



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT C

March 20, 2008 Meeting Staff Report

(August 7, 2008 Meeting)



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: March 20, 2008

TO: Planning Commission

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 & 03-OTP-017

LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)

REQUEST: Request for approval of a Conditional Use Permit to construct a 4,880 square foot, two-story, single-family residence, a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck; and a request for an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA per Section 15303 (New Construction of a Single-Family Residence)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 subject to conditions, based on the findings of the attached Draft Resolution.

ZONING DESIGNATION: RV-OA – (Residential Very Low Density - Old Agoura Design Overlay District)

GENERAL PLAN DESIGNATION: RV – Residential Very Low Density

I. PROJECT DESCRIPTION AND BACKGROUND

The applicant, Ken Stockton for Sean Ben Menahem, is proposing to construct a 4,880 square-foot, two-story, single-family residence with a 463 square-foot, two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck. The 1.13-acre vacant lot is located on the west side of Palo Comado Drive, one lot south of Fairview Place at 6149 Palo Comado Drive. The applicant is also requesting approval of an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 others for the construction. The lot is zoned RV-OA (Residential Very Low Density-Old Agoura Design Overlay) zone and is adjacent to developed lots to the rear and east and a vacant residentially zoned lot to the north.

New single-family homes are subject to review by the Planning Commission. Since the average topographic slope of the property exceeds 10%, it is considered a hillside lot and, therefore, development proposals must be reviewed with a Conditional Use Permit application. The proposed single-family residence is a permitted use in the RV zone. The maximum allowable building lot coverage in the RV zone is 25%. The total proposed lot coverage of the residence (footprint and garage) is 6% of the lot size. When adding the square footage of the pool and miscellaneous hardscape features that are anticipated by the applicant, the proposed lot coverage increases to approximately 25%. As designed, the project meets the development requirements relative to lot coverage, minimum yard setbacks and building height. The following is a summary of the proposed development relative to the Zoning Ordinance requirements.

Pertinent Data for the Proposal

	Existing	Proposed	Required
A. Lot Size	49,281 sq.ft.	49,281 sq.ft.	43,560 sq.ft.
	(1.13 acres)	(1.13 acres)	(1 acre)
Width	190 ft.	N/A	N/A
Depth	210 ft.	N/A	N/A
B. Building Setbacks from Property Lines			
1. <u>Residence Setbacks</u>			
Front (Driveway Easement)	N/A	33 feet	25 feet min.
Rear (West Side)	N/A	75 feet	25 feet min.
Side (North Side)	N/A	90 feet	12 feet min.
Side (South Side)	N/A	33 feet	12 feet min.
2. <u>Future Pool</u>			
Front (East)	N/A	N/A	N/A
Rear (West)	N/A	50 ft.	5 ft.
Side (North)	N/A	130 ft.	5 ft.
Side (South)	N/A	35 ft.	5 ft.

	Existing	Proposed	Required
C. Building Sizes			
Residence			
1 st Floor	N/A	2,690 sq.ft.	N/A
2 nd Floor	N/A	2,190 sq.ft.	N/A
Total:	N/A	4,880 sqft.	N/A
Garage	N/A	463 sq.ft.	N/A
Balcony	N/A	125 sq.ft.	N/A
Patio Cover	N/A	100 sq.ft.	N/A
Total:	N/A	5,568 sqft.	N/A
D. Building Height			
	N/A	33 ft.	35 ft. max.
E. Lot Coverage			
Bldg. Footprint	N/A	6%	25%
Bldg. Footprint+ Hardscape*	N/A	25%	25%
F. Undisturbed Open Space**			
	N/A	52%	77.5%
F. Oak Trees Considered for Review			
	11 on-site	same	N/A
	11 off-site	10	N/A

* Hardscape includes future pool and driveway

** The difference between lot coverage and undisturbed open space is unused but disturbed areas.

II. STAFF ANALYSIS

A. Site Plan

The proposed residence is to be built in the center of the parcel. The closest structure is located 77 feet from the south property line on the adjacent southerly lot. Another structure is located 110 feet from the northeast corner of the parcel, across the access driveway. The proposed residence will exceed the minimum required front yard setback by 8 feet (33 feet proposed versus 25 feet required), the rear yard setback by 50 feet (75 feet proposed versus 25 feet required) and the side yard setback on the south side yard setback requirements by 8 feet (33 feet proposed versus 12 feet required) and on the north side by 78 feet (90 feet proposed versus 12 feet required). A future pool is also being considered by the applicant. The all inclusive anticipated development, as shown on the Site Plan would meet the maximum allowable lot coverage for the zone.

The lots on the east side of the access easement generally are steeper and overlook the lots along the west side. The Grading Plan indicates that a proposed flat pad that is to be cut into the hillside and a 2:1 manufactured slope would be created using the support of retaining walls. The pad would be 14 feet above the access driveway. A two-retaining

wall system, each 6 feet in height, is proposed in the rear yard with stair case leading from the house pad to the top of the hill. Two additional retaining walls, 6 to 2.5 feet high, would also be required as part of the construction of the house and the 140-foot long on-site driveway. The design of the driveway was a result of the Fire District requirement to have a turn-around area on-site, the maximum allowable 17% slope of the driveway and the desire to minimize encroachment on oak trees in the vicinity of the project.

The house was designed with one and two-story elements. The garage is a 15-foot high single-story element located in the front of the house. The finished floor elevation of the garage is 6 feet lower than the finished floor elevation of the living areas. The garage is used strictly for the storage of two vehicles and is therefore not counted as a story but it is included when calculating the maximum height of the structure. The roof peak does not exceed 33 feet. The average height is 27 feet. A 6-foot high retaining wall along the northern property line would partially screen the northern elevation as seen from the lots at the corner of the access driveway.

The Hillside Ordinance open space standards are at the discretion of the Planning Commission. The square footage of the open space that should remain undisturbed is a function of the steepness of the lot. In this case, the lot has an average slope of 27.6%, and the Hillside Ordinance calls for 77% of the lot to remain undeveloped in order to effectively preserve the natural topography and biological resources. The project is preserving 52% of the open space. The findings in favor of the proposal are based on the fact that the lot was lawfully created prior to the adoption of the requirement, the change in ownership is not a result of the parcel no longer being considered part of a larger parcel, that the septic system will not be installed on a parcel less than one acre and that a Conditional Use Permit can permit the use and specify the minimum percent of required open space on the parcel. Staff believes that the findings can be made and that with conditions the on-site resources, specifically the oak trees, would be protected. The on-site oak trees are located at the perimeter of the parcel. The project will require the use of retaining walls that partially encroach in the protected zone of the trees and in some cases under the canopy for the purpose of protecting life and property and providing access. The City Oak Tree Consultant has worked very closely with the applicant in order to reduce the amount of encroachment into 9 trees and is able to recommend approval of the Oak Tree Permit.

The applicant is unable to provide an area that would be suitable for horses with the proposed design. The topography combined with the number oak trees all around the parcel preclude the applicant from further grading the hillside for either a pad or access to the pad. Although the General Plan specifies the needs for maintaining sufficient space on a parcel to accommodate horse keeping, some of the remaining undeveloped lots, such as the subject property, seem to have more challenges in complying with this policy. The Planning Commission has discretion to evaluate whether the proposed development precludes such an area or whether it is not feasible to accommodate horses or other farm animals based on the minimum setback requirements and impacts to the natural resource.

In an effort to evaluate the compatibility of the proposed size of the home with the neighboring structures approved and built, a survey of 87 developed lots in the neighborhood was conducted. The results revealed an average size for the living areas of all 87 homes to be 3,241 square feet. The average lot size was found to be 49,675 square feet (1.14 acres). Most recent approvals of single-family residences in the Old Agoura area include a 5,623 square-foot house on a 43,996 square-foot lot on Fairview Drive, east of the project and a 5,694 square-foot house on a 45,227 square-foot lot on Colodny Drive. The total proposed size of the home will be 5,536 square feet (plus a 751 square-foot garage) on a 40,281 square-foot lot minus the driveway. Although, the proposed floor area ratio is higher than the neighborhood average, the proposed lot coverage meet the maximum lot coverage established for the zone.

B. Architectural Review:

The entry of the two-story residence is enclosed with a privacy wall clad with a veneer stone. This 200 square-foot courtyard, open to the sky, links the elevation of the driveway, the garage and the living areas and provides access between the garage and the house. The applicant proposes a Mediterranean style of architecture including Mediterranean tiles, smooth plaster finish, exposed rafter tails, a balcony for the master bedroom facing the hillside and a round tower element. The Architectural Review Panel (ARP) found the proposed design of the residence to be true to the selected architectural style and one that could be added to the eclectic inventory found in the Old Agoura neighborhood. The applicant incorporated the few comments that the ARP's provided staff with. Multiple roof lines reflect the various living areas of the house. The entry to the garage originally faced east but grading changes required that the garage be relocated and reoriented to face north. The residence will not be visible from Fairview Drive where most of the circulation occurs. A letter from the Old Agoura Homeowners Association regarding the project is attached.

C. Oak Tree/Landscape Review:

Based on the scope of the work, the City Oak Tree/Landscape Consultant would be in support of removing Oak Tree Number 22 (8" diameter) if necessary to allow for widening and paving of Palo Comado Drive. This tree is located on the property located to the east of the applicant's property at 6149 Palo Comado Drive. It would be the applicant's responsibility to obtain permission for their removal from the adjacent property owner. Furthermore, the applicant would be permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan. The applicant would also be permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where grading is otherwise approved. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 16, 17, 18, and 20 shall be preserved in place with no direct impacts.

