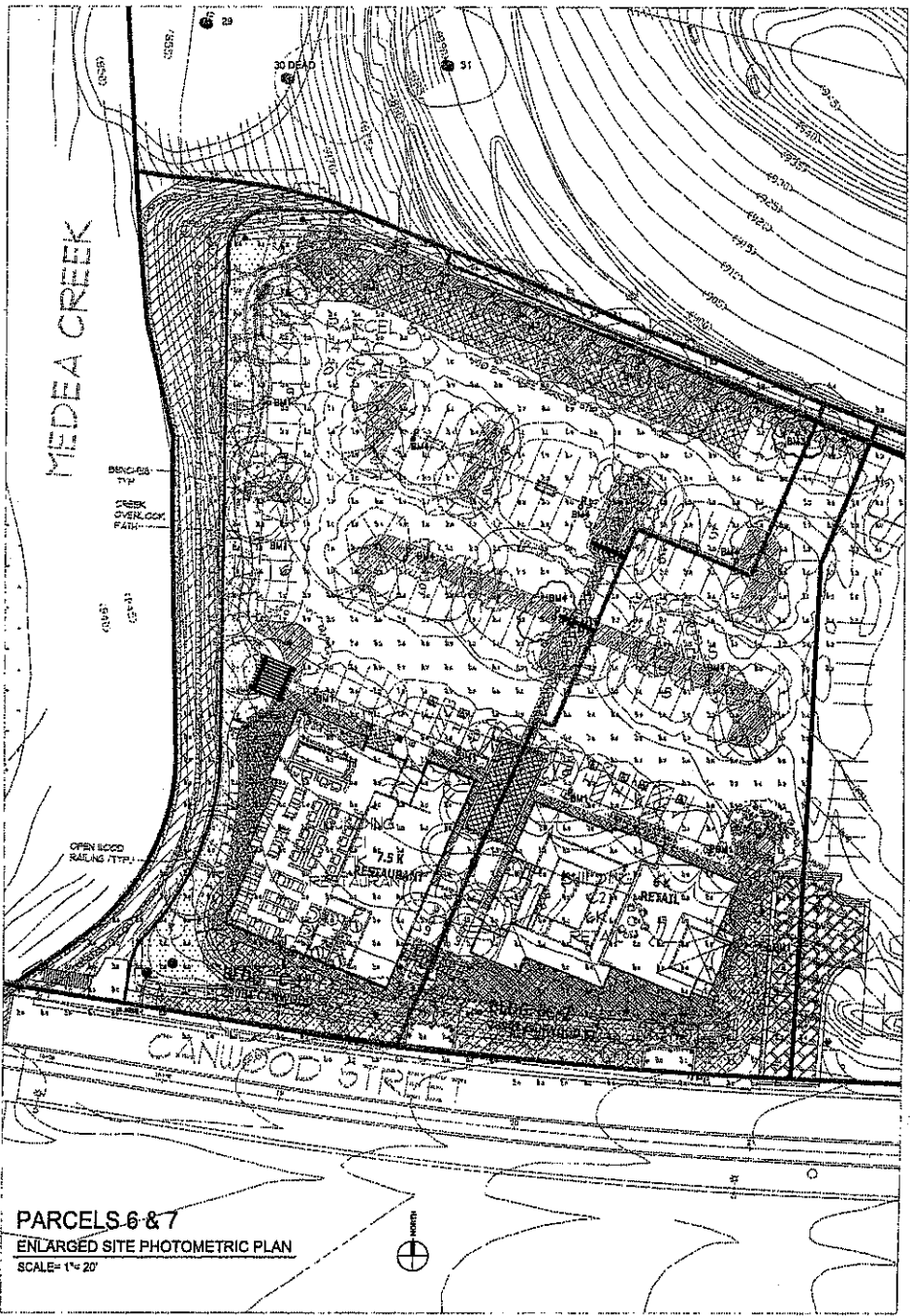
SITE LIGHTING PLAN

**PARCELS 6 & 7
BUILDING C**

REV	DATE	DESCRIPTION

PROJECT: DATE:
DRAWN: CHECKED:

