



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-005
AND OAK TREE PERMIT NO. 06-OTP-008 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6160 FAIRVIEW PLACE, AGOURA HILLS**

EXHIBIT C

LETTER FROM NEIGHBORS

TO WHOM THIS CONCERNS;

**I AM AN IMMEDIATE NEIGHBOR TO THE NEWLY
CONSTRUCTED HOUSE AT 6160 FAIRVIEW PLACE. I AM
IN SUPPORT OF THE EXTERIOR STAIRS, OAK TREE
WALL, ADDED PILASTER AND SIDE YARD WALL AS IS,
(SIDE YARD WALL TO BE STUCCO FINISH). I AM NOT IN
SUPPORT OF ANY CHANGES, OR DELAYS IN THE FINAL
COMPLETION OF THIS PROJECT AND WANT TO SEE
THE AMENDMENT APPROVED AND PROJECT
COMPLETED ASAP.**

SINCERELY,

Jeff Simon

NAME

Oliver Hoegly

George J. Olmsted

Carl Swann

Jim R. Darden

John P. O'Neil

Rand Zoller

Sean B-m

Vickie Pearce

6100 Fairview Place

ADDRESS

6171 FAIRVIEW PLACE

6161 FAIRVIEW PLACE

6161 Fairview Place

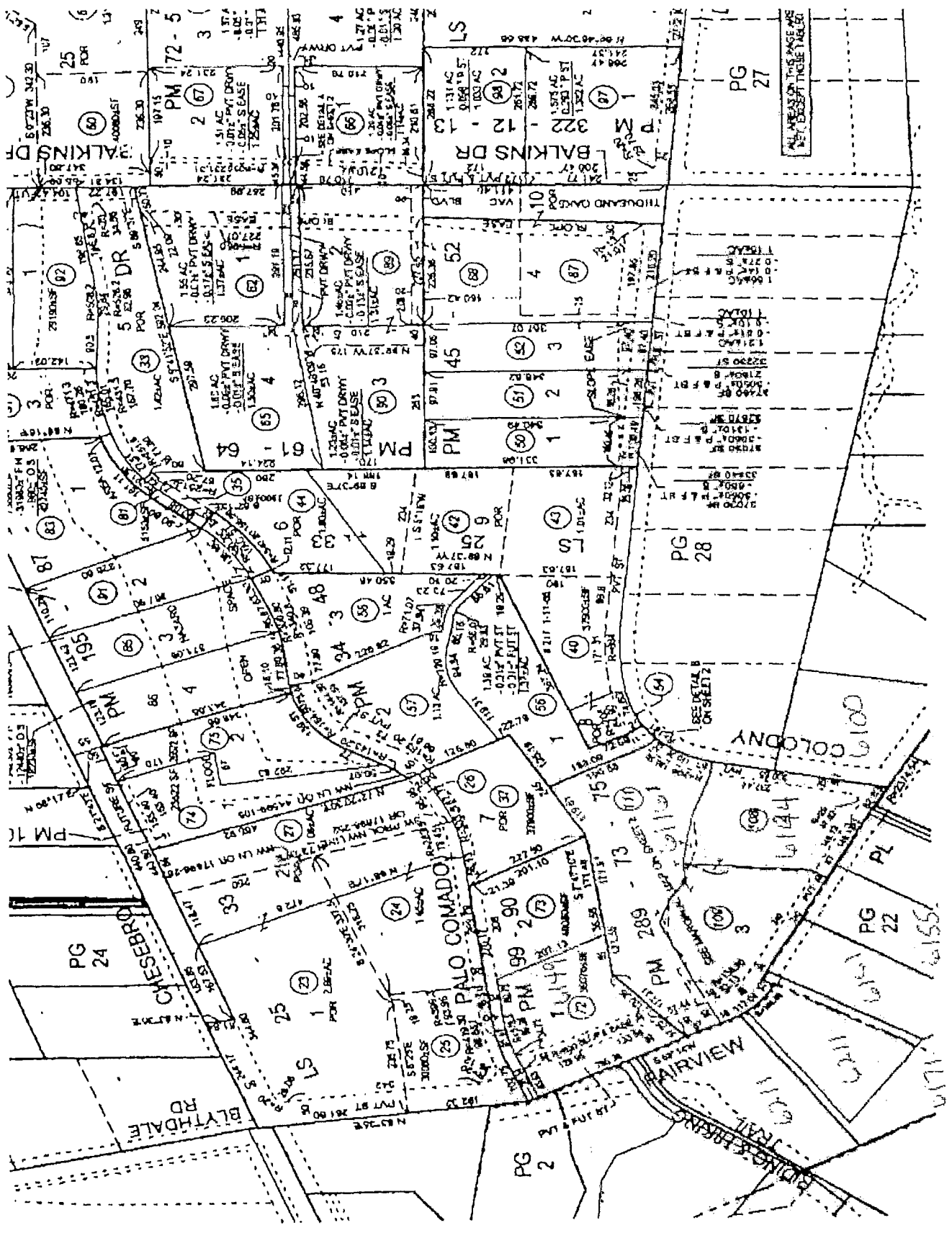
6211 FAIRVIEW PL

6165 FAIRVIEW PL.

6144 Colodney Dr.
5850 Paperworth Dr.

6149 Palo comado

6155 Fairview Pl.



ALL MEASUREMENTS IN FEET UNLESS OTHERWISE NOTED

BALKINS DR

LS

PG 27

THOUSAND OAKS

PG 28

COLONY 100

PG 24

BLYTHDALE RD

PALO COMADO

PG 2

FAIRVIEW

PG 22

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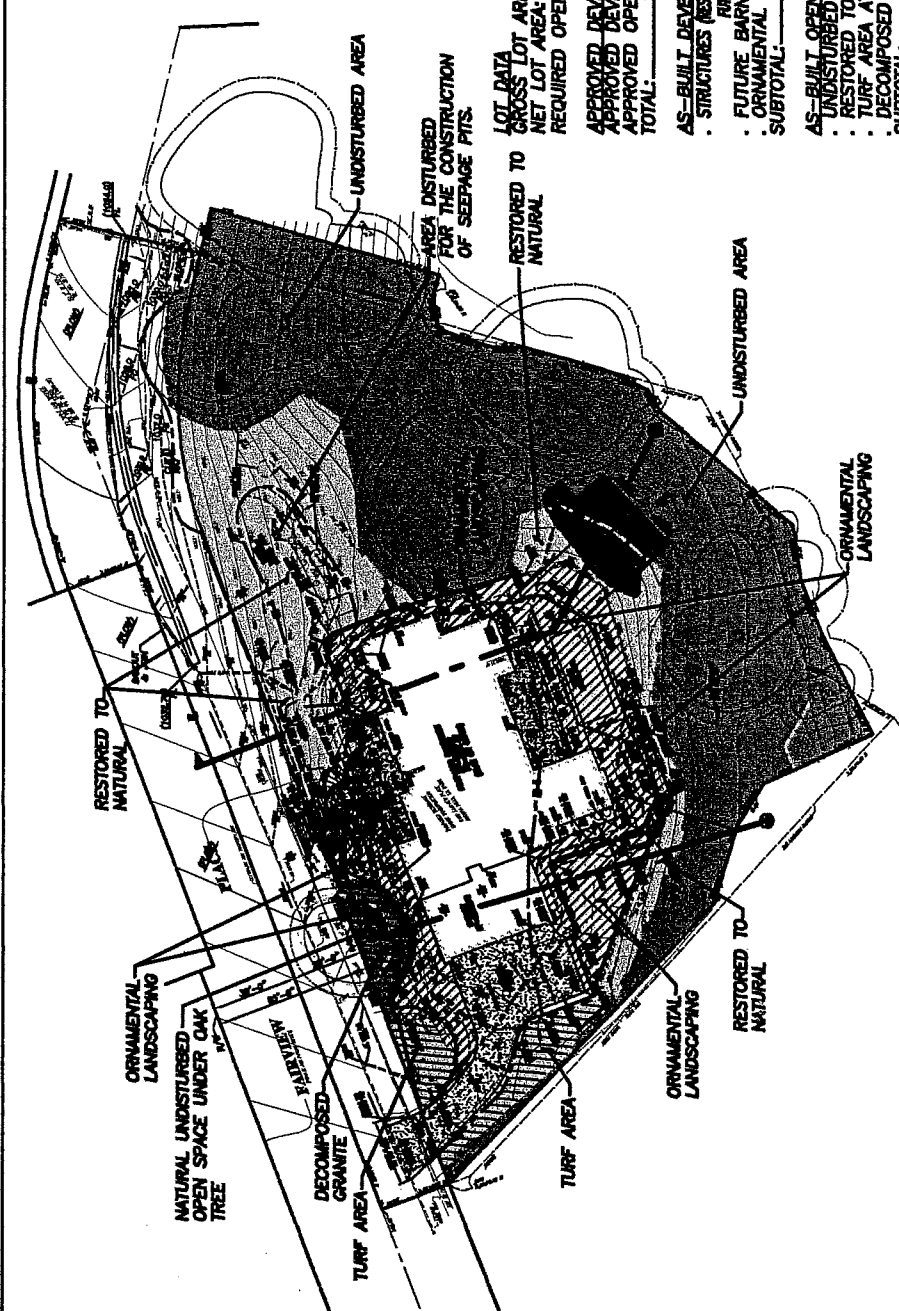