The applicant has worked with the Fuel Modification Department of the Los Angeles County Fire District to incorporate an adequate landscaping and not further impact on

and off-site oak trees. The applicant has also reduced the rear slope to a 2:1 gradient for his proposed landscape improvements.

D. Engineering/Public Works Review:

The Grading Plan has been reviewed by the Engineering Department. The rectangular lot also includes a 365-foot long private driveway providing access from the project north boundary to Fairview Drive which is owned by the applicant. The topography of the lot slopes ascends from east to west. The applicant's civil engineer proposes 2,479 cubic yards of cut and 1,162 cubic yards of fill with 867 cubic yard of export. The grading is necessary to cut a tri-level pad above the access road. The main floor is proposed to be at an elevation of 132 feet and the garage and gym at an elevation of 125 feet whereas the lowest and highest elevation points of the parcel are 110 and 173 feet.

With regard to street improvements, the Engineering Department will require that the applicant improve Palo Comado Drive along the entire property frontage to Fairview Place to provide for a minimum of 20-foot paved width, and 3-foot inverted shoulder or asphalt curb to ensure that the runoff is maintained within the roadway.

A septic system will serve the proposed residence and will be located on the south and east sides of the lot and will not conflict with the proposed structures. Staff has received a conceptual approval from the Los Angeles County Health Services Department of the proposed system.

E. Environmental Review:

Based upon review of this project by the City Environmental Analyst, no significant environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence. A copy of the notice of exemption regarding the project is attached.

In conclusion, staff finds that the proposed project meets the development standards established by the Residential Single-Family Density zone and the Old Agoura Design Overlay zone and the project is designed and sited to be compatible with the neighborhood. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The proposed house size and articulation is in proportion with the lot size and the proposed style adds to the variety of architectural styles found in Old Agoura. The use of natural materials of that particular style is in keeping with the semi-rural character of the neighborhood.

III. RECOMMENDATION

Based on the above analysis, staff recommends that the Planning Commission adopt the attached Draft Resolution approving Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to the conditions.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Letter from the Old Agoura Homeowners Association
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Square Footage Analysis Map
- Exhibit D: Reduced Copies of the Proposed Project Architectural Plans
- Exhibit E: City's Oak Tree/Landscape and Geological/Geotechnical Consultant Comments
- Exhibit F: Environmental Categorical Exemption
- Exhibit G: Photographs of the Property and Color and Material Board

Case Planner: Valerie Darbouze, Associate Planner



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EXHIBIT A

Letter from the Old Agoura Homeowners Association

DATE: July 26, 2007
RE: Review of Proposed Project; revised
FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association
TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills
SUBJECT: 03-CUP-016 (Iamburg)

Description

The plans submitted show a two storey, single family residence of 4,688 square feet, with an attached garage of 520 square feet on Polo Comado (sic) Drive, off Balkins Ave.

Comment

There were two previous letters of opinion from this committee recommending changes to the design of the house. After the first letter, it would appear that the principal change to the plan is the elimination of the semicircular driveway and some related adjustments to the house's entrance. The size of the house remains unchanged.

In further review, the committee expressed considerable concern about the relation of the building to the site. Except for some flatter area at its base, the lot consists almost entirely of a curved, convex slope like a section of a bowl. The current design has the house situated on a cut into the lower part of the hillside, from which the house rises as a solid visual block, and requires extensive grading and use of retaining walls. The current design is essentially a standard, suburban flat lot design rather awkwardly superimposed upon irregular natural terrain. It would be our preference to see some sort of stepped design that responds more sensitively to the land itself.

Stylistically, the house appears to be a fairly generic Spanish/Mediterranean that seems largely indifferent to its surroundings. It is of course the choice of the owner, but the strong orientation towards indoor space (save for a small balcony) seems like a failure to capitalize on a striking setting characterized by numerous mature oaks. There are a couple of buildings of questionable design in the vicinity – the mock Tudor on the same street and the "Country French" at the corner of Colodny and Fairview – but the existence of these does not persuade us that we should recommend the design with any enthusiasm.

The land does present certain limitations for horse-keeping, but there has been no attempt to try to find even a nominal area that might be set aside for this, although a raised pad has been created for a swimming pool. This concerns us as this property is in the most rural and least suburban part of Old Agoura. We worry that construction of the project as is will void any potential future horse-keeping.

All in all, the conception of this house doesn't touch on any western (whether modern or historical) traditions of rural architecture and will merely add one more "Mediterranean" to the growing inventory of such buildings.

Should you have questions about these comments please contact Robert Evren, Chair, Planning and Zoning Committee, Old Agoura Homeowners Association: 865-9003, robtevren@aol.com.

We hope this is of help to you.

CC: Valerie Darbouze, Associate Planner



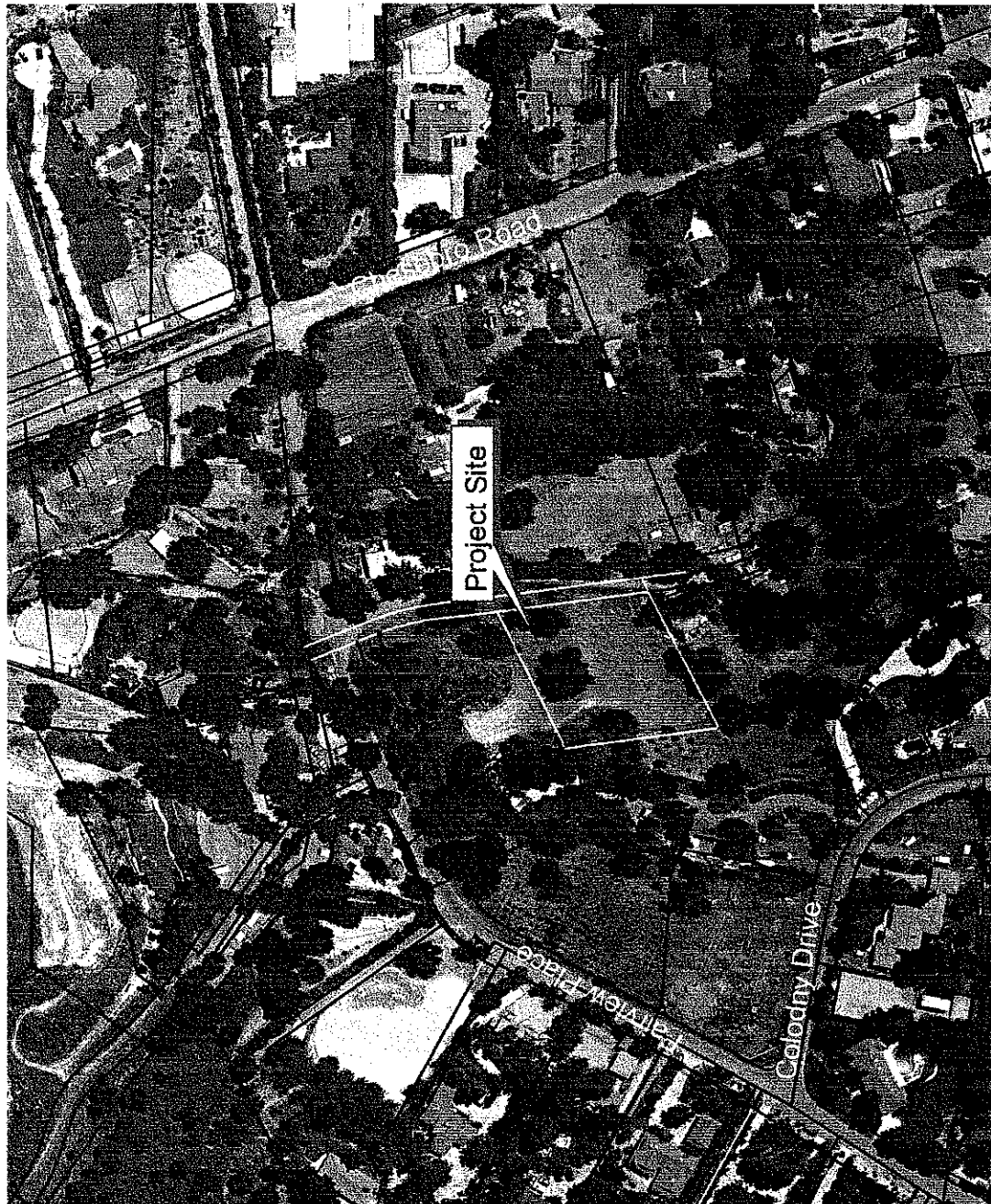
**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
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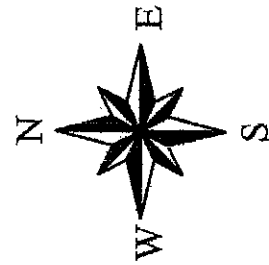
EXHIBIT B

Vicinity/Zoning Map

Conditional Use Permit Case No. 03-CUP-016 Oak Tree Permit Case No. 03-OTP-017



Vicinity/Zoning
Map





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

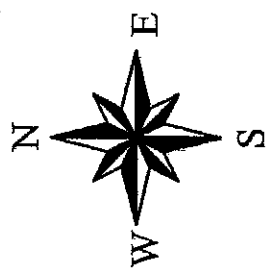
**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT C

Square Footage Analysis Map

Conditional Use Permit - Case No. 03-CUP-016 & Oak Tree Permit - Case No. 03-OTP-017

