

YVANOVA OAK TREE IMPACT ANALYSIS

Tree #	Trunk Diameter (inches)						Protected			Impact			Total Impact			Health	Comments
	Trunk 1	Trunk 2	Trunk 3	Trunk 4	Trunk 5	Trunk 6	Total	Zone	None	Remove	Encroach	Inches	Canopy	%			
1	11	10	9	9			39	1,685		X		39	1,685	100%	A	38% impacted	
2	22						22	2,030			X	0	434	21%	A		
3	5						5	723	X			0	0	0%	E		
4	6						6	798	X			0	0	0%	B		
5	7.5	4.5					12	873	X			0	0	0%	B		
6	4	4					8	741	X			0	0	0%	D		
7	6	5	5	5			21	785			X	0	188	24%	B	34% impacted	
8	5	5					10	771		X		10	771	100%	B		
9	6						6	741			X	0	113	15%	C		
10	4	3					7	707		X		7	707	100%	B	42% impacted	
11	5						5	730		X		5	730	100%	B	49% impacted	
12	3.5	3.5					7	773		X		7	773	100%	C	46% impacted	
13	6.5	5					11.5	816		X		12	816	100%	B	Within footprint	
14	6	6	6	6	6	5.5	35.5	1,128		X		36	331	29%	B	29% impacted	
15	5.5	5	6	6			10.5	773		X		11	773	100%	B	Within footprint	
16	7						7	847		X		7	847	100%	B	Within footprint	
17	6	5	5	5	4		25	749		X		25	749	100%	B	Within footprint	
18	6	4					10	782		X		10	782	100%	B	Within footprint	
19	7	6	6	6	5		30	881		X		30	881	100%	B	Within footprint	
20	5	4	3				12	758		X		12	758	100%	B	Within footprint	
21	5						5	707		X		5	707	100%	C	Within footprint	
22	6						6	770		X		6	770	100%	B	Within footprint	
23	4						4	707		X		4	707	100%	D	Within footprint	
24	4						4	715		X		4	715	100%	D	Within footprint	
25	14						14	1,134		X		14	1,134	100%	A	35% impacted	
26	13						13	885		X		13	885	100%	A	49% impacted	
27	3.5						3.5	707		X		4	707	100%	A	Within footprint	
Totals	173						300	22,031	4	20	3	220	15,278	69%			



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT E

**CITY GEOLOGICAL/GEOTECHNICAL CONSULTANT
MEMORANDUM**

Date: August 7, 2006
GDI #: 05.00104.0130

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Valerie Darbouze
Project Location: 28211 Laura La Plante Drive, Agoura Hills, California.
Planning Case No.: 05-CUP-002/05-VAR-003/05-LLA-003/05-OTP-015 (Tsvetana Yvanova)
Building & Safety No.: None
Geotechnical Report: Grover Hollingsworth and Associates, Inc. (2006b), "Additional Response to Geotechnical Review III, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated April 18, 2006.
Grover Hollingsworth and Associates, Inc. (2006a), "Additional Response to Geotechnical Review II, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated January 23, 2006.
Grover Hollingsworth and Associates, Inc. (2005b), "Additional Response to Geotechnical Review, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated December 28, 2005.
Grover Hollingsworth and Associates, Inc. (2005a), "Response to Geotechnical Review Sheet, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated October 26, 2005.
Grover Hollingsworth and Associates, Inc. (2004c), "Geologic and Soils Engineering Update and Plan Review, Proposed Residence, Garage Guesthouse, Pool and Retaining Walls, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated November 24, 2004.
Grover Hollingsworth and Associates, Inc. (2004b), "Additional Recommendations, Proposed Pool, AIN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated October 7, 2004.
Grover Hollingsworth and Associates, Inc. (2004a), "Geologic and Soils Engineering Exploration, Proposed Residence and Retaining Walls, APN 2061-016-063, Lots 23 and 24, Tract 8793, Laura La Plante Drive, Agoura Hills, California," GH11695-G, dated June 8, 2004.
Plans: M & G Civil Engineering & Land Surveying (2004), "Preliminary Grading and Drainage Plan," dated October 6, 2004, 10-scale.
Architectural Design Concepts (2004), "Architectural Plans, The Oak Hill Crest Residence, 28221 Laura La Plante Drive," dated September 25, 2004.
Previous Reviews: April 29, 2005, May 20, 2005, December 29, 2005 and February 17, 2006.

Findings

Geotechnical Report

- Acceptable as presented with the following conditions.
 Response Required

Remarks

Grover Hollingsworth and Associates, Inc. (GHA; consultant) provided a response to the review letter dated February 17, 2006 regarding the proposed single-family residence, detached garage and guesthouse, swimming pool, and retaining walls. The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City. Based upon the City's review, the referenced reports are acceptable as presented, provided the conditions outlined below are complied with prior to issuing a building permit. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

Condition of Approval

1. The structural engineer for the project should provide a letter indicating that retaining walls are designed for all applicable lateral surcharge pressures per the recommendations of the geotechnical consultant in the referenced reports.

Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following notes must appear on the grading and foundation plans:
 - *Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils. If the expansion index is greater than 20, foundation and slab plans should be revised accordingly.*
 - *Retaining walls should be backfilled with granular non-expansive soils.*
4. The following note must appear on the grading and foundation plans that states: "Excavations shall be made in compliance with CAL/OSHA Regulations."
5. The following note must appear on the foundation plans that states: "All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."
6. Foundation setback distances from ascending and descending slopes shall be in accordance with Section 1806.5 of the City of Agoura Hills Building Code, or the requirements of the Project Geotechnical Consultant's recommendations, whichever are more stringent. The required minimum foundation setback distances shall be clearly shown on the foundation plans, as applicable.
7. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
8. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
9. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
10. Provide a note on the grading and foundation plans that states: "An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

Please submit two (2) copies of the written response to the review comments above to GeoDynamics, Inc. and one (1) copy to the City case planner. If you have any questions regarding this review letter, please contact GeoDynamics, Inc. at (805) 496-1222.

Respectfully Submitted,
GEODYNAMICS, INC.

Ali A. Haq

Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)

Gordon D. Stolla

Gordon D. Stolla
Engineering Geologic Reviewer
CEG 2346, Exp. 03/31/08)



**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
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**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT F

ENVIRONMENTAL DETERMINATION

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Yvanova Single Family Residence (Case #06-CUP-002; 05-OTP-015; 05-VAR-003)

Project Location-Specific: West of 28207 Laura La Plante Drive (APN 2061-016-063 and -072)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project consists of the construction of a 3,400 square-foot two-story residence and a 580 square-foot free standing garage on a 16,175 square-foot lot. The request is for a Conditional Use Permit (due to steep slopes – nearly 43%), a Variance (to build a patio in the front yard and for retaining walls in excess of 3.5 feet), and an Oak Tree Permit for the removal of oak trees and encroachment into the protected zone of additional oak trees onsite.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Laura La Plante LLC

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of one single family residence and garage. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area. There would be some removal of oak trees and encroachment into the protected zone of oak trees, but this is not considered a significant impact.

