



DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT

ACTION DATE: October 2, 2008

TO: Planning Commission

APPLICANT: Tucker Investment Group, LLC
5010 N. Parkway Calabasas, Suite 105
Calabasas, CA 91302

CASE NO.: 08-SPR-009

LOCATION: 28914 Roadside Drive

REQUEST: Request for approval of a Site Plan/ Architectural Review to remodel interior and exterior portions of the Whizin Shopping Center Arcade area, including pedestrian access improvements, and the addition of 592 square feet of new patio dining area and 228 square feet of new kitchen area for a restaurant tenant.

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15301

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Case No. 08-SPR-009, subject to the Conditions, based on the findings of the attached draft Resolution.

ZONING DESIGNATION: CRS-FC-OA (Commercial Retail Service -Freeway Corridor Overlay – Old Agoura Design Overlay)

GENERAL PLAN DESIGNATION: CG (Commercial-Retail/Service)

I. PROJECT BACKGROUND AND DESCRIPTION

The owner of the Whizin Shopping Center, Tucker Investment Group, LLC, has filed an application that is currently under concept review by staff, for the remodel of the entire

center. That application will be brought to the Planning Commission at a future date through a separate hearing.

Meanwhile, the applicant is requesting approval of a Site Plan/Architectural Review application to modify a portion of the center to accommodate a new restaurant tenant. The proposal includes renovations to the "Arcade" area, in the northwesterly portions of the Whizin Shopping Center. Specifically, the applicant is proposing to remodel the vacant restaurant space formerly occupied by Bamboom Restaurant, which was located on the west end of the Arcade, for use by Hugo's Restaurant, and to reconfigure and enhance the existing indoor atrium courtyard space with remodeled storefronts, access and entries, and new skylights. The project also includes the addition of 592 square feet of new patio dining area and 228 square feet of new kitchen area for the new restaurant. Additional exterior improvements include new pedestrian access paths of travel from the parking lot adjacent to Cornell Road, and the re-surfacing of the north end of this parking lot.

The proposed exterior improvements to the commercial shopping center are subject to review by the Planning Commission. Accordingly, the applicant has applied for a Site Plan/Architectural Review. Since the average slope of the parcel is under 10%, no Conditional Use Permit is required. The proposed interior improvements, including the indoor Arcade and storefronts remodel, will be reviewed administratively by staff with tenant improvement permits.

II. STAFF ANALYSIS

A. Site Plan and Architectural Review

To accommodate the proposed kitchen addition at the rear (north end) of the restaurant, demolition of a partial building wall and storage cabinet will be required. The proposed patio seating area on the west side of the restaurant will require the removal of existing patio walls. Proposed access improvements include removing and re-surfacing the north end of the parking lot west of the Arcade, and removing and existing entry stairs and handrails.

New exterior construction is to include the resurfaced parking lot, a new landscape planter at its north end, and a new finger planter near the stairway entrance to the Arcade. This will provide for new striping of the north end of the parking lot and new handicap parking spaces. A new handicap access ramp is also proposed between the parking lot and the restaurant. The retaining walls serving the handicap ramp are proposed to be stuccoed and painted to match the building.

New concrete stairs and metal handrails are proposed for the pedestrian entry area on the west end of the Arcade. New security gates are also proposed at the Arcade entrance, the final design of which is recommended to be subject to review and approval by staff.

Other proposed improvements include removing the exterior "Arcade" signage and a portion of the roof to accommodate for three new, wood-framed skylights that would replace the existing skylights over the Arcade. The proposed patio dining area addition would include wood-framed, sliding-glass windows. The exterior of the kitchen addition is designed to match the existing north building elevation of the restaurant tenant space. Concept renderings of proposed interior improvements within the Arcade are shown for reference, but will be subject to administrative approval by staff. The applicant intends to provide for new signage for the restaurant, which staff recommends be subject to review and approval by the Director of Planning and Community Development with a sign permit application.

The Architectural Review Panel has reviewed the application and supports the development proposal, finding it to be consistent with the City's Architectural Design Guidelines and Standards and the Old Agoura Design Overlay. A letter from the Old Agoura Homeowners Association is attached.

B. Engineering/Public Works

The City Traffic Engineer and City Engineer have reviewed the project plans and determined that the change in building use does not require the submittal of a traffic report, based on City adopted thresholds. However, the applicant will be responsible for paying the City's Transportation Impact Fee for new building square footage.

Sidewalk improvements on Cornell Road will be required as part of the second phase of development of the center. However, the applicant will be required to construct interim access points along the existing parkway area on Cornell Road to allow pedestrians a safe route to access the site without having to walk in the street.

C. Landscaping

Two new landscape planters are proposed within the resurfaced parking lot area. One planter is proposed at the north end of the parking lot and the other is proposed at the south end of the easterly parking aisle. Staff recommends a detailed landscape plan be submitted for review by the City Landscape Consultant and approval by the Director of Planning and Community Development. Staff will be recommending a combination of native ground cover, trees and shrubs in these planters.