Symbol	Color	Description	Symbol	Color	Description
(Symbol)	(Color)	(Description)	(Symbol)	(Color)	(Description)
(Symbol)	(Color)	(Description)	(Symbol)	(Color)	(Description)
(Symbol)	(Color)	(Description)	(Symbol)	(Color)	(Description)
(Symbol)	(Color)	(Description)	(Symbol)	(Color)	(Description)



PARCELS 6 & 7
ENLARGED SITE PHOTOMETRIC PLAN
 SCALE= 1"= 20'

ADLER
 ARCHITECTS
 21701 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364
 TEL: 818/706-1111 FAX: 818/706-1112
 WWW: WWW.ADLERARCHITECTS.COM

SHOPS at OAK CREEK
 Diamond Street, City of Newport Hills, CA 91001

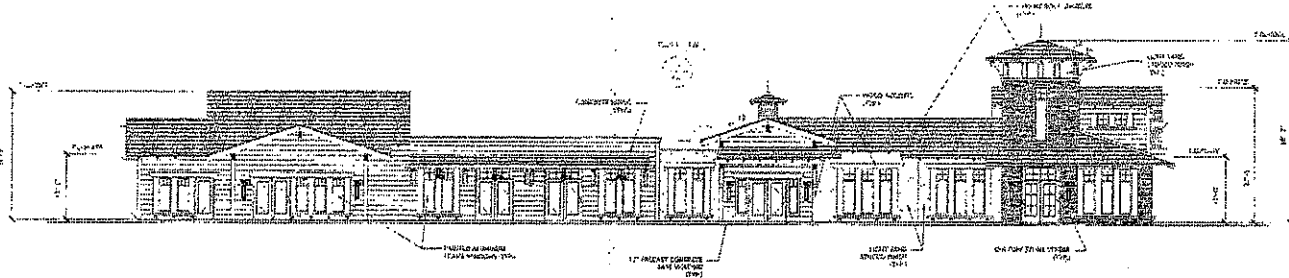
SITE PHOTOMETRIC PLAN
PARCELS 6 & 7
BUILDING C

LEGEND

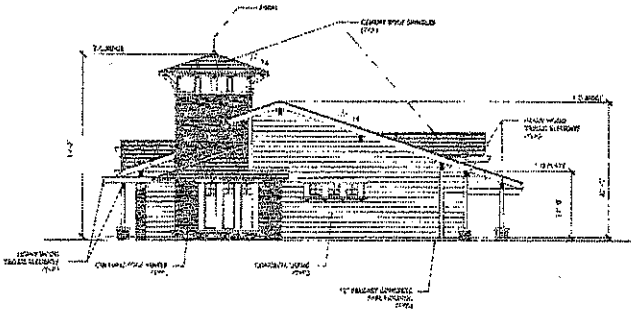
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(Symbol)	(Size)	(Description)
(Symbol)	(Size)	(Description)

DATE	BY	DESCRIPTION

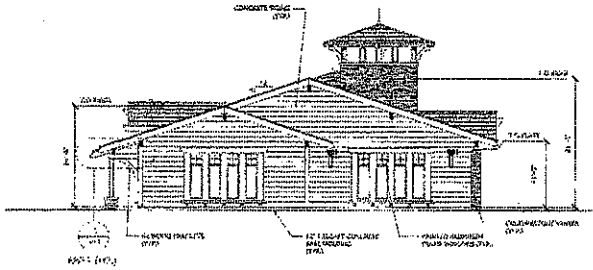
PREPARED BY: DATE: _____
 DRAWN BY: CHECKED BY: _____