Lead Agency Contact Person: Allison Cook, Senior Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 12/28/06

Title: Senior Planner



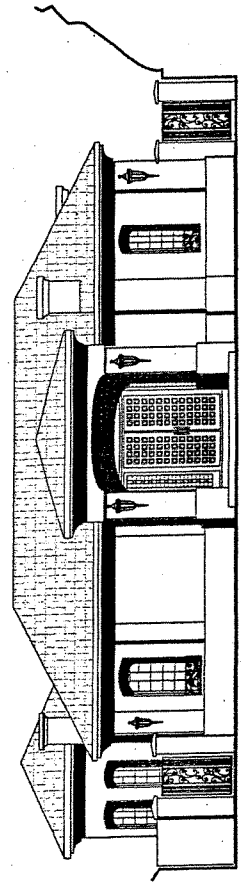
**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
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**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT G

**REDUCED COPIES
OF
THE ARCHITECTURAL AND GRADING PLANS**

THE OAK HILL CREST RESIDENCE
 28 221 Laura La Plante Drive, Agoura Hills, CA 91301



SOUTH ELEVATION
 Scale 1/4"=1'

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- A-3 FLOOR PLANS
- A-4 WALL SECTION
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- A-7 POOL TERRACE PLAN
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- A-11 FRONT PORCH WALL
- A-12 FRONT PORCH DETAIL
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STRUCTURAL

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- S-3 LOWER GARAGE LEVEL FLOOR PLAN
- S-4 POOL LEVEL FLOOR PLAN
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- S-6 POOL LEVEL FLOOR ROOF FINISH PLAN
- S-7 POOL LEVEL FLOOR ROOF FINISH PLAN
- S-8 POOL LEVEL FLOOR ROOF FINISH PLAN
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- S-27 POOL LEVEL FLOOR ROOF FINISH PLAN
- S-28 POOL LEVEL FLOOR ROOF FINISH PLAN
- S-29 POOL LEVEL FLOOR ROOF FINISH PLAN
- S-30 POOL LEVEL FLOOR ROOF FINISH PLAN

TOTAL IS SHEETS

THE OAK HILL CREST
 28 221 Laura La Plante Drive
 Agoura Hills, CA 91301

ARCHITECTURAL DESIGN CONCEPTS
 5230 San Fernando Drive
 Woodland Hills, CA 91364
 TEL: 818.999.3399



TITLE SHEET

A-0
 TITLE SHEET
 A-0 out of 19

REQUIRED SPECIAL INSPECTIONS

In addition to the required inspections, the following special inspections shall be required upon inspection in accordance with sec. 1701 of the Uniform Building Code.

POOL COMPLIANCE PRIOR TO	NO	YES
FOUNDATION INSPECTION	NO	YES
STRUCTURAL CONCRETE-CORROSION RESISTANT	NO	YES
FIELD WELDING	NO	YES

TOTAL IS SHEETS

PROJECT SUMMARY

LEGAL DESCRIPTION: Lots 23,24 and 29 of block 2, Tract No. 8793, Agoura Hills

OCCUPANCY: Group R
 ZONE: Single Family Dwelling
 CONSTRUCTION TYPE: Veneered masonry
 NO OF STORIES: 2 Story
 LOT SIZE: Irregular, Hulsade Is. 175.00 s.f.
 BUILDING AREA: Lower Level Floor:
 SUBTOTAL: _____
 Covered Entry: _____
 SUBTOTAL: _____
 Terrace/Screening Enc. Area: _____
 SUBTOTAL: _____
 GUEST HOUSE: _____
 GARAGE: _____
 SUBTOTAL: _____

OTHER NOTES:

CONSULTANTS

OAK TREE CONSULTANT
 2841 LAUREL AVE
 WOODLAND HILLS, CA 91364
 818 999 3399

STRUCTURAL ENG.
 4841 CANYON BLVD
 WOODLAND HILLS, CA 91364
 818 999 3399

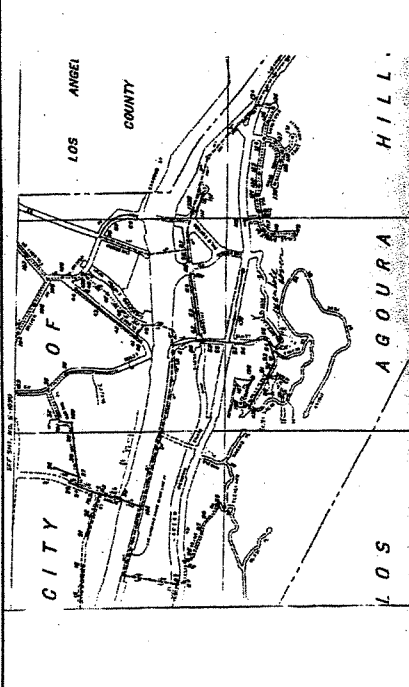
CIVIL ENG.
 8100 ROYAL AVENUE #115
 WOODLAND HILLS, CA 91364
 818 999 3399

GEOTECHNICAL
 GEOTECHNICAL ASSOCIATES
 3128 WOODLAND AVENUE
 WOODLAND HILLS, CA 91364
 818 999 3399

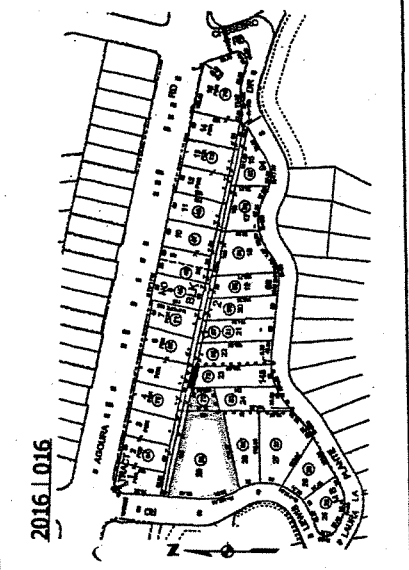
SURVEYOR
 MUD CIVIL, SURVEY & LAND SURVEYING
 37750 ROBERTSON BLVD
 WOODLAND HILLS, CA 91364
 818 999 3399