Square Footage
Analysis





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT D

Reduced Copy of the Architectural/Grading/Landscape Plans

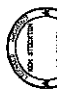
NOT FOR CONSTRUCTION

KEN STOCKTON
ARCHITECT
2000 N. HAYWARD BLVD., SUITE 100, SAN JOSE, CA 95131
(415) 551-5555 FAX: (415) 551-5556

DATE: 02/20/04	REVISIONS:
DATE: 04/11/04	
DATE: 07/11/04	
DATE: 02/03/05	

PROJECT NAME:
LAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO ALTO, CALIFORNIA

DEVELOPER:



SITE PLAN

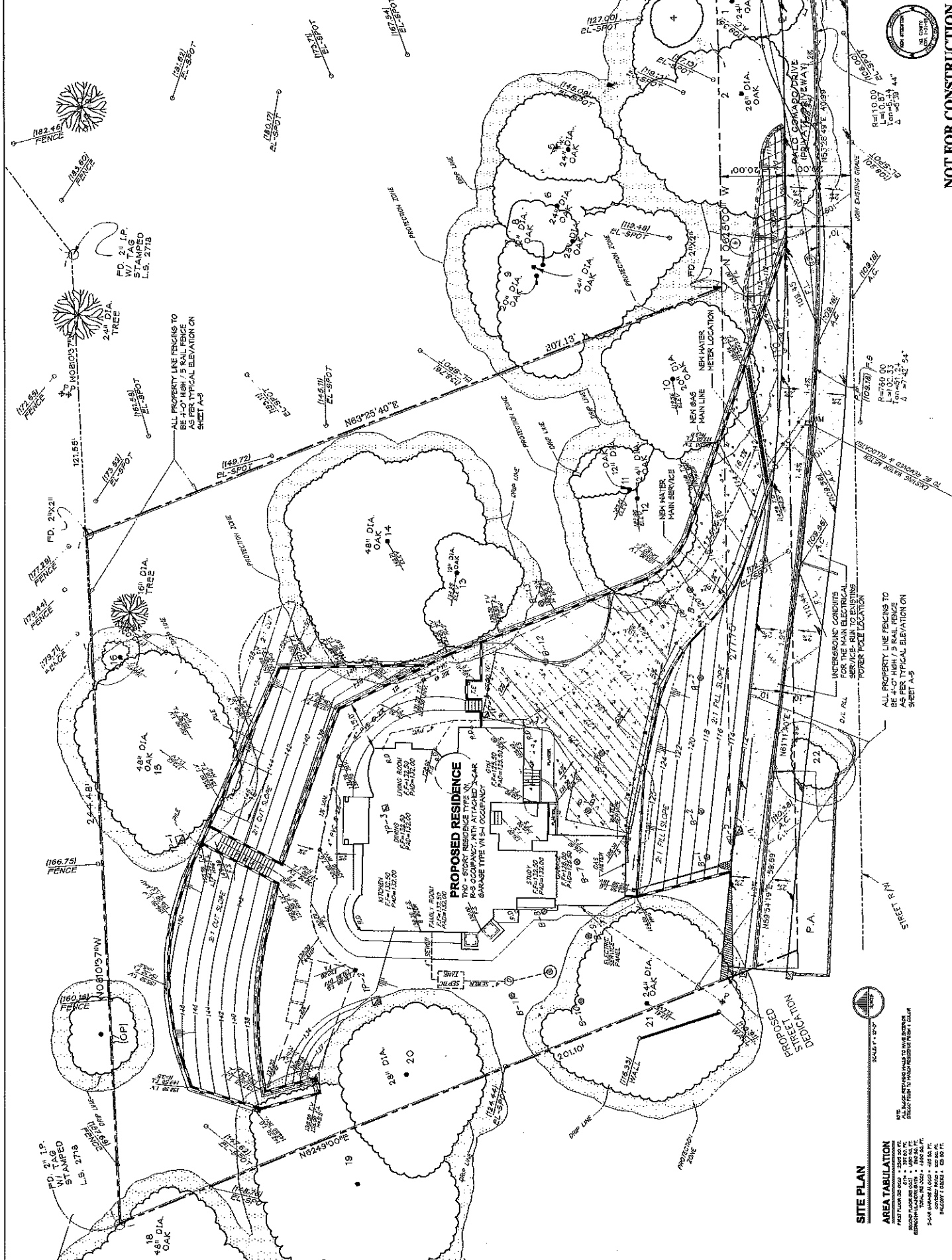
AREA TABULATION

NET GROSS AREA: 10,000 SQ. FT.
 NET GROSS AREA TO BE EXCLUDED:
 EXISTING DRIVEWAY: 1,000 SQ. FT.
 EXISTING DRIVEWAY: 1,000 SQ. FT.
 TOTAL NET GROSS AREA: 8,000 SQ. FT.

SCALE: 1/8" = 1'-0"

DATE: 02/20/04

BY: KEN STOCKTON



ALL PROPERTY LINE FENCES TO BE 4'-0\"/>

ALL PROPERTY LINE FENCES TO BE 4'-0\"/>

ALL PROPERTY LINE FENCES TO BE 4'-0\"/>

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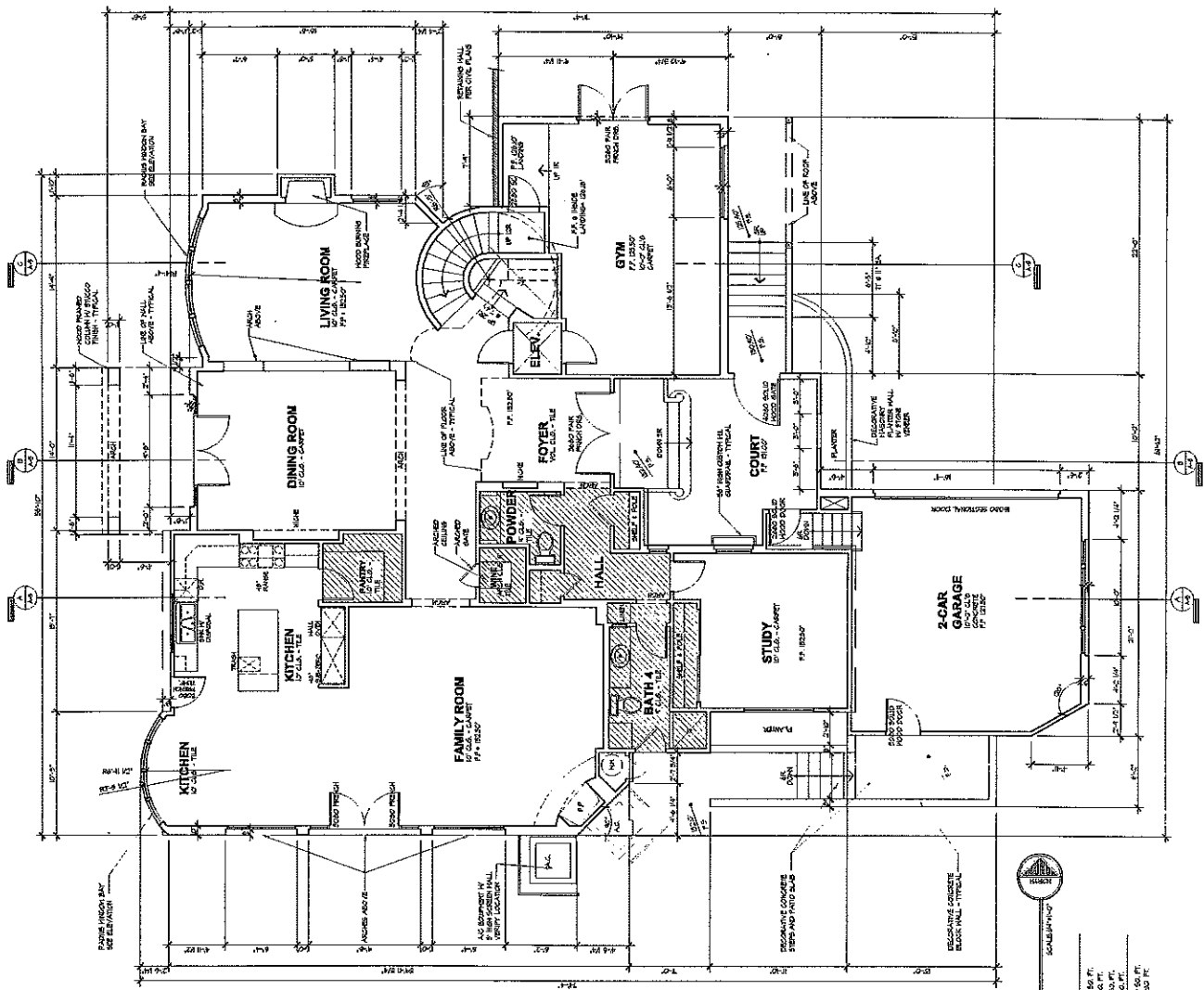


NOT FOR CONSTRUCTION

KEN STOCKTON
ARCHITECT
3800 N. AVENUE, SUITE 200
SAN JOSE, CALIFORNIA 95131
TEL: (415) 852-8000
FAX: (415) 852-8001

PROJECT NAME	LAMBURG RESIDENCE
DEVELOPER	PALO ALTO, CALIFORNIA
DATE	05/21/04
REVISIONS	05/21/04
DATE	05/21/04
PLAN CH.	05/21/04
PERMIT	02/03/08

FIRST FLOOR



FIRST FLOOR PLAN
DATE: 05/21/04

SCALE: 1/8" = 1'-0"
 ROOM DIMENSIONS
 17' x 20'0" (LIVING ROOM)
 12' x 12'0" (DINING ROOM)
 10' x 12'0" (KITCHEN)
 17' x 20'0" (FAMILY ROOM)
 12' x 12'0" (STUDY)
 17' x 20'0" (GYM)
 2-CAR GARAGE (12' x 12'0")
 TOTAL ROOM AREA: 1,240 SQ. FT.
 TOTAL GARAGE AREA: 240 SQ. FT.