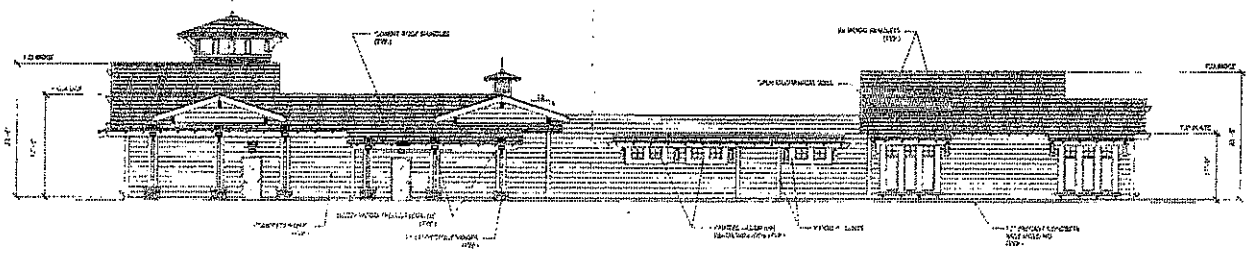
NORTH ELEVATION



WEST ELEVATION (JNT A)



EAST ELEVATION (UNIT A5)



SOUTH ELEVATION (CARWOOD STREET)

ELEVATIONS
 PHASE II
 PARCEL 3
 BUILDING A

DATE	DATE	DESCRIPTION

PROJECT: _____
 DRAWN: _____
 CHECKED: _____



VAN TUBURGH, BARNWARD & SCHINDLER, INC.
ARCHITECTS - PLANNING - INTERIORS

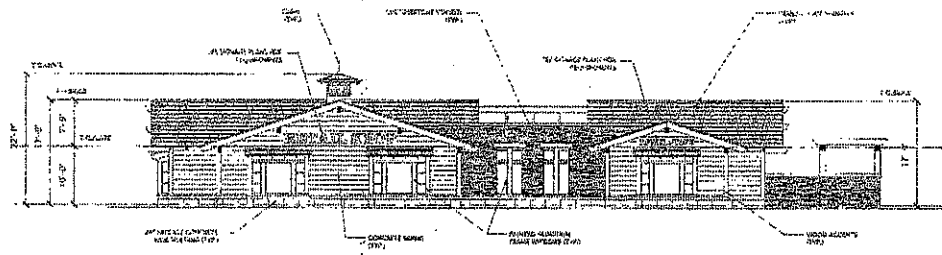
EXHIBIT TO: 2022
DATE: 10/10/22
PROJECT: SHOPS at OAK CREEK

SHOPS at OAK CREEK
City of Agoura Hills, CA 91301

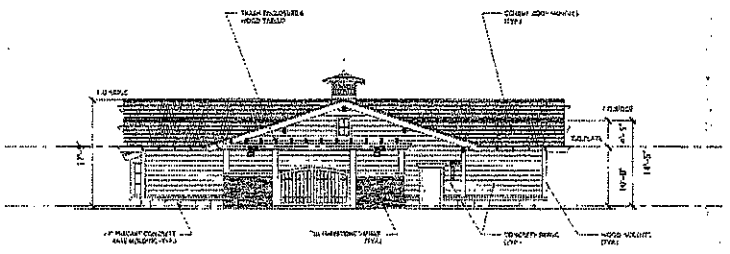
OWNER:
A ADLER
Adler Family Investments, Inc.
21731 Veterans Boulevard, Suite 100, Woodland Hills, CA 91364

ELEVATIONS

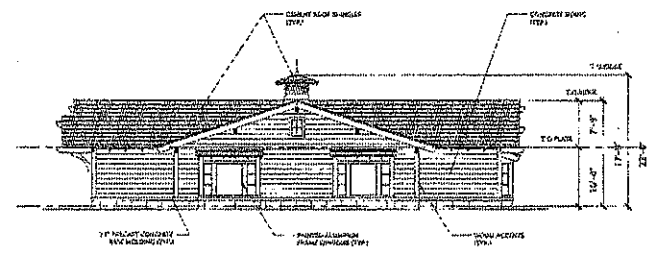
PHASE II
PARCEL 4
BUILDING B-1



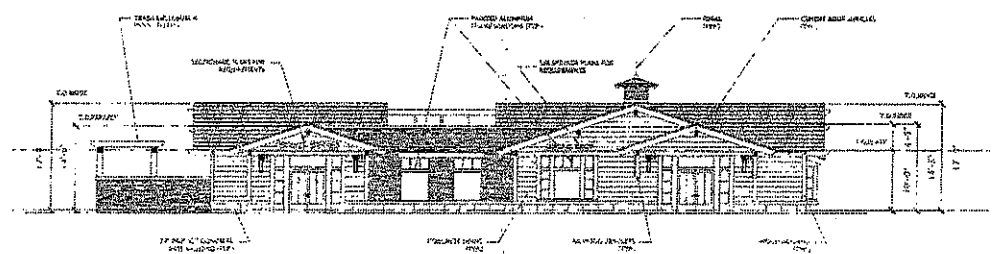
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