ENERGY COMPLIANCE
 SOLARTECH INC
 2205 VENTURA BLVD
 WOODLAND HILLS, CA 91364
 818 999 3399

VICINITY MAP



LOCATION MAP



08/15/16

Check by:

THE OAK HILL CREST
28 221 Laure La Plante Drive
Agoura Hills, CA 91301

ARCHITECTURAL DESIGN CONCEPTS
5220 San Rafeano Drive
Woodland Hills, CA 91364
TEL 818.999.3399

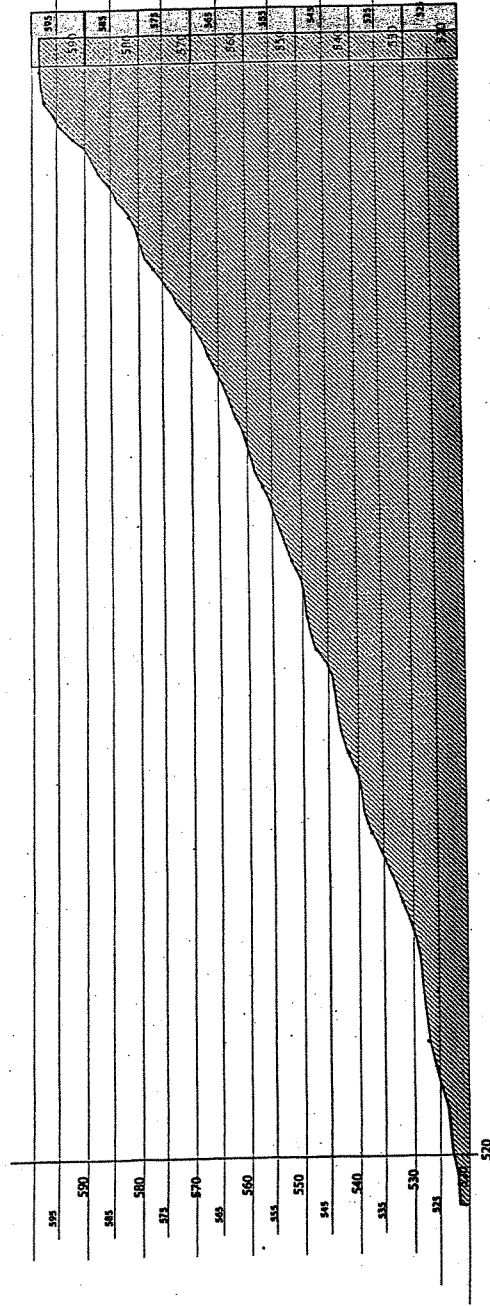
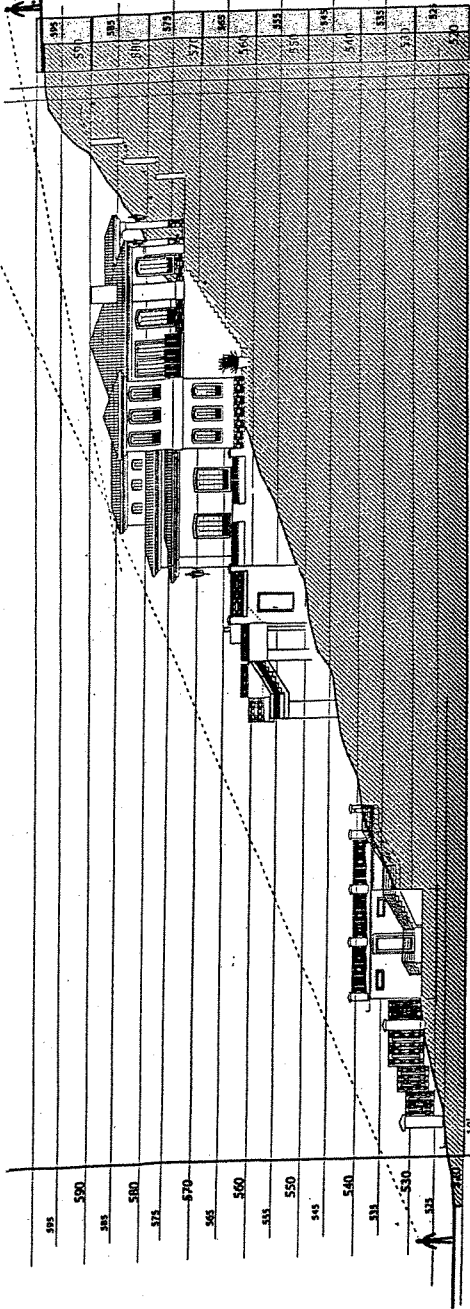


HILL SLOPE SECTIONS

A-3

HILL SLOPE SECTIONS

A-3 out of 19



Check by:

THE OAK HILL CREST
28 221 Laura La Plante Drive
Agoura Hills, CA 91301

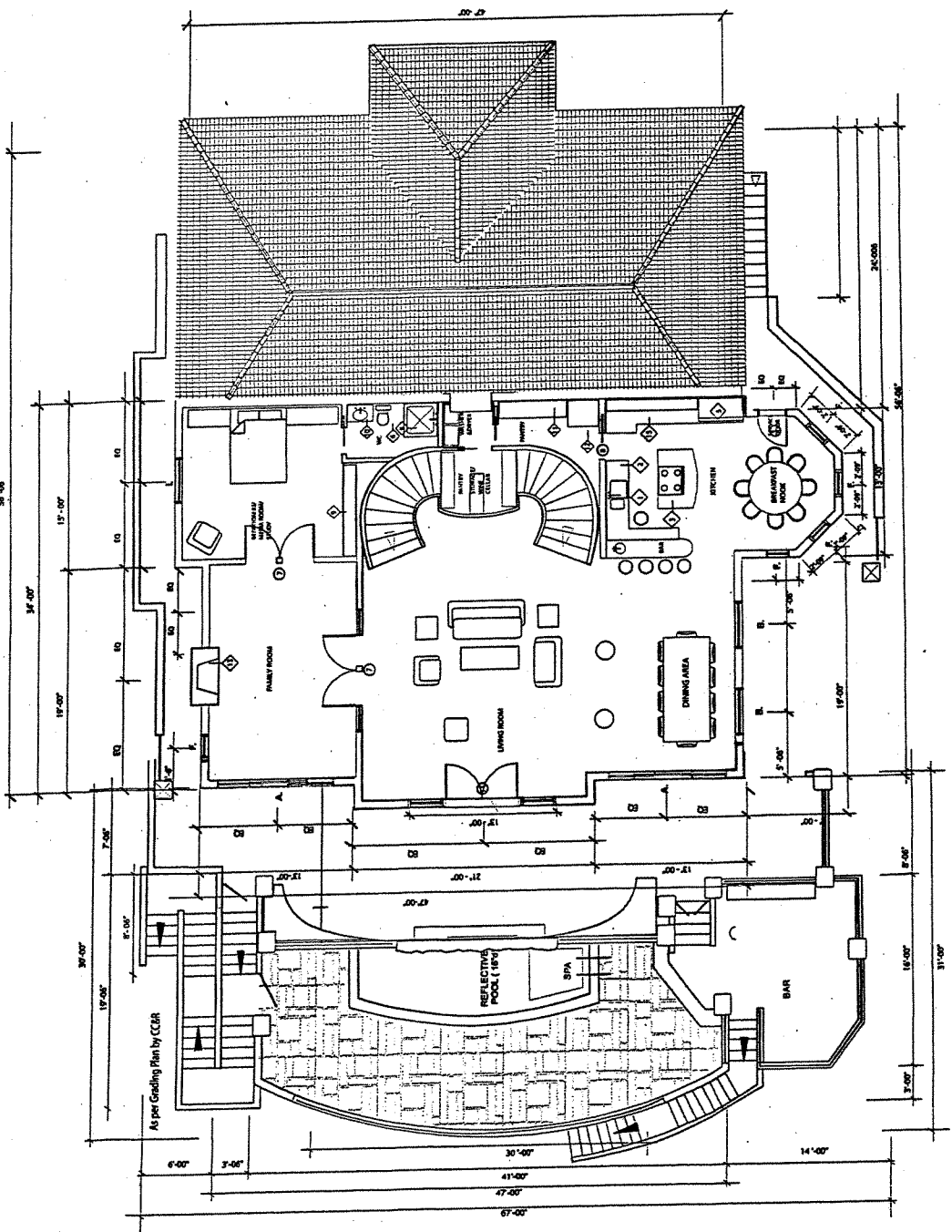
ARCHITECTURAL DESIGN CONCEPTS
5220 San Fernando Drive
Woodland Hills, CA 91354
TEL 818.999.3399



LOWER LEVEL PLAN



- DOORS**
- 1 ENTRY FRONT DOOR
 - 2 18" x 24" SOLID DOOR
 - 3 36" x 24" FRENCH DOOR
 - 4 36" x 24" FRENCH DOOR
 - 5 36" x 24" FRENCH DOOR
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 - 100 INTERIOR WALL



As per Grading Plan by CCR

09/15/2004

Check by:

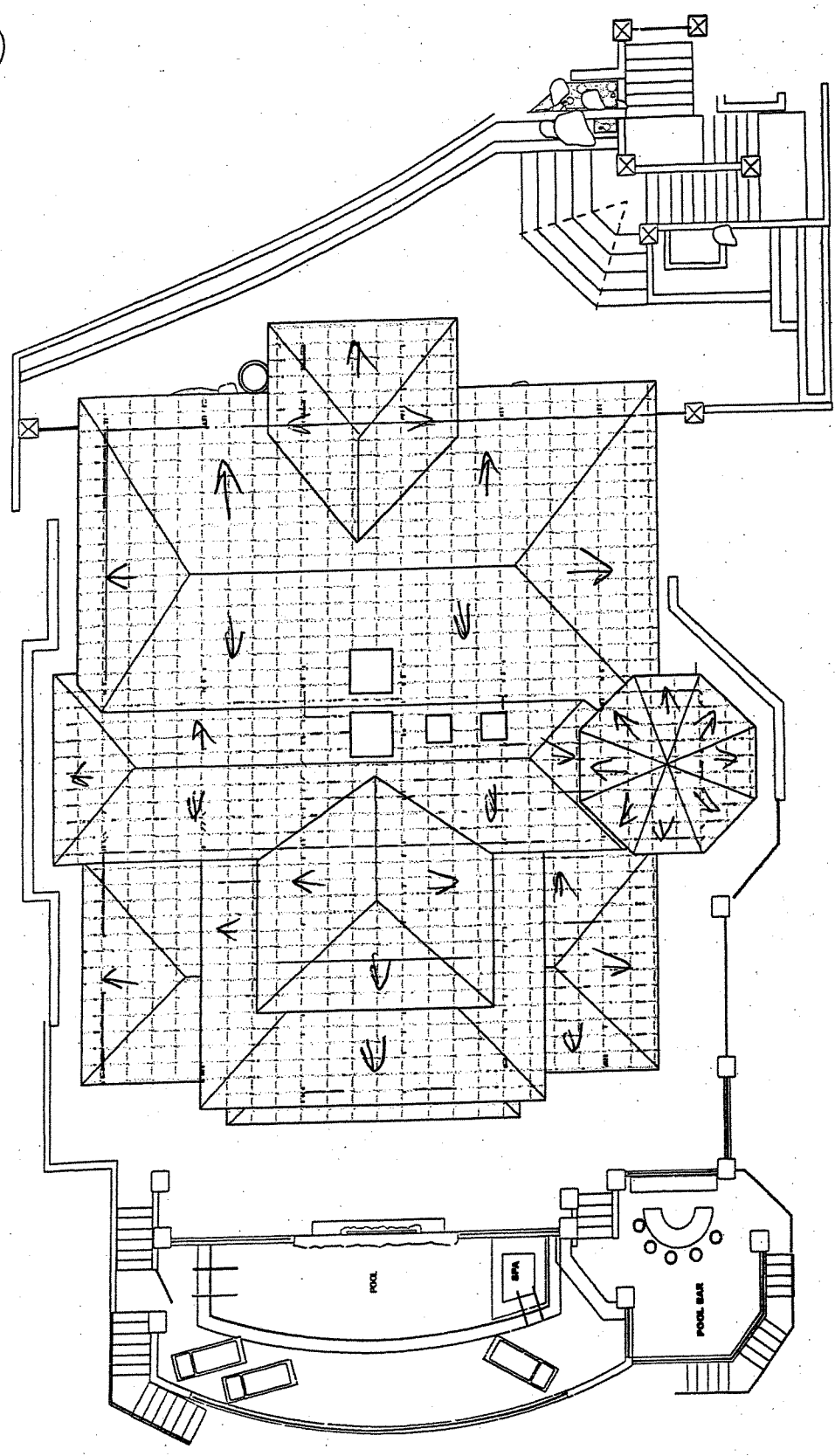
THE OAK HILL CREST
282 221 Lava La Plante Drive
Agoura Hills, CA 91301

ARCHITECTURAL DESIGN CONCEPTS
5209 San Felipe Drive
Woodland Hills, CA 91364
TEL: 818.799.3399