PROJECT NAME
LAMPURØ RESIDENCE
 CUSTOM RESIDENCE
 PALO CATALDO, OLD AGRURA

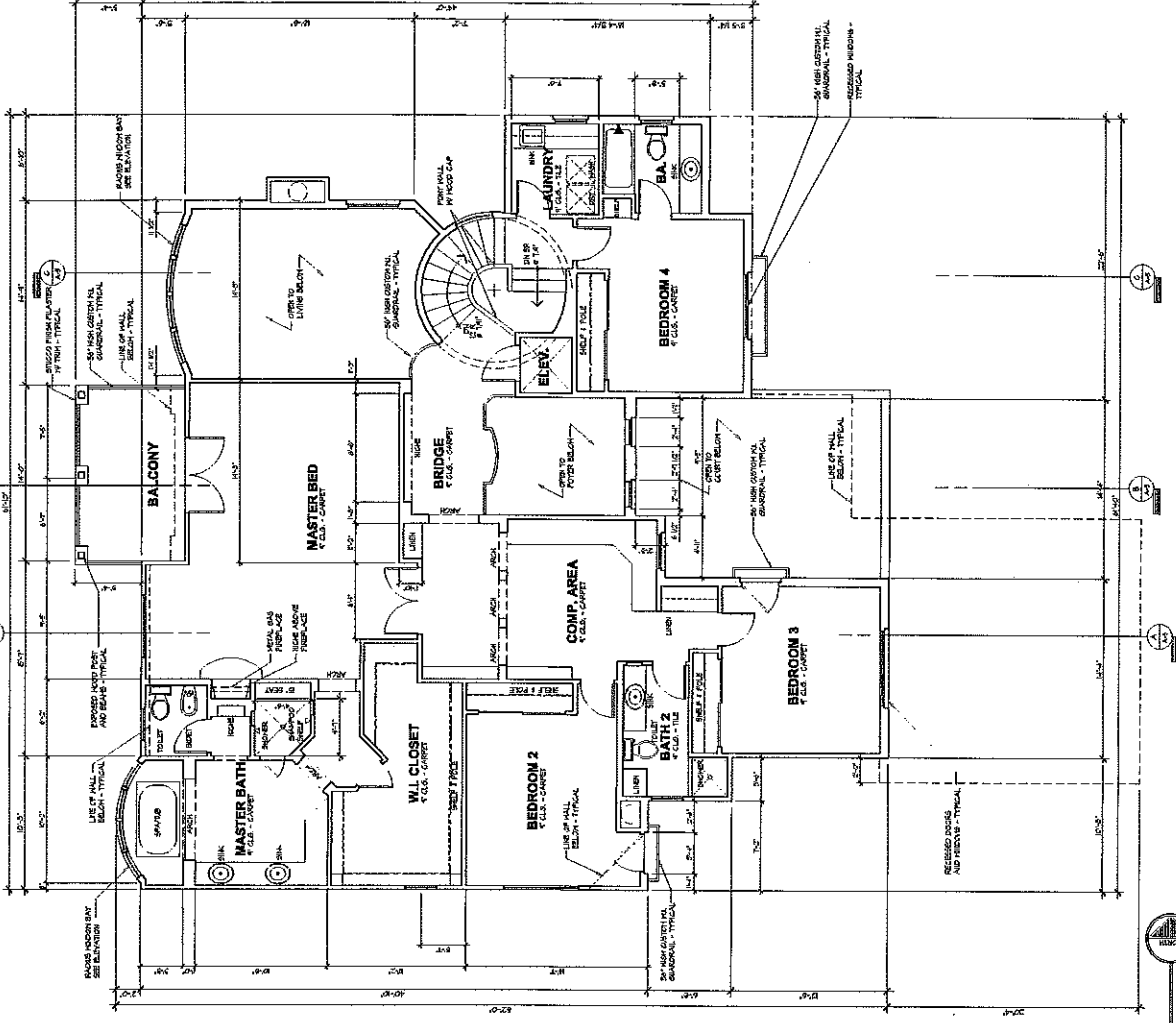
PROJECT NO.
 07/23/05
 DATE: 02/21/04
 DRAWN: R.K.S.
 REVISIONS:

ARCHITECT
KEN STOCKTON
 3600 N. AVENUE, SUITE 100, PALMDALE, CA 93550
 (805) 832-4400 FAX: (805) 832-4404

SHEET NO.
A-3



NOT FOR CONSTRUCTION



SECOND FLOOR PLAN
 3/8" = 1'-0"

ROOM SCHEDULE
 MASTER BATH 8' x 10' 6"
 MASTER BED 12' x 14' 6"
 BEDROOM 2 11' x 11' 6"
 BEDROOM 3 11' x 11' 6"
 BEDROOM 4 11' x 11' 6"
 BATH 5' x 7' 6"
 LAUNDRY 5' x 7' 6"
 COMP. AREA 5' x 7' 6"
 TOTAL AREA 2221.1 SQ. FT.



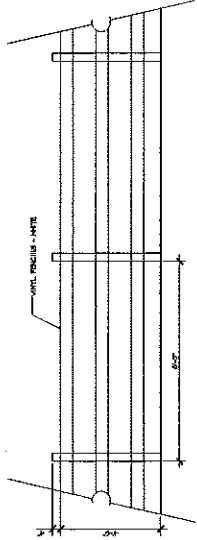
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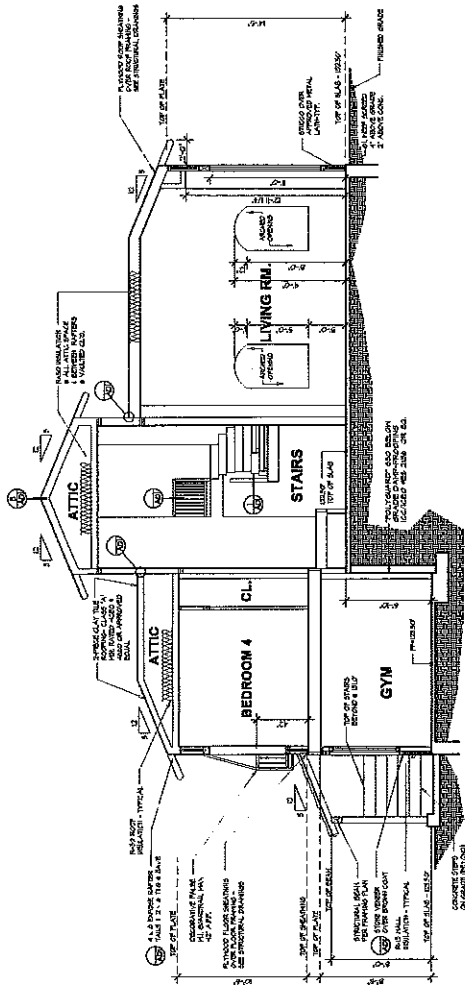
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DATE:	05/20/04
REVISIONS:	12/01/04
DATE:	05/20/04
PROJECT:	LAMBURG RESIDENCE

LAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO COMARDO, OLD AUBURN

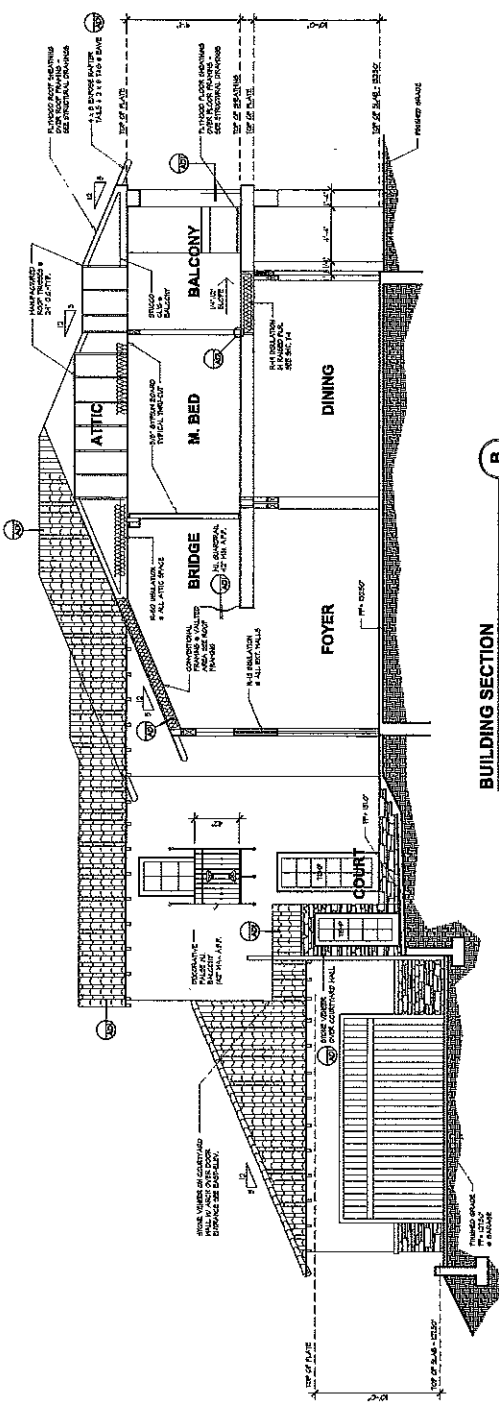
LEVEL ONE



PROPERTY LINE FENCING ELEV.
SCALE: 1/8" = 1'-0"



BUILDING SECTION
SCALE: 1/8" = 1'-0"