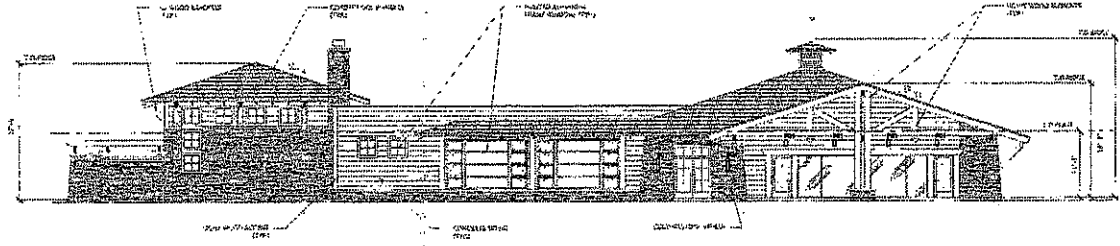


NORTH ELEVATION (CANWOOD SIDE)

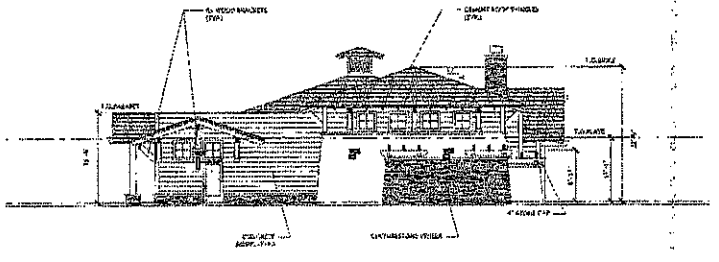
NO.	DATE	DESCRIPTION

SCALE: 1/4" = 1'-0"
DATE: 10/10/22

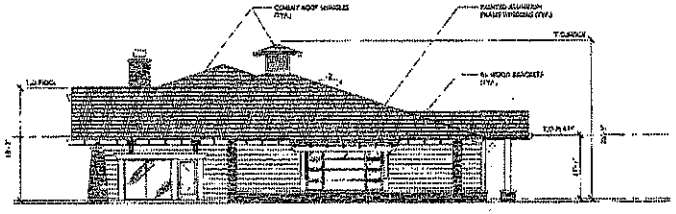
LD-6.2-B1



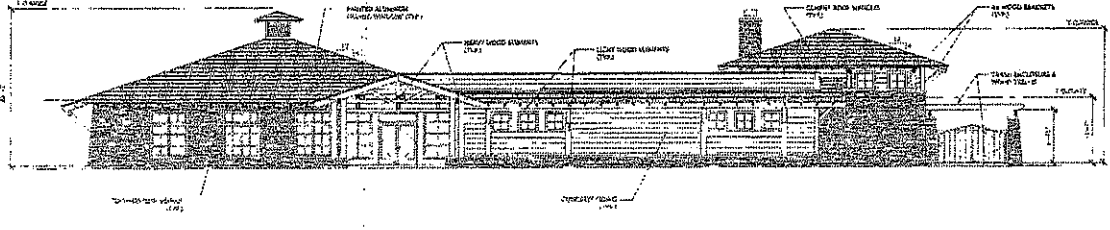
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION (CANWOOD SIDE)