**CONDITIONAL USE PERMIT CASE NO. 06-CUP-005
AND OAK TREE PERMIT NO. 06-OTP-008 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6160 FAIRVIEW PLACE, AGOURA HILLS**

EXHIBIT D

**REDUCED PHOTOCOPIES OF "OVERALL SITE PLAN"
AND "AS-BUILT COMPOSITE SURVEY"**



LOT DATA
 GROSS LOT AREA: 55,702 SQ. FT.
 NET LOT AREA: 43,986 SQ. FT.
 REQUIRED OPEN SPACE: (43986 @ X 62.5%) 27,497

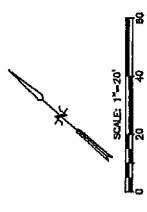
APPROVED DEVELOPMENT
 APPROVED DEVELOPMENT AREA: 16,276
 APPROVED OPEN SPACE: 27,720
 TOTAL: 43,996

AS-BUILT DEVELOPMENT
 STRUCTURES (MS-4-3884, WILLS STMS, HINDSWAY-20154, FUTURE BARN PAD, ORNAMENTAL LANDSCAPING): 9,149
 SUBTOTAL: 15,087

AS-BUILT OPEN SPACE
 UNDISTURBED AREA: 20,150
 RESTORED TO NATURAL: 7,160
 TURF AREA AT DRIVEWAY: 1,012
 DECOMPOSED GRANITE AT OAK TREE: 567
 SUBTOTAL: 28,909
 TOTAL: 43,986

% OF NET
 21%
 1%
 12%
 34%
 % OF NET
 46%
 16%
 2%
 1%
 66%
 100%

[Symbol] ORNAMENTAL LANDSCAPING
 [Symbol] AS-BUILT OPEN SPACE
 [Symbol] UNDISTURBED OPEN SPACE
 [Symbol] RESTORED OPEN SPACE
 [Symbol] ORNAMENTAL LANDSCAPING
 [Symbol] DECOMPOSED GRANITE AT OAK TREE
 [Symbol] TURF AREA AT DRIVEWAY



CITY OF AGOURA HILLS DMB, INC.

SHEET 1 OF 1

PROJECT NO.

CITY OF AGOURA HILLS APPROVAL

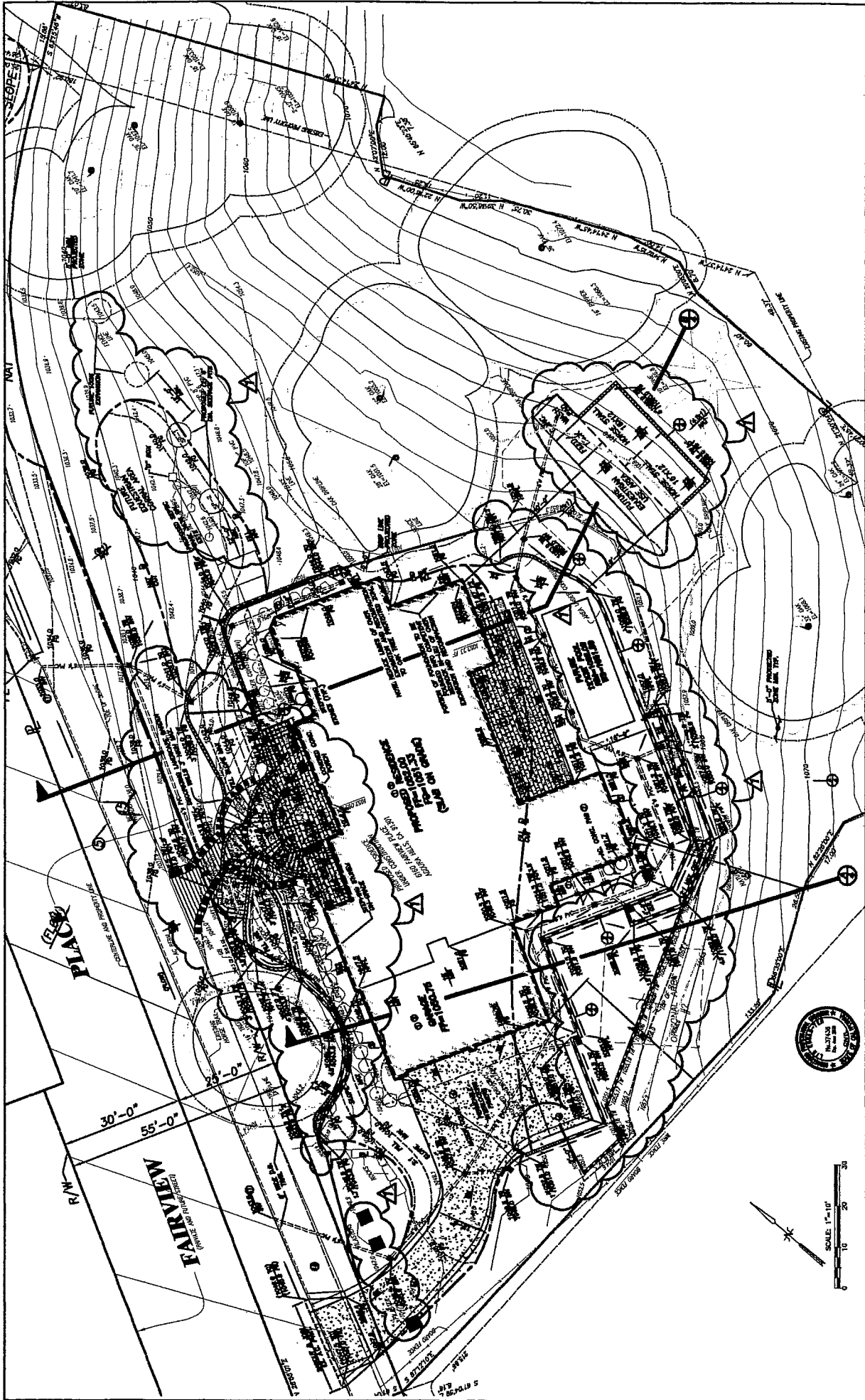
PREPARED BY: J.A. ANDREWS
 200 N. GARDEN ST., SUITE 100
 AGOURA HILLS, CA 91301
 (909) 794-3388