ROOF PLAN

A-6
sub-plan
A-6 out of 19



ELEVATIONS

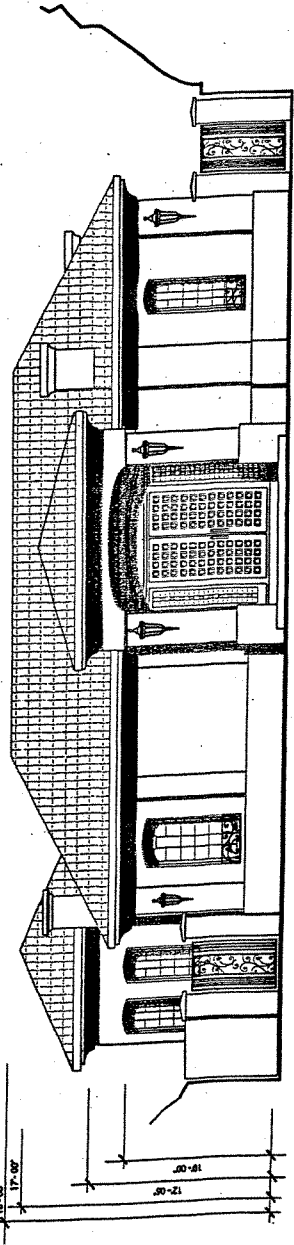


ARCHITECTURAL DESIGN CONCEPTS
5220 San Feliciano Drive
Woodland Hills, CA 91364
TEL. 1.818.999.3399

THE OAK HILL CREST
28 221 Laura La Plante Drive
Agoura Hills, CA 91301

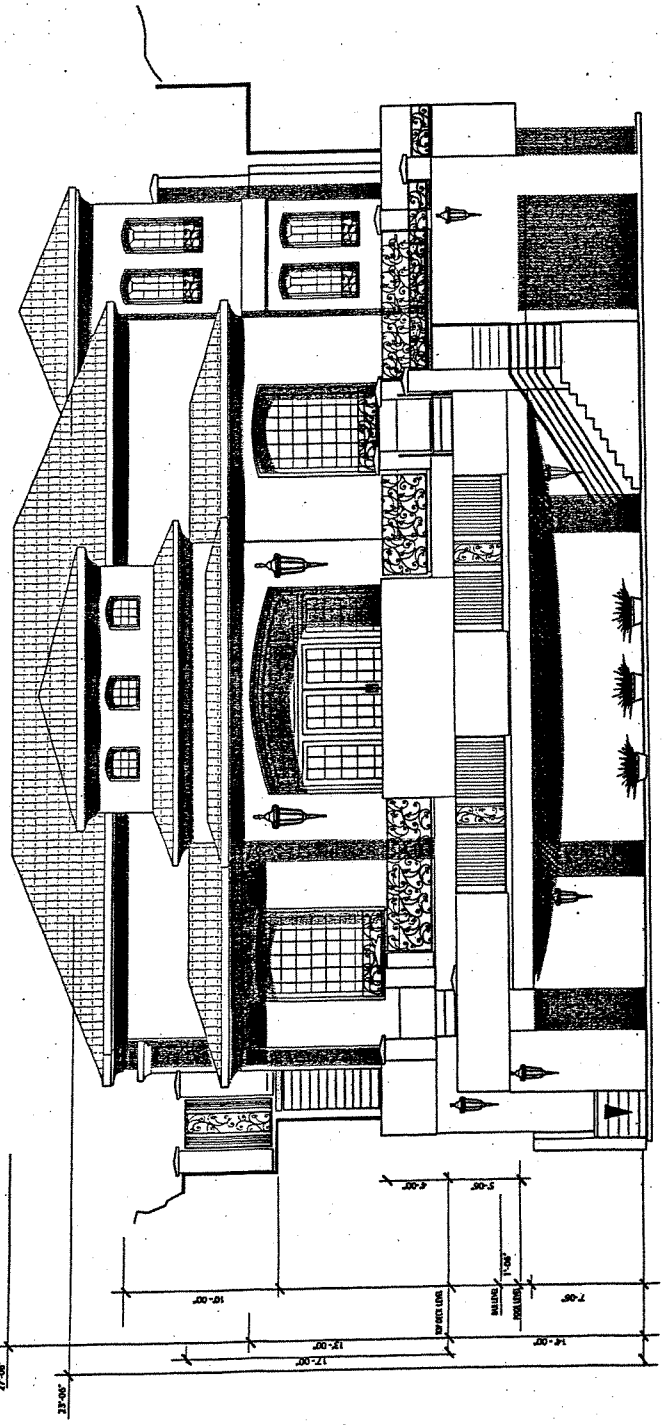
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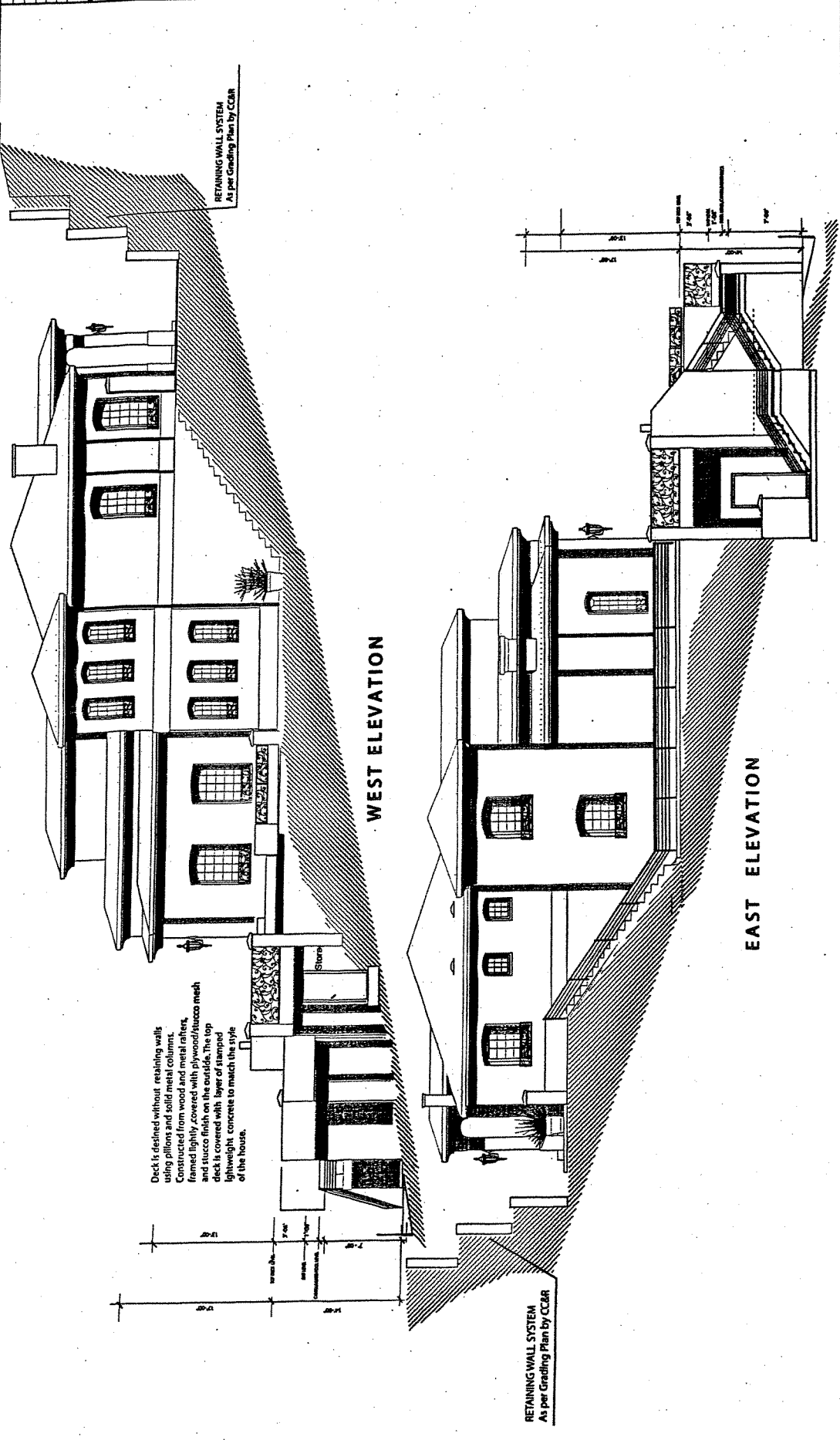
SOUTH ELEVATION

