

ROOF PLAN

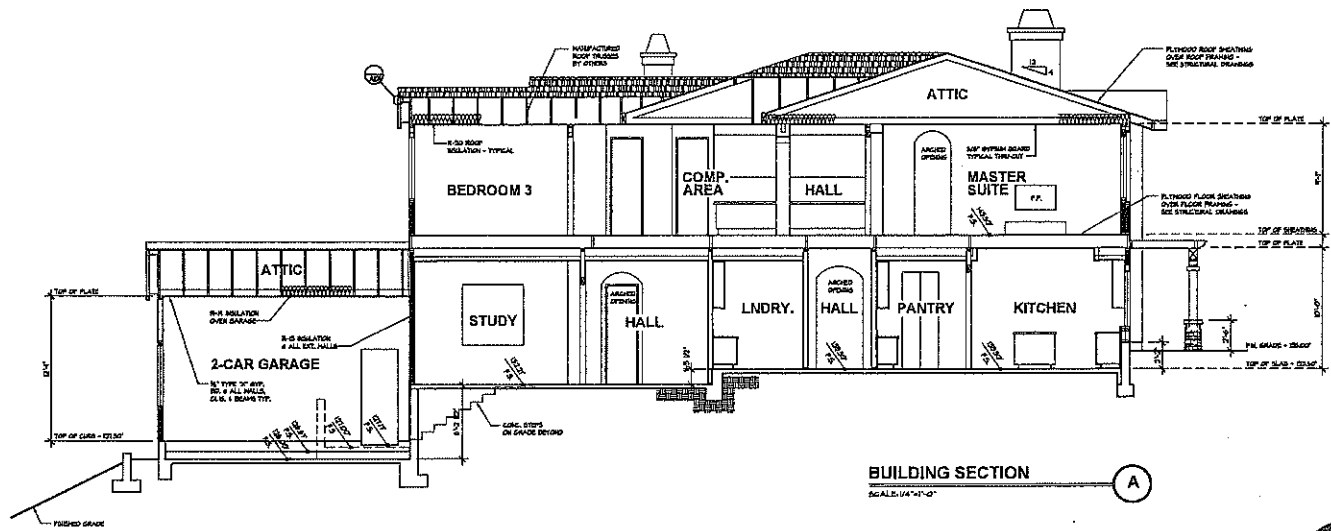
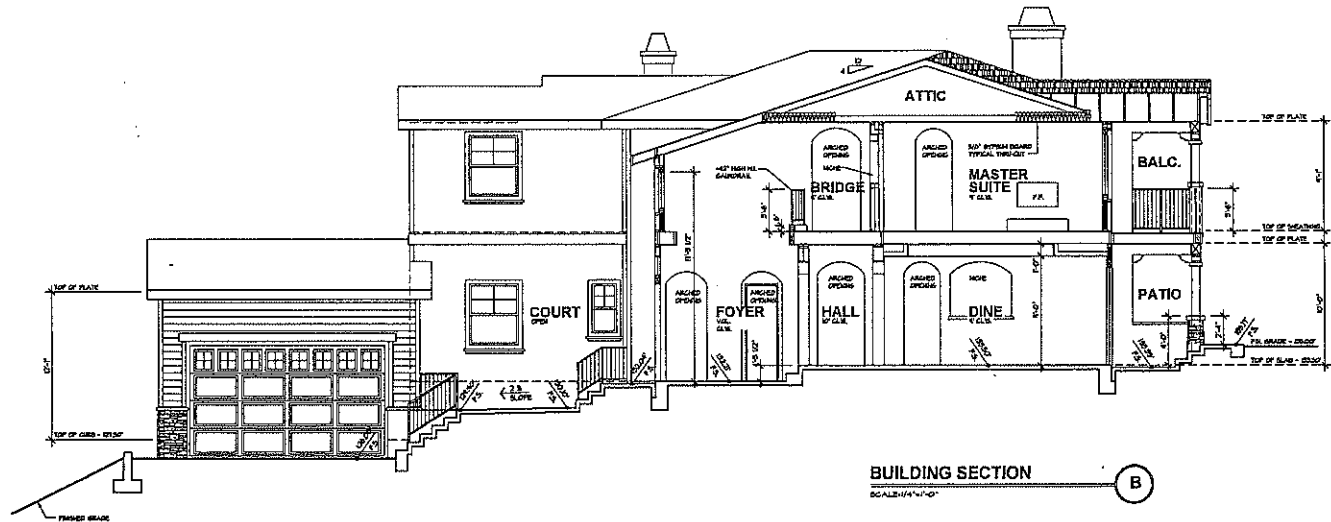
1/24/04 5:07 PM

