



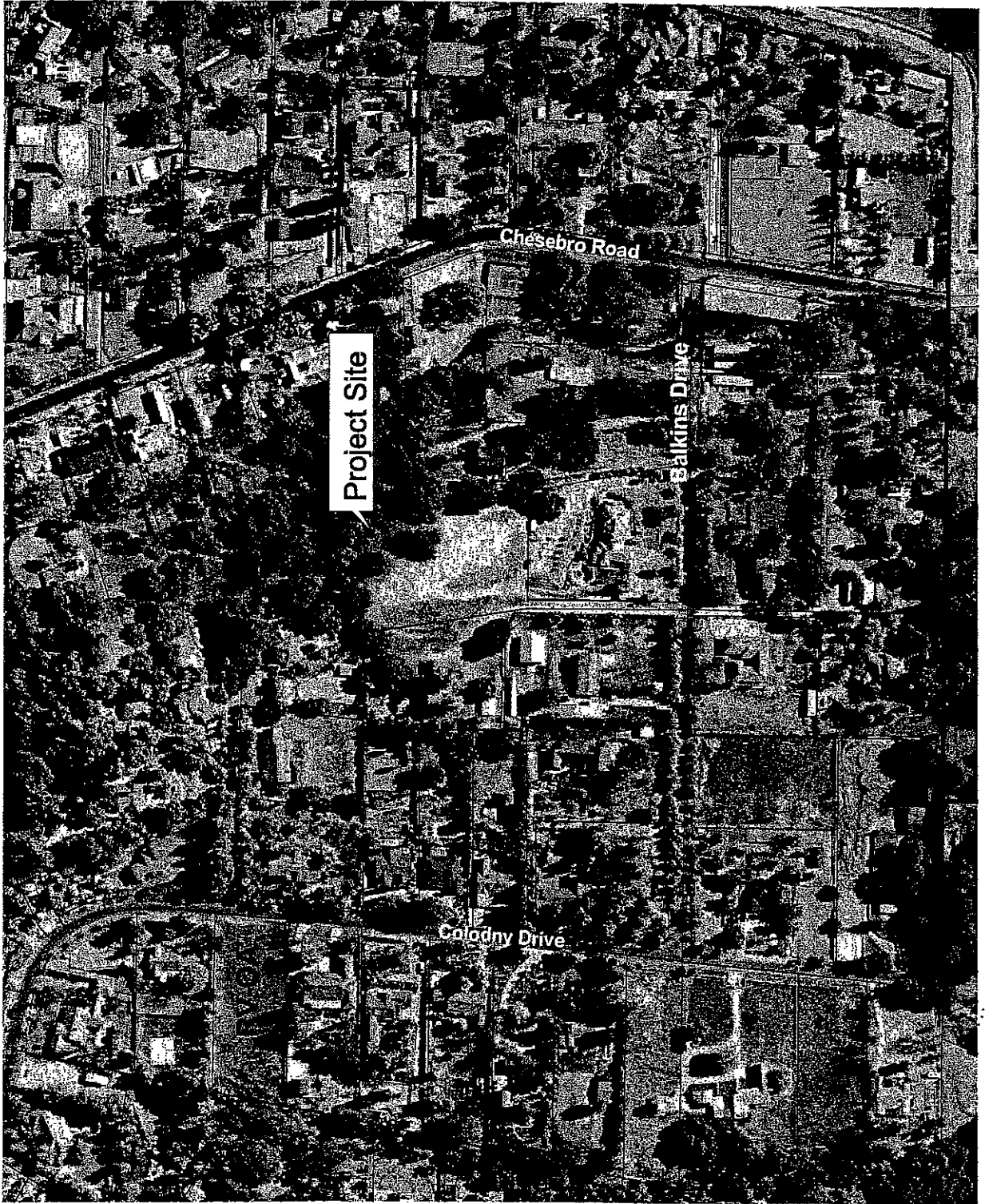
**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

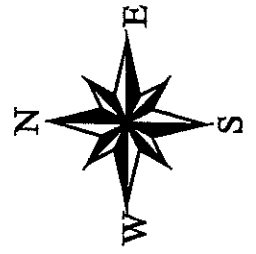
## **EXHIBIT B**

**Vicinity/Zoning Map**

# Conditional Use Permit Case No. 03-CUP-002 & Oak Tree Permit Case No. 03-OTP-002



Vicinity/Zoning  
Map





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

## **EXHIBIT C**

### **Square Footage Analysis Map**



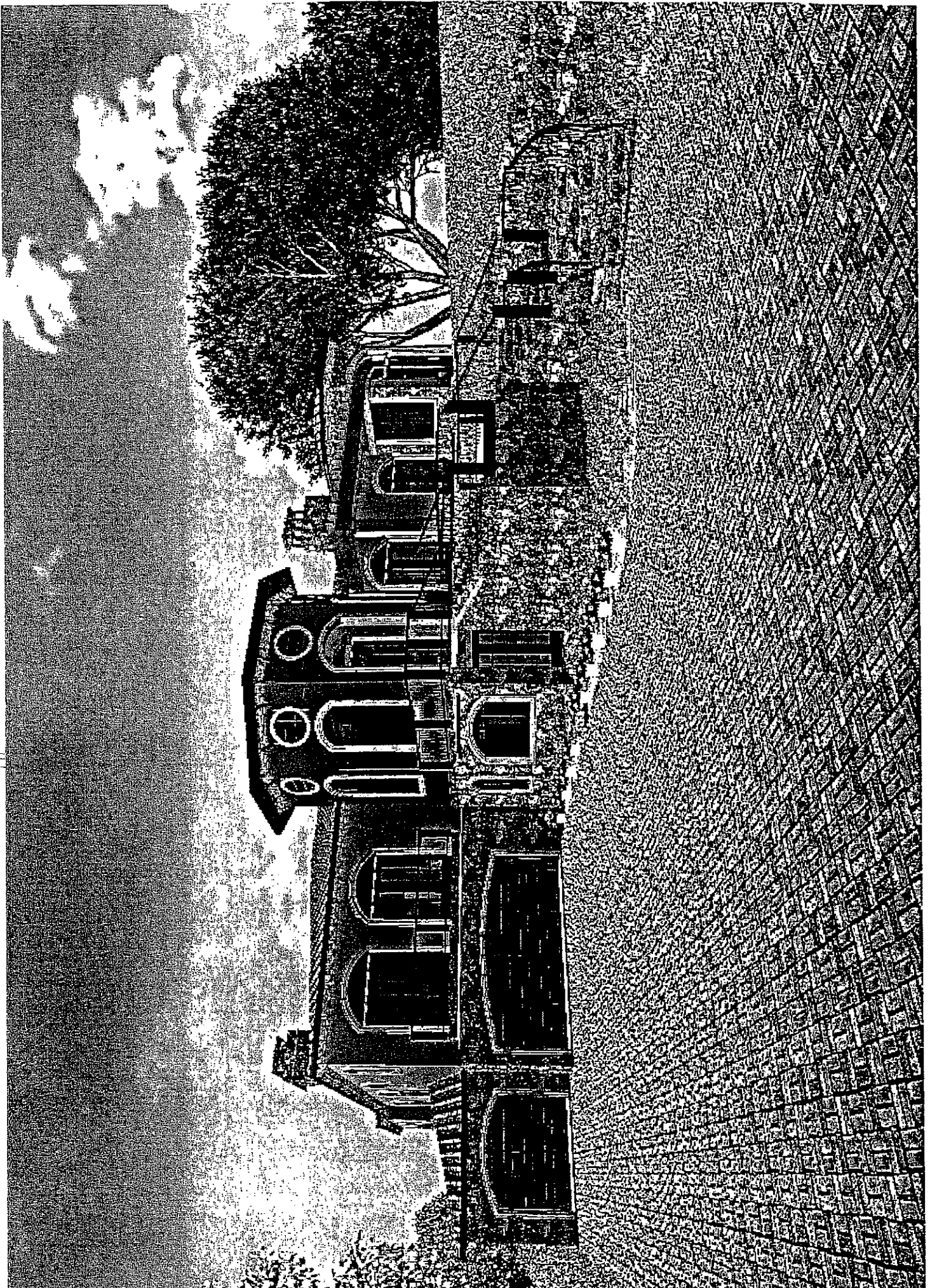


**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

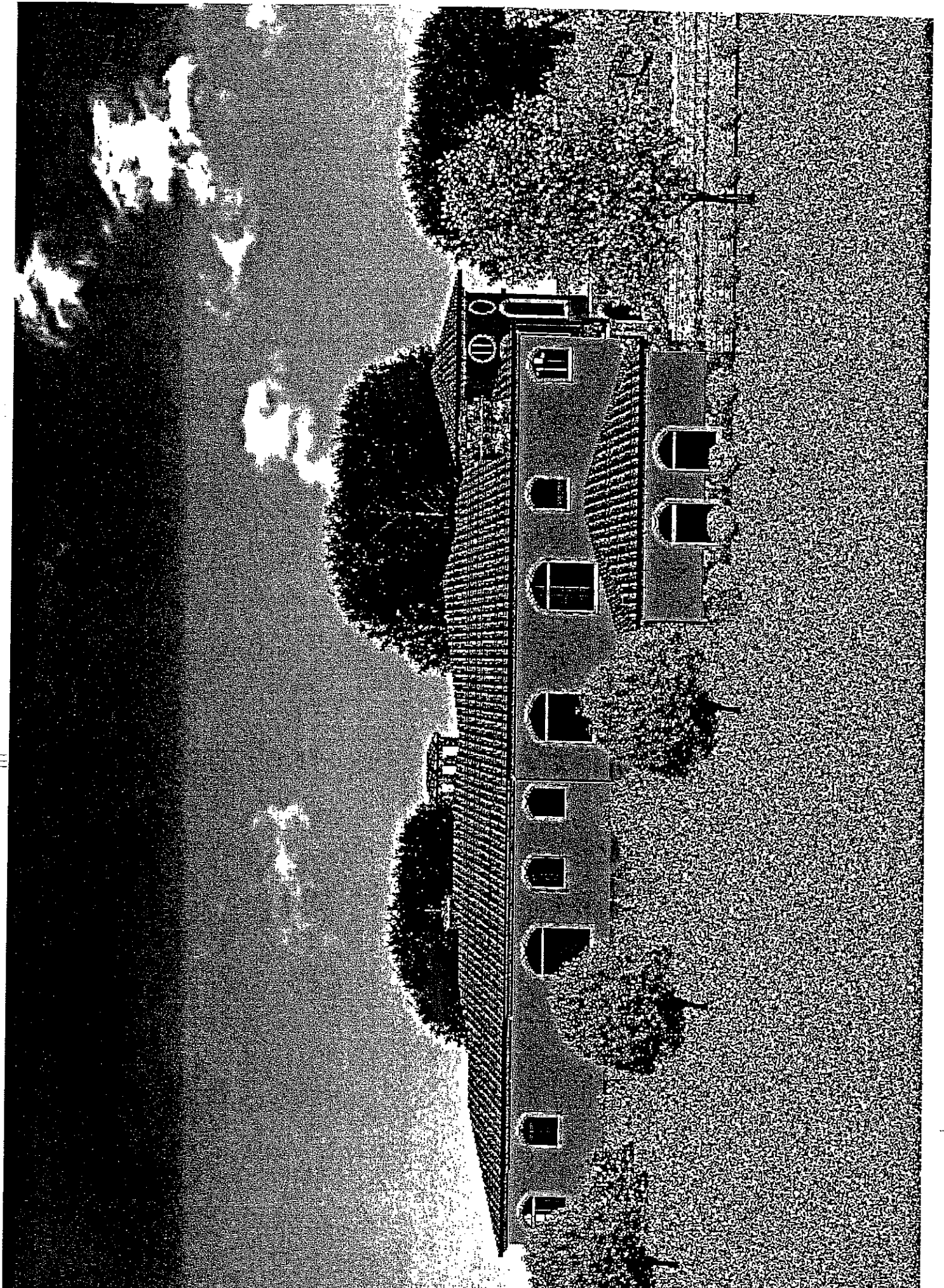
**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