Scale 1/4"=1'



NORTH ELEVATION

Scale 1/4"=1'



Deck is designed without retaining walls using pilions and solid metal columns. Constructed from wood and metal rafters framed lightly covered with plywood/luccon mesh and stucco finish on the outside. The top deck is covered with layer of stamped lightweight concrete to match the style of the house.

RETAINING WALL SYSTEM
 As per Grading Plan by CCR&R

WEST ELEVATION

EAST ELEVATION

RETAINING WALL SYSTEM
 As per Grading Plan by CCR&R

09/12/2004
Check by:

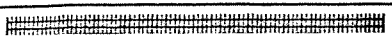
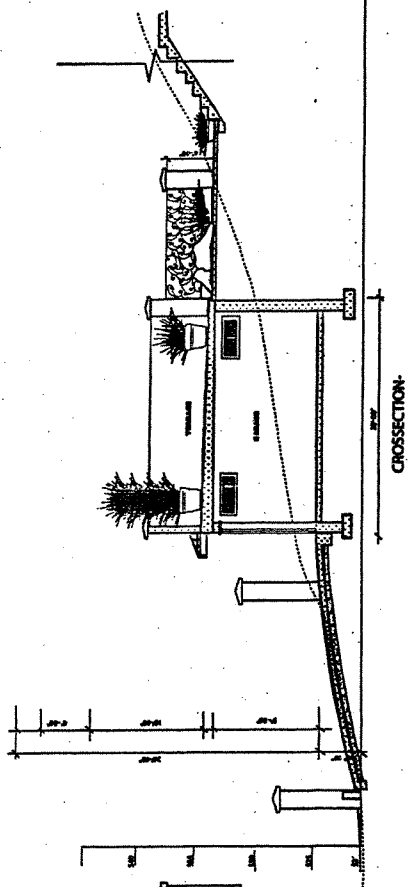
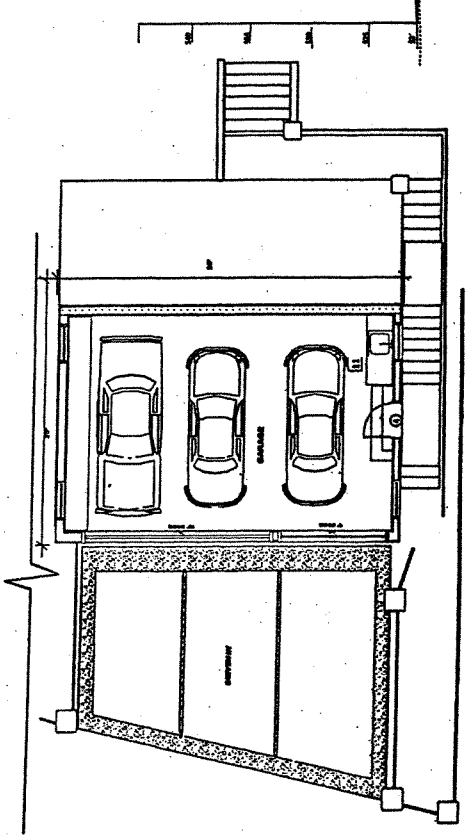
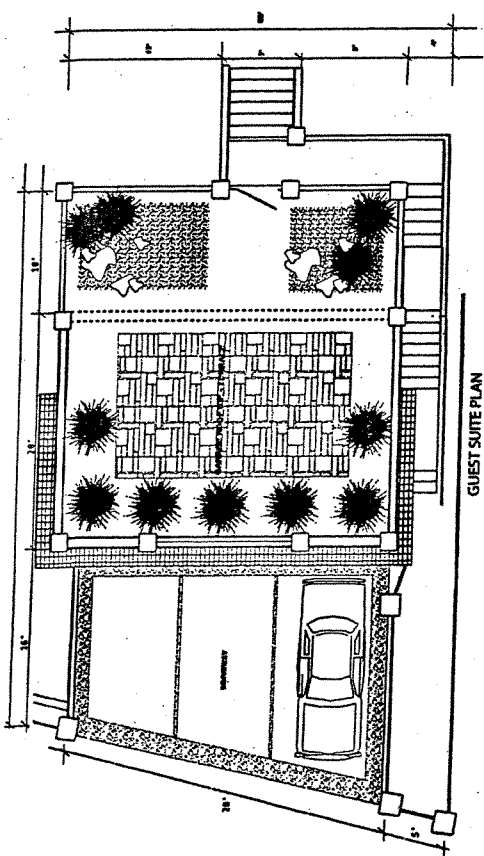
THE OAK HILL CREST
282 221 Laurel La Pierre Drive
Agoura Hills, CA 91301

ARCHITECTURAL DESIGN CONCEPTS
5220 San Felipe Drive
Woodland Hills, CA 91364
Tel: 818.994.2399