SCALE 1/4" = 1'-0"



NOT FOR CONSTRUCTION

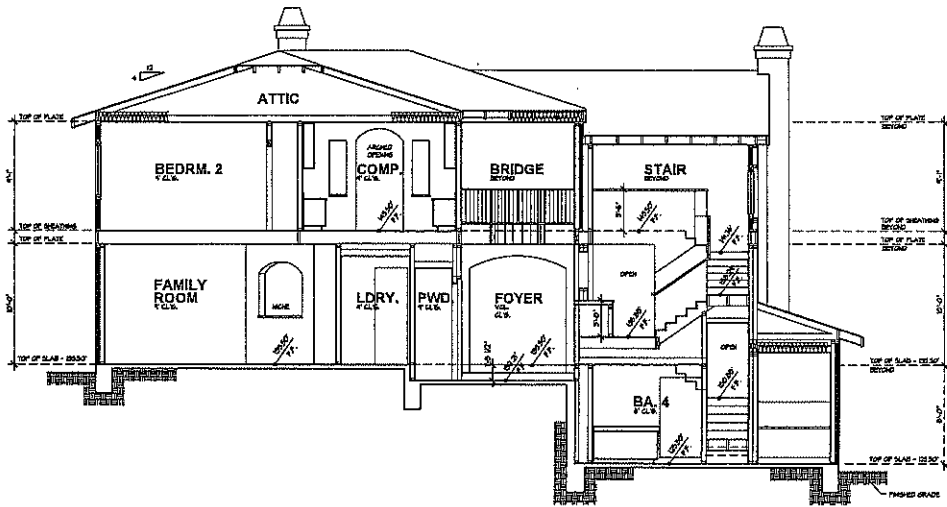
PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE	
DATE: 07/12/04	REVISIONS: 01/23/05
BY: KEN STOCKTON	PROJECT:
KEN STOCKTON ARCHITECT 3800 N. ROCKY ROAD, STE 104, CALIFORNIA, CA 92020 619-444-1000 FAX: 619-444-1004	
SHEET NO. A-4	



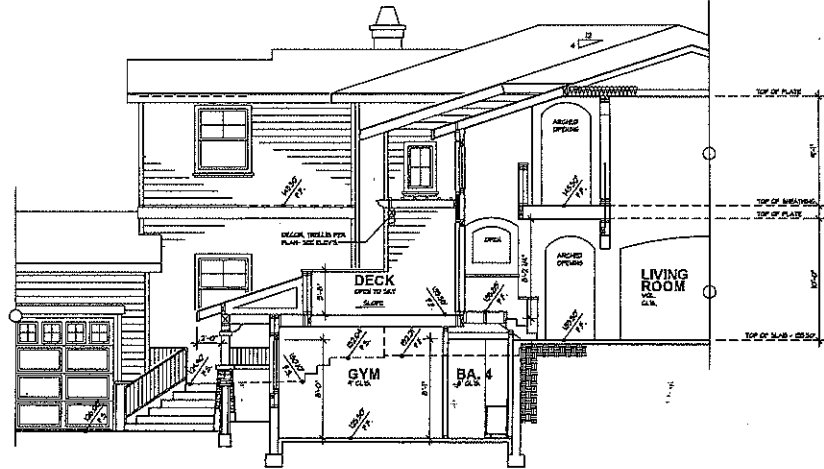
PROJECT NAME	BEN-MENACHEM CUSTOM RESIDENCE
BUILDING SECTIONS	REVISIONS
NO. 0001	01/20/05
DATE	02/10/05
SCALE	1/4" = 1'-0"
PROJECT	PROJECT
DESIGNER	KEN STOCKTON ARCHITECT
ADDRESS	3800 N. HAZARD ROAD, P.O. BOX 141, CALIFORNIA, CA 95027
PHONE	916-944-1400 FAX: 916-944-1404
SHEET NO.	A-5