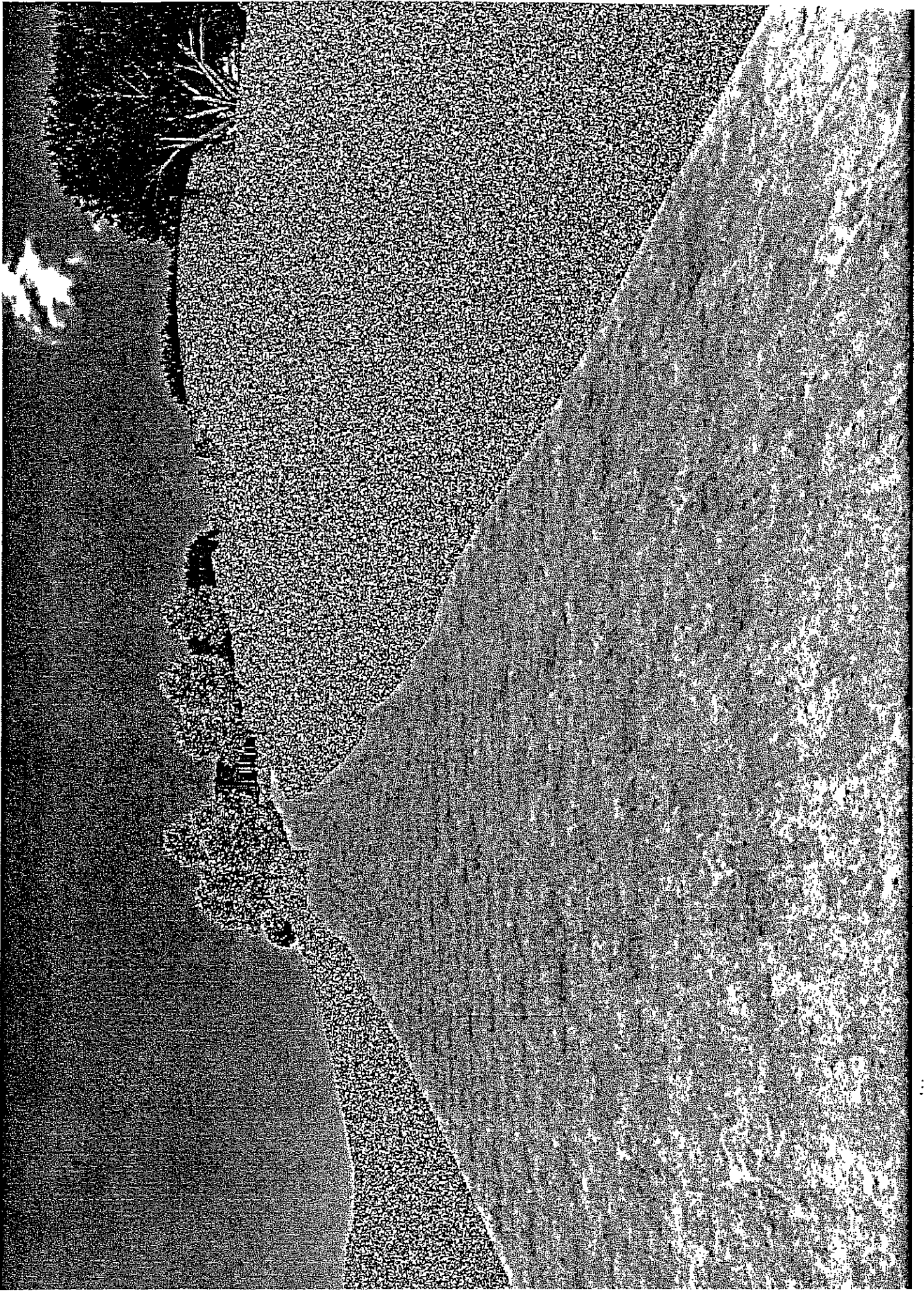
**EXHIBIT D**

**Reduced Copies of Renderings**













**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT E**

**Reduced Copies of Architectural/Landscape/Grading Plans**

REVISIONS BY	

DRAWN BY: VERN GILL  
 2803 BALKINS DR.  
 PHOENIX, AZ 85028  
 602-995-8240

2803 BALKINS DR.  
 NEW HOME  
 SITE PLAN, SHEET INDEX,  
 GENERAL NOTES



VERN GILL  
 11809 N. 35TH STREET  
 PHOENIX, AZ 85028  
 602-995-8240

DESIGNER: VERN GILL  
 11809 N. 35TH STREET  
 PHOENIX, AZ 85028  
 602-995-8240

APPLICANT/OWNER:  
 RON & DANIELLE WATERS  
 2803 BALKINS DR.  
 ASCORA HILLS, CA. 91301  
 818-889-8227

**SHEET INDEX:**

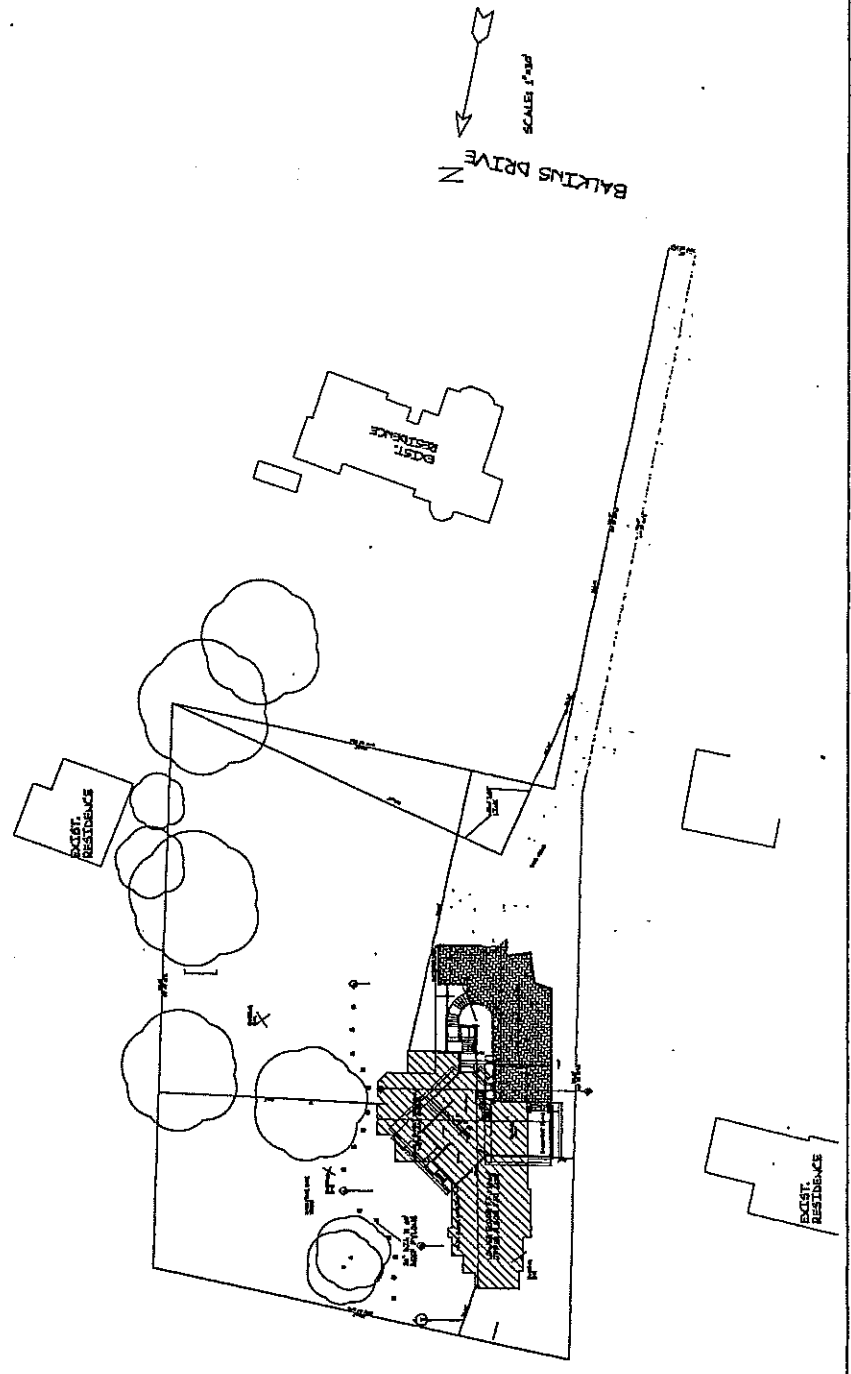
- C-1 SITE PLAN, SHEET INDEX, PROJECT INFO, GENERAL NOTES
- C-2 SITE PLAN W/ CONTOURS
- A-1 MAIN FLOOR PLAN
- A-2 GARAGE & GUEST LEVEL ELEVATIONS
- ELEV-1 SOUTH ELEVATION
- ELEV-2 SECTION C-C
- S-1 SECTION A-A, B-B
- S-2 SECTION D - D, E - E
- R-1 ROOF PLAN
- R-2 ROOF PLAN

PROJECT SPECIFICATIONS:

A.P.I.L.	2018-03-04
PROPOSED BASEMENT LEVEL	1448 SF
PROPOSED MAIN LEVEL	2408 SF
2-CAR GARAGE	497 SF
LATTICE PATIO COVER	259 SF
LOT AREA	49456 SF / 43460 S.F.M. AC
LOT COVERAGE	6418 SF / 46684 - 8.3 %

LEGAL DESCRIPTION: MAP NO. 4881 IN THE CITY OF ASCORA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON PARCELS 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY REGISTRAR OF SAID COUNTY.

- 7 PRODUCTS USED, MANUFACTURER'S NAME AND MODEL NUMBER LISTED IN THE QUALITY OF MANUFACTURE AS APPROVED BY THE ARCHITECT/REGISTERED ENGINEER, WILL BE ACCEPTABLE FROM OTHER MANUFACTURERS.
- 8 WORKMANSHIP, ALL WORK TO BE FIRST RATE, HIGH QUALITY, AND ACCOMPLISHED IN A WORKMANSHIP MANNER BY SKILLED CRAFTSMEN USING ACCEPTED PRACTICES AND METHODS APPROPRIATE TO THE TRADE INVOLVED.
- 9 PERMITS: PRIOR TO CONSTRUCTION, THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, APPROVALS AND CIVIL CERTIFICATE OF OCCUPANCY, AS WELL AS ALL NECESSARY INSURANCE COVERAGE. ALL PERMITS AND OTHER DOCUMENTS APPROVED BY ALL THE PERTINENT AUTHORITIES, PRIOR TO CONSTRUCTION, CONTRACTOR/OWNER TO VERIFY SERVICE WITH UTILITY AGENCY AND SCHEDULE ON-SITE INSPECTION TO LOCAL AGENCY.
- 10 CONTRACT DOCUMENTS: THESE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT/REGISTERED ENGINEER. THE CONTRACT DOCUMENTS SHALL NOT BE USED FOR ISSUANCE OF A BUILDING PERMIT UNLESS REVIEWED BY THE ARCHITECT/REGISTERED ENGINEER.
- 11 ALL COPIES OF THESE DOCUMENTS SHALL BE RETURNED TO THE ARCHITECT/REGISTERED ENGINEER.
- 12 ORIGINAL DRAWINGS AND/OR PRELIMINARIES SHALL NOT BE CONSIDERED ACCURATE, NOR SHALL THEY BE USED FOR CONSTRUCTION OR FOR FINANCIAL CONSTRUCTION COSTS, UNLESS THEY ARE CORRECTED BY THE ARCHITECT/REGISTERED ENGINEER. ANY CHANGES TO SAID DRAWINGS, ANY USE OF NON-APPROVED PLANS OR WITH THESE DRAWINGS, AND ANY USE OF NON-APPROVED PLANS OR WITH THESE DRAWINGS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER. THE CONTRACTOR/OWNER SHALL VERIFY ALL DIMENSIONS, SPICES, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.



- 1 A SEPARATE PERMIT WILL BE REQUIRED FOR PLUMBING, MECHANICAL AND ELECTRICAL WORK AS APPLICABLE.
- 2 CONCRETE SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND SHALL BE APPROVED BY THE ARCHITECT/REGISTERED ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES WITH CONCRETE.
- 3 SCALE DO NOT SCALE DRAWINGS! USE DIMENSIONS ONLY.
- 4 DIMENSIONS: ALL DIMENSIONS ARE TO FACE OF STUD WALLS OR MASONRY FOUNDATION. CONTRACTOR/OWNER TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 5 CHANGES OR MODIFICATIONS TO PLANS: ANY CHANGES OR MODIFICATIONS TO THIS PLAN DO NOT BE MADE OR VOID THE CONTRACTS COVERED THIS SET OF PLANS IN ANY WAY. MODIFICATIONS TO THIS PLAN, FOR ANY REASON, SHOULD BE ATTEMPTED BY AN ARCHITECT/REGISTERED ENGINEER. ANY CHANGES TO THE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER. ANY CHANGES TO THE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER. ANY CHANGES TO THE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.
- 6 INSTALLATION: ALL MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES, OR SCHEDULES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND FOR THE PROTECTION OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

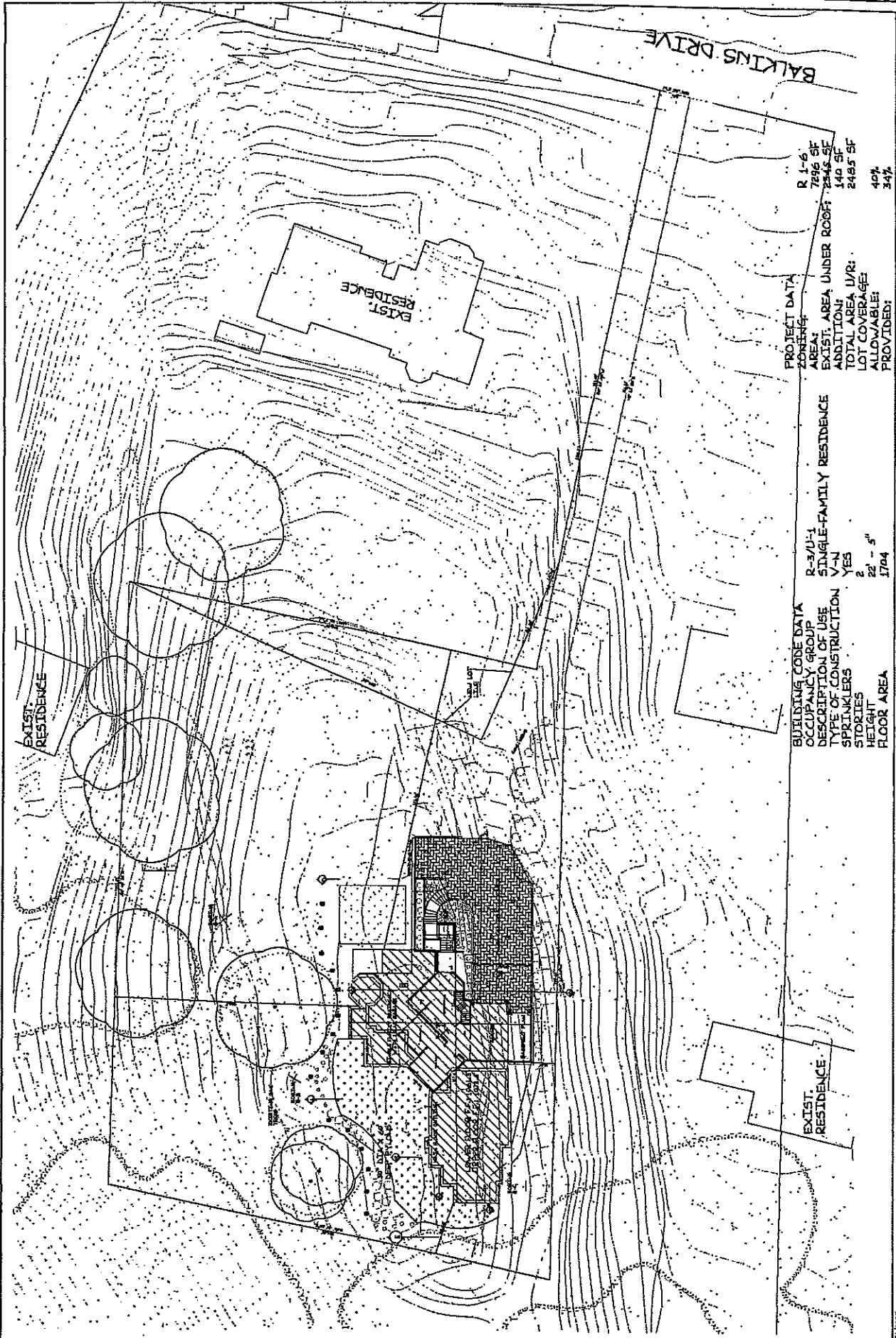
REVISIONS BY

OWNER:  
RON & DAVIDE WATERS  
2803 BALKINS DR.  
AGOURA HILLS, CA 91301  
918-897-8687

2803 BALKINS DR.  
NEW HOME  
SITE PLAN W/ CONTOURS



VERA GILL  
11509 N. 35th STREET  
PHOENIX, AZ 85028  
602-995-5240



PROJECT DATA  
ZONING: R 1-6  
AREA: 7896 SF  
EXIST. AREA UNDER ROOF: 2345 SF  
ADDITIONAL: 140 SF  
TOTAL AREA 11/2: 2485 SF  
LOT COVERAGE: 40%  
ALLOWABLE: 34%  
PROVIDED:

BUILDING CODE DATA  
OCCUPANCY GROUP: R-3/U-1  
DESCRIPTION OF USE: SINGLE-FAMILY RESIDENCE  
TYPE OF CONSTRUCTION: V-N  
SPRINKLERS: YES  
STORIES: 2  
HEIGHT: 22' - 5"  
FLOOR AREA: 1704