ADLER ARCHITECTS
 ARCHITECTS - PLANNING - INTERIORS
 VAN TILBORG, BANFARD & SODERBERG, AIA
 ARCHITECTS

ELEVATIONS

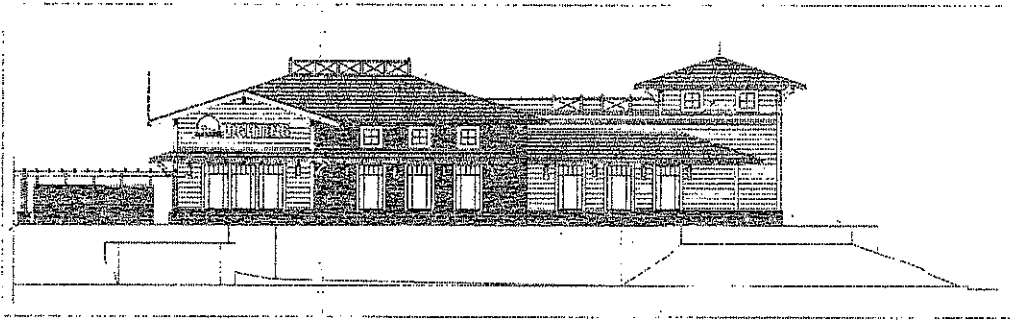
PHASE II
PARCEL 5
BUILDING B-2

ADLER ARCHITECTS
 21731 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

NO.	DATE	DESCRIPTION

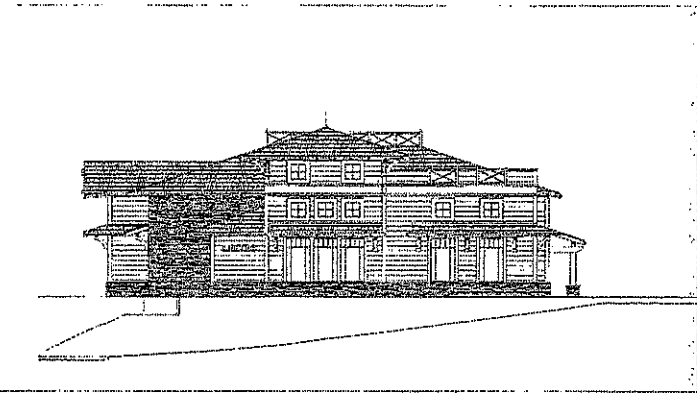
PROJECT: _____ CITY: _____
 DRAWN: _____ SHEETS: _____

LD-6.3-B2



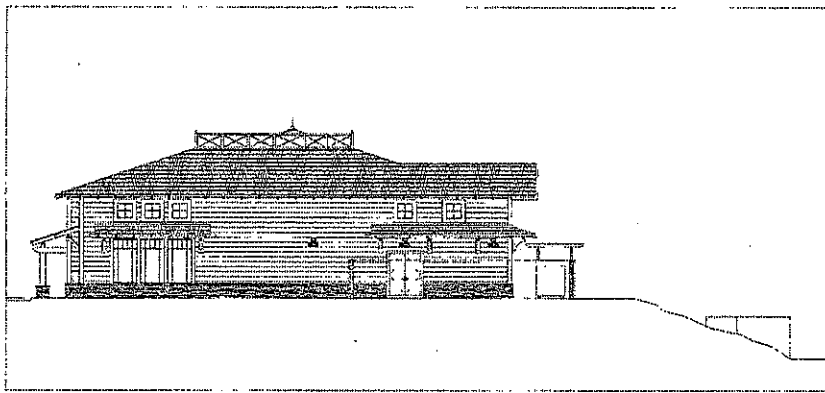
SOUTH ELEVATION

SCALE
1/8" = 1'-0"



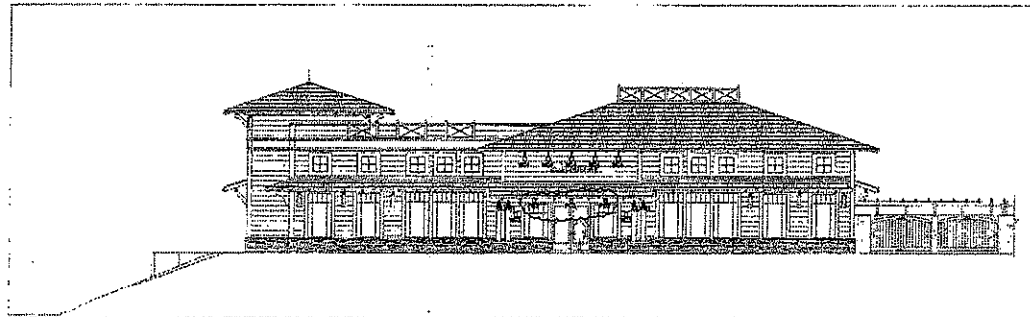
EAST ELEVATION

SCALE
1/8" = 1'-0"