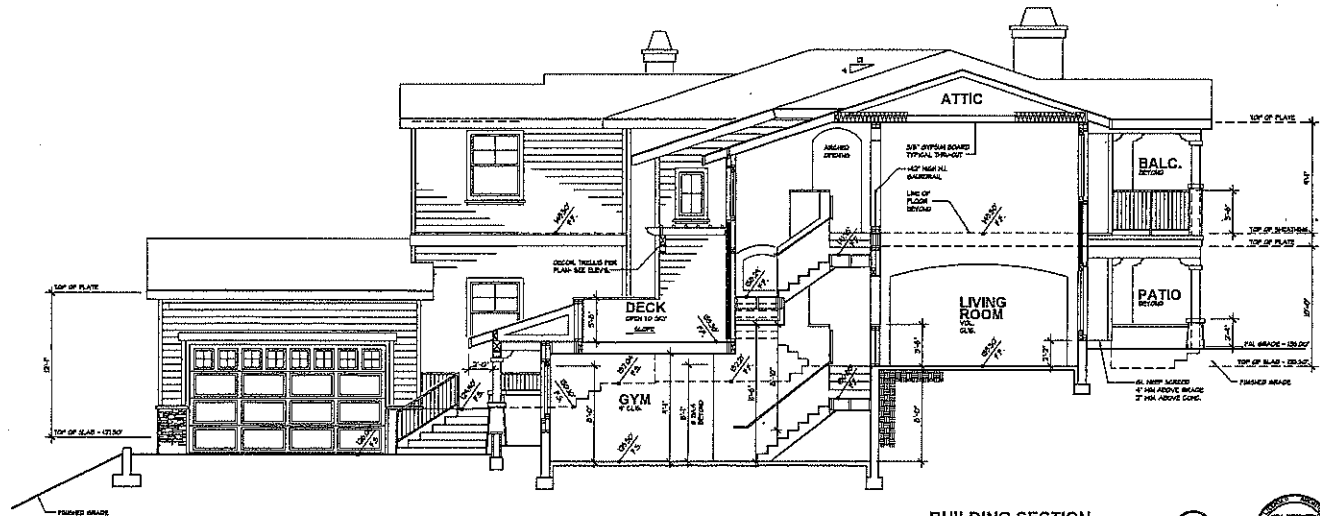
NOT FOR CONSTRUCTION



BUILDING SECTION E
SCALE: 1/4"=1'-0"