PROJECT ENGINEER: RCE
 DATE: 3/13/20

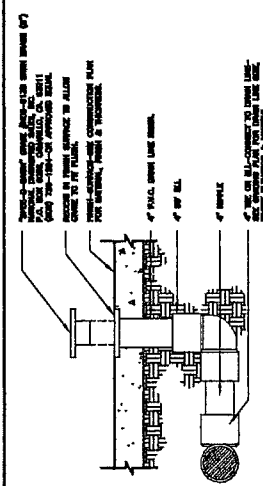
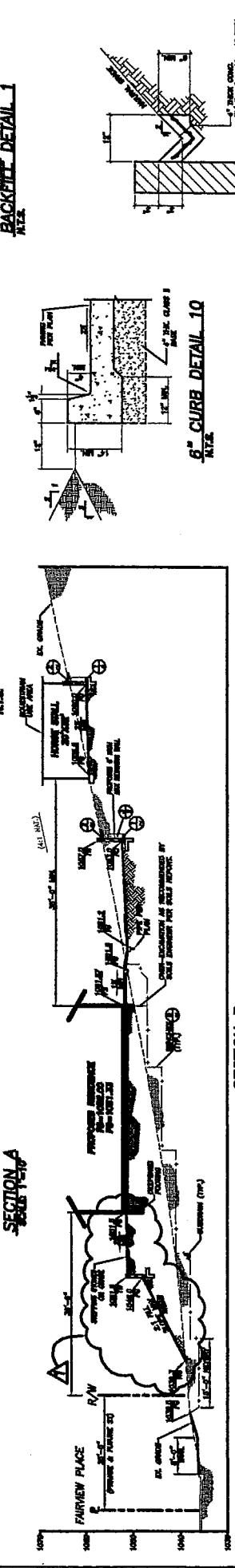
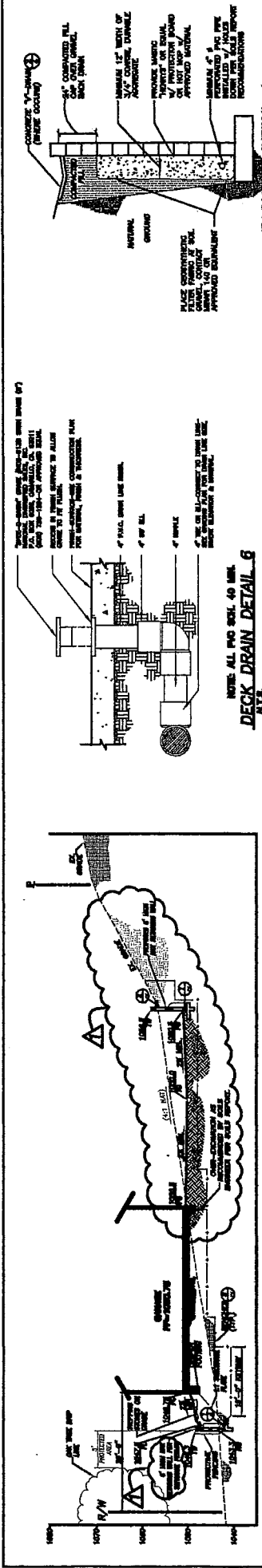
DESCRIPTION OF CHANGE

REV. SYMBOL RCE DATE

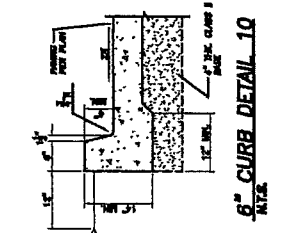
OVERALL SITE PLAN
9160 FAIRVIEW PLACE
AGOURA HILLS, CA 91301



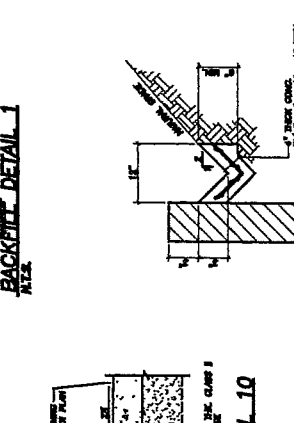
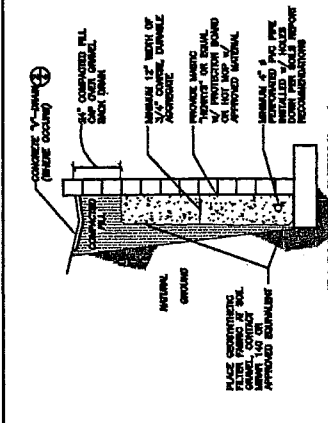
AS-BUILT COMPOSITE SURVEY 6100 FAIRVIEW PLACE AGORA HILLS, CA 91301		SHEET 1A OF 1	
CITY OF AGORA HILLS APPROVAL		PROJECT NO.	
PREPARED BY: L. CHAN, P.E. & ASSOCIATES 10000 WILSON AVENUE, SUITE 100 AGORA HILLS, CA 91301 (909) 794-1000		DATE:	
PROJECT ENGINEER:		DATE:	
SCALE: 1" = 10'		DATE:	
DESCRIPTION OF CHANGE:		DATE:	
REV	SYMBOL	DATE	DESCRIPTION OF CHANGE



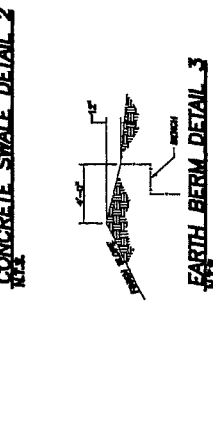
DECK DRAIN DETAIL 6
NOTE: ALL MPA 40 MPA.
N.T.S.



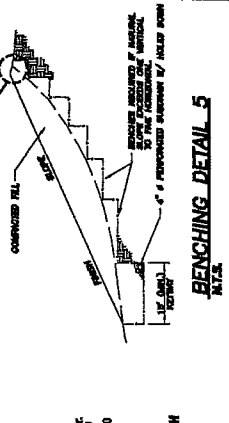
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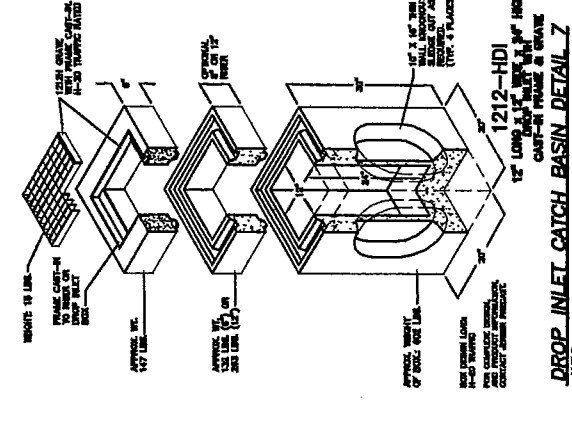
CONCRETE SWALE DETAIL 2
N.T.S.