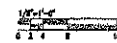
WEST ELEVATION

SCALE
1/8" = 1'-0"



NORTH ELEVATION

SCALE
1/8" = 1'-0"



VAN TILBURG, BARVARD & SODERBERGH, AIA
ARCHITECTS - PLANNING - INTERIORS
OFFICE: 1515 W. 14TH STREET
BOULDER, CO 80502
TEL: 303.440.8800
WWW.VAN-TILBURG.COM

SHOPS at OAK CREEK
23731 Venture Boulevard, Suite 300, Woodland Hills, CA 91364

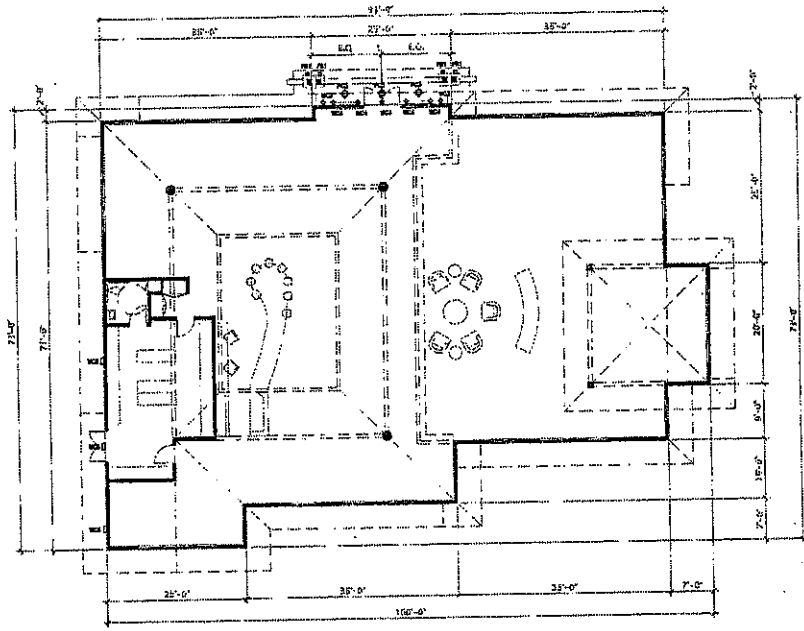
OWNER:
ADLER
EARTH PROPERTIES, LLC
23731 Venture Boulevard, Suite 300, Woodland Hills, CA 91364

ELEVATIONS
PHASE I
PARCEL 7
BUILDING C2

DATE	BY	DESCRIPTION

PROJECT: _____ DATE: _____
DRAWN: _____ CHECKED: _____

LD-6.1-C2



GROUND FLOOR PLAN
(6,000 SQ. FT. RETAIL)



OAK CREEK BUILDING LIGHTING PLANS - BUILDING C-2

SCALE: 1/8" = 1'-0"