EXIST. RESIDENCE

EXIST. RESIDENCE

EXIST. RESIDENCE

NO.	REVISIONS BY

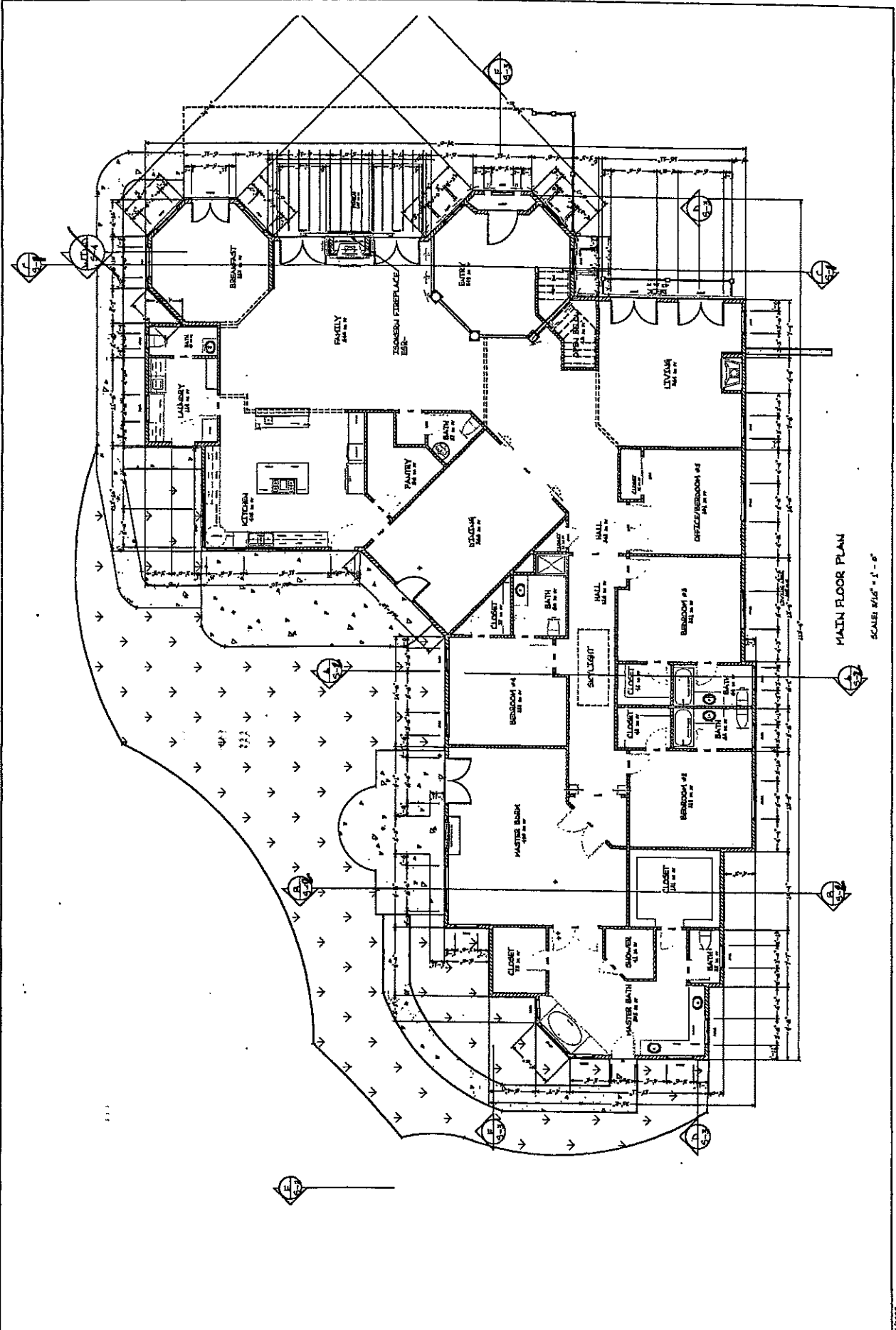
OWNER:  
RON & DANIELE WATERS  
28031 BALKINS DR.  
AGOURA HILLS, CA 91301  
818-809-8227

28031 BALKINS DR.  
NEW HOME  
MAIN FLOOR PLAN

VERNI GILL  
11809 N. 35th STREET  
PHOENIX, AZ 85028  
602-595-5240



DRAWN BY: VERNI GILL
CHECKED BY: DANIELE WATERS
DATE: 07/20/06
SHEET: A-1
OF: 1



MAIN FLOOR PLAN  
SCALE: 1/8" = 1' - 0"



REVISIONS BY	

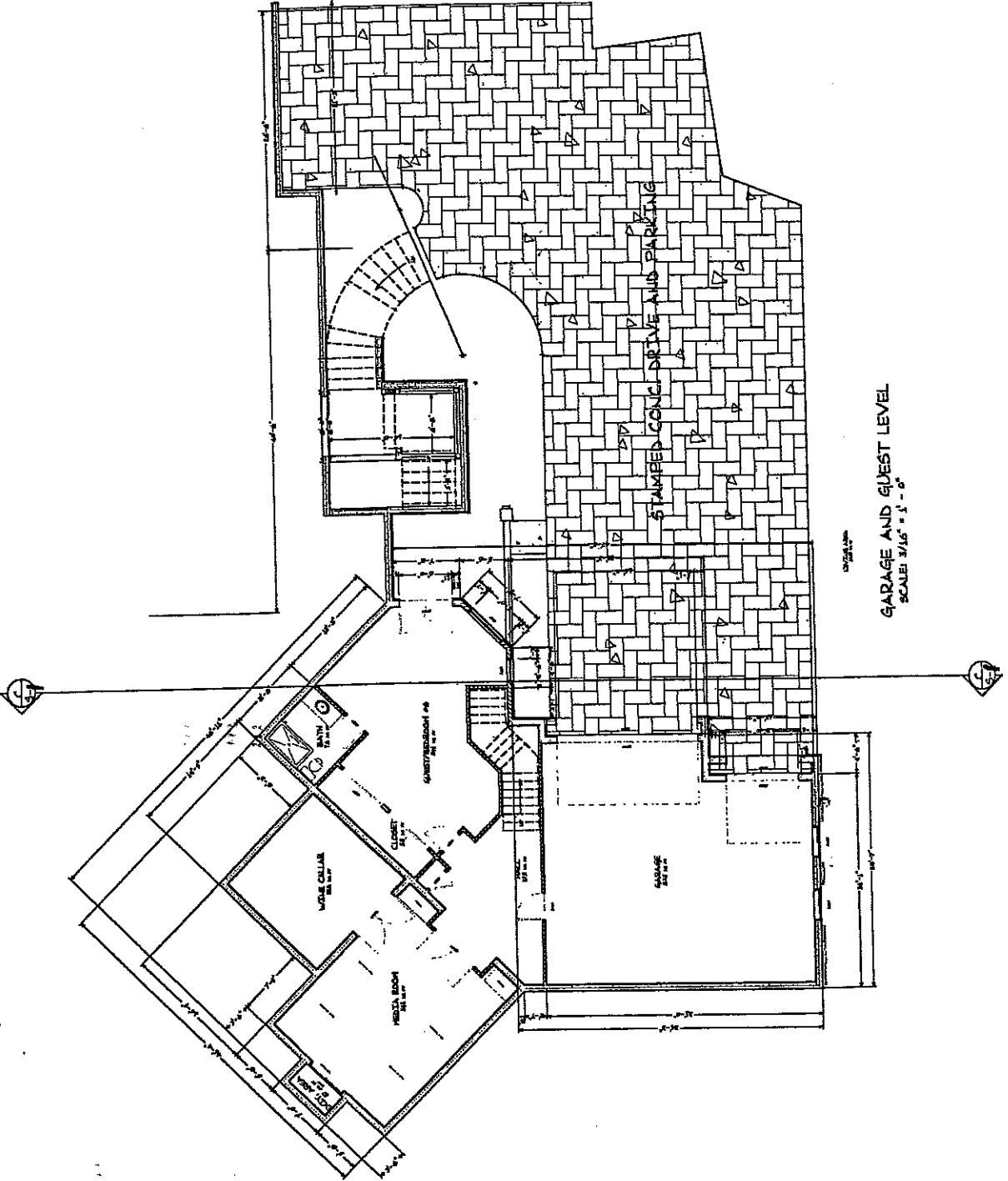
OWNER:  
RON & DANIELLE WATERS  
2205 BALKINS DR.  
AGOURA HILLS, CA 91301  
919-689-8827

2205 BALKINS DR.  
NEW HOME  
GARAGE & GUEST LEVEL



VERA GILL  
11809 N. 35th STREET  
PHOENIX, AZ 85028  
602-585-5240

BRANVAN, GILL 11809 N. 35th STREET PHOENIX, AZ 85028 602-585-5240
DATE: 04/22/2007
SHEET: A-2
SCALE: 1/8" = 1'-0"



GARAGE AND GUEST LEVEL  
SCALE: 3/16" = 1'-0"

REVISIONS

OWNER:  
RON & DAVIDELE WATERS  
2803 BALKINS DR.  
AGOURA HILLS, CA 91301  
618-899-8527

2803 BALKINS DR.  
NEW HOME  
ELEVATIONS

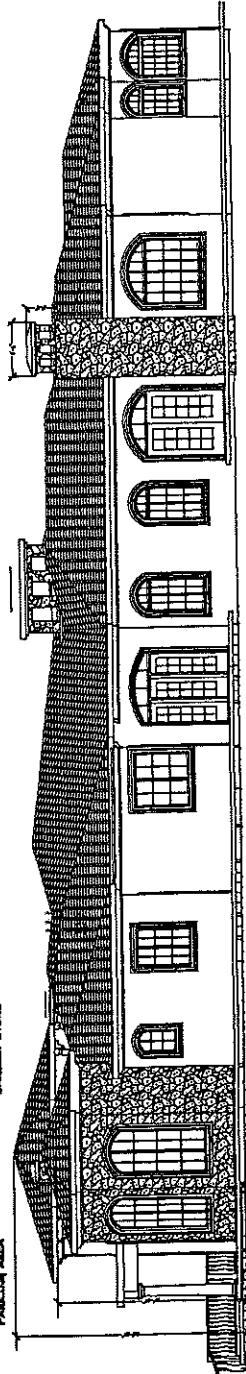
VERA GILL  
11009 N. 35th STREET  
PHOENIX, AZ 85028  
602-995-5740

BRANLY V. GILL  
DANIELA TALEGA  
LUCY OTTENWITZ  
DATE: 6-11-2007  
SHEET: ELEV-1

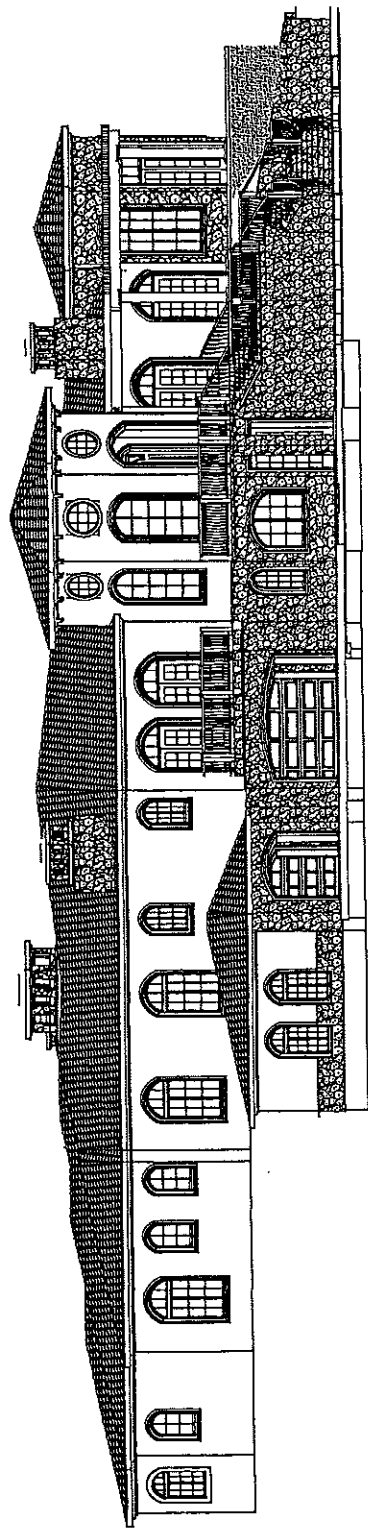
EXTENSION FINISHES PER COLOR BOARD

- STUCCO MAIN COLOR
- STUCCO BROWN TOWER
- STONE
- TRIPLEX TILE
- WIDENOVIA
- WOODS
- NOVA-TROOP / SERRAVALLO
- GRABBE BROWN
- WINDHAT TOWN BATHING
- PANORAMA AREA

TORRINO TUSCANY / CANARA  
TRASTORI TUSCANY / PUGLIESE  
NATURAL STONE CREMAVERE BROWN w/ aged highlights  
TRASTORI TUSCANY / PUGLIESE  
TRASTORI TUSCANY / PUGLIESE  
CUSTOM LITIGONI W/ BROWN, ALUMINUM EXT.  
TRASTORI TUSCANY / PUGLIESE  
TRASTORI TUSCANY / PUGLIESE  
CUSTOM WOOD, WEN. NAT. STAIN  
TRASTORI TUSCANY / PUGLIESE  
TRASTORI TUSCANY / PUGLIESE



EAST ELEVATION



SOUTHWEST ELEVATION

REVISIONS BY	

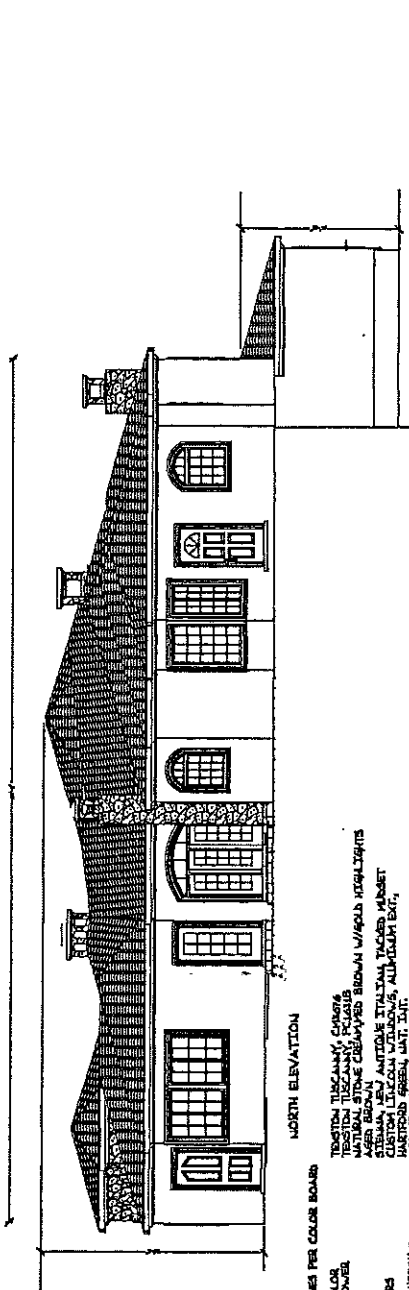
OWNER:  
 28034 BALKINS DR.  
 ROAD 4 DANDELLE WATERS  
 AGOURA HTLS, CA 91301  
 619-899-8527