D. Parking

The parking demand for restaurant use is based on the size of the seating and waiting area (15 spaces per 1,000 square feet). The proposed patio dining area may represent an increase in seating area, but interior tenant improvement plans for the restaurant have not been submitted to date. The applicant will also be responsible for providing a listing of all

existing tenant uses and sizes for staff to update the current parking demand. When the tenant improvement plans for the new restaurant are submitted, staff will evaluate the new parking demand with the current parking supply. Based on staff records, it appears that there is significant parking to accommodate this new restaurant. However, if the number of existing parking spaces with the center is less than the parking demand in the center at the time the restaurant's tenant improvement plans are submitted, a Variance for the restaurant's parking demand may be necessary.

E. Environmental Review

The project has been determined to be Categorically Exempt from the California Environment Quality Act in accordance with the State CEQA Guidelines Section 15301. Staff finds that the project is consistent with the provisions of this exemption in that the applicant is proposing exterior modifications, a minor restaurant addition, and parking improvements to an existing retail center that involves less than 2,500 square feet of new floor area to the existing building. The project will not result in significant environmental impacts and staff determined that the preparation of a Mitigated Negative Declaration is not necessary for this project.

F. Findings

The Zoning Ordinance states that in order for the Planning Commission to approve this project, the Planning Commission must be able to make the specific findings for approval. The project, as proposed, meets the minimum development requirements for the Commercial Retail Service zone and the Freeway Corridor Overlay. The proposed retail/restaurant use will provide for employment for a strong fiscal base as called for in Policy 1.2 of Goal No. 1 of the General Plan Land Use Element. The proposed materials and design of the project will support the high quality highway image that is desired by residents and new businesses locating in the City as prescribed in Policy 1.4 of the General Plan Community Design Element. Findings for approval of the Site Plan/Architectural Review have been prepared for the Planning Commission's consideration. These are included in the attached draft Resolution.

III. RECOMMENDATION

Based on the above analysis and findings, it is recommended that the Planning Commission adopt a motion to approve Site Plan/ Architectural Review Case No. 08-SPR-009, subject to the Conditions listed in the draft Resolution.

IV. ATTACHMENTS

- Draft Resolution of Approval and Conditions
- Letter from Old Agoura HOA
- Reduced Copies of the Project Plans

CASE PLANNER: Doug Hooper, Assistant Director of Community Development

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS APPROVING
SITE PLAN/ ARCHITECTURAL REVIEW CASE NO. 08-SPR-009

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES AND ORDERS AS FOLLOWING:

Section I. An application was duly filed by Tucker Investment Group, LLC, with respect to real property located at 28914 Roadside Drive (A.P.N. 2061-007-041), requesting approval of a Site Plan/ Architectural Review to remodel interior and exterior portions of the Whizin Shopping Center Arcade area, including pedestrian access improvements, and the addition of 592 square feet of new patio dining area and 228 square feet of new kitchen area for a restaurant tenant. A public meeting was duly held for the proposed request on October 2, 2008, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. The Planning Commission, pursuant to the Agoura Hills Zoning Ordinance, finds as follows:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the land use district in which the use is located. The retail shopping center is permitted in the Commercial Retail Service and Freeway Corridor Overlay Zones. Also, the project, as conditioned meets the parking, landscaping, and building height requirements as specified in the City Zoning Ordinance.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed office use is allowed within the Commercial Retail Service zone and is consistent with retail uses the east and west of the site. The building elevations, roof, and parking lot improvements will have no significant visual or aesthetic impacts to adjoining properties.

C. The overall development of property, its design, proposed use, and the manner in which it will be operated or maintained, as conditioned, will not be detrimental to the public health, safety, or welfare. Access to the property will continue to be provided via Cornell Road and sufficient on-site and off-site parking and circulation will be provided for the proposed use. The project is required to comply with all requirements of the Uniform Building Code and the Agoura Hills Building and Safety Department.

D. The proposed use, as conditioned, will not conflict with the character and design of the buildings and open space in the surrounding area. The building design and materials, as conditioned, will be compatible with the Freeway Corridor Overlay zone and Old Agoura Design Overlay zone, and will upgrade the surrounding commercial neighborhood.

E. The proposed uses, as conditioned, will comply with each of the applicable provisions of this Zoning Ordinance. The project complies with the provisions of the Commercial Retail Service zone in regard to use.

F. That the proposed uses, as conditioned, is consistent with the General Plan and City Architectural Design Standards and Guidelines. The retail use of the property will provide for employment for a strong fiscal base as called for in Policy 1.2 of Goal No. 1 of the General Plan Land Use Element. The proposed materials and design of the project will support the high quality highway image that is desired by residents and new businesses locating in the City as prescribed in Policy 1.4 of the General Plan Community Design Element.

G. The proposed use, as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed development will enhance the appearance of the shopping center as viewed from Cornell Road with upgraded building elevations and roof treatment. Improved parking and pedestrian access to and within the shopping center will also be provided.

H. The design and location of the proposed development, as conditioned, and its relationship to existing or proposed developments and traffic in the vicinity is such that it will not impair the desirability of investment or occupation in the neighborhood; and it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof, and it will not create traffic hazards or congestion. On-site parking and enhanced pedestrian access on the west side of the shopping center will be provided with the proposed project.