BUILDING SECTION
SCALE: 1/8" = 1'-0"

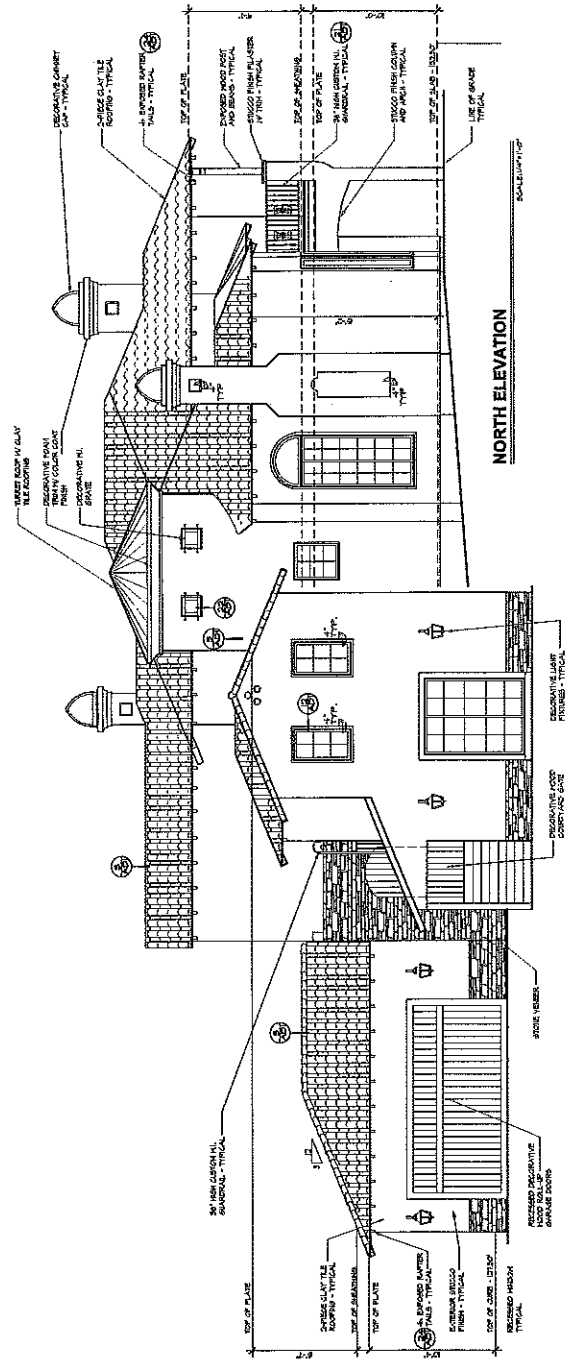


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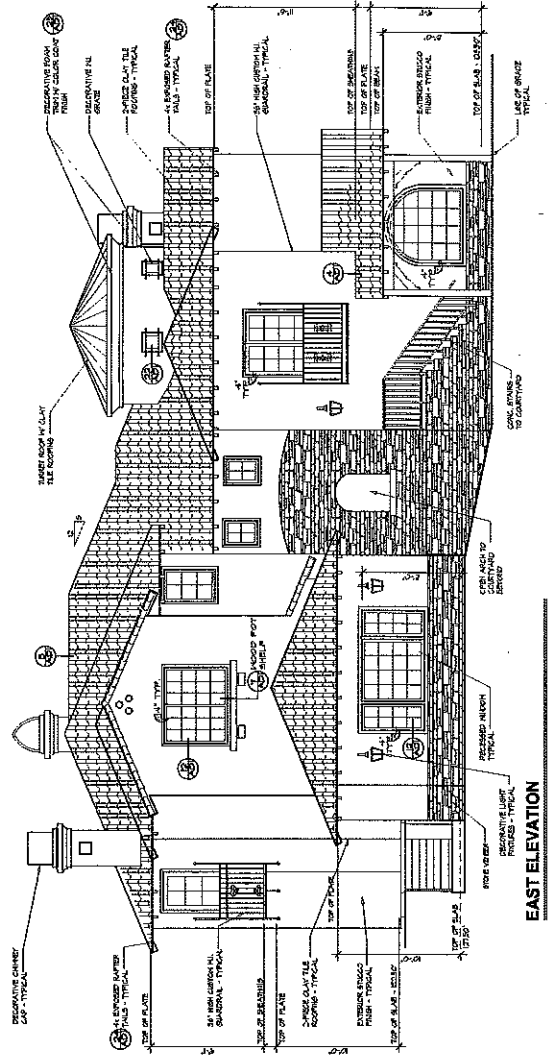
EXTERIOR ELEVATIONS
 DRAWN: R. E. G.
 DATE: 02/20/04
 PROJECT NO: 12/05/04
 PROJECT: 4/10/06

PROJECT NAME
LAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO COTAHDO, OLD ASORA

DEVELOPER



NORTH ELEVATION



EAST ELEVATION



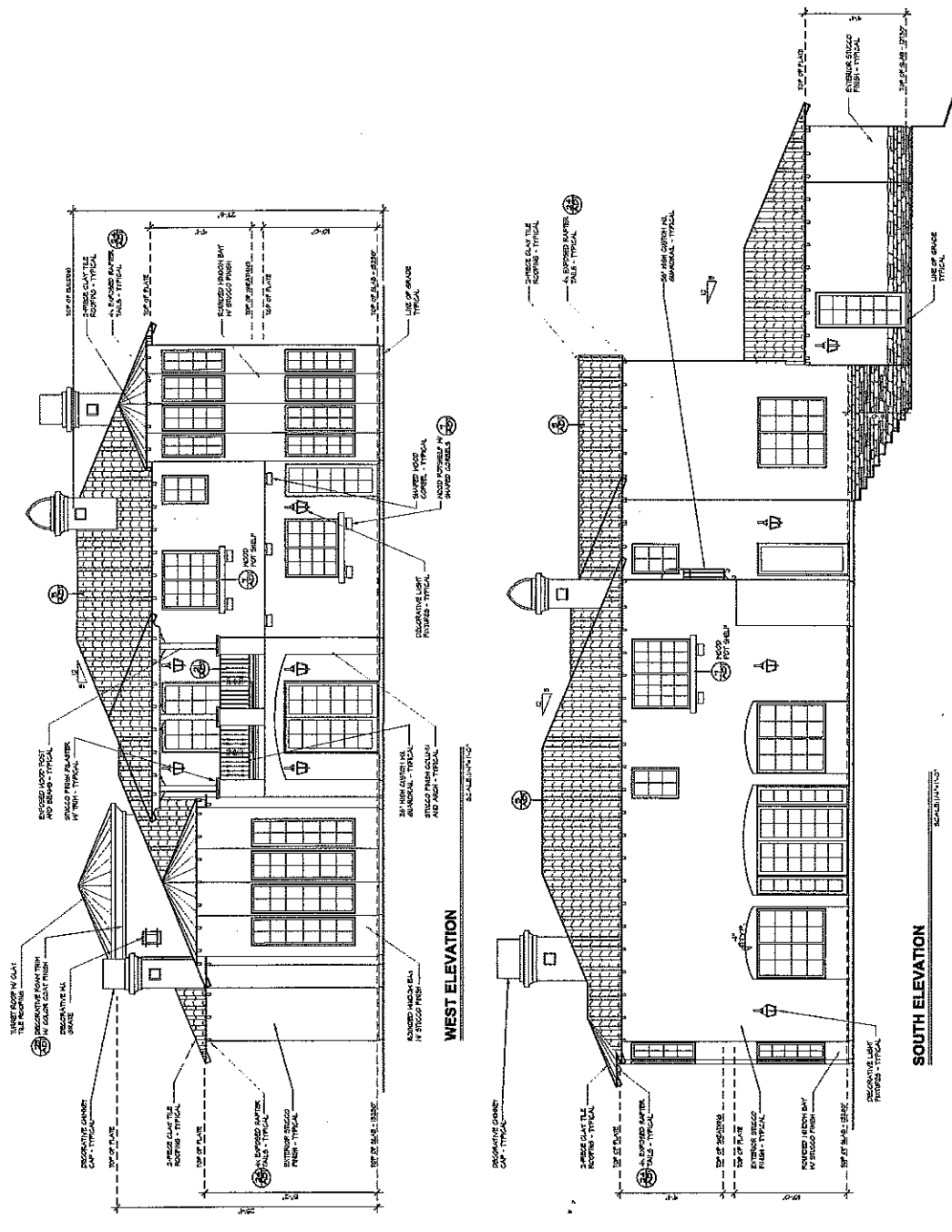
KEN STOCKTON
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2800 N AGOURA ROAD, PHOENIX 480, CAJON VALLEY, CA 92022
(951) 692-5448 FAX: (951) 692-7424