28034 BALKINS DR.  
 NEW HOME  
 ELEVATIONS



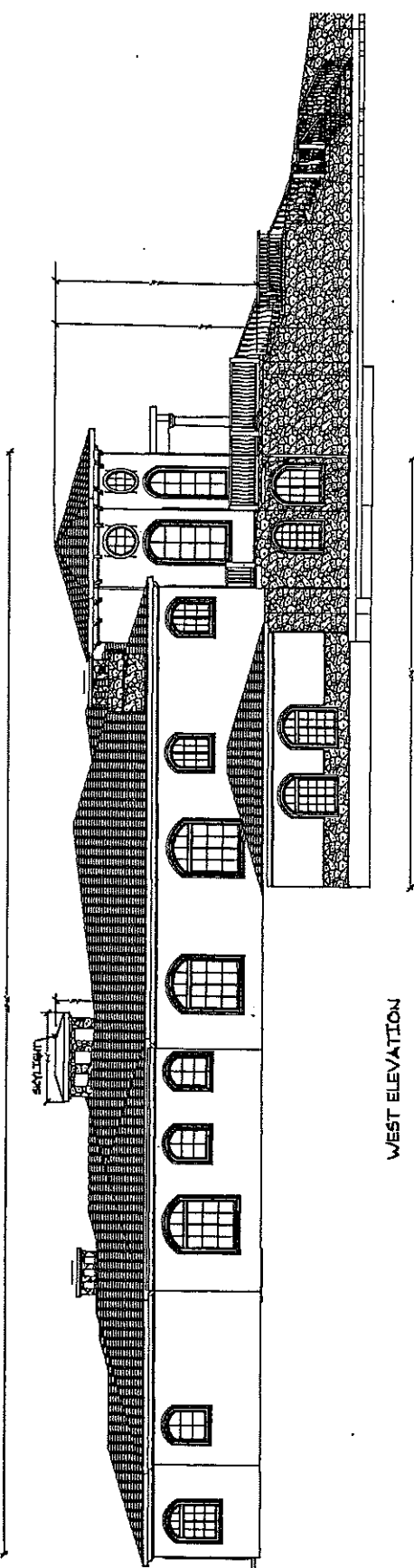
VERN GILL  
 15809 N. 35TH STREET  
 PHOENIX, AZ 85028  
 602-935-3240

DATE: 01/20/2021  
 SHEET: ELEV-01  
 PROJECT: 28034 BALKINS DR. NEW HOME



NORTH ELEVATION

- EXTERIOR FINISHES PER COLOR BOARD
- STUCCO MAIN COLOR
  - STUCCO ENTRY TOWER
  - TRIM
  - ROOF TILE
  - WALKWAYS & DOORS
  - DOOR/WINDOW SURROUND
  - WALLS, PORCH
  - ACROBATIC BRICK
  - PARKING AREA
- TRUSTON TUSCANY, CHARTA  
 TRUSTON TUSCANY, POLARIS  
 TRUSTON TUSCANY, POLARIS  
 ASER BROWN ONE COORDINATED BROWN W/SPALL HIGHLIGHTS  
 STELLA, NEW ANTIOCH ITALIAN TACCO MIMSET  
 MURKIN, BROWN MANTONUS, ANTIQUARI EXH.  
 MURKIN, BROWN MANTONUS, ANTIQUARI EXH.  
 MRS. STONE, SANDSTONE COLOR  
 CUSTOM WOOD, MED. NAT. STAIN  
 CUSTOM WOOD, MED. NAT. STAIN  
 SANDSET STONE



WEST ELEVATION

REVISIONS BY	

OWNER:  
 25035 BAKKINS DR.  
 25035 BAKKINS DR.  
 AGOURA HILLS, CA 91301  
 818-209-6627

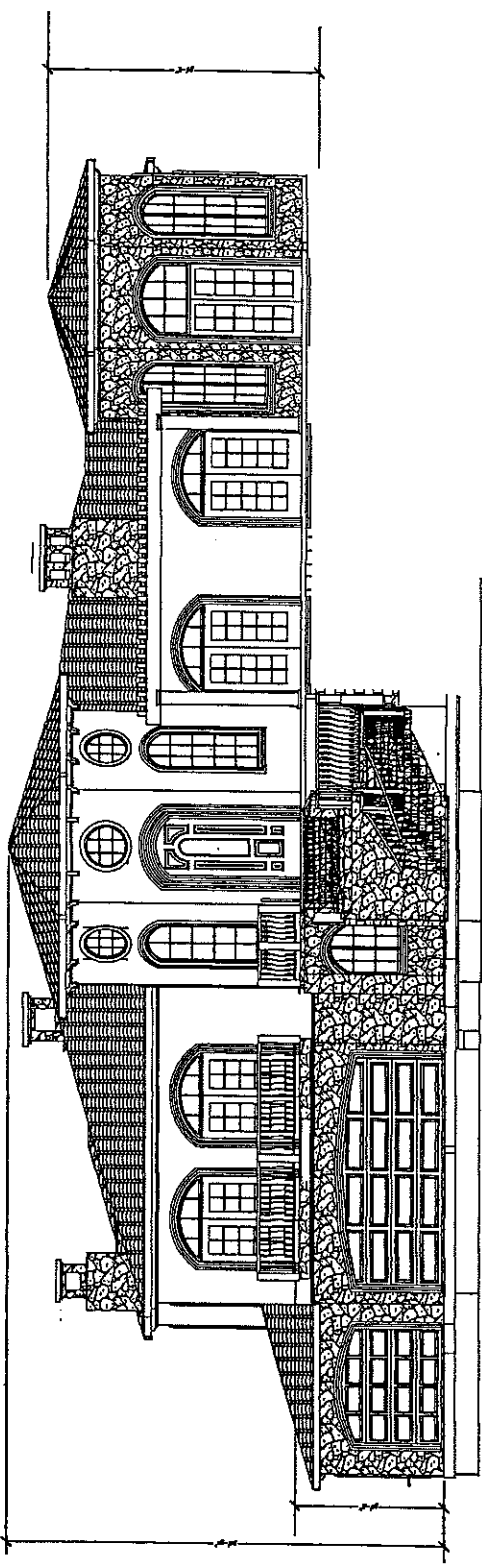
25035 BAKKINS DR.  
 NEW HOME  
 SOUTH ELEVATION

VERN GILL  
 13809 L. 15TH STREET  
 PHOENIX, AZ 85028  
 602-595-3240



DESIGNED BY	VERN GILL
DRAWN BY	VERN GILL
CHECKED BY	VERN GILL
DATE	04/20/02
PROJECT NO.	02-0000
SCALE	1/8" = 1'-0"
SHEET NO.	1

- EXTERIOR FINISHES PER COLOR BOARD
- STUCCO MAIN COLOR
  - STUCCO ENTRY TOWER
  - STONE
  - ROCK TILE
  - WINDOWS & DOORS
  - DOOR/WINDOW SURROUND
  - GARAGE DOORS
  - WROUGHT IRON RAILING
  - PARKING AREA
- TEXSTON TUSCANNY, CM5676
  - TEXSTON TUSCANNY, FC16318
  - NATURAL STONE CREAM/RED BROWN W/GOLD HIGHLIGHTS
  - STEIN BROWN ANTIQUE ITALIAN TACKED W/ROSET
  - CUSTOM LAMINUM W/IRON, ALUMINUM EXT.
  - HARTFORD GREEN, NAT. TAT.
  - MES. STONE, SANDSTONE COLOR
  - CUSTOM WOOD, MED. NAT. STAIN
  - BRONZE/BROWN COLOR
  - SANSET STONE



SOUTH ELEVATION



REVISIONS BY	

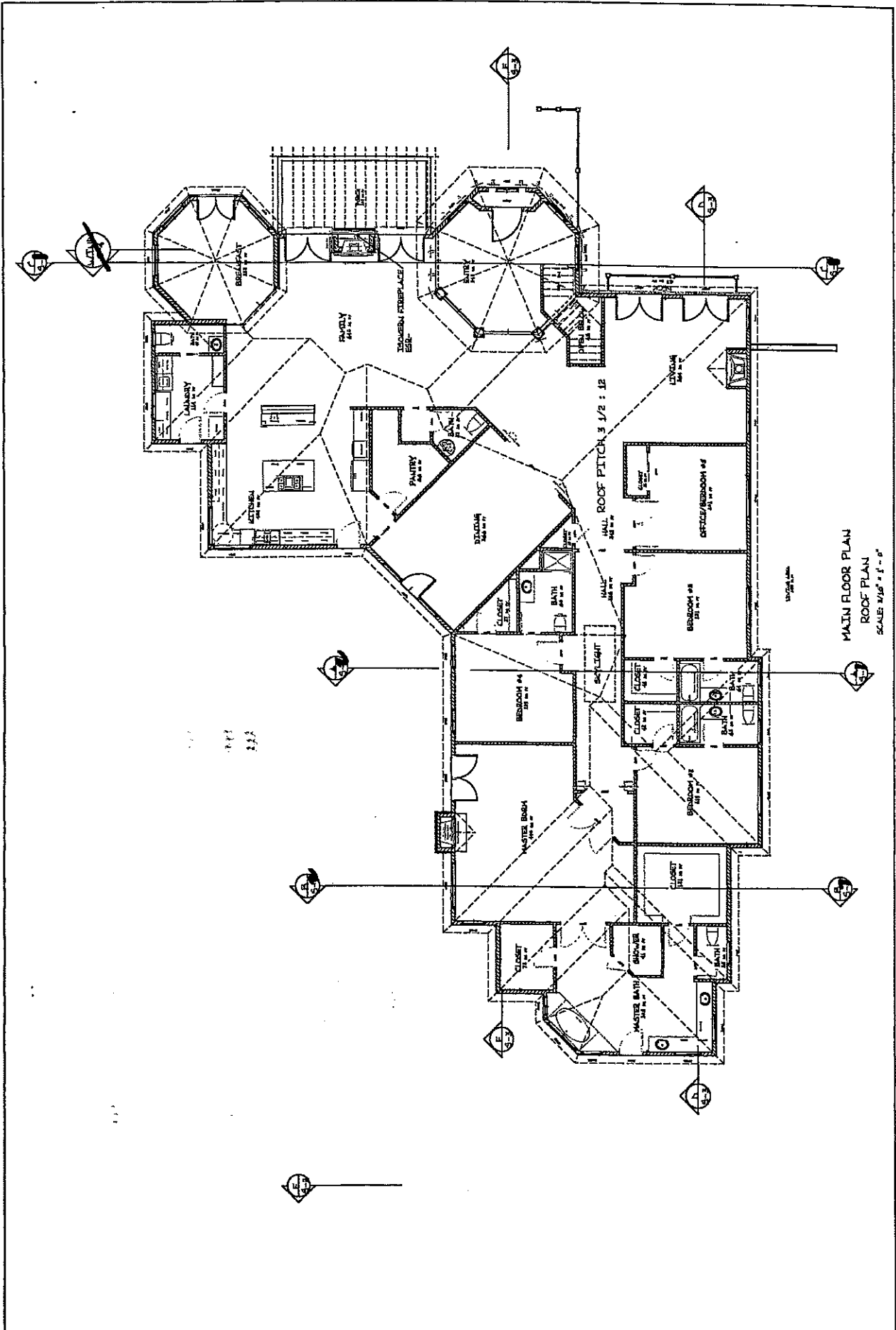
OWNER:  
RON & DAVIDLE WATERS  
28025 BALKINS DR.  
AGOURA HILLS, CA 91301  
818-889-6627

28025 BALKINS DR.  
NEW HOME  
ROOF PLAN

VERM GILL  
11809 N. 35th STREET  
PHOENIX, AZ 85028  
602-995-2740



DRAWN BY: VERM GILL	
CHECKED BY: [Signature]	
DATE: 6-14-2007	
SHEET: R-1	
OF: 11	



MAIN FLOOR PLAN  
ROOF PLAN  
SCALE 3/8" = 1' - 0"