BUILDING SECTION D
SCALE: 1/4"=1'-0" PARTIAL VIEW

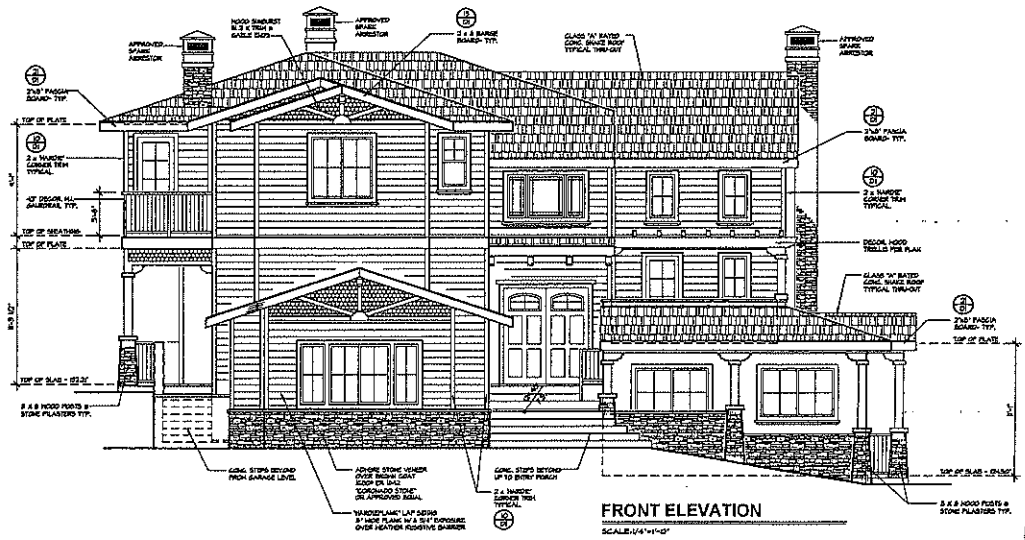
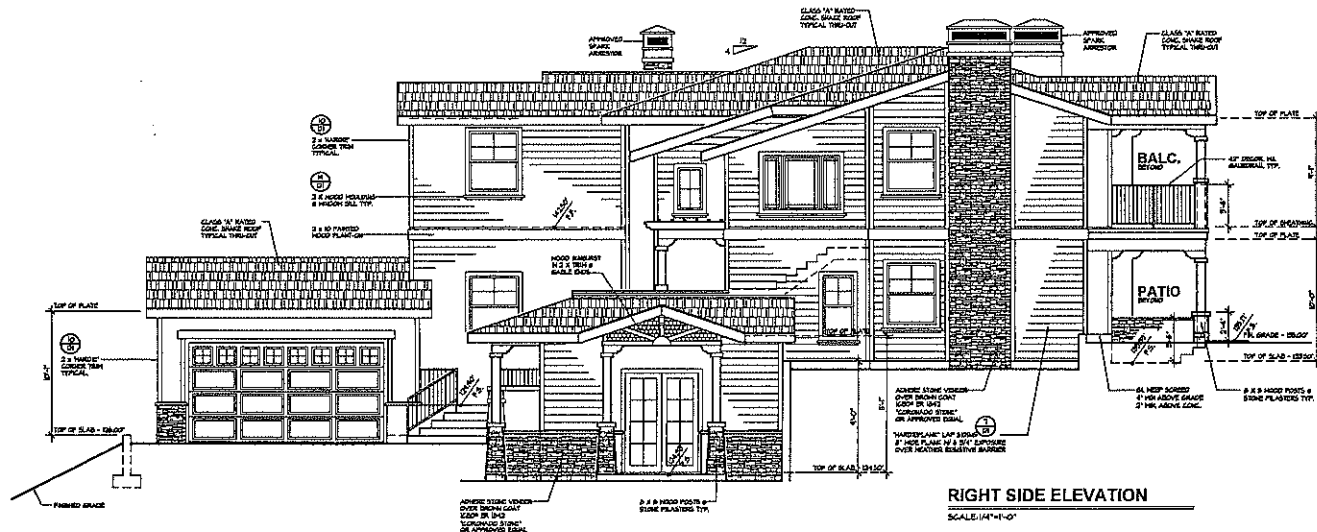


BUILDING SECTION C
SCALE: 1/4"=1'-0"

NOT FOR CONSTRUCTION



LEVEL/FR.	
PROJECT NAME:	BEN-MENACHEM CUSTOM RESIDENCE
BUILDING SECTIONS	
FRANK: EMT	REVISIONS
DATE: 02/20/15	01/20/15
SCALE: 1/4"=1'-0"	FRANK: EMT
PROJECT:	
KEN STOCKTON ARCHITECT	
2800 N. ALABAMA ROAD, SUITE 104, GAINESVILLE, FL 32609	
PH: 352-389-1111	
FAX: 352-389-1112	
WWW.KENSTOCKTON.COM	
SHEET NO.	A-6



PROJECT NAME: **BEN-MENACHEM CUSTOM RESIDENCE**

EXTERIOR ELEVATIONS