EXTERIOR ELEVATIONS
REVISIONS
DATE: 05/21/04
PLAN CHK: 12/05/04
2/25/05

PROJECT NAME
LAMBURG RESIDENCE
CUSTOM RESIDENCE
PALO COMADO, OLD AGOURA

DATE PLOTTED

NOT FOR CONSTRUCTION



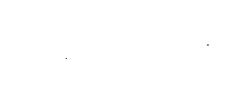
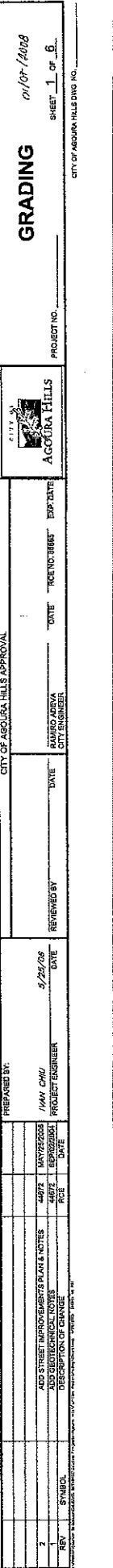
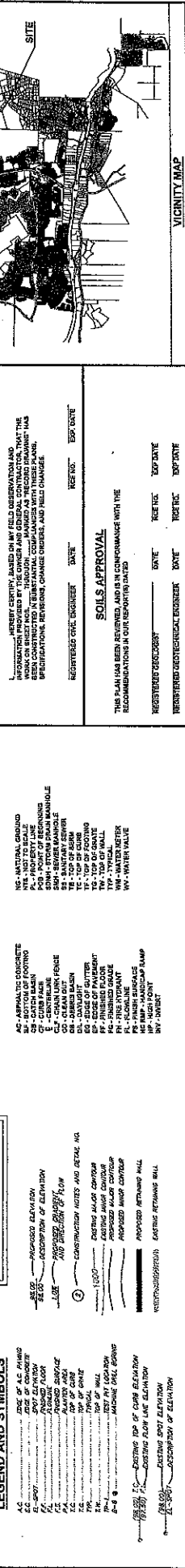
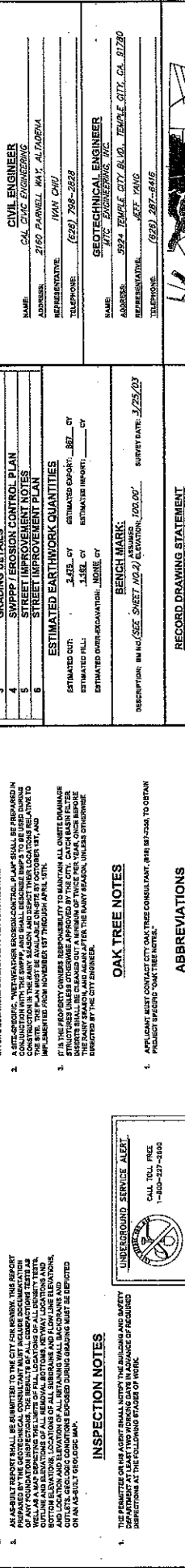
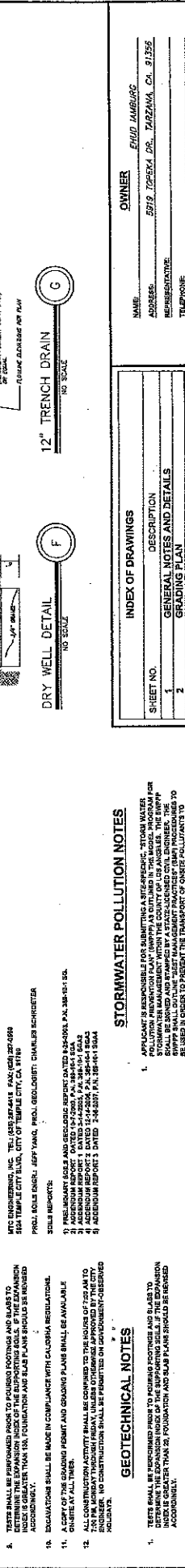
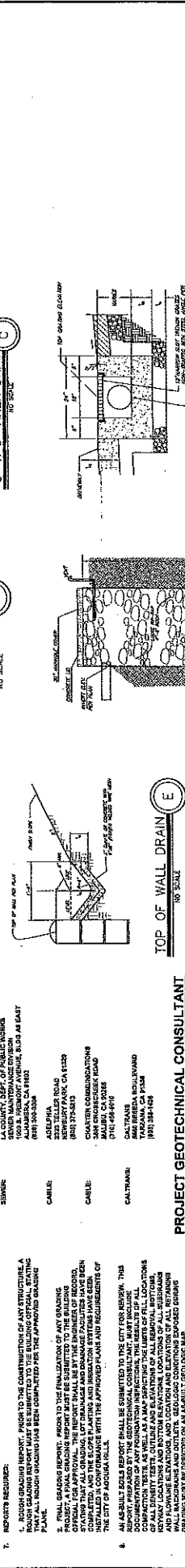
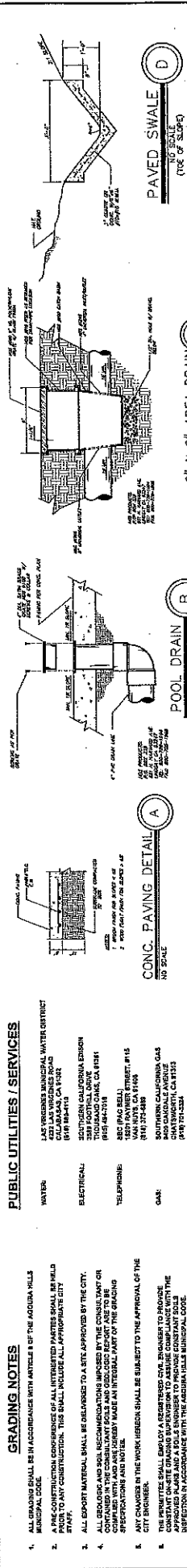
WEST ELEVATION

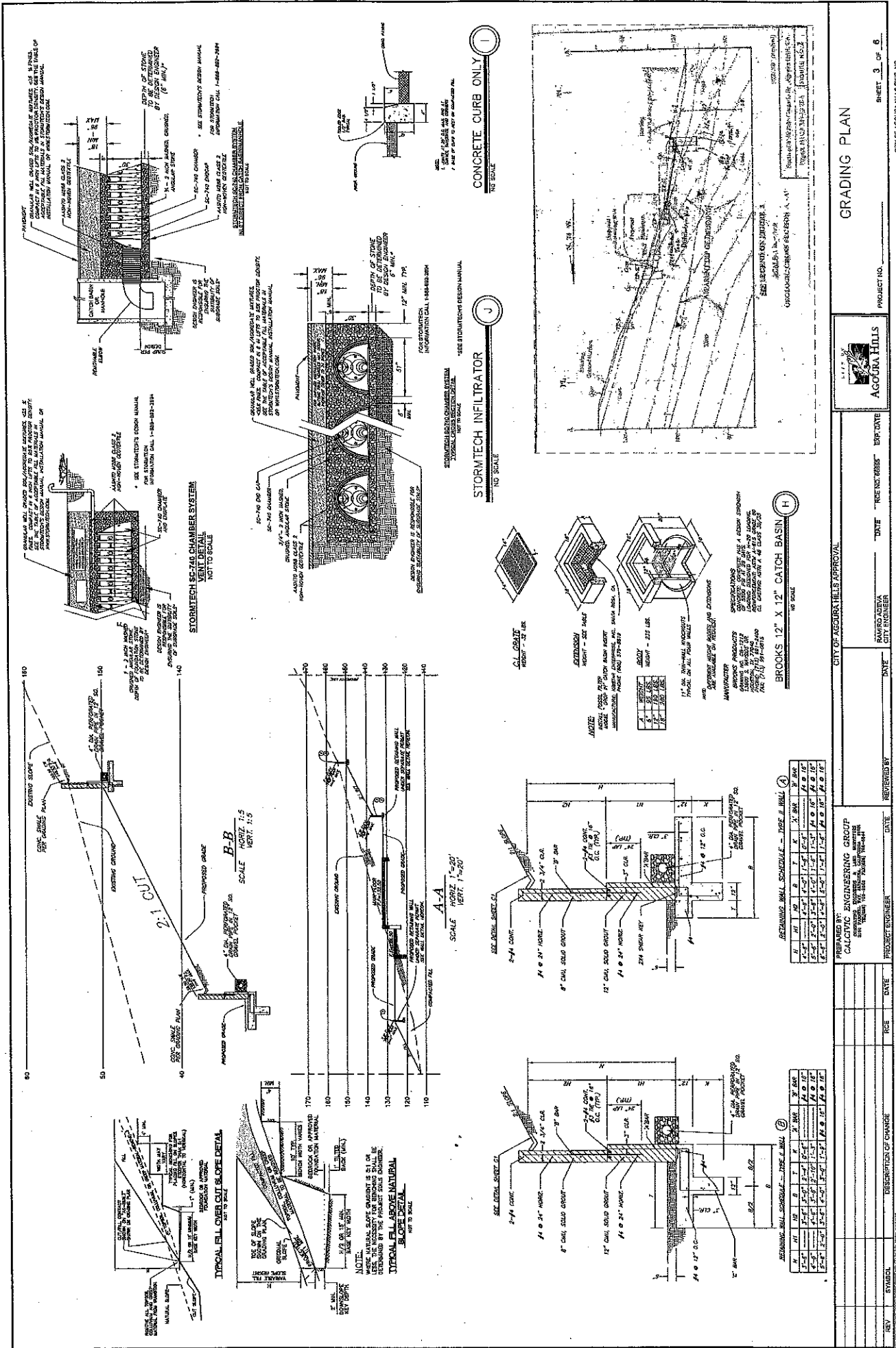
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