REVISIONS BY

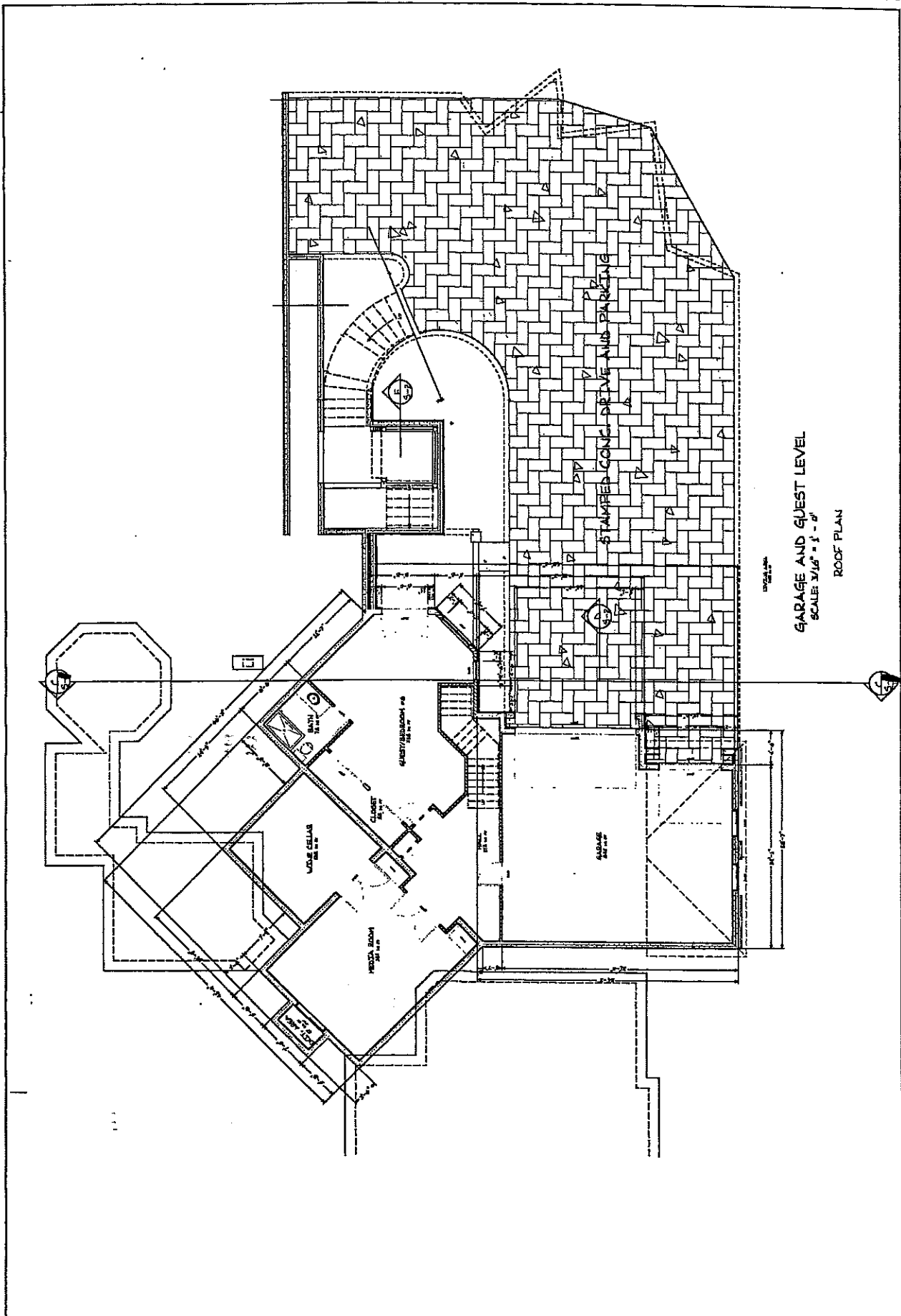

OWNER:  
RON & DANIELE WATERS  
2505 BALKINS DR.  
AGOURA HILLS, CA 91301  
918-884-8627

25051 BALKINS DR.  
NEW HOME  
ROOF PLAN

VERN GILL  
11809 N. 35th STREET  
PHOENIX, AZ 85028  
602-995-5240

SPRINKLER DETAIL  
PLUMBING TALLESS  
NOTES, OTHERWISE  
APPLY

DATE: 6-12-2007  
SHEET: R-2  
OF: 18



GARAGE AND GUEST LEVEL  
SCALE: 3/16" = 1' - 0"  
ROOF PLAN

REVISIONS BY	

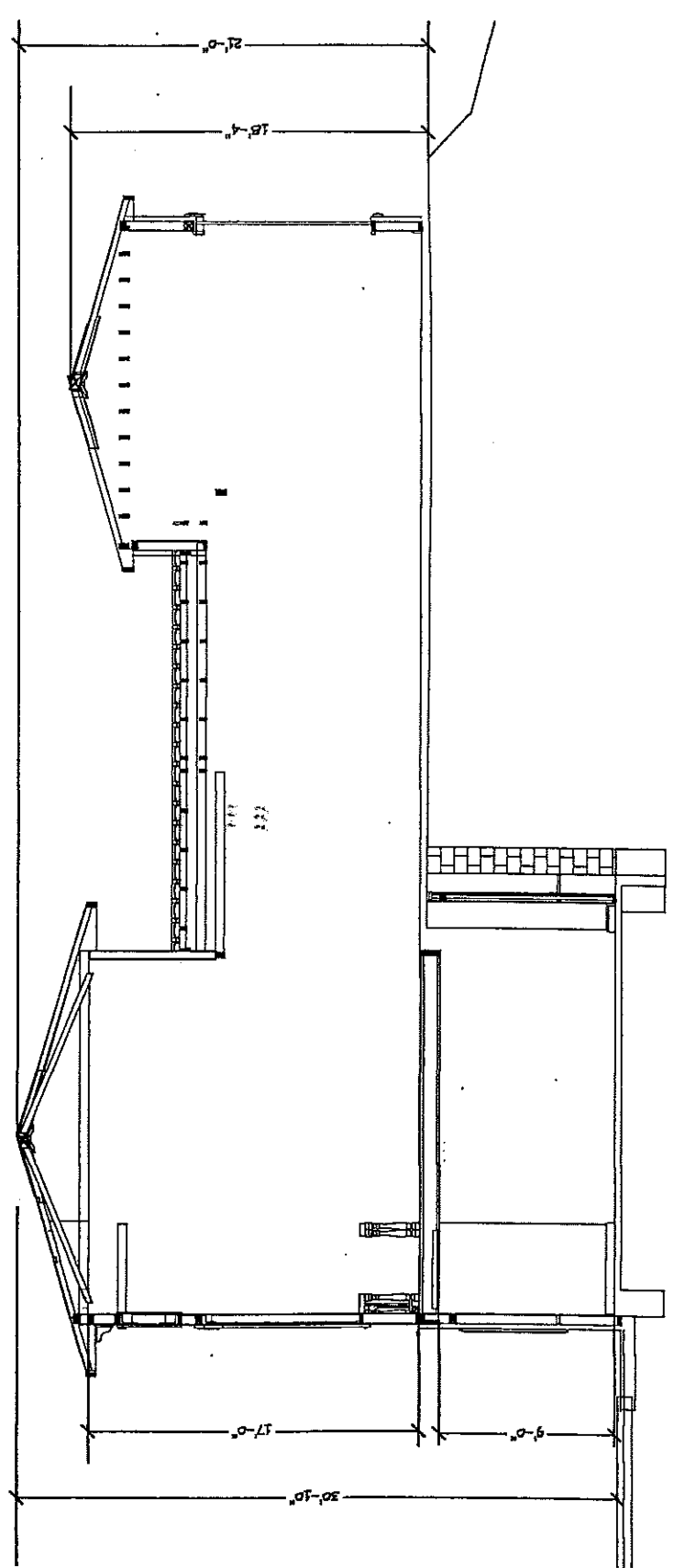
DRAWN BY:  
RON & DANIELE WATERS  
28031 BALKINS DR.  
AGOURA HILLS, CA 91301  
918-889-6627

28031 BALKINS DR.  
NEW HOME  
SECTIONS



VERN GILL  
11809 N. 35th STREET  
PHOENIX, AZ 85028  
602-895-5240

DATE: 4-12-2007  
SHEET: 5-1  
05



SECTION C - C

SCALE: 3/16" = 1'-0"

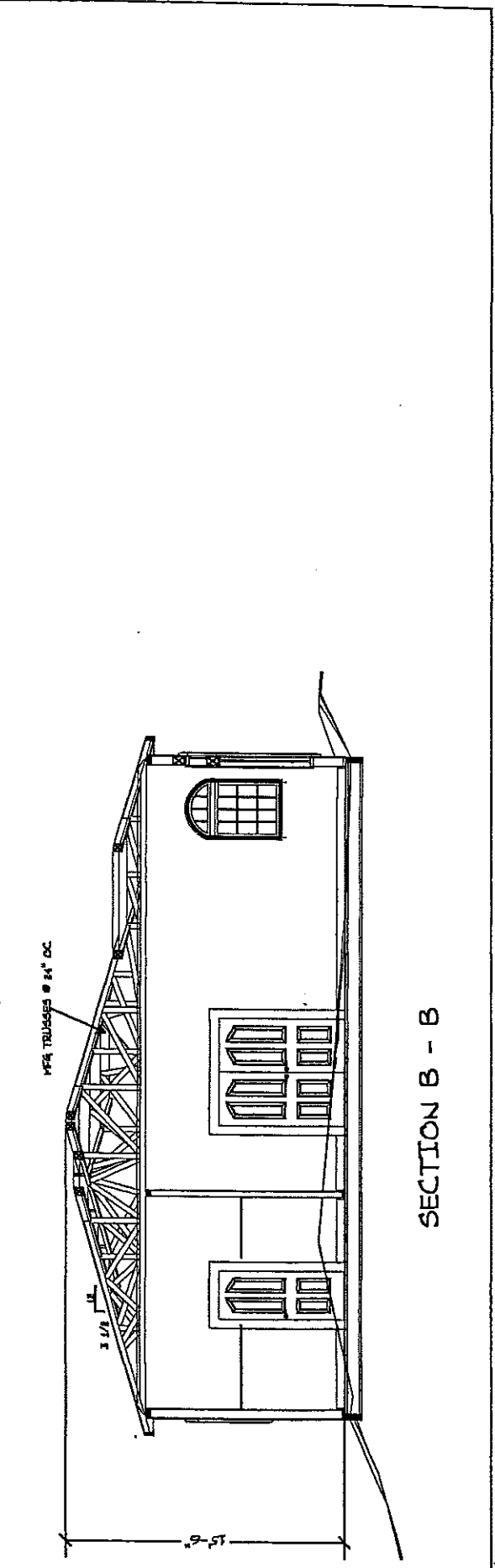
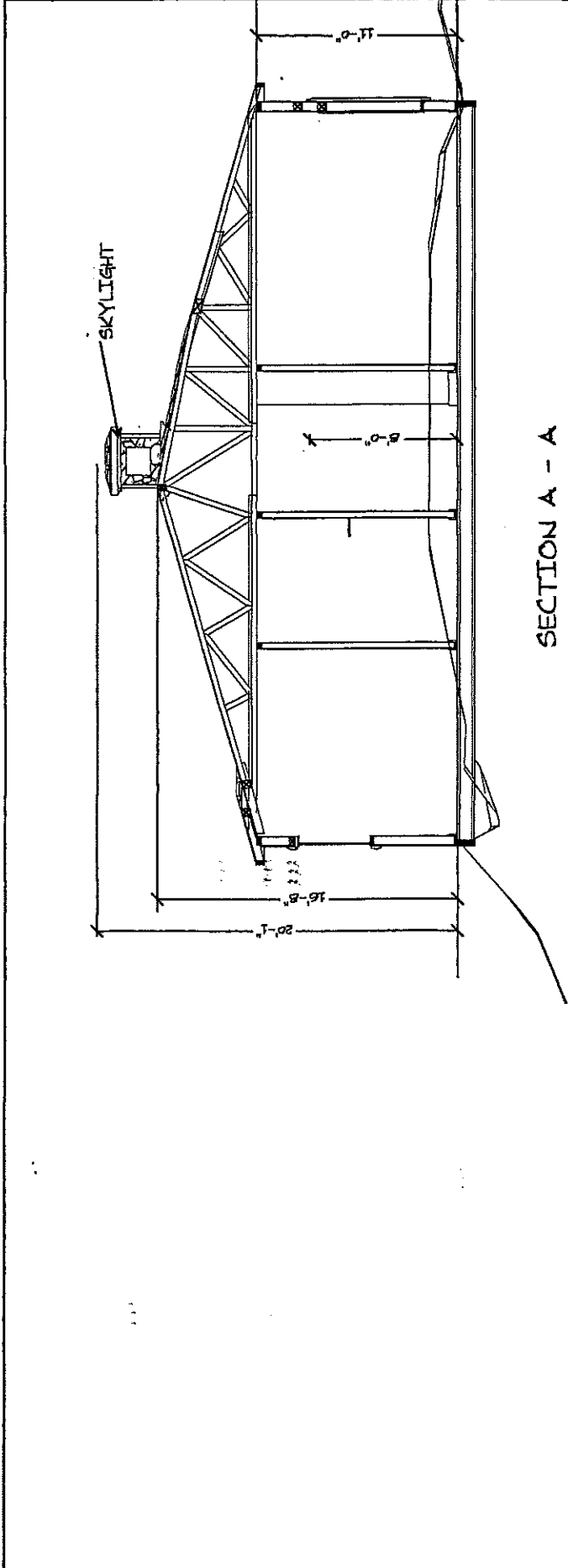
REVISIONS BY	

DRAWN BY:  
 RON & DANIELE WATERS  
 28031 BAKINS DR.  
 AGOURA HILLS, CA 91301  
 818-859-8627

28031 BAKINS DR.  
 NEW HOME  
 SECTION A-A, B-B.

VERA GILL  
 11809 N. 35th STREET  
 PHOENIX, AZ 85025  
 602-595-5240

DRAWN BY: GILL  
 DATE: 11/15/01  
 SHEET: 5-2  
 TOTAL SHEETS: 4





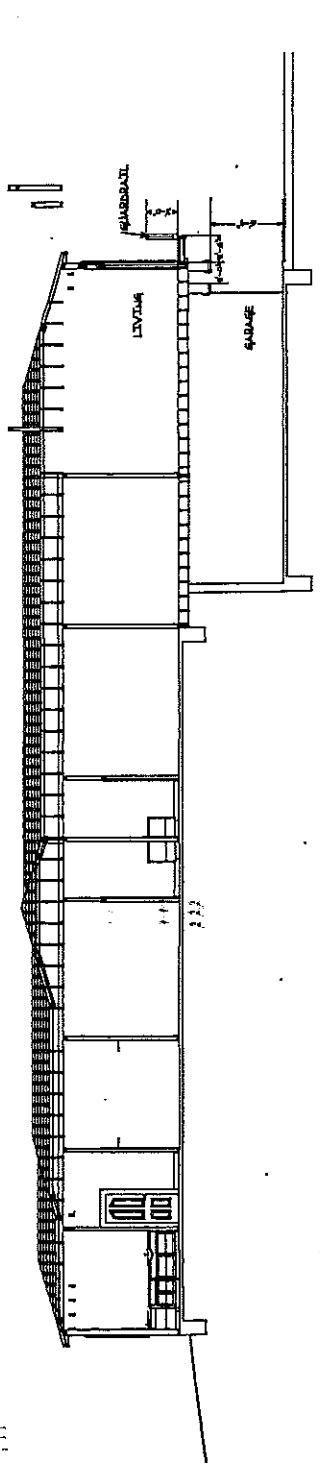
REVISIONS BY	

OWNER:  
RON & DANIELLE WATERS  
2803 BALKINS DR.  
AGOURA HILLS, CA 91301  
818-899-8287

2803 BALKINS DR.  
NEW HOME  
SECTION D-D, E - E

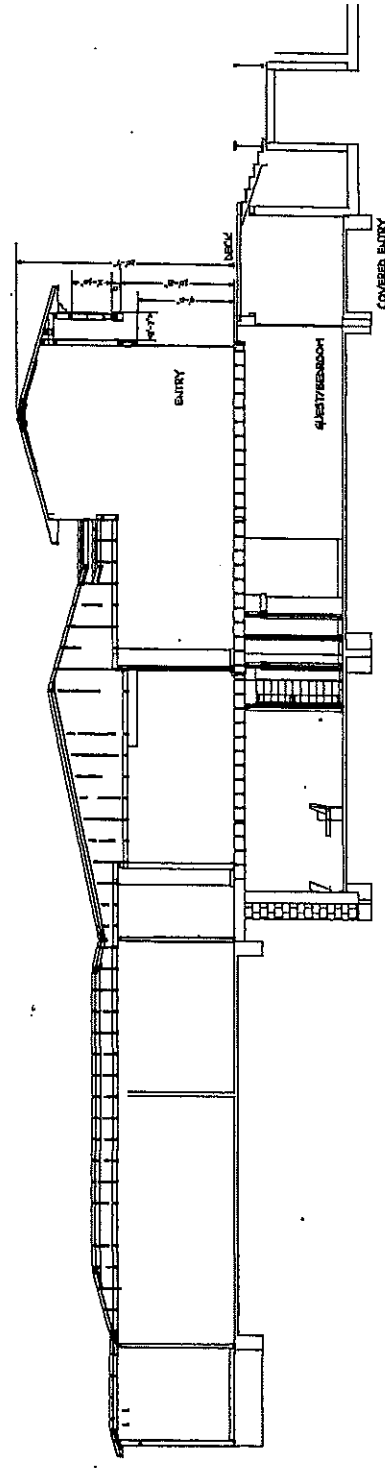
VERA GILL  
11609 N. 35th STREET  
PHOENIX, AZ 85028  
602-595-5240