I. The design of the proposed development, as conditioned, will provide a desirable environment for its occupants, as well as for its neighbors, and that it is aesthetically of good composition, materials, textures, and colors. The proposed exterior building materials and colors are compatible with the existing materials and architectural style of the center, and are compatible with the City Architectural Design Standards and Guidelines.

Draft Resolution No. ____

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Section IV. The Planning Commission finds the proposed office use to be categorically exempt from the requirements of the California Environmental Quality Act, per Section 15301 in that the project involves exterior modifications to an existing retail center and does not include an increase in building size or the use of a significant amount of hazardous materials.

Section V. Based upon the aforementioned findings, the Planning Commission hereby approves Site Plan/ Architectural Review Case No. 08-SPR-009, with respect to property described in Section 1 hereof, subject to the attached Conditions of Approval.

PASSED, APPROVED and ADOPTED this 2nd day of October, 2008, by the following vote to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL (Case No. 08-SPR-009)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development. Any conditions on such acceptance or challenges, including the filing of legal action, relating to the permit or the conditions, shall be treated as a failure to meet this Condition and shall nullify and void this permit.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Roof Plans, Grading Plans and Landscape Plans.
4. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific Zoning of the property must be complied with unless set forth in the Conditional Use Permit.
7. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
8. If required, the applicant shall provide road markers opposite the existing or proposed fire hydrants serving the property to the satisfaction of the City Engineer.
9. The number of handicap parking spaces shall be in conformance with the City Building Code. All parking spaces shall include wheel stops and the spaces shall be of standard size and pinstriped, in conformance with the City Parking Ordinance.

Conditions of Approval (Case Nos. 08-SPR-009)

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10. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
11. All structures shall conform to the requirements of the Division of Building and Safety of the City of Agoura Hills.
12. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. Unless Site Plan/Architectural Review Case No. 08-SPR-009 are used within two (2) years from the date of City approval, the permit will expire. A written request for a one-year extension may be considered prior to the expiration date.

PUBLIC WORKS/ENGINEERING DEPARTMENT CONDITIONS

General

14. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
15. For all work within public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
16. In lieu of constructing the required public improvements, an agreement and security in an amount acceptable to the City Engineer may be submitted to guarantee proper construction of the public improvements. All security must be acceptable to City Attorney's office, pursuant to Government Code, Section 66499 and City's Subdivision Ordinance. **This condition specifically pertains to the sidewalk improvements fronting Cornell Road. This condition shall be completed prior to Building Permit issuance.**

Conditions of Approval (Case Nos. 08-SPR-009)

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17. Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department.
18. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
19. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
20. The applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
21. Dedicate the following right-of-way in locations listed below:

Applicant shall dedicate enough right-of-way along entire Cornell Road property frontage to achieve a total right-of-way width of 74-ft in accordance with Agoura Village Specific Plan. This will require a dedication of 4-ft in those areas where the right-of-way is 70-ft, and 14-ft in those areas where the right-of-way is 60-ft.

In addition, a property line corner cut-back is required at the intersection of **Cornell Road and Roadside Drive.**

Public Improvements

22. Design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area. Such public improvements may include, but not be limited to, the following:

| Improvement Item | CORNELL ROAD |
|---------------------------|---|
| Sidewalk | <input type="checkbox"/> New <input type="checkbox"/> Replacement <input checked="" type="checkbox"/> OTHER: <u>Since the ultimate sidewalk improvements are being deferred to Phase 2, applicant shall construct interim access points along existing parkway area fronting Cornell Road to allow pedestrians a safe route to access the site without having to walk in the street. Said access points shall be approved for location and design by the City Engineer prior to Building Permit issuance.</u> |
| Parkway | <input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) <input checked="" type="checkbox"/> OTHER: <u>These ultimate improvements will occur with Phase 2. Interim improvements to this area are outlined above.</u> |
| Storm Drain (See sec. 2E) | <input type="checkbox"/> Main <input checked="" type="checkbox"/> Catch Basin – <u>depending on the drainage report, onsite catch basin may be needed along with parkway drain to ensure storm water is not sheet flowing across areas where pedestrians walk.</u> |

• SPECIFIC NOTES FOR IMPROVEMENTS LISTED IN ITEM 2.20.

It should be noted that the majority of public improvements will be constructed during Phase 2. The required improvements stated above need to be constructed with Phase one to ensure public safety.

Drainage and Hydrology

23. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

Storm Water Quality (NPDES)

24. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the **Engineering Department**. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 - A. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - B. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - C. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - D. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
25. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Stormwater Mitigation Plan (SUSMP) shall be submitted to and approved by the **Engineering Department**. The SUSMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
26. All projects that develop one (1) acre or more of total land area, **or which are part of a larger phased development** that will disturb at least one acre of land, are required to obtain coverage under the State Water Resources Control Board's General Permit For Storm Water Discharges Associated With Construction Activity. Proof of filing a Notice of Intent (NOI) with the State for coverage under this permit is required prior to approval of the grading plan and issuance of

grading permits. The applicant shall submit a copy of the Waste Dischargers Identification Number (WDID) for coverage under the General Construction Permit to the Engineering Department.