GUEST HOUSE & GARAGE

A-12
SHEET NUMBER
A-12 End of 12



09/15/2004
 Checked by:

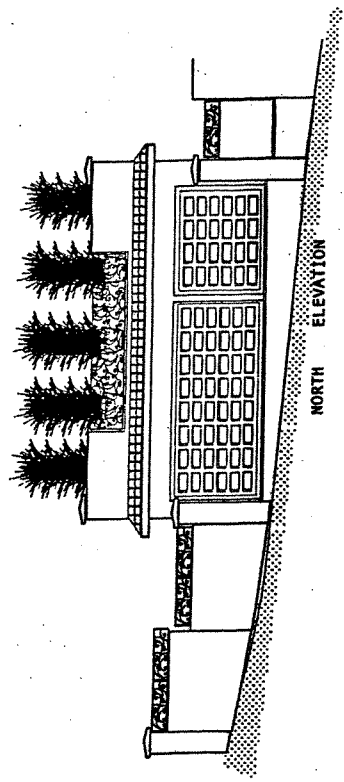
THE OAK HILL CREST
 282 221 Lane La Plante Drive
 Agoura Hills, CA 91301

ARCHITECTURAL DESIGN CONCEPTS
 5220 San Felipe Drive
 Woodland Hills, CA 91364
 Tel. 818.399.1199

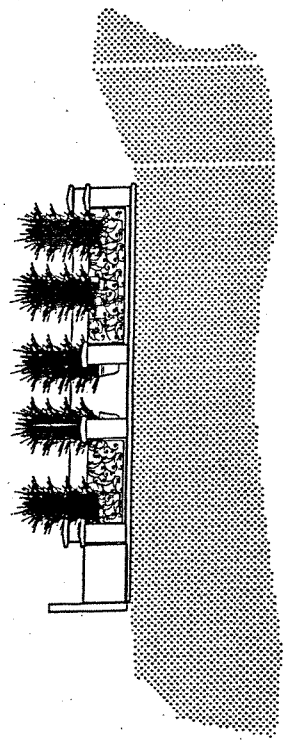


GUEST HOUSE ELEVATIONS

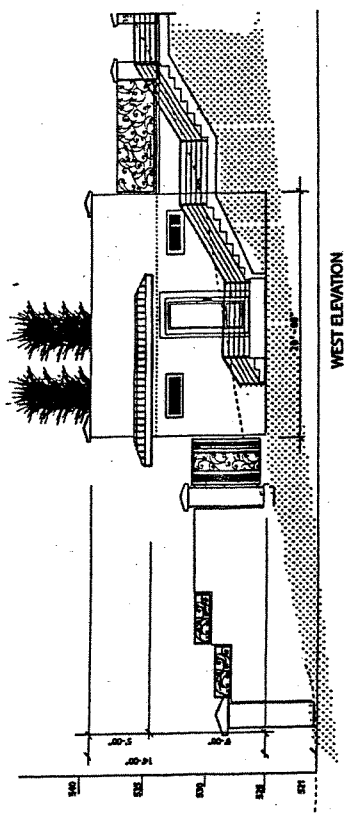
A-13
 COPY RIGHT
 A-13 out of 13



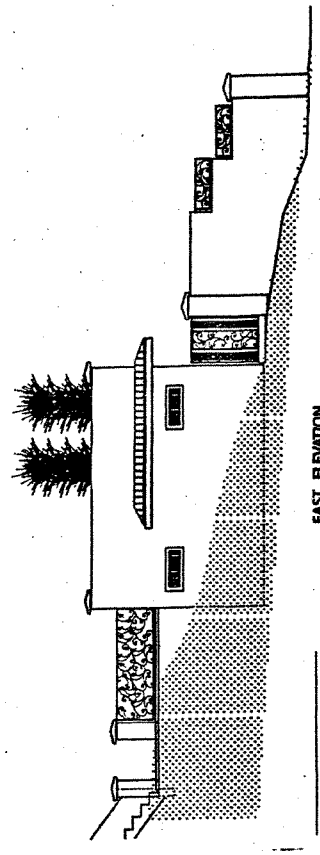
NORTH ELEVATION



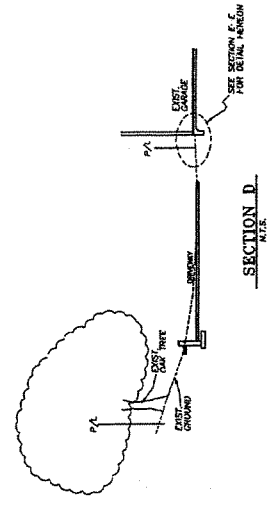
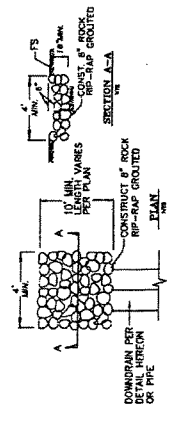
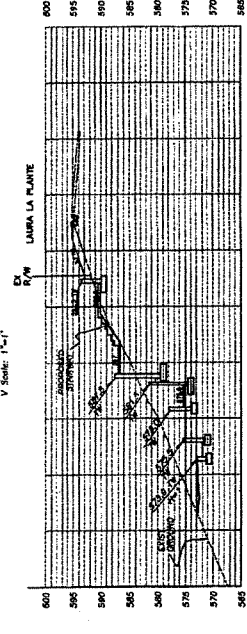
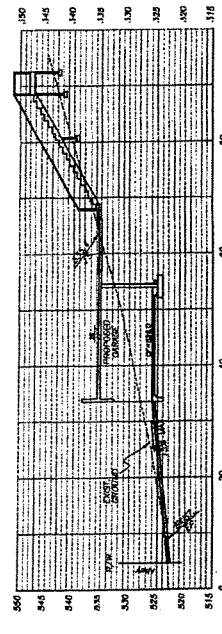
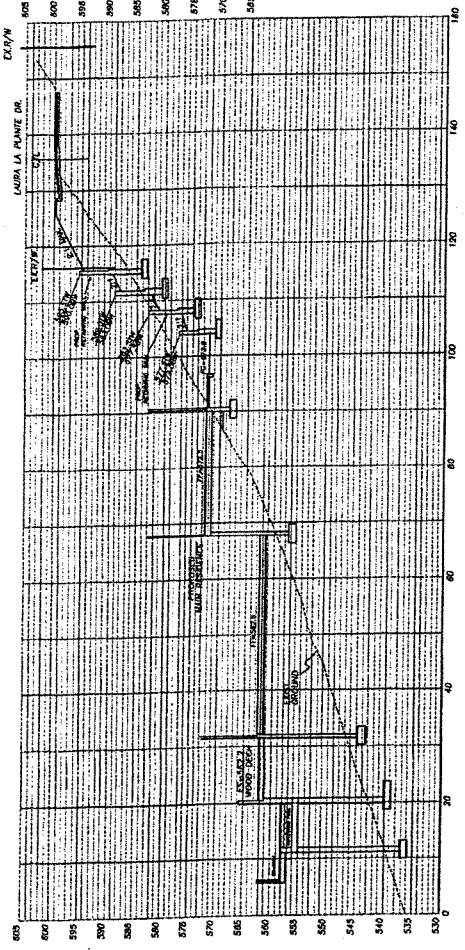
SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