BRANDY K. GILL  
DANIELLE WATERS  
OWNER REPRESENTATIVE  
DATE: 04-20-07  
SHEET 5-3  
C/S



SECTION D - D

GARAGE DOOR SECTION

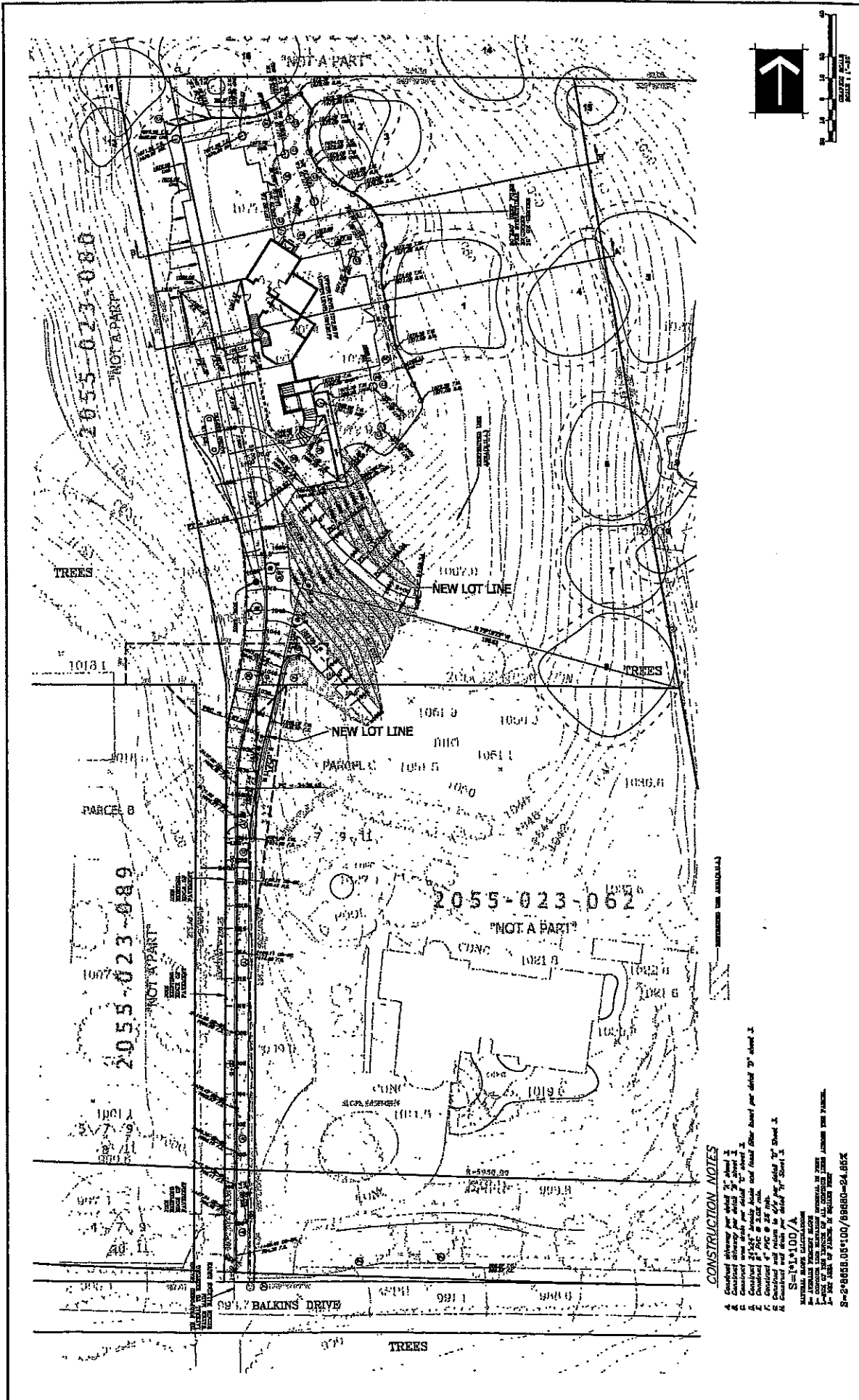


SECTION E - E

ENTRY SECTION







CITY OF ASHBURN, VA		28031 BALKINS DRIVE		SHEET 1 OF 1	
CITY OF ASHBURN, VA		PROJECT NO.		DATE	
CITY OF ASHBURN, VA		PREPARED BY		DATE	
CITY OF ASHBURN, VA		PROJECT ENGINEER		DATE	
REV	DATE	DESCRIPTION OF CHANGE	DATE	DATE	DATE

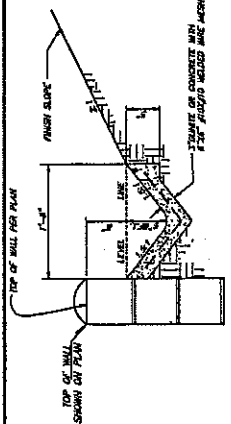
**CONSTRUCTION NOTES**

1. Contour interval per sheet 2' about 1.
2. Contour interval per sheet 3' about 1.
3. Contour interval 2' about 1.
4. Contour interval 2' about 1.
5. Contour interval 2' about 1.
6. Contour interval 2' about 1.
7. Contour interval 2' about 1.
8. Contour interval 2' about 1.

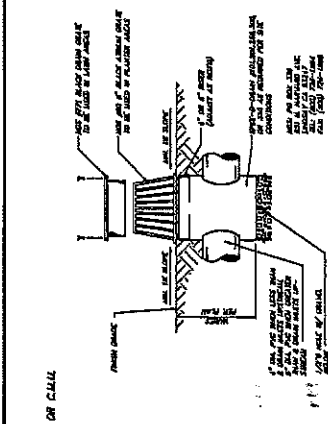
SCALE: 1"=100'

DATE: 10/10/00  
 DRAWN BY: J. J. JAMES  
 CHECKED BY: J. J. JAMES  
 PROJECT NO.: 28031 BALKINS DRIVE  
 SHEET 1 OF 1

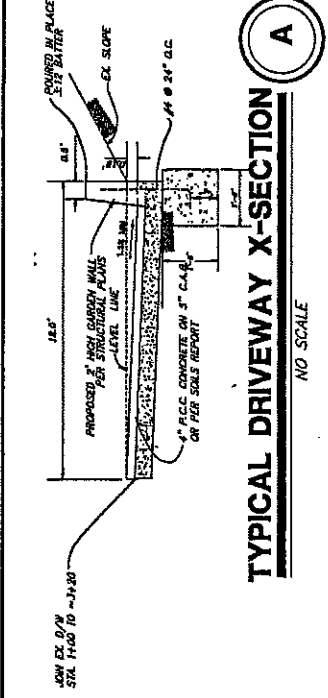
2055-023-088



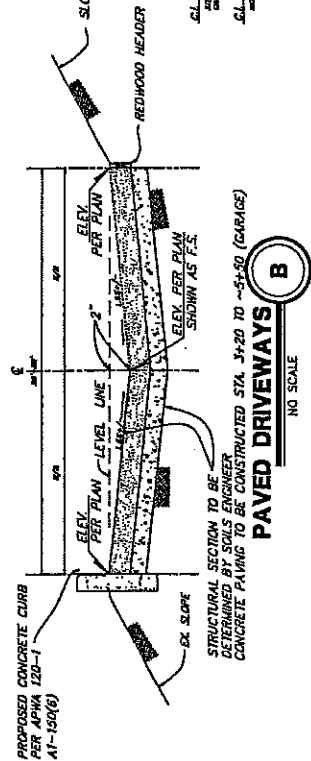
**F**  
TOP OF WALL DRAIN  
NO SCALE



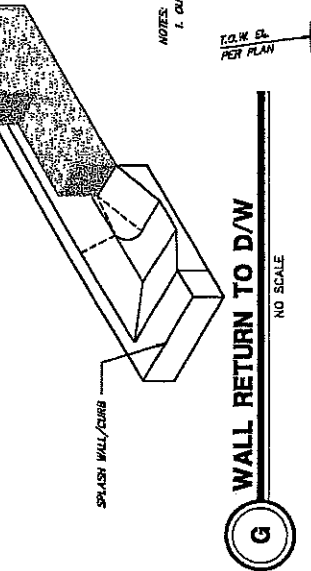
**C**  
AREA DRAIN  
NO SCALE



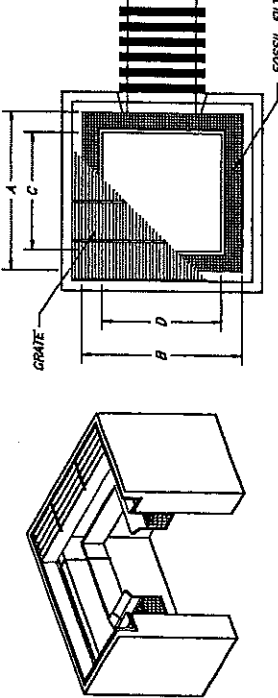
**A**  
TYPICAL DRIVEWAY X-SECTION  
NO SCALE



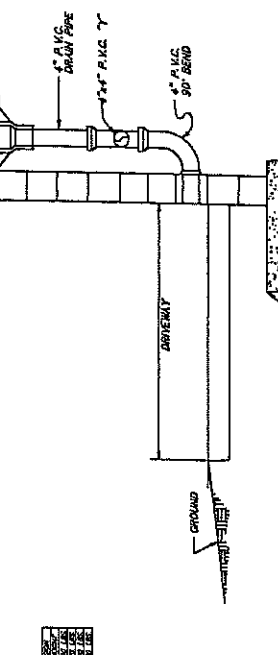
**B**  
PAVED DRIVEWAYS  
NO SCALE



**G**  
WALL RETURN TO D/W  
NO SCALE



**D**  
24" X 24" CATCH BASIN  
NO SCALE



**H**  
TYPICAL WALL DRAIN DETAILS  
NO SCALE

NOTES:  
1. OUTLET TO PAVED DRIVEWAY

C.L. GRADE  
FINISH OF CURB  
C.L. GRADE  
FINISH OF WALL

EXTERIOR  
FINISH OF WALL

BODY  
FINISH OF WALL

NOTE:  
SEE DRAWING FOR FINISH GRADE AND FINISH OF WALL

FOSSIL FILTER KRISTAR (FCP-24F)

AAA: INSIDE DIMENSION OF INLET  
CAD: FOSSIL FILTER OVERFLOW AREA

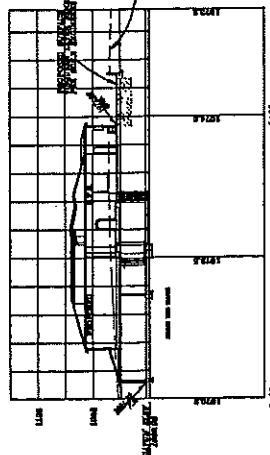
STANDARD GRATE INLET  
N.T.S.

FOSSIL FILTER FRANGE RESTS ON GRATE BEARING LEDGE

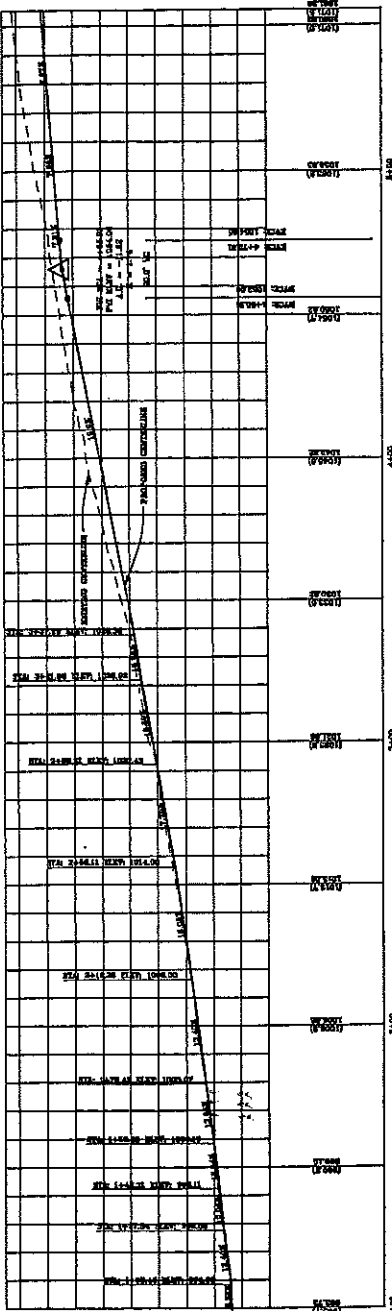
CITY OF ANCHORAGE APPROVAL		28031 BALKINS DRIVE GRADING		SHEET 3 OF 4	
PREPARED BY:	DATE:	PROJECT NUMBER:	DATE:	CITY OF ANCHORAGE PUBLIC WORKS	PROJECT NO.:
DESCRIPTION OF CHANGE:	DATE:	DATE:	DATE:	CITY OF ANCHORAGE PUBLIC WORKS	PROJECT NO.:
REV:	DATE:	DATE:	DATE:	CITY OF ANCHORAGE PUBLIC WORKS	PROJECT NO.:

**Driveway Centerline Profile  
Average Driveway Gradient  
28031 BALKINS DRIVE**

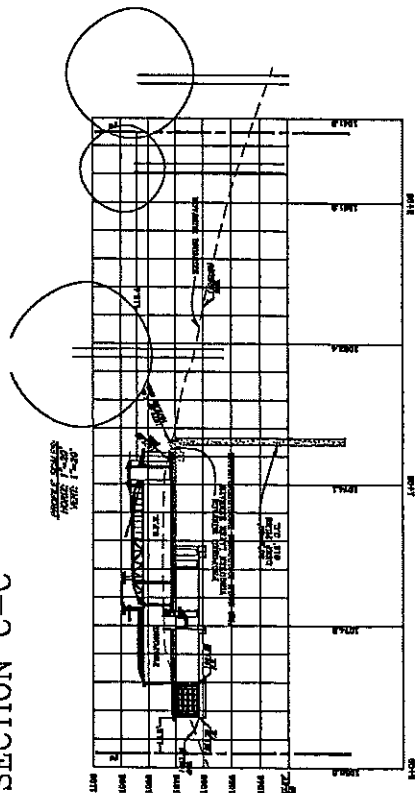
PROPOSED DRIVEWAY CENTERLINE  
 HORIZ. SCALE = 1" = 20'  
 VERT. SCALE = 1" = 4.00'  
 ORIGINAL DRIVEWAY LENGTH = 45.00' L.C.  
 START ELEVATION = 59.00'  
 FINISH ELEVATION = 57.00' FT.  
 AVERAGE GRADE = 4.44% (4.44' / 100.00' = 4.44%)