27. SWPPP Plan – All projects that develop one (1) acre or more of total land area **or which are part of a larger phased development** that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- A. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- B. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
- C. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
- D. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

Prior to Certificate of Occupancy

- 28. All remaining fees/ deposits required by the Engineering Department must be paid in full.
- 29. All requirements including construction of improvements covered in Section 2, must be completed to the satisfaction of the City Engineer.

30. The Applicant's Engineer shall submit a set of **MYLAR**, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless **MYLAR**, Record (As-built) Drawings, satisfactory to the City, are submitted.*
31. The applicant shall *record a covenant for continued stormwater maintenance, using City-approved forms*, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
32. All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
33. All right-of-way dedications shall be recorded at the County Recorder's Office.

BUILDING DEPARTMENT CONDITIONS

34. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in the Agoura Hills Municipal Code.
35. Prior to building permit issuance, the applicant shall provide detail on the new security gate, the type of operation (i.e. electrical/push button) or any other proposals to access the arcade area during and after business hours, for review and approval by the Director of Planning and Community Development and the Building Official
36. Prior to building permit issuance, the applicant shall provide information for wheelchair accessibility for the enclosed patio area, for review and approval by the Building Official.
37. The applicant shall show the location of all exterior mechanical equipment including roof top equipments on the building plans.
38. As part of the permitting process and prior to permit issuance, two (2) full sets of construction plans including, Structural, Floor, Mechanical, Electrical, Plumbing, Energy plans and documents need to be submitted to the Building and Safety Department for plan review and approval.

PLANNING DEPARTMENT/SPECIAL CONDITIONS

39. Prior to issuance of a building permit, the applicant shall submit a detailed landscape and irrigation plan for the new parking lot landscape planters, for review by the City Landscape Consultant and approval by the Director of Planning and Community Development. The applicant shall pay all required fees for the City's review of the landscape and irrigation plans.
40. Required on-site parking, in compliance with the Zoning Ordinance, shall be provided for any new use within the shopping center, unless a Variance application is otherwise approved by the Planning Commission.
41. The applicant shall obtain a sign permit for new tenant signage associated with this application. The sign permit shall be reviewed and approved by the Director of Planning and Community Development, but may also reviewed by the Planning Commission if requested by the Director of Planning and Community Development.
42. Any proposed exterior lighting shall be subject to review and approval by the Director of Planning and Community Development.
43. Interior improvements within the retail center shall be subject to review and approval by the Planning Department and Building and Safety Department upon submittal of tenant improvement permit applications.
44. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval, or submittal of a Grading or Building Permit, whichever occurs first.
45. The applicant shall comply with all building materials and colors shown on the plans approved by the Planning Commission. Prior to final painting on the building, the applicant shall provide color samples on the building wall for review and approval by the Director of Planning and Community Development.

END

DATE: September 19, 2008
RE: Review of Proposed Project
FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association
TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills
SUBJECT: 08-SPR-009 (Tucker Investment Group for Whizin Market Square, LLC)

It is difficult to comment on the first phase of the new Whizin Market Square without making reference to the overall concept of the project. Having had an opportunity to view renderings of the proposed redesign of the Whizin Center, we can say that it is interesting, eclectic and exciting. The exterior improvements to the Arcade, improved pedestrian access on the west side of the Arcade, a 592 sq. ft. patio dining addition and 228 sq. ft. kitchen addition for the new Hugo's restaurant don't give much of an idea of the changes to come. We will have more extensive comments on the next phases of development.

We look forward to seeing color boards and sample materials. The giant roof areas, being such a dominant feature, require a careful choice of materials and color. The grey-green shown on the concept drawings was very attractive. We were surprised to see such an extensive use of stucco in the re-surfacing of the existing retail buildings. We wish to better understand the styling proposed for the stucco. We look forward to seeing what we assume will be the smoother hard or steel trowelled, attractively colored variety rather than a throwback to the heavy patterns and bland coloration of the 1960s.

The southwest corner of the project, currently occupied by the target range, seems to be a bit of a blank slate. There appear to be 'ghost' windows on the western elevation and a trellis entrance. We assume that a tenant has not yet been established for this location and therefore the details have not been worked out.

City engineering is not requiring the applicant to bury utility poles during this first phase of redevelopment. In the concept drawings, utility poles were still being shown along Roadside Drive, Agoura Road and Cornell Road. We hope this project will set the standard for future design in the area. When the applicant returns with their larger application for the redesign of the entire center, it will be time for the unsightly poles to be removed.

At this time, we have no pressing concerns and we look forward to seeing more.

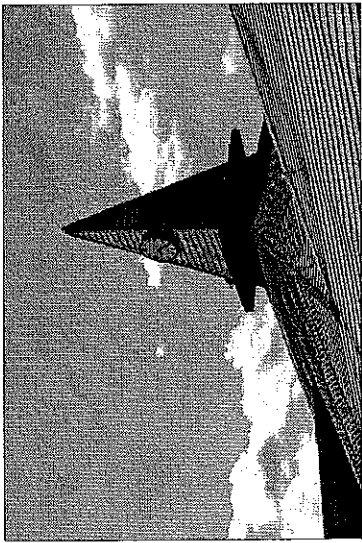
Thank you for the opportunity to comment.