NO.	STATION	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWER	DATE	APPROVED	DATE

PREPARED BY:
 141 Third-Campus Road
 Waukegan, Illinois 60087
 Phone: (815) 496-1979
 Fax: (815) 496-1811

CITY OF ADOPTION APPROVAL
 KEVIN BERGMAN
 CITY ENGINEER

PROJECT NO. 2022 LAURE LA PLANTE DRIVE
 SHEET 2 OF 4
 PROJECT NO. _____



PRELIMINARY GRADING PLAN

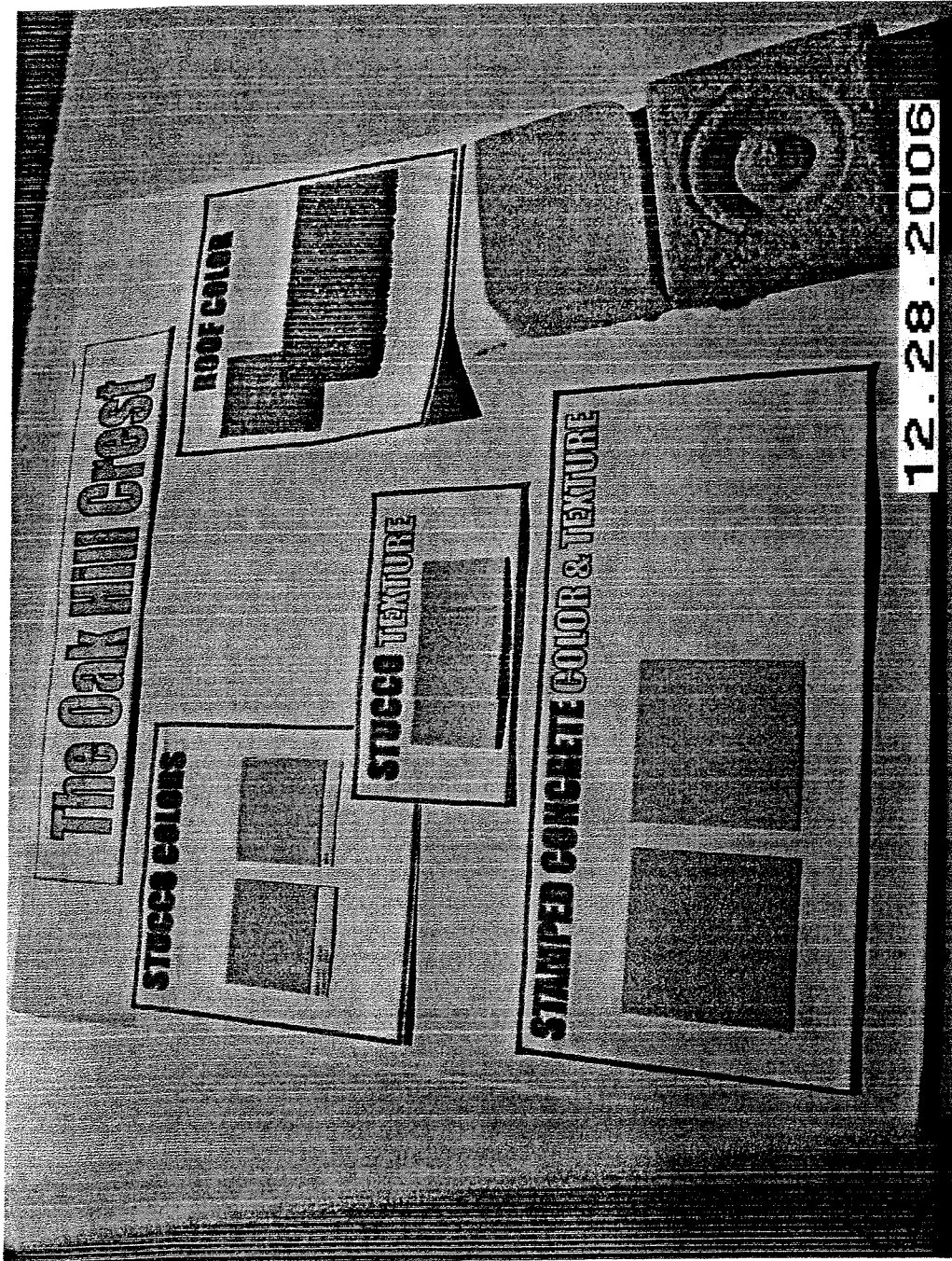


**CONDITIONAL USE PERMIT - CASE NO. 05-CUP-002,
OAK TREE PERMIT - CASE NO. 05-OTP-015
AND
VARIANCE REQUEST - CASE NO. 05-VAR-003**

**FOR THE PROPERTY LOCATED AT
28221 LAURA LA PLANTE DRIVE, AGOURA HILLS**

EXHIBIT H

**PHOTOGRAPHS OF THE
COLOR AND MATERIAL BOARD**

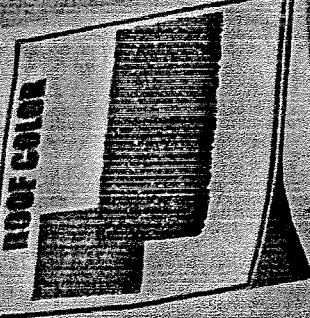


The Oak Hill Crest

STUCCO COLORS

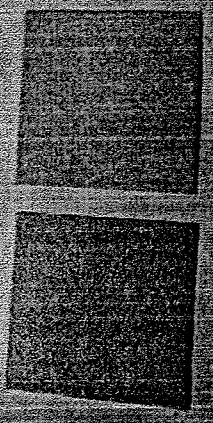


STUCCO TEXTURE



ROOF COLOR

STAMPED CONCRETE COLOR & TEXTURE



12.28.2006

CONDITIONAL USE PERMIT CASE NO. 05-CUP-002
OAK TREE PERMIT CASE NO. 05-OTP-015
VARIANCE REQUEST CASE NO. 05-VAR-003