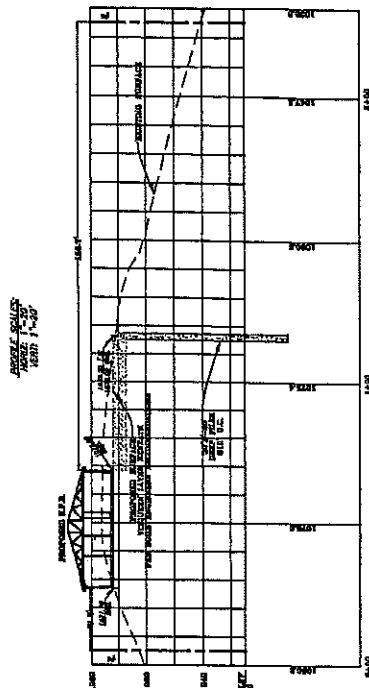
**SECTION C-C'**



**PROPOSED DRIVEWAY CENTERLINE FOR 28031 BALKINS ROAD**



**SECTION A-A'**



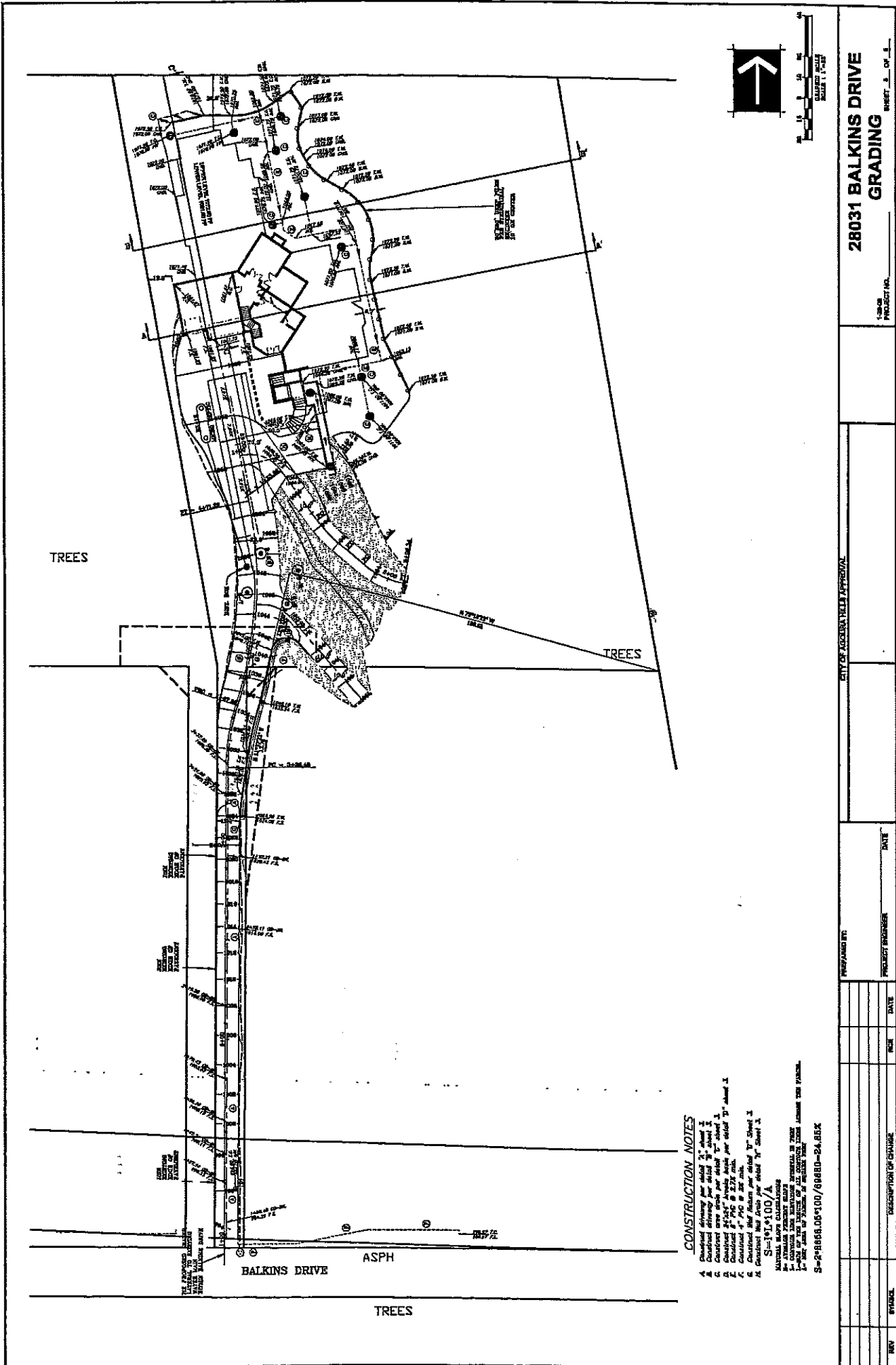
**SECTION B-B'**

REV	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE

CITY OF ABERDEEN, VILLAGE APPROVAL

PROJECT NO. \_\_\_\_\_ SHEET J. OF 2

CITY OF ABERDEEN, VILLAGE APPROVAL



**CONSTRUCTION NOTES**

- A. Construct sidewalk per detail "A" sheet 1.
  - B. Construct curb per detail "B" sheet 1.
  - C. Construct gutter per detail "C" sheet 1.
  - D. Construct 2" x 2" x 2" curb.
  - E. Construct 4" x 4" x 4" curb.
  - F. Construct 6" x 6" x 6" curb.
  - G. Construct 8" x 8" x 8" curb.
  - H. Construct 10" x 10" x 10" curb.
- S=1/4"=1'00"/A  
 MATERIALS: ASPHALT  
 CONSTRUCTION: ASPHALT  
 FINISH: ASPHALT  
 S=248868.06/100/89880-24.85X

**28031 BALKINS DRIVE  
GRADING**

PROJECT NO. \_\_\_\_\_  
SHEET 1 OF 1

CITY OF ALBUQUERQUE, N.M.

PERFORMED BY: \_\_\_\_\_  
PROJECT ENGINEER: \_\_\_\_\_  
DATE: \_\_\_\_\_

NO.	DESCRIPTION OF CHANGE	DATE





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT F**

**City Oak Tree/Landscape Consultant  
&  
Geological/Geotechnical Consultant  
Comments**

# Memo

**To:** Valerie Darbouze, City of Agoura Hills  
**From:** Kay Greeley and Ann Burroughs, Landscape and Oak Tree Consultant  
**Date:** January 22, 2008  
**Re:** 03-CUP-002 and 03-OTP-002 - Waters

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As requested, we reviewed the following documents with respect to the subject entitlement request:

- Revised Oak Tree Report, prepared by L. Newman Design Group and dated December 11, 2007
- Grading Plan, prepared by PCCE Incorporated as submitted January 10, 2008
- Landscape plan, prepared by Susan McEowen as received January 10, 2008

We have no further questions at this time. If the project is to proceed as proposed, our current analysis and recommended conditions of approval are as follows:

## Oak Trees

The Oak Tree Report addresses a total of sixteen (16) oak trees. Eight (8) of the oak trees are located within the subject site and the remaining eight (8) oak trees are located off site, within the immediate vicinity. Construction of the proposed residence will require minor encroachment within the protected zone of two (2) of the onsite trees and one (1) of the offsite trees for construction access and pile installation. The encroachments are very limited and are not likely to result in long-term adverse impacts to the subject oak trees as long as precautionary measures are followed. Therefore, we recommend that the project be approved with the following conditions:

1. The applicant is permitted to encroach within the protected zone of Oak Trees Numbers 1, 2 and 16 in order to construct the residence as shown on the approved plans. The encroachment shall be limited to the following:
  - a. The drilling of four (4) support piles for the building pad and the construction of an eighteen-inch (18") high retaining wall within the protected zone, outside the dripline, of Oak Tree Number 1. Excavation is limited to three feet (3') into the protected zone of the oak tree.
  - b. The drilling of six (6) support piles for the building pad and the construction of an eighteen-inch (18") high retaining wall at the outer edge of the protected zone of Oak Tree Number 2. Excavation is limited to three feet (3') into the protected zone of the oak tree.

- c. The construction of a four-foot (4') to five-foot (5') high retaining wall within the protected zone, outside of the dripline, of Oak Tree Number 16. Excavation is limited to three feet (3') into the protected zone of the oak tree.
2. Per observations documented on March 6, 2007, soil was previously imported into the site and placed within the protected zone of an untagged oak tree on the northeast side of the property. This soil shall be removed to natural grade, under the observation of the applicant's oak tree consultant. This work shall be documented by the applicant's oak tree consultant and provided to the City of Agoura Hills in a project report.
3. The final grading plan, oak tree location map and landscape plans must agree and all shall include the tag number, exact trunk location, canopy, and protected zones of each oak tree. All inconsistencies must be resolved to the satisfaction of the City Oak Tree Consultant.
4. Prior to approval, the final grading plan shall be reviewed and approved by the City Oak Tree Consultant. The plan shall include oak tree protection notes to the satisfaction of the City Oak Tree Consultant.
5. Prior to the start of any work or mobilization on the site, Oak Tree Numbers 1, 2, 3, 11, 12, 13, and 16 shall be fenced outside of the edge of the protected zone or at the approved work limits in accordance with Article IX, Appendix A, Section V.C.1.1 of the City of Agoura Hills Municipal Code. The City Oak Tree Consultant shall approve the fencing location plan and installation prior to the start of work on the site.
6. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree other than for the expressly approved encroachments.
7. All approved excavation within the protected zone of any oak tree shall be performed under the direct observation of the applicant's oak tree consultant. Forty-eight (48) hours notice shall be provided to the City before proceeding with such work.
8. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved project.
9. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter if the natural duff has been disturbed.
10. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
11. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect, preserve or promote the health of the subject oak trees at that time.
12. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
13. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

14. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

#### Landscaping

15. Prior to the approval of any permits, the applicant shall submit three (3) sets of final landscape plans for final review and approval by the Director. The plans shall meet the following requirements:
  - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
  - b. All plans shall be legible and clearly drawn.
  - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
  - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
  - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
  - f. The project identification number shall be shown on each sheet.
  - g. The plans shall accurately and clearly depict the following existing and proposed features:
    - Landscape trees, shrubs, ground cover and any other landscaping materials
    - Property lines
    - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
    - Buildings and structures
    - Parking areas, including lighting, striping and wheel stops
    - General contour lines
    - Grading areas, including tops and toes of slopes
    - Utilities, including street lighting and fire hydrants
    - Natural features, including watercourses, rock outcroppings
16. The final landscape plan shall generally conform to the Planting Plan prepared by Susan McEowen as submitted October 30, 2007.
17. The final configuration of the equestrian turnout shown on the planting plan shall be revised to avoid the protected zone of all oak trees.

18. The Planting Plan shall indicate the botanical name and container size of each plant.
19. Plant symbols shall depict the size of the plants at maturity.
20. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
21. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
22. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
23. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
  - a. Design and static pressures
  - b. Point of connection
  - c. Backflow protection
  - d. Valves, piping, controllers, heads, quick couplers
  - e. Gallon requirements for each valve
24. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
25. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
  - Site Plan
  - Elevations
  - Grading Plan
  - Conditions Of Approval
26. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
27. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

Please contact us should you have any questions.

Date: May 4, 2007  
GDI #: 06.00103.0094**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Valerie Darbouze

Project Location: 28031 Balkins Drive, Agoura Hills, California.

Planning Case #: 03-CUP-002/O3-OTP-002

Building & Safety #: None

Geotechnical Reports: Heathcote Geotechnical (2007), Addendum Letter, Proposed Residence at 28031 Balkins Drive, Agoura Hills, Job: 06051, dated May 1, 2007.

Heathcote Geotechnical (2007), Addendum Letter, Proposed Residence at 28031 Balkins Drive, Agoura Hills, Job: 06051, dated April 16, 2007.

✓ Heathcote Geotechnical (2007), "Addendum to Soil Engineering Report dated June 14, 2006, Proposed Residence at 28031 Balkins Drive, Agoura Hills," Job: 06051, dated February 6, 2007.

✓ Heathcote Geotechnical (2006b), "Addendum to Soil Engineering Report dated June 14, 2006, Proposed Residence at 28031 Balkins Drive, Agoura Hills," Job: 06051, dated December 9, 2006.

✓ Heathcote Geotechnical (2006a), "Soil Engineering Investigation for Proposed Residence at 28031 Balkins Drive, Agoura Hills," Job: 06051, dated June 14, 2006.

✓ Terry A. Mayer Consulting Geologist (2006b), "Response to City of Agoura hills Review Sheet dated February 27, 2007, 28031 Balkins Drive, City of Agoura Hills, California," Project No.: 060103, dated March 7, 2007.

✓ Terry A. Mayer Consulting Geologist (2006b), "Response to City of Agoura hills Review Sheet dated August 25, 2006, 28031 Balkins Drive, City of Agoura Hills, California," Project No.: 060103, dated November 6, 2006.

✓ Terry A. Mayer Consulting Geologist (2006a), "Additional Geologic Study, 28031 Balkins Drive, City of Agoura Hills, California," Project No.: 060103, dated July 18, 2006.

Advanced Geotechnical Services, Inc. (2003), "Geotechnical Engineering Study, Proposed Single-Family Residence, 28031 Balkins Drive, Agoura Hills, California," Report Number 6425, dated December 19, 2003.

Advanced Geotechnical Services, Inc. (2002), "Geotechnical Engineering Study, Proposed Single-Family Residence, 28031 Balkins Drive, Agoura Hills, California," Report Number 6073, dated November 27, 2002.

Previous Reviews: February 18, 2003 and January 28, 2004, August 25, 2006 and January 8, 2007.

**Findings**

Planning/Feasibility Issues

 Acceptable as Presented Response Required

Geotechnical Report

 Acceptable as Presented Response Required

### Remarks

Heathcote Geotechnical (geotechnical consultant) provided responses to plan review comments discussed during a meeting held on April 27, 2007 in the office of GeoDynamics, Inc. (geotechnical reviewers for the City of Agoura Hills). The purpose of the meeting was to clarify issues remaining regarding plans for proposed development at 28031 Balkins Drive, City of Agoura Hills, California. The proposed development includes the construction of a one or two-story residence, with a basement.

The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues, and we recommend the Planning Commission consider approval of Case No. 03-CUP-002/O3-OTP-002 from a geotechnical perspective. The Consultant, however, should respond to the following report review comments prior to Building Plan Check Approval. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

### Report Review Comments

1. The geotechnical engineer and engineering geologist should provide detailed reviews of future grading/building plans. This review and any additional recommendations should be presented in detailed reports that include geotechnical maps based on the current plan. These maps should include all geotechnical data and illustrate all proposed mitigation measures. Additional recommendations should be provided as necessary.
2. The consultant should evaluate the potential for lateral surcharge on retaining walls from adjacent structures/foundations. Mitigation measures should be recommended as necessary.

### Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building and grading plans.
2. The area underlain by the proposed visqueen and blanket drain system must be clearly indicated on the plans as a Restricted Use Area. No further development should be allowed in these areas without specific geotechnical review and approval.
3. The following note must appear on the grading plan: *"The project geologic consultant must downhole log at least one third of the pile excavations and provide detailed logs of findings. If any claystone or plastic clay is encountered, a sample of the materials should be obtained and tested for residual shear strength. Additional recommendations should be provided as necessary and submitted for review prior to implementation."*
4. The following note must appear on the grading plan: *"Sewage effluent disposal must be restricted to the limited area and at the depth indicated by the engineering geologist. The project geologic consultant should downhole log all seepage pit excavations to verify location, geologic structure, total depth and cap-down depth. Any deviation from anticipated conditions should be documented on detailed logs of findings. Additional recommendations should be provided as necessary and submitted for review prior to implementation."*
5. The following note must appear on the grading plan: *"The project geotechnical consultant should observe all drain and gravel installations below the compacted fill mass and behind all retaining walls. At the completion of grading the consultant should provide a letter verifying that all installations were observed and installed per plan, and that there is no hydrologic connection between surface drainage devices and subsurface drainage devices."*



6. The following note must appear on the grading and foundation plans: "Excavations shall be made in compliance with CAL/OSHA Regulations."
7. The required minimum foundation setback distances should be depicted on the foundation plans, as applicable.
8. The following note must appear on the foundation plans: "All foundation excavations must be observed and approved by the Project Geotechnical Consultant prior to placement of reinforcing steel."
9. Foundation plans and foundation details shall clearly depict the emb edment material and minimum depth of embedment for the foundations.
10. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
11. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations and depths of all piles, locations, depths and cap-down depths of all seepage pits, locations of all other septic system components, locations and flow line elevations of all subdrains, backdrains and blanket drains, and location and elevation of all subsurface drain outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."
12. The engineering geologist must verify and preferably log the seepage pit excavations before they are bricked and sealed, and also must verify the depth of the seal.
13. Final grading, drainage, swimming pool, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical engineer and engineering geologist.