The Planning and Zoning Committee
Old Agoura Homeowners Association

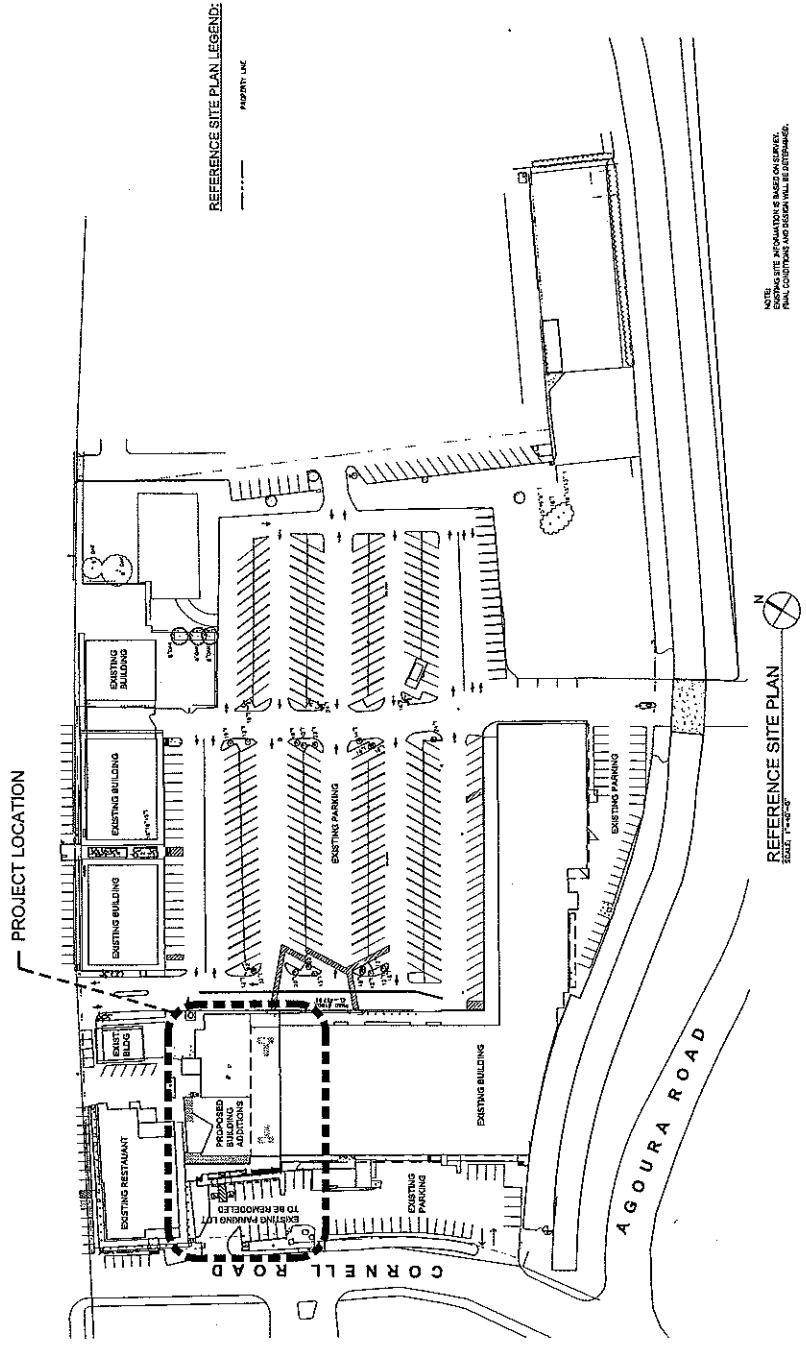
cc. Doug Hooper, Assistant Director of Community Development

WHIZIN MARKET SQUARE

28912 ROADSIDE DRIVE AGOURA HILLS, CALIFORNIA



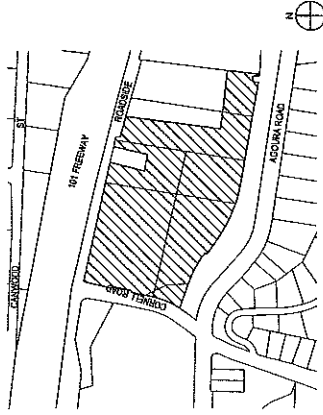
SITE PLAN



SHEET INDEX

ARCHITECTURE
 28912 ROADSIDE DRIVE, AGOURA HILLS, CA 91001
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 28912 ROADSIDE DRIVE, AGOURA HILLS, CA 91001
SCALE:
 SHEET 1 OF 1