<p>21 GUARDRAIL DETAIL SCALE: NONE</p>	<p>22 RECESSED BOX W/ GRILL SCALE: 1/12\" = 1'-0\"</p>	<p>6 FOAM WINDOW JAMB DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>13 WINDOW DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>8 GARAGE DOOR DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>14 STUCCO EAVE DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>19 FOAM HEAD DETAIL SCALE: 1/12\" = 1'-0\"</p>
<p>6 FRAMED CORBEL & ARCHES SCALE: 1/12\" = 1'-0\"</p>	<p>7 POT SHELF DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>1 STAIR RAILING / STAIR DETAIL SCALE: 3/4\" = 1'-0\"</p>	<p>2 CHIMNEY FLASHING DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>9 STONE VENER DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>9 FIREPLACE ELEVATION SCALE: 1/12\" = 1'-0\"</p>	<p>15 CHIMNEY CAP DETAIL SCALE: 3\" = 1'-0\"</p>
<p>1 STAIR RAILING / STAIR DETAIL SCALE: 3/4\" = 1'-0\"</p>	<p>2 WALL FLASHING DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>9 VALLEY DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>9 RIDGE DETAIL SCALE: 1/12\" = 1'-0\"</p>	<p>4 ROOF TO WALL CONNECTION SCALE: 1/12\" = 1'-0\"</p>	<p>15 CHIMNEY CAP DETAIL SCALE: 3\" = 1'-0\"</p>	<p>20 FOAM EAVE & TONER SCALE: 1/12\" = 1'-0\"</p>





ASSESSMENT FOR FUEL MODIFICATION PLAN #

Zone A - Setback Zone

- Extends 20 feet beyond the edge of any combustible structure, necessary structure, appendage or projection.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation with high fire fuel moisture and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequate species, shrubs and trees. The overall characteristics of the landscape shall provide adequate fire resistance.
- Plants in Zone A shall be irrigated to high fire resistance and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- Except for dwarf varieties or mature trees small in stature, trees are generally not recommended within Zone A.
- Target tree species (including but not limited to Ruscaylana, Pine, Juniper, Cypress, Cedar, Canary Island Date Palm, California Fan Palm, Mexican Fan Palm and Bougainvillea) shall not be allowed within 10 feet of combustible structures.
- View and shading plants shall not be allowed on any combustible structure.

Zone B - Irrigated Zone

- Extends from the outermost edge of Zone A to 100 feet from structure.
- Irrigation by automatic or manual systems shall be provided to landscaping to maintain healthy vegetation with high fire fuel moisture and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequate species, shrubs and trees. The overall characteristics of the landscape shall provide adequate fire resistance.
- Plants in Zone B shall be fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.

Zone C - Native Brush Thinning Zone

- Extends from the outermost edge of Zone B to 200 feet from structure.
- Irrigation systems are not required for this zone. (Native plants are generally not compatible with irrigation systems.)
- Landscaping and vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be adequate coverage requirements for ornamental or less flammable native species to meet minimum slope coverage requirements. City or County Public Works or Parks & Recreation Landscaping or Hillside Ordinance. To all cases the overall characteristics of the landscape shall provide adequate fire resistance in a fire environment.
- Existing native vegetation shall be identified by thinning and removal of species contributing a high fire fuel load, including but not limited to: Inert shrubs, climbing, conifers, sage, sage brush, buckwheat, and other species. Refer to the *Fuel Modification Plant Reference*.
- Fuel loads shall be reduced by thinning to a maximum of 15% of remaining trees or shrubs and removing dead wood. Native plants may be thinned by reduced amounts as the distance from development increases.
- Plants in Zone C shall be spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- General spacing for existing native shrubs at 15 feet between canopies.

Fire Access Road Zone

- Extends 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
- Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 117.10)
- Fire access roads, driveways and easements shall be maintained in accordance with fire code.
- Fire Access Roads shall have unobstructed vertical clearance. (Fire Code 902.2.1)
- Landscaping and native plants within the 10-foot Fire Access Road Zone shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.

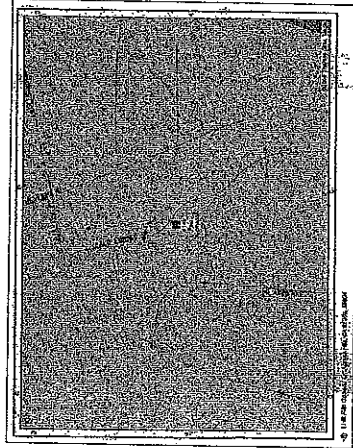
Maintenance

- Routine maintenance shall be regularly performed in all zones which require:
- Removal or thinning of undesirable combustible vegetation and replacement of dead or dying landscaping.
- Pruning and thinning to reduce the overall fuel load and continuity with other fuels.
- Pruning lower branches of trees and tree-form shrubs to 1/3 of their height (or 6 feet from lowest hanging branch) to help prevent fire from spreading upward into the crown.
- Ground covers shall be maintained at a height not to exceed 18 inches. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 5 inches.
- Permanent automatic irrigation systems shall be maintained for operational integrity and prevent soil erosion. Systems should be regularly evaluated to avoid over or under-watering.
- Compliance with the Fire Department's annual responsibility. Enforcement will occur following inspection by the Fire Department annually.
- Annual inspections are conducted following the annual drying of grasses and fire fuels, between the months of April and June depending on geographic region.
- Brush clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation.
- Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5205.

Long Term Maintenance Agreement

The property owner(s) agree to be responsible for the long-term maintenance of this fuel modification plan, as described herein. Notification of Fuel Modification requirements is to be made upon site improvements. Proposed changes to the Fuel Modification plan must be submitted to the Fuel Modification Unit for review and implementation. Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fine not to exceed \$1000 and possible legal action.

Name (Print) _____ Signature _____ Date _____
 Name (Print) _____ Signature _____ Date _____



SUSAN E. MCGOWN
 LANDSCAPE ARCHITECTURE
 12257 1/2 OAK LANE
 CASTRO VALLEY, CA 94546
 (925) 938-3333

REVISED

PROJECT NAME: LAMBURG RESIDENCE
 CUSTOMER: OLD AGOURA
 PALO COMARDO, OLD AGOURA

PLANTING PLAN & FUEL MOD
 REVISIONS
 DATE: 10-02-05 REV.
 DRAWING SCALE
 PROJECT NO.

KEN STOCKTON
 ARCHITECT
 2620 N. ASPEN ROAD, P.O. BOX 40204, CA 91601
 (818) 800-8200 FAX: (818) 800-1951

SHEET NO.

L-P2



NOT FOR CONSTRUCTION



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT E

**Memoranda from the City Oak Tree/Landscape Consultant
&
the City Geological/Geotechnical Consultant**

Memo

To: Valerie Darbouze, City of Agoura Hills
From: Kay Greeley, Landscape and Oak Tree Consultant
Date: February 27, 2008
Re: 03-CUP-016 and 03-CUP-017 - lamburg

I reviewed the following documents submitted with respect to the subject entitlement request:

- Response to Comments 4, prepared by Tree Life Concern Incorporated and dated November 20, 2007
- Grading Plan, prepared by Cal Civic Engineering as submitted January 11, 2008
- Addendum Report II, Percolation Tests and Proposed Private Sewage Disposal System Recommendations, prepared by MTC Engineering, Incorporated and dated May 24, 2007
- Architectural plans, prepared by Ken Stockton and dated December 24, 2007

The applicant responded to all requests for additional information. If the project is to proceed with approval as proposed, I recommend that the following conditions of approval be considered for the project:

Oak Trees

The Oak Tree Report addresses a total of twenty-two (22) oak trees. Eleven (11) of the oak trees are located within the subject site and the remaining eleven (11) oak trees are located off-site within the immediate vicinity. As shown on the attached table, one (1) of the subject trees would be removed and nine (9) of the trees would be encroached upon to accomplish grading, driveway and road improvements. The remaining twelve (12) trees will remain in place with no direct impacts anticipated.

1. The applicant is permitted to remove Oak Tree Number 22 if necessary to allow for widening and paving of Palo Comado Drive. This tree is located on the property located to the east of the applicant's property at 6149 Palo Comado Drive. It is the applicant's responsibility to obtain permission for their removal from the adjacent property owner. The City of Agoura Hills shall have no liability or responsibility in that regard.
2. The applicant is permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan.
3. The applicant is also permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where

- grading is otherwise approved. The quantity of pruning on each tree shall be approved by the City Oak Tree and Landscape Consultant.
4. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 16, 17, 18, and 20 shall be preserved in place with no direct impacts.
 5. To mitigate the removal of Oak Tree Number 22, the applicant shall plant at least four (4) new Coast Live Oak (*Quercus agrifolia*) within the property. Said trees shall include a minimum of one (1) thirty-six inch (36") box-size tree, two (2) twenty-four inch (24") box-size trees and one (1) fifteen (15) gallon container-size tree. The planting locations shall be subject to review and approval by the City Oak Tree and Landscape Consultant.
 6. The design of all retaining walls shall utilize a foundation, construction and drainage detail that minimizes the permitted encroachment into the protected zone of all oak trees, subject to final review and approval by the City Oak Tree and Landscape Consultant.
 7. Prior to the start of any work or mobilization on the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or otherwise approved work limits in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations and installation prior to the start of work or mobilization on the site.
 8. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree except as specifically permitted above.
 9. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time except as specifically required to accomplish the approved encroachments.
 10. All work performed within the protected zone of any oak tree shall be monitored by the project oak tree consultant. Forty-eight (48) hours notice shall be provided to the City Oak Tree Consultant prior to the start of any such work. Contact the City Oak Tree Consultant at (818) 597-7350.
 11. All excavation within the protected zone of any oak tree shall be performed using only hand tools under the direct supervision of the applicant's oak tree consultant or the City Oak Tree Consultant. Light construction equipment may be utilized with prior approval of the City Oak Tree Consultant.
 12. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
 13. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree and Landscape Consultant.
 14. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
 15. All authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
 16. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

17. The applicant shall also comply with all recommendations contained in the Oak Tree Report and addenda as prepared by Tree Life Concern, Inc.
18. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

19. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Susan E. McEowen, Landscape Architect.
20. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
21. The Planting Plan shall indicate the botanical name and size of each plant.
22. Plant symbols shall depict the size of the plants at maturity.

23. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
24. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
25. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
26. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - h. Design and static pressures
 - i. Point of connection
 - j. Backflow protection
 - k. Valves, piping, controllers, heads, quick couplers
 - l. Gallon requirements for each valve
27. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
28. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
29. Native, drought resistant plants shall be utilized on all slopes in accordance with the Old Agoura Design Overlay District requirements.
30. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
31. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

Please advise should there be any comments or questions.

Attachment: Oak Tree Impact Analysis

**OAK TREE IMPACT ANALYSIS
03-CUP-006 - IAMBURG**

Tree#	Health	Trunk Diameter (inches)						Protected Zone (sq ft)	Impact				Comments			
		Trunk 1	Trunk 2	Trunk 3	Trunk 4	Trunk 5	Total		Remove	Encroach	Trunk	Canopy		%		
1	A	18	17				35	2,043				X		300	15%	Road paving, grading
2	A	16	16	13			45	2,757				X		700	25%	Road paving, grading
3	A	5	4	3			12	707	X					0	0%	
4	A	3	3	2			8	707	X					0	0%	
5	A	13	10	9	8	1	41	1,225	X					0	0%	
6	B	12	11	7			30	1,149	X					0	0%	
7	C	12	11	10	8		41	1,753	X					0	0%	
8	C	7					7	804	X					0	0%	
9	B	14	12	9			35	1,210	X					0	0%	
10	A	26					26	2,376				X		350	15%	Driveway, grading
11	B	7	6	4	3		20	868	X					0	0%	
12	A	17	14	14			45	1,963				X		400	20%	Driveway
13	B	15					15	1,164				X		125	11%	Driveway
14	A	28	27				55	4,447				X		700	16%	Driveway
15	C	25	20	15			60	2,619				X		300	11%	Grading
16	A	5	2	1			8	707	X					0	0%	
17	A	10	9				19	731	X					0	0%	
18	A	28					28	3,019	X					0	0%	
19	A	37	23				60	4,015				X		200	5%	Grading
20	A	15	14	11			40	2,185	X					0	0%	
21	B	20					20	2,851				X		150	5%	Road paving, grading
22	A	8					8	707			X		8	225	32%	Road paving, grading
Total							658	40,009	12	1	9	8	8	3,150	8%	

Date: March 21, 2007
GDI #: 06.00103.0109**CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET**

To: Valerie Darbouze

Project Location: 6149 Palo Comado Drive, Agoura Hills, California.

Planning Case #: 03-CUP-016/03-OTP-017/lamburg

Building & Safety #: None

Geotechnical Report: MTC Engineering, Inc. (2007), "Addendum Report III, Proposed Two-Story Residential Building with Retaining Walls, 6149 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SGA4, dated February 6, 2007.

MTC Engineering, Inc. (2004), "Addendum Report I, Proposed Two-Story Residential Building with Retaining Walls, 6149 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SGA, dated October 7, 2003.

MTC Engineering, Inc. (2003), "Preliminary Soils and Geologic Engineering Investigation, Proposed Two-Story Residential Building and Retaining Walls, North of 6145 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SG, dated August 25, 2003.

Plans: Calcivic Engineering Group (2003), Grading Plan, Fairview Place & Palo Comado Drive, Agoura Hills", 16-scale, dated July 7, 2003.

Previous Reviews: October 10, 2003, November 15, 2004 and December 27, 2006).

FINDINGS

Planning/Feasibility Issues

 Acceptable as Presented Response Required

Geotechnical Report

 Acceptable as Presented Response Required**REMARKS**

MTC Engineering, Inc. (Consultant) provided a response to the City of Agoura Hills geotechnical review letter dated December 27, 2006 regarding the proposed two-story, single-family residence with an attached three-car garage, retaining walls, and grading at the subject site. The City of Agoura Hills – Planning Department reviewed the above referenced reports from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. The review was performed by GeoDynamics, Inc. (GDI), the geotechnical consultants of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case # 03-CUP-016. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

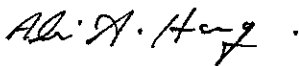
Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.

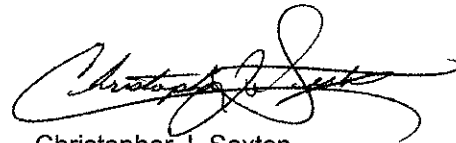
2. The following note must appear on the grading and foundation plans: "Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils. If the expansion index is greater than 20, foundation and slab plans should be revised accordingly."
3. The following note must appear on the grading and foundation plans: "Excavations shall be made in compliance with CAL/OSHA Regulations."
4. The following note must appear on the foundation plans: "All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."
5. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
6. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
7. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
8. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,
GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT F

Environmental Categorical Exemption

Notice of Exemption

To: [] Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

[] County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Sean Ben-Menahem Single Family Residence Addition (Case Nos. 03-SPR-016 & 03-OTP-017)

Project Location-Specific: 6149 Palo Comado (APN 2055-023-073)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: A Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit 03-OTP-017 to build a 4,880 square-foot, two-story, single-family residence with a 463 square-foot 2-car garage with 100 square feet of covered patio and 125 square feet of balconies/deck on a 49,326 square-foot hillside vacant lot.

An Oak Tree Permit is required to review impacts on 22 oak trees. The request is to remove 1 oak tree and encroach in the protected zone of 9 others.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Sean Ben-Menahem

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a)
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15301, Class 1 (e). Existing Facilities.
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project is the construction of a single-family residence in a permitted zone. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

Lead Agency Contact Person: Valerie Darbouze, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7328

Signature: Valerie Darbouze Date: 3/13/08 Title: Associate Planner



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT G

**Photographs of the Property
&
Color and Material Board**

**Conditional Use Permit—Case No. 03-CUP-016 & Oak Tree
Permit—Case No. 03-OTP-017**



View of the West Side of the Parcel (Rear Yard)



View of the North Side of the Parcel (Side Yard)

**Conditional Use Permit—Case No. 03-CUP-016 & Oak Tree
Permit—Case No. 03-OTP-017**



View of the Private Road Leading to Fairview Place

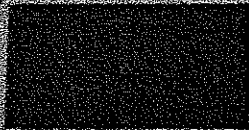


View of the Private Road leading to the Developed Parcel to the South

**CONDITIONAL USE PERMIT
CASE NO. 03-CUP-016
&
OAK TREE PERMIT
CASE NO. 03-OTP-017**

MATERIAL SAMPLE BOARD

6149 PALO COMADO DR.



EXTERIOR STUCCO
FRAZEE - 8204M
COLOR: SPICE BOUNTY



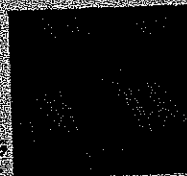
WINDOW FRAMES
VINYL WINDOWS
COLOR: STD. FOREST GRN.



RAFTER TAILS / CORBELS / TRIMS
FRAZEE - M407
COLOR: TIMBER



WROUGHT IRON RAILS
AND GRILLS
COLOR: BLACK



TILE ROOFING
MONERR TILE
582 - CABRILLO BLEND

2.28.2008



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT D

Vicinity/Zoning Map

(August 7, 2008 Meeting)

CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016
OAK TREE PERMIT - CASE NO. 03-OTP-017

Vicinity/Zoning Map





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT E

Color and Materials Board

(August 7, 2008 Meeting)

Color and Materials Board

(Case No. 03-CUP-016 & Case No. 03-OTP-017)

Scheme #PALO COMADO

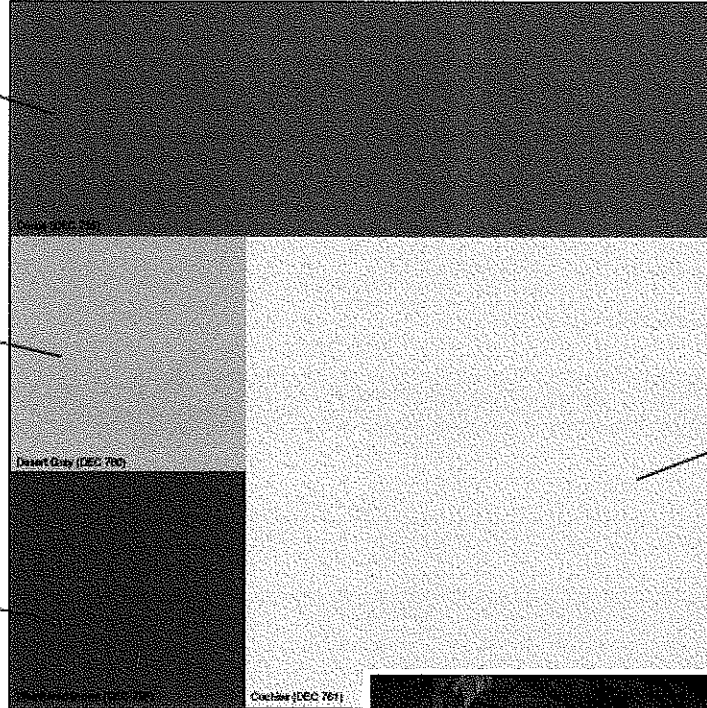
7/30/2008

TRIMS, FASCIA,
& PLANT-ONS

SHINGLE
SIDING

EXTERIOR
SIDING

WROUGHT
IRON
RAILINGS



KE NSTOCKTON
26500 AGOURA RD
CALABASAS, CA 91302



Product No. 51PR06
Name Coastal Blend
Description: For Dark Brown Red Brown Blend
Category: Blends
Status: Pending



Design: Monterey Ledge with a dark stone and red tones.