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,    ☺ ☺  
**GeoDynamics, INC.**

*Ali A. Haq*

Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/07)

*Christopher J. Sexton*

Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/08)



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

## **EXHIBIT G**

**Environmental Determination**

## Notice of Exemption

To:  Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, Ca 95814

From: City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

County Clerk  
County of Los Angeles  
Los Angeles County Clerk  
12400 E. Imperial Hwy.  
Norwalk, CA 90659

**Project Title:** Waters Single Family Residence (Case #03-CUP-002 and 03-OTP-002)

**Project Location-Specific:** 28031 Balkins Drive (APN 2055-023-065)

**Project Location-City:** City of Agoura Hills

**Project Location-County:** Los Angeles

**Description of Nature, Purpose, and Beneficiaries of Project:** The project consists of a new, two-story single family residence of 6,964 square feet, with an 897 square-foot attached garage and a 190 square foot patio over. The construction would encroach into the protected zone of three oak trees. The lot is about 1.5 acres.

**Name of Public Agency Approving Project:** City of Agoura Hills

**Name of Person or Agency Carrying Out Project:** Ron Waters

**Exempt Status: (Check One)**

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

**Reasons why project is exempt:** The project consists of an addition to an existing residence. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

**Lead Agency Contact Person:** Allison Cook, Senior Planner, City of Agoura Hills

**Area Code/Telephone/Extension:** (818) 597-7310

Signature: Allison Cook

Date: 1-29-08

Title: Senior Planner

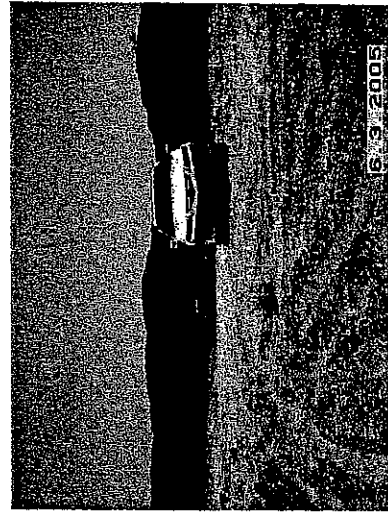
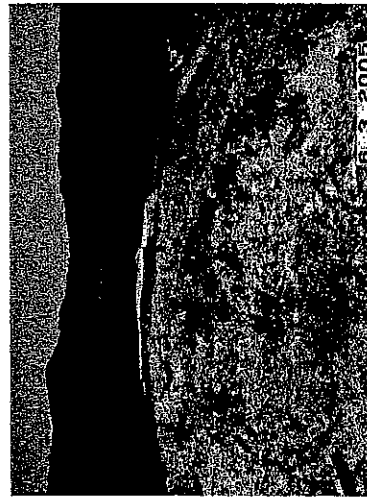
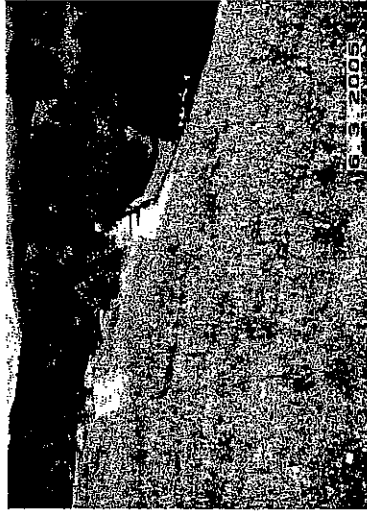
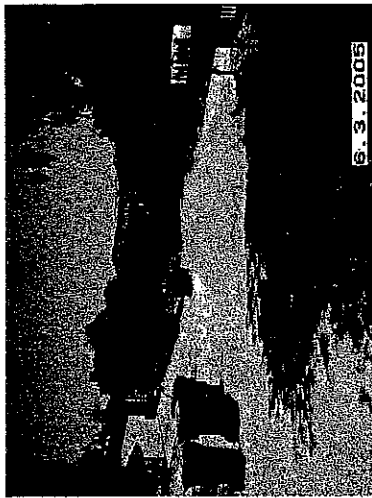
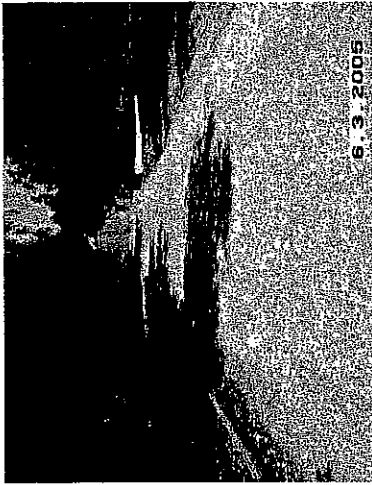


**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

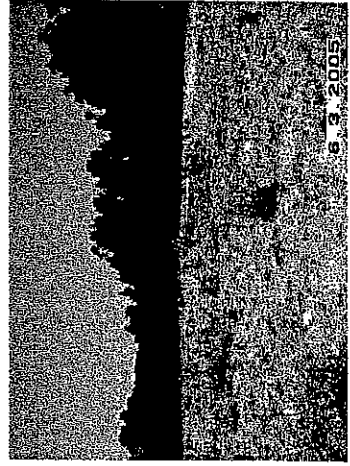
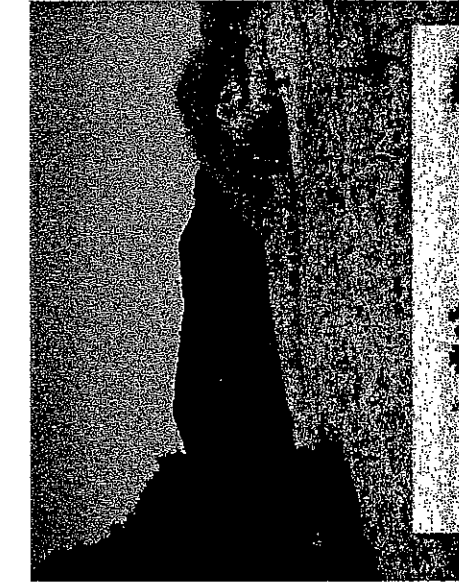
**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

**EXHIBIT H**

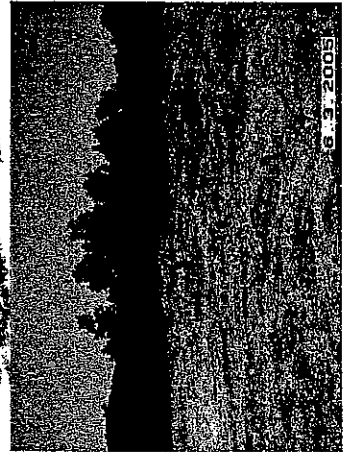
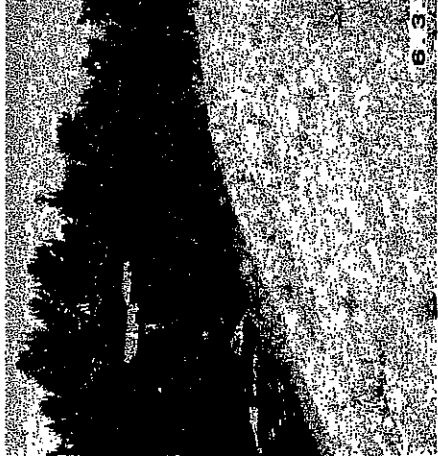
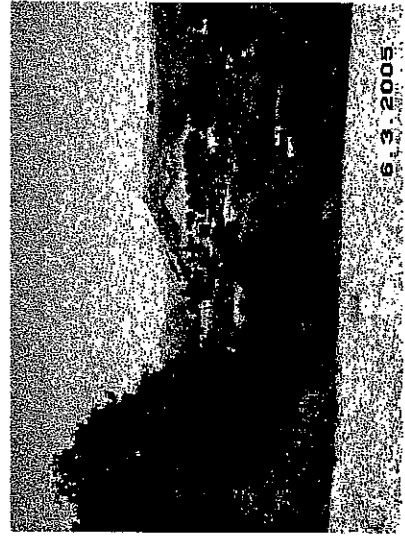
**Photographs of the Property  
&  
Color and Material Board**



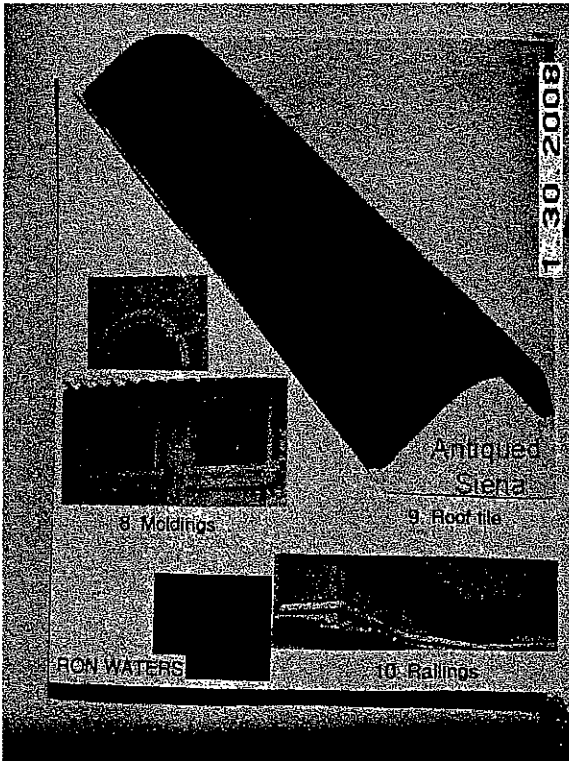
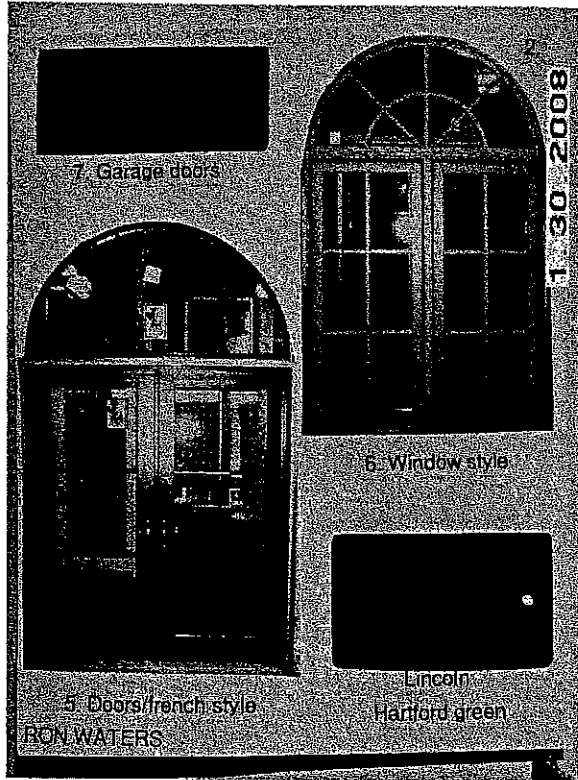
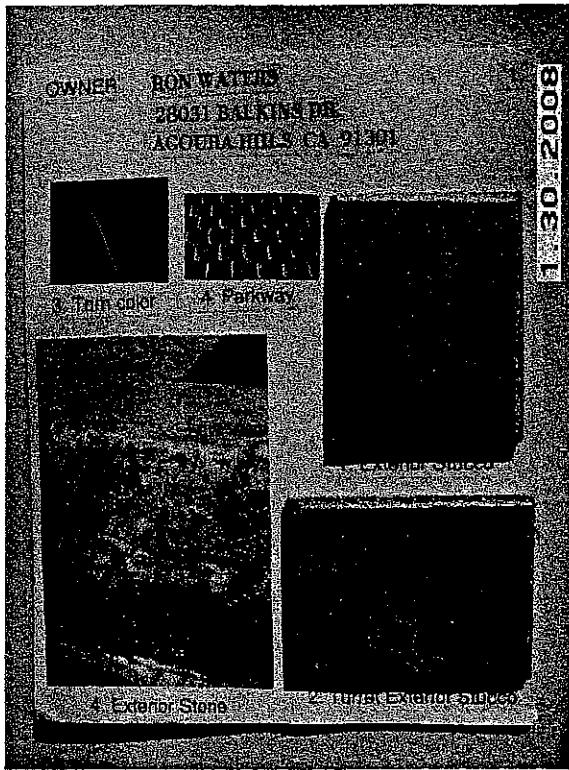
CONDITIONAL USE PERMIT  
 CASE NO. 03-CUP-002  
 &  
 OAK TREE PERMIT  
 CASE NO. 03-OTP-002



CONDITIONAL USE PERMIT  
CASE NO. 03-CUP-002  
&  
OAK TREE PERMIT  
CASE NO. 03-OTP-002



**COLOR & MATERIAL BOARD**



**CONDITIONAL USE PERMIT  
 CASE NO. 03-CUP-002  
 &  
 OAK TREE PERMIT  
 CASE NO. 03-OTP-002**





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

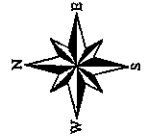
**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

**July 17, 2008 Meeting**

**Vicinity/Zoning Map**

# Vicinity/Zoning Map

CONDITIONAL USE PERMIT -  
CASE NO. 03-CUP-002  
OAK TREE PERMIT -  
CASE NO. 03-OTP-002





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-002,  
OAK TREE PERMIT - CASE NO. 03-OTP-002**

**FOR THE PROPERTY LOCATED AT  
28031 BALKINS DRIVE, AGOURA HILLS**

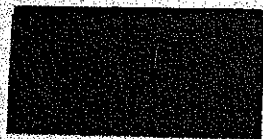
**July 17, 2008 Meeting**

**Color and Materials Board**

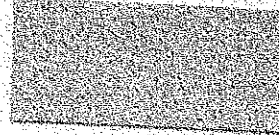
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OAK TREE PERMIT—CASE NO. 03-OTP-002  
REVISED COLOR AND MATERIALS BOARD**

**COLOR & MATERIALS BOARD**

**ACCENT COLOR  
DUNN EDWARDS PAINT  
WOOD FINISH & WINDOW FRAME  
DE 6112  
CEDAR CHEST**



**STUCCO FINISH  
OMEGA STUCCO  
56 PEARL GREY  
BASE 2**



**EAGLE ROOFING PRODUCTS  
CAPISTRANO AMERICAN HEIRLOOM  
EL MORADO BLEND SH C8709**



**ARCHITECT: SCHNEIDER ARCHITECT**

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28031 BALKINS  
AGOURA HILLS, CALIFORNIA**