VICINITY MAP



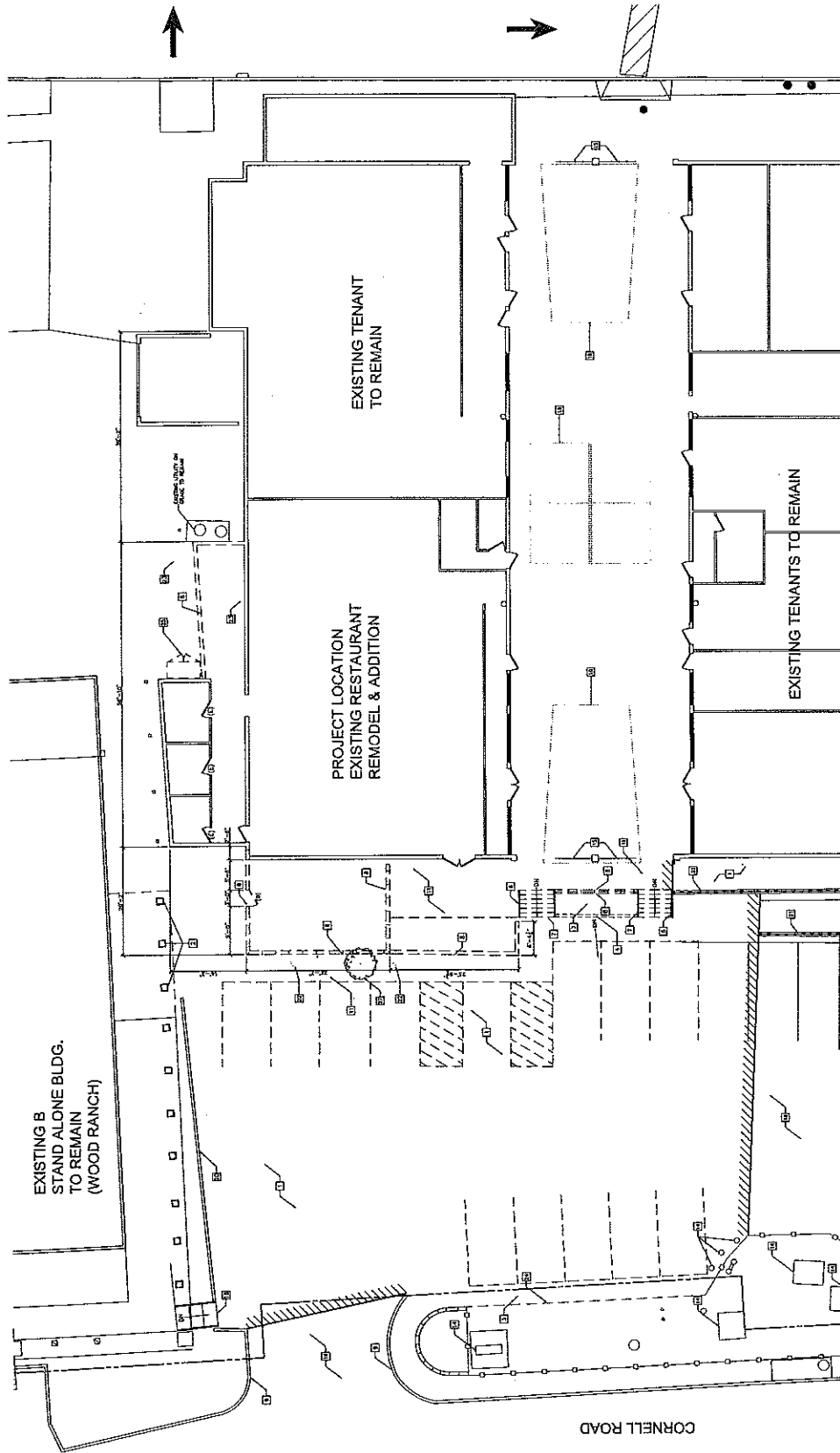
PROJECT DATA

PROJECT DESCRIPTION:
 THE PROJECT IS A 150,000 SQ. FT. RESTAURANT AND RETAIL DEVELOPMENT.
 THE PROJECT IS TO BE DEVELOPED IN THE AGOURA HILLS COMMUNITY.
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PROJECT ZONE:
 CITY ZONING: RM-1 (RESIDENTIAL MEDIUM DENSITY)
APPLICABLE:
 THE PROJECT IS TO BE DEVELOPED IN THE AGOURA HILLS COMMUNITY.
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 THE PROJECT IS TO BE DEVELOPED IN THE AGOURA HILLS COMMUNITY.

CONTACTS

ARCHITECT OF RECORD:
 ARCHITECTURE & ASSOCIATES, INC.
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 (818) 441-1234
DESIGN CONSULTANT:
 CIVIL ENGINEERS
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 (818) 441-1234
GENERAL CONTRACTOR:
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 (818) 441-1234



DEMO SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"