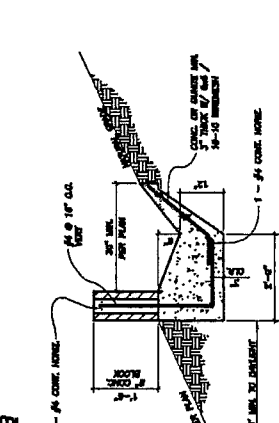
PARTIAL BERM DETAIL 3
N.T.S.



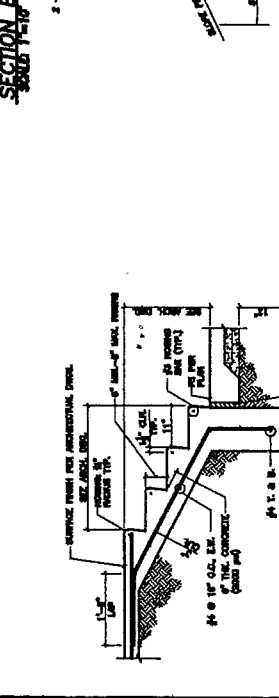
BENCHING DETAIL 5
N.T.S.



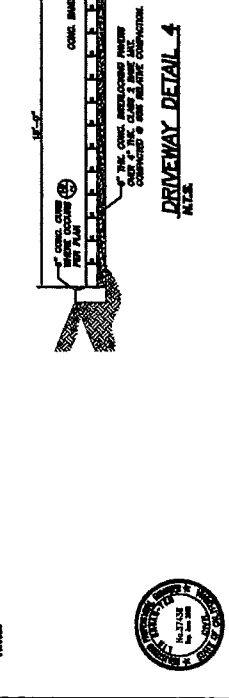
DROP INLET CATCH BASIN DETAIL 7
N.T.S.



SPLASH WALL DETAIL 9
N.T.S.



STAIRS ON GRADE DETAIL 8
N.T.S.



DRIVEWAY DETAIL 4
N.T.S.

CITY OF AGOURA HILLS DWG. NO.		PROJECT NO.		SHEET NO. OF	
CITY OF AGOURA HILLS APPROVAL				SHEET 1 OF 1	
REVISIONS		DESCRIPTION OF CHANGE		DATE	
REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	DATE	DATE
1	Δ	REVISED SECTION A & B.	LY 7/22/98	37438	
PREPARED BY: LEE CHAN, P.E. & ASSOCIATES 37438 FAIRVIEW PLACE, SUITE 100 AGOURA HILLS, CA 91301 (909) 797-1888					
PROJECT ENGINEER			37438	DATE	



**CONDITIONAL USE PERMIT CASE NO. 06-CUP-005
AND OAK TREE PERMIT NO. 06-OTP-008 AMENDMENT**

**FOR THE PROPERTY LOCATED AT
6160 FAIRVIEW PLACE, AGOURA HILLS**

EXHIBIT E

**RESOLUTION NO. 898 AND
CONDITIONS OF APPROVAL**

RESOLUTION NO. 898

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 06-CUP-005 AND
OAK TREE PERMIT CASE NO. 06-OTP-008

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Agoura TNT LLC/Terry Gray with respect to the real property located at 6160 Fairview Place (Assessor's Parcel Number 2055-023-096), requesting the approval of a Conditional Use Permit Case No. 06-CUP-005 to construct a 5,623 square foot, two-story, single-family residence with a 956 square foot attached four-car garage and a swimming pool. The applicant is also requesting approval of an Oak Tree Permit Case No. 06-OTP-008 to perform corrective pruning and encroach upon the protected zone of two (2) Oak trees for the proposed construction. Public hearings were duly held on November 16, 2006 and February 15, 2007, at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid Public Hearing.

Section 3. The Planning Commission, pursuant to the Agoura Hills Zoning Ordinance, finds as follows:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the Very Low Density Residential-Old Agoura Design District (RV-OA) zones in which the use is located. The property designation allows for development of a single-family residence and the proposal meets the development standards for the zone relative to lot coverage, building height, and building setbacks from the property lines.

B. The proposed use, as conditioned, is compatible with the surrounding properties in that the proposed design, materials, and colors of the residence are compatible with the neighboring structures and the topography of the property. The residence and accessory structures are located in the lower, flatter portions of the site to minimize grading and to reduce visual impacts as viewed from the private road. The proposed building style of architecture and building materials and colors of the two-story residence are compatible with the neighborhood and meet the City's Architectural Design Guidelines and standards of the Old Agoura Design Overlay District. The project was reviewed by the City's Architectural Review Panel and was found to be in compliance with the City's Architectural Design Standards and Guidelines.

C. The proposed use and the conditions under which it will be operated or maintained will not be detrimental to the public health, safety, or welfare in that the design of the residence will ensure adequate light, air, privacy and open space to surrounding properties. The proposed two-story structure is situated at the base of the on-site hillside slope, which will preserve views and privacy of the surrounding properties. The project complies with the maximum allowable building height limitations of hillside properties. Geotechnical and geological reports have been prepared for the proposed construction on the property, which include mitigation measures to minimize potential risks of geotechnical and geological hazards. A private septic system will serve the 1.01 acre parcel and has been tentatively approved by the Los Angeles County Health Department.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance in that the project is consistent with the development standards of the Very Low Density zone and Old Agoura Design Overlay District. The proposed residence meets all required setbacks, height limitation, and lot coverage requirements for the zone and incorporates natural building materials in the project design. The incorporation of permeable or semi-permeable driveway and hardscape materials will reduce runoff and maintain the rural atmosphere of the Old Agoura neighborhood.

E. The distance from other similar and like uses is sufficient to maintain the diversity of the community in that the project will meet the minimum yard setback requirements for the RV zone. The residence will be placed an appropriate distance from the street serving the property to preserve public views. The RV zone allows for the development of single-family residences.

F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan in that the project is designed to incorporate the existing terrain into the site plan to the maximum extent possible to minimize grading and to preserve viewsheds, as called for in the Land Use Element of the General Plan.

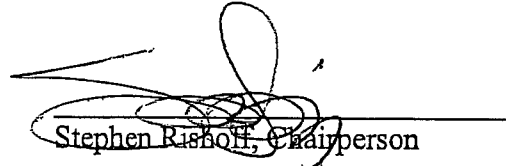
G. As conditioned, encroachment into two Oak trees and corrective pruning is necessary for construction of the project, but will not significantly impact the health of the trees, nor will the proposed construction impact the health of the remaining Oak trees on the property.

Section 4. The project is a request for one, single-family residence and is exempt from the California Environmental Quality Act (CEQA), per Section 15303 and does not require adoption of an environmental impact report or negative declaration.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 06-CUP-005 and Oak Tree Permit Case No. 06-OTP-008, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED, and ADOPTED this day of February 15, 2007, by the following vote to wit:

AYES: Buckley Weber, O'Meara, & Ramuno
NOES: Rishoff
ABSTAIN: None
ABSENT: Zacuto



Stephen Rishoff, Chairperson

ATTEST:



Doug Hooper, Secretary

CONDITIONS OF APPROVAL (Case Nos. 06-CUP-005 and 06-OTP-008-Gray)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plans, Roof Plans, Grading Plans and Landscape Plans.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. Unless waived by the Director of Planning and Community Development, all utilities existing and proposed shall be placed underground. If overhead utilities of 66 KV or greater exist on or about the subject property, the applicant shall file an agreement to join any Assessment District subsequently created to underground said lines.
10. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.

11. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
12. All structures shall conform with the requirements of the Division of Building and Safety of the City of Agoura Hills.
13. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
14. Unless Conditional Use Permit Case No. 06-CUP-005 and Oak Tree Permit Case No. 06-OTP-008 are used within two (2) years from the date of City approval, these permits will expire. A written request for a one-year extension may be considered prior to the expiration date.
15. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$2.63 per square foot.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.7876 per square foot of new floor area.
18. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
19. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. Plans for the required system shall be approved by the Fire Department prior to the issuance of Building Permits for the residence.
20. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

General

21. All improvement plans, including, but not limited to, street, grading/drainage, sewer, storm drain, and striping/signage plans, for the entire project must be submitted as one package. This package must also include all supporting studies. All improvement plan sheets shall be 24" x 36" and must have the City's standard signature blocks and be legibly drawn to ensure proper reproduction and adequate record keeping. All lettering on plans shall be a minimum of 80 CL (.08 inch) in size to ensure proper reproduction and microfilming. All original plans shall be drawn in ink. All plans shall be prepared and signed by a California State Registered Civil Engineer.
22. For construction within public right-of-way, an encroachment permit is required in accordance with Agoura Hills Municipal Code. All required applicable fees, securities, and insurance must be posted prior to issuance of the encroachment permit.
23. A soils report shall be prepared and submitted in accordance with the Agoura Hills Guidelines for geotechnical/geological reports.
24. All Record Drawings ("As-Built" drawings) and supporting documentation shall be submitted to the Engineering Department prior to issuance of the final Certificate of Occupancy.
25. A title report is required to be submitted with the project plans. The plans shall show all proposed and existing easements.
26. Submit cost estimates of public improvements to City Engineer for approval prior to issuance of a grading permit.
27. The developer/owner shall pay all applicable fees and deposits prior to issuances of the grading permit, building permit, and certificate of occupancy.
28. A Transportation Impact Fee (TIF) in the amount of \$2,440 is due prior to issuance of Certificate of Occupancy.

Grading

29. All grading shall conform to City's Grading Ordinance, Chapter 33 of the Uniform Building Code, as modified. Cut and fill slopes shall be limited to 25 feet in height.
30. Detailed grading/drainage plan stamped and signed by a California Registered Civil Engineer. The grading/drainage plan shall be prepared using existing benchmark datum and clearly show existing and proposed contour lines. The plan

shall also show: existing oak trees, pad and finish floor elevations, all retaining and/or block walls, which shall be limited to 6 feet in height, and street improvement limits/cross sections. The grading/drainage plan shall show existing grades, other off-site improvements for a minimum of 100' outside of the property boundaries, all existing and proposed utilities, and all utility connections from the street to the site, all existing and proposed easements, and all property lines.

31. Prior to the issuance of a grading permit the following must be satisfied; the grading plan has been reviewed and accepted by the City Engineer, the applicable plan check, inspection and permit fees have been paid and the grading security has been posted.
32. Prior to approval of foundation by Building & Safety Department, applicant shall submit a grading report as outlined in Section 3304.20 of the City's Municipal Code. Report information shall include, but is not limited to, building pad and grade certifications. Building pad certifications must be completed by the applicant's project Civil Engineer. Grade certifications must be completed by the applicant's Civil Engineer and Geotechnical Engineer and/or Geologist. All certifications must be signed and stamped by State licensed professionals.
33. For any grading operations conducted between October 1 and April 15 of each year, the applicant shall submit a wet weather erosion control plan for review and acceptance by the City Engineer.

Drainage

34. Submit a drainage study prepared by a California State Registered Civil Engineer for the review and acceptance by the City Engineer. Hydraulic design shall conform to the current Hydraulic Design Manual of the Los Angeles County Department of Public Works (LACDPW).
35. The SWPPP shall be prepared in compliance with the Development Construction Model Program for Stormwater Management within the County of Los Angeles, and shall be subject to approval by the City Engineer. The SWPPP shall identify pollutant sources, and shall include design and recommend construction and implementation of stormwater pollution prevention measures in order to reduce pollutants in stormwater discharges from the construction site during the construction period, and after construction as required.
36. Prior to issuance of a grading permit, the applicant shall prepare a Standard Urban Stormwater Mitigation Plan (SUSMP), as outlined in the Development Planning Model Program for Stormwater Management within the County of Los Angeles, subject to approval by the City Engineer. The plan will demonstrate treatment of the first ¼" of rainfall, as required by the Model Program.

37. A Best Management Practice (BMP) Covenant and Deed Restriction shall be prepared and recorded with the Los Angeles County Recorder's Office by the applicant prior to issuance of a Certificate of Occupancy.

Traffic

38. The applicant shall improve Fairview Place along property frontage to provide for a minimum of 26-foot paved width, 8-foot equestrian trail per the Old Agoura standards, and asphalt curb or a 3-foot wide inverted shoulder, as recommended by a State-licensed Civil Engineer to ensure runoff is maintained within the roadway. The roadway section shall be 4" asphalt concrete minimum on top of crushed aggregate base, as recommended by the geotechnical and/or civil engineer, subject to the review and approval of the City Engineer.

Utilities

39. The applicant shall obtain plan approval for septic system purposes by the L.A. County Department of Health prior to issuance of grading permit.
40. The applicant shall submit evidence to the Building Official that all sewer and water fees have been to Las Virgenes Municipal Water District (LVMWD) and Los Angeles County prior to issuance of a building permit.

GEOTECHNICAL CONDITIONS

41. The applicant shall comply with all of GeoDynamics, Inc.'s (The City's of Agoura Hills' Geotechnical Consultant) Conditions of Approval letter dated July 31, 2006.

OAK TREE AND LANDSCAPING CONDITIONS

Oak Trees

42. The applicant is permitted to encroach within the protected zone of Tree Number 12, outside of the dripline, for construction access only.
43. The applicant is permitted to encroach within the protected zone of Tree Number 19 to construct the required equestrian trail along Fairview Place. The applicant is also permitted to prune the tree for clearance over the new equestrian trail to provide a vertical clearance of fourteen feet (14'). Additionally, it is recommended that three co-dominant branches be reduced by one-third (1/3) to encourage the tree to adopt a more vertical form.
44. All authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be

consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.

45. All other oak trees shall be preserved in place with no direct impacts.
46. It is recommended that the applicant implement remedial actions as recommended in the Addendum to the Oak Tree Report as prepared by Peter Bogue Designs. Mr. Bogue's recommendations should be implemented as follows:
 - a. Tree Number 1 through 6, 9, and 19 - Prune existing stubs to just outside the branch collar in accordance with "The Pruning Standards of the Western Chapter of the International Society of Arboriculture".
 - b. Tree Numbers 7 and 12 each present large trunk cavities. A professional tree care firm should be retained to determine the extent of decay associated with the cavities, the remaining structural integrity, and the risks, if any, associated with preserving these trees in a developed residential environment.
 - c. Tree Number 7 also presents crossing branches and some branch damage. One of each set of the crossing branches should be removed as well as any severely damaged limbs in danger of breaking. The professional tree care firm should assess the branching structure and damage and recommend mitigation measures.
 - d. A prior cut condition exists uphill of Tree Numbers 7, 8, 10 through 15, and 18. No action should be taken, as filling the depressions now could cause more harm than benefit.
 - e. Tree Number 10 presents a water trap at the branching point. The report recommends that a professional tree care firm drill a channel from the low point of the water trap at an incline to the surface of the trunk. This is an outdated process and this recommendation shall be eliminated.
 - f. Tree Number 10 shows indication of infestation or disease at a height not clearly visible from the ground. The professional tree care firm should assess the cause and propose mitigation measures.
 - g. Tree Number 11 presents minor branch cavities. The professional tree care firm should assess the need for removal of cabling of individual branches.
 - h. Tree Number 12 has a piece of wire cable embedded in the trunk. The professional tree care firm should assess the possibility of removing the cable without causing significant damage.
 - i. Tree Numbers 16 and 17 have numerous large galls on the trunks of major limbs. The professional tree care firm should inspect the galls to determine their cause and recommend treatment accordingly.

- j. Tree Number 17 is infected with mistletoe which shall be removed by the professional tree care firm experienced with removal of this parasite.
47. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
48. The applicant shall provide a minimum of forty-eight (48) hours notice to the City Oak Tree Consultant prior to the start of any approved work within the protected zone of an oak tree.
49. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
50. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
51. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
52. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
53. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
54. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
55. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.
56. The overall site plan has a note next to Oak Tree #12 that must be revised to read: "The over-excavation and recompaction work must be kept outside of the protected zone of Oak Tree #12."

57. The horse area was drawn for illustrative purposes. The applicant is not planning to construct it at this time. The retaining walls and grading would need to be separately submitted for review and approval by the Oak Tree Consultant if the property owner wished to construct the horse area.

Landscaping

58. The applicant is not planning to construct the wrought iron fence along the property line. It should be deleted from the plans, as new fencing would require an Oak Tree Permit.
59. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-four inches (24") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines

- Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
60. The Planting Plan shall indicate the botanical name and size of each plant.
61. Plant symbols shall depict the size of the plants at maturity.
62. The landscape plans shall prominently display the following notes:
- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
63. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
64. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
65. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- h. Design and static pressures
 - i. Point of connection
 - j. Backflow protection
 - k. Valves, piping, controllers, heads, quick couplers
 - l. Gallon requirements for each valve
66. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
67. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:

- Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
68. The Old Agoura Overlay District requires the use of locally native, drought-resistant landscape plantings. The final planting scheme must have a naturalistic appearance to preserve the rural character of the Old Agoura area.
69. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
70. Native, drought resistant plants shall be utilized on the graded slope in accordance with the Old Agoura Design Overlay District requirements.
71. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
72. The plans shall also be prepared in accordance with the Fuel Modification Guidelines of the Los Angeles County Fire Department.

FIRE DEPARTMENT CONDITIONS

73. The applicant shall comply with all conditions of the Los Angeles County Fire Department prior to the issuance of a building permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

74. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.

75. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
76. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

77. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
78. Detailed plans shall be submitted for all walls and fences on the property and shall be subject to review and approval by the Director of Planning and Community Development.
79. The driveway and hardscape surfaces shall consist of permeable or semi-permeable materials approved by the Director of Planning and Community Development.
80. Prior to the issuance of a grading permit the applicant shall obtain approval of a landscaping fuel modification plan from the Los Angeles County Fire District. A copy of the Fire District's approved plan shall be submitted to the City Planning Department.
81. Prior to the starting construction, the site shall be temporarily fenced and screened on all sides for the duration of the construction project. The height of the fence shall be six (6) feet and fence material shall be overlaid on the exterior with a dark, opaque vinyl screen, or other equivalent fencing and screening material as approved by the Director of Planning and Community Development. Temporary construction fencing and gates shall be maintained in good order at all times.
82. Any new building or structure shown on the approved Site Plan shall be subject to approval of a Conditional Use Permit from the Planning Commission.

83. The proposed undeveloped area located north of the residence and outside the protected zone of Oak trees shall be designated on the site plan as an alternate future equestrian area, subject to review and approval by the Director of Planning and Community Development.

END

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**CONDITIONAL USE PERMIT CASE NO. 06-CUP-005
AND OAK TREE PERMIT NO. 06-OTP-008 AMENDMENT**

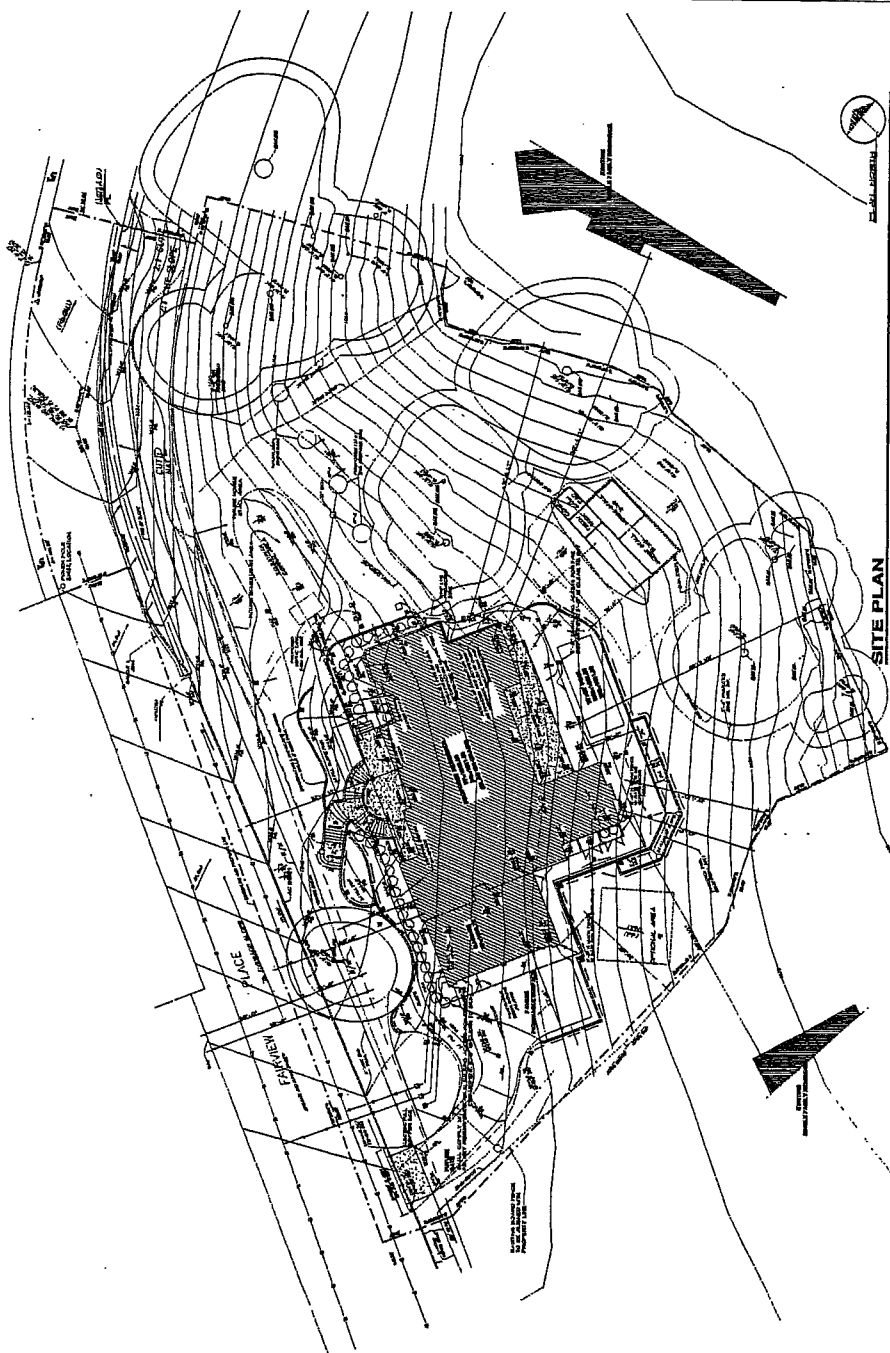
**FOR THE PROPERTY LOCATED AT
6160 FAIRVIEW PLACE, AGOURA HILLS**

EXHIBIT F

COPIES OF APPROVED PLANS

RESIDENCE FOR: AGOURA TNT LLC.
1810 FAIRMEN PLACE
AGOURA HILLS, CALIFORNIA
PLANNING NO. 702, 703, 704

SCALE: 1" = 40'
DATE: 07/11/07
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]
PROJECT: 1810 FAIRMEN PLACE
CLIENT: AGOURA TNT LLC.
ARCHITECT: SCHNEIDER ARCHITECTS

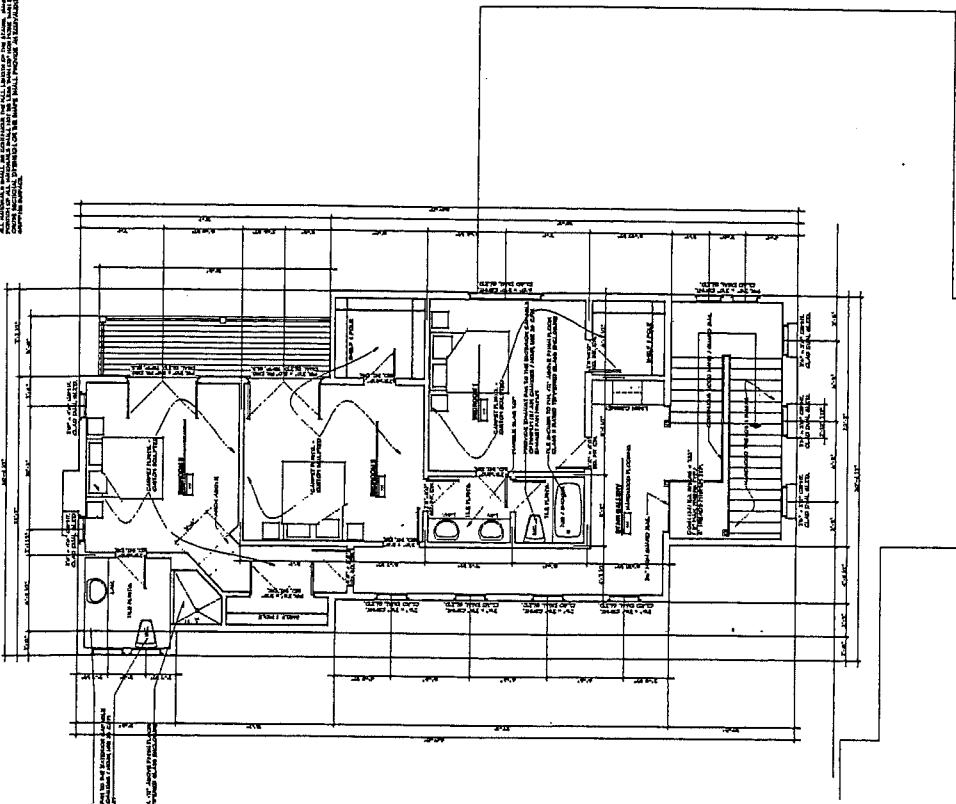


SITE PLAN
PROJECT INFORMATION

DATE: 07/11/07
PROJECT NO.: 1810 FAIRMEN PLACE
LOCALITY: AGOURA HILLS, CALIFORNIA
PLANNING NO.: 702, 703, 704
OWNER: AGOURA TNT LLC.
ARCHITECT: SCHNEIDER ARCHITECTS
DATE: 07/11/07
SCALE: 1" = 40'
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

SITE PLAN

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 NATIONAL ELECTRICAL CODE (NEC) AND THE 2005 NATIONAL FIRE ALARM AND CODE ENFORCEMENT CODE (NFPA 72).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL WIRE-BONDING CODE (IWBC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL COMMUNICATIONS CODE (ICC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC/IMC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMPC).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMPC).
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMPC).
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 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2005 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMPC).



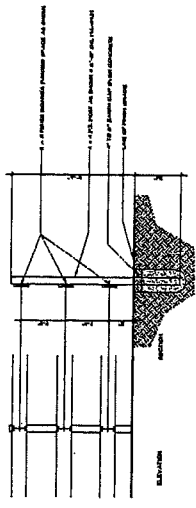
SECOND FLOOR PLAN
PROJECT INFORMATION

PROJECT NO. 08-001
 CLIENT: AGOURA TNT LLC
 ARCHITECT: SCHNEIDER ARCHITECTS
 1000 N. 10TH ST., SUITE 100, DENVER, CO 80202
 TEL: 303.733.1111 FAX: 303.733.1112
 WWW.SCHNEIDERARCHITECTS.COM
 DATE: 10/15/08
 SCALE: 1/8" = 1'-0"

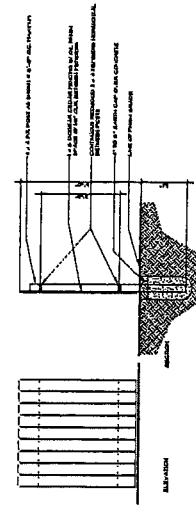
FLOOR PLAN

ELECTRICAL NOTES

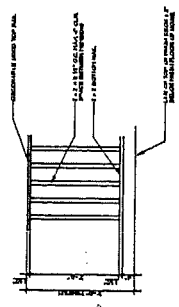
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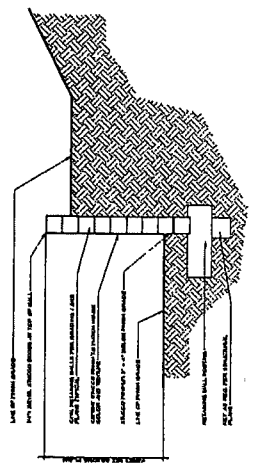
WOOD FENCE TYPICAL
 PROPERTY LINE FEATURE
 1/2" = 1'-0"



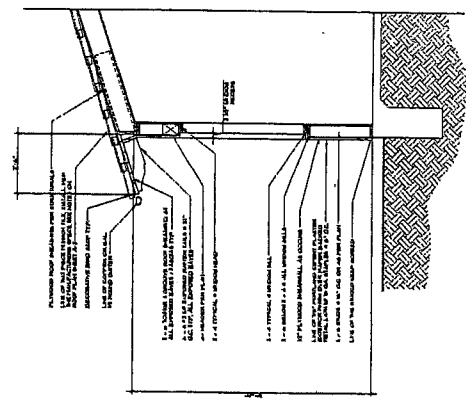
WOOD FENCE TYPICAL
 EQUIPMENT SCREENING FENCING
 1/2" = 1'-0"



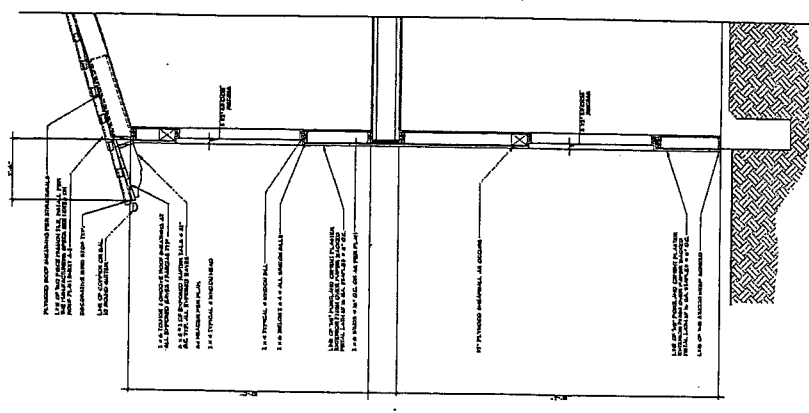
QUADRILATERAL DETAIL
 EXTENSION
 3/4" = 1'-0"



TYPICAL RETAINING WALL FINISH
 TWO STORY
 1/2" = 1'-0"



TYPICAL WALL SECTIONS
 TWO STORY
 1/2" = 1'-0"



TYPICAL WALL SECTIONS
 TWO STORY
 1/2" = 1'-0"

ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

CONSTRUCTION NOTES

1. EXISTING UTILITIES TO BE MAINTAINED AND PROTECTED.
2. EXISTING UTILITIES TO BE DELETED TO BE RELOCATED TO THE PROPOSED RIGHT-OF-WAY.
3. EXISTING UTILITIES TO BE DELETED TO BE RELOCATED TO THE PROPOSED RIGHT-OF-WAY.
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19. EXISTING UTILITIES TO BE DELETED TO BE RELOCATED TO THE PROPOSED RIGHT-OF-WAY.
20. EXISTING UTILITIES TO BE DELETED TO BE RELOCATED TO THE PROPOSED RIGHT-OF-WAY.

NOTE TO CONTRACTOR

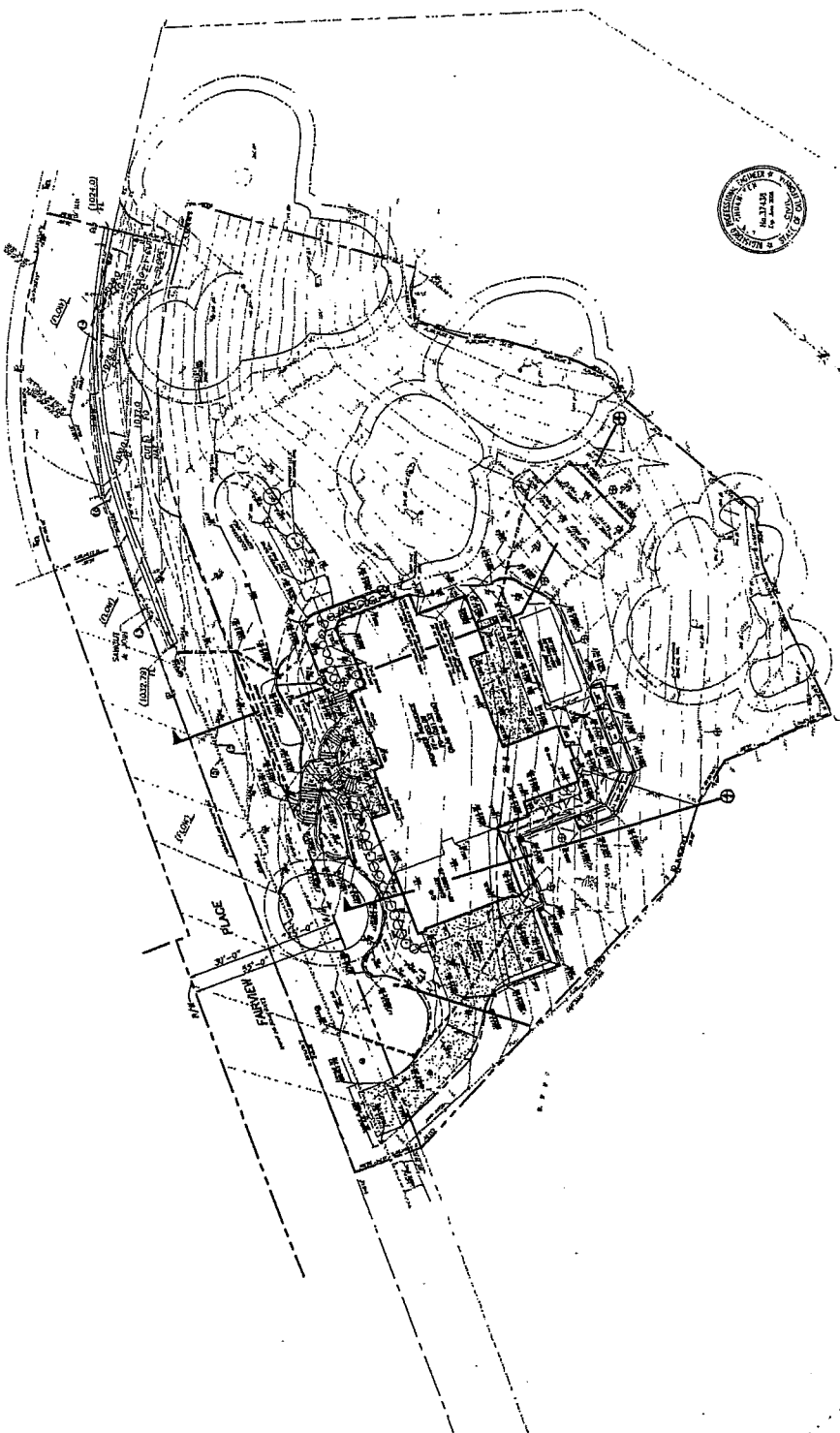
CONTRACTOR TO VERIFY THE LOCATION, DEPTH, AND CHARACTER OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION TO AVOID DAMAGE TO ANY UTILITIES.

NOTES:

1. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REQUIREMENTS.
2. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CONTRACTOR'S ENGINEER AND THE CITY ENGINEER WITHIN 30 DAYS OF COMPLETION OF THE PROJECT. THE REPORT SHALL INCLUDE THE LOCATION, DEPTH, AND CHARACTER OF ALL UTILITIES ENCOUNTERED AS A RESULT OF THE EXCAVATION. THE REPORT SHALL ALSO INCLUDE THE LOCATION, DEPTH, AND CHARACTER OF ALL UTILITIES ENCOUNTERED AS A RESULT OF THE EXCAVATION. THE REPORT SHALL ALSO INCLUDE THE LOCATION, DEPTH, AND CHARACTER OF ALL UTILITIES ENCOUNTERED AS A RESULT OF THE EXCAVATION.
3. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH ANY EXCAVATION.

ASSUMPTIONS

1. ALL FOUNDATION EXCAVATIONS MADE IN COMPLIANCE WITH CALIFORNIA REQUIREMENTS.
2. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH ANY EXCAVATION.
3. ALL FOUNDATION EXCAVATIONS MADE IN COMPLIANCE WITH CALIFORNIA REQUIREMENTS.
4. ALL FOUNDATION EXCAVATIONS MADE IN COMPLIANCE WITH CALIFORNIA REQUIREMENTS.



OVERALL SITE PLAN
 6100 FAIRVIEW PLACE
 AGOURA HILLS, CA 91301

CITY OF AGOURA HILLS APPROVAL

PREPARED BY: [Firm Name]
 455 BANCROFT BLVD.
 SAN FRANCISCO, CA 94134
 (415) 774-3333

PROJECT NUMBER: [Number] PAGE: [Page] DATE: [Date]

DESCRIPTION OF CHANGE

REV	BY	DATE	DESCRIPTION OF CHANGE