REVISIONS

REVISED: 16 JAN 1978
 DRAWN: JAMES LUCAS
 CHECKED: JOHN WILSON
 PROJECT: VAN TILDIC, BARKER & SOUBRECHT, AIA

REVISED: 18 MAR 1978
 DRAWN: JAMES LUCAS
 CHECKED: JOHN WILSON
 PROJECT: VAN TILDIC, BARKER & SOUBRECHT, AIA

REVISED: 22 MAR 1978
 DRAWN: JAMES LUCAS
 CHECKED: JOHN WILSON
 PROJECT: VAN TILDIC, BARKER & SOUBRECHT, AIA

ARCHITECTURE - PLANNING - INTERIORS

SHOPS at OAK CREEK
 Diamond Bar, City of Alhambra, CA 91701

OWNER:
AADIER
 21731 Ventura Boulevard, Suite 300, Woodland Hills, CA 91364

BLDG. LIGHTING PLAN

PARCEL 7
BUILDING C-2

NO.	DATE	DESCRIPTION

PROJECT:	SHEET:
DRAWN:	CHECKED:
LD-5.6	

Attachment F

Planning Commission Resolution No. 926

RESOLUTION NO. 926

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
DENYING CONDITIONAL USE PERMIT CASE NO. 06-CUP-007
AND SIGN PERMIT CASE NO. 06-SP-037

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Danari Oak Creek, LLC, with respect to the real property located at 28941-29145 Canwood Street (Assessor's Parcel Nos. 2048-011-(049-053) and 2048-011-061), requesting approval of a Conditional Use Permit to construct five detached buildings totaling 33,680 square feet in size for retail and restaurant use, and requesting approval of a Sign Permit for the project's sign program. Public hearings were duly held on December 6, 2007, and February 21, 2008, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearings was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearings.

Section III. Pursuant to Sections 9673.2.E and 9655.5 of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. The proposed use is not consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located. Zoning Ordinance Section 9301.G identifies one of the purposes of the commercial zoning districts is to use and promote open spaces and landscaping to create a visually pleasing environment. Also, Zoning Ordinance Section 9303.1.B calls for the placement of building to provide the most aesthetic public views. The proposed site plan is not consistent with the purposes and design criteria of the commercial zoning districts in that the orientation and the placement of the buildings do not allow for sufficient public access, views and interaction with the most aesthetic natural features of the site that include Medea Creek and an existing oak tree.

B. The proposed use is not compatible with the surrounding properties. The proposed site plan is not designed to reduce conflicts between vehicular and pedestrian traffic, as called for in Zoning Ordinance Section 9303.C. The lack of on-site pedestrian connections between the east and west ends of the project site, as well as the lack of enhanced pedestrian connections with neighboring residential and commercial uses, results in a potentially avoidable demand for vehicular circulation within the project site.

C. The proposed use is not consistent with the goals, objectives and policies of the General Plan. The project design does not maintain and enhance community identity and development quality for the City and its neighborhoods, as called for as Goal No. 2 of the General Plan Land Use Element. The site planning of the buildings and proposed exterior spaces do not favorably consider features that are of a human scale and do not sufficiently encourage pedestrian activity. Also, the site plan does not incorporate sufficient areas of open space in the development project, including pedestrian spaces, sidewalks and usable open space to maintain a sense of openness in developed areas, as called for in Policies 2.7 and 2.8 of the General Plan Land Use Element. In addition, the orientation of the buildings on the proposed site plan does not maintain an awareness of the City's natural environmental setting, specifically Medea Creek and an on-site oak tree, as called for in Policy 1.3 of the General Plan Community Design Element.


D. The request for a sign permit for the project sign program is incomplete. Zoning Ordinance Section 9655.5.B requires the application to include the proposed design, size, exact colors, materials and location of the sign or sign structures. The design details for specific tenant signage was not included with the application and the building structures on which the signs are proposed to be situated are not approved.

Section IV. Based on the aforementioned findings, the Planning Commission hereby denies Conditional Use Permit Case No. 06-CUP-007, and Sign Permit Case No. 06-SP-037, with respect to the property described in Section I hereof.


Section V. Any interested party may appeal this decision to the City Council pursuant to Sections 9804.5 and 9804.6 of the Agoura Hills Municipal Code. Section 1094.6 of the California Code of Procedure governs the time within which judicial review, if available, of the Planning Commission's decision must be sought, unless a shorter time is provided by other applicable law.

PASSED, APPROVED, and ADOPTED this 6th day of March, 2008, by the following vote to wit:

AYES: (2) Rishoff, Zacuto
NOES: (0)
ABSTAIN: (2) Nouzille, O'Meara
ABSENT: (1) Buckley Weber


Curtis Zacuto, Vice Chairperson

ATTEST:


Doug Hooper, Secretary