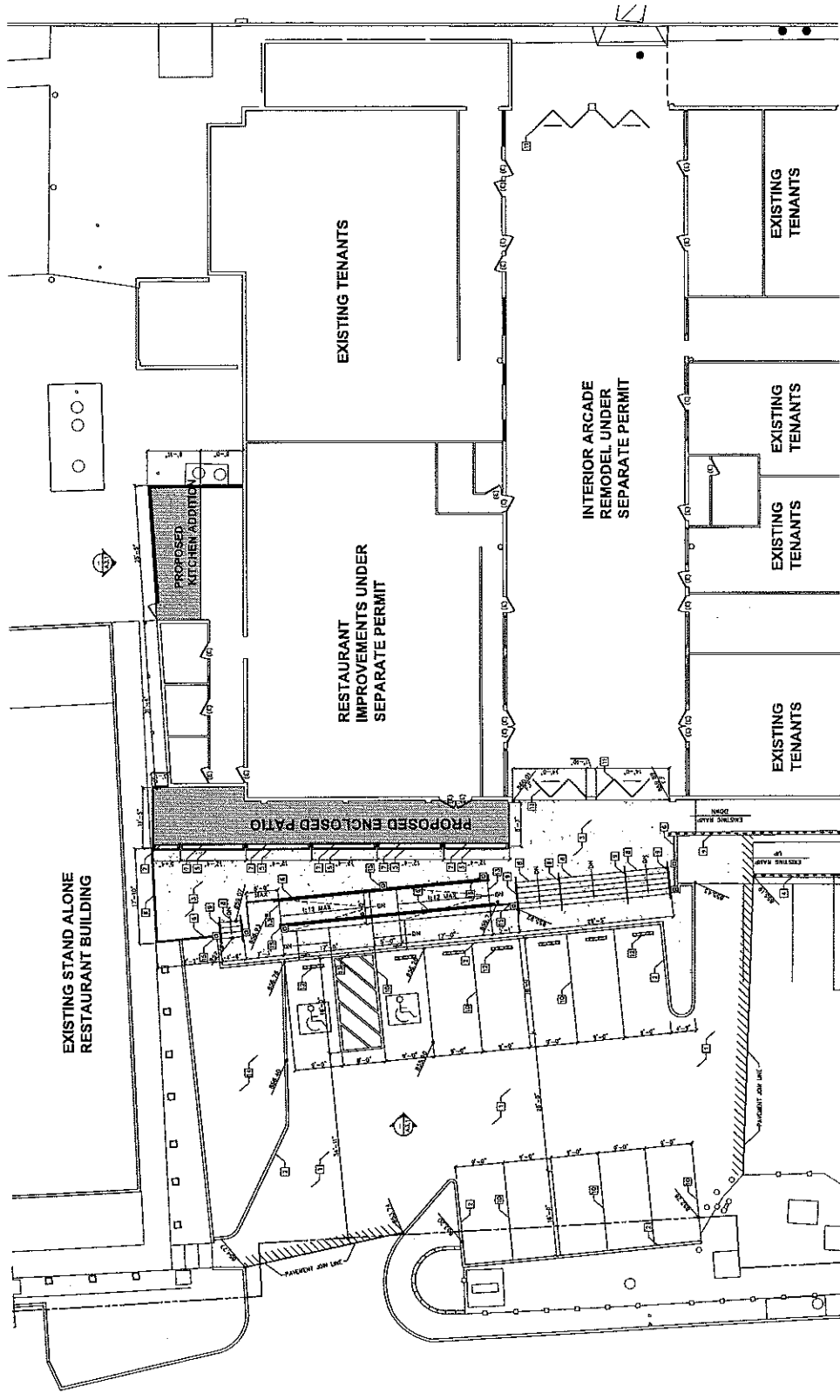


LEGEND

- | | |
|--------------------------|--------|
| DESCRIPTION | SYMBOL |
| EXISTING WALL TO REMAIN | — |
| EAST SITE TO REMAIN | — |
| PROPERTY LINE | — |
| EXISTING DOOR TO REMAIN | ⌢ |
| EXISTING DOOR TO REMAIN | ⌢ |
| PAVING CUT AND JOIN LINE | — |
| FENCE | — |
| RAILING | — |

SITE PLAN KEY NOTES

- 101 REMOVE EXISTING CONCRETE AND REINFORCE WITH STEEL REBAR
- 102 REMOVE EXISTING CONCRETE AND REINFORCE WITH STEEL REBAR
- 103 REMOVE EXISTING CONCRETE AND REINFORCE WITH STEEL REBAR
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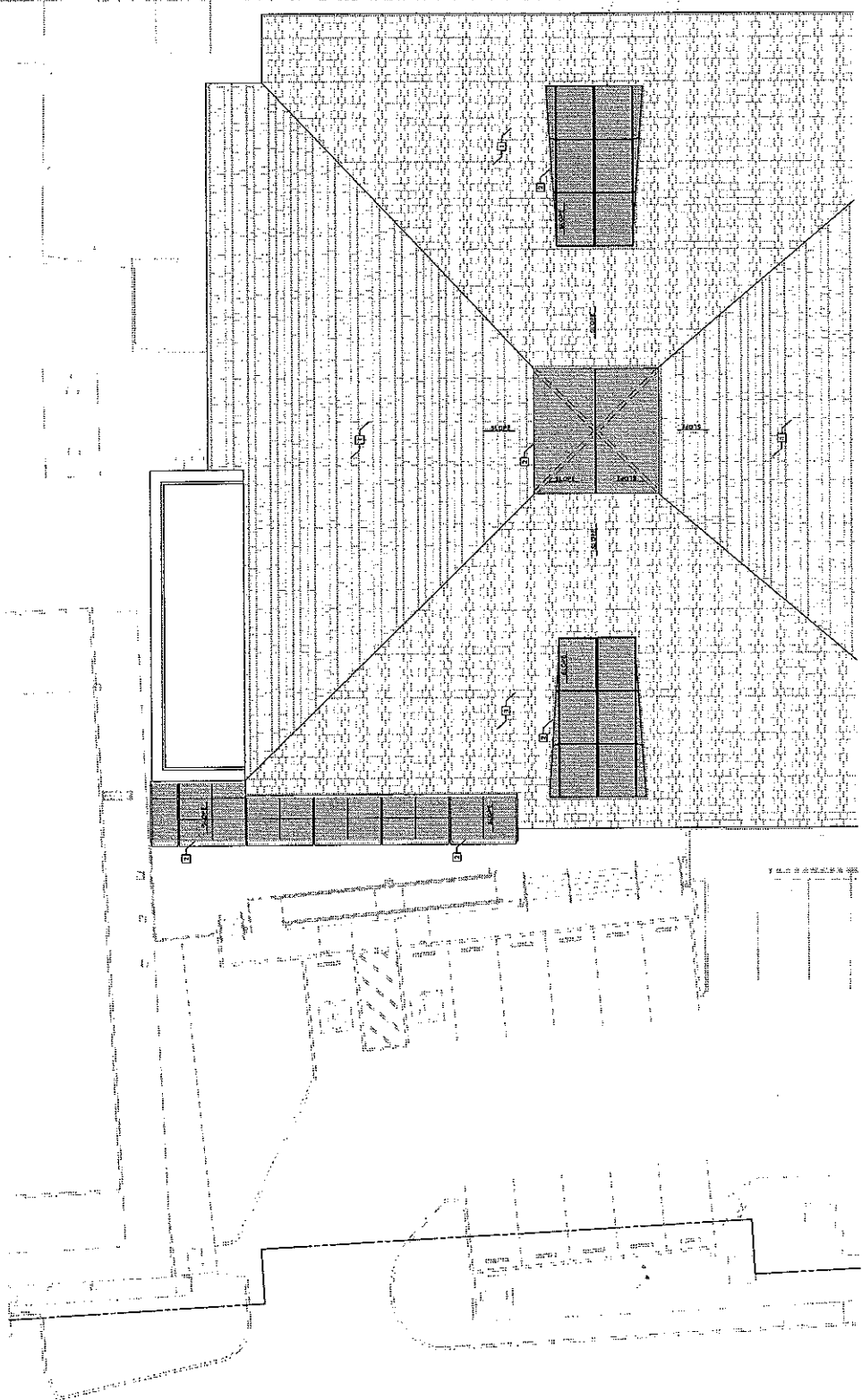


- FLOOR PLAN LEGEND**
- EXISTING WALL TO REMAIN
 - PROPOSED NEW WALL
 - PROPOSED PARTITION WALL
 - MULTI-PROPOSED MASONRY & TILE
 - MULTI-PROPOSED CONCRETE
 - MULTI-PROPOSED STEEL DECK
 - PROPERTY LINE

- KEY NOTES**
- 1. NOT FINISH
 - 2. NEW CONCRETE CURB
 - 3. NEW BRICK DIRECTLY TO FOUNDATION
 - 4. EXISTING WALLS TO REMAIN (WHERE I)
 - 5. NEW BRICK FINISH TO FOUNDATION
 - 6. NEW BRICK FINISH TO FOUNDATION
 - 7. NEW CONCRETE CURB
 - 8. NEW CONCRETE CURB
 - 9. NEW CONCRETE CURB
 - 10. NEW CONCRETE CURB
 - 11. NEW CONCRETE CURB
 - 12. NEW CONCRETE CURB
 - 13. NEW CONCRETE CURB
 - 14. NEW CONCRETE CURB
 - 15. NEW CONCRETE CURB
 - 16. NEW CONCRETE CURB
 - 17. NEW CONCRETE CURB
 - 18. NEW CONCRETE CURB
 - 19. NEW CONCRETE CURB
 - 20. NEW CONCRETE CURB

PROPOSED SITE/FLOOR PLAN
 SCALE: 1/8"=1'-0"





FLOOR PLAN LEGEND

- Existing roof to remain
- ▣ New structure



ROOF PLAN
Scale: 1/8" = 1'-0"

KEY NOTES

- Existing roof to remain
- ▣ New structure

PRELIMINARY NOT FOR CONSTRUCTION

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 Architecture
 3335 Wilshire Blvd
 Suite 200
 Los Angeles, CA 90010
 Phone: 310-274-4444

R-1
 10/20/08 - 10/20/08



FIELD NUMBER: 0002
 ADDRESS: WHIZIN MARKET SQUARE
 PROJECT NUMBER: 0810-021-0005
 LOCATION: MOJAVE HILLS, CALIFORNIA

PROFESSIONAL SEAL
 JAMES R. HART
 LICENSE NO. 35188
 EXPIRES 12/31/2010

REGISTERED ARCHITECT
 JAMES R. HART
 LICENSE NO. 12345
 EXPIRES 12/31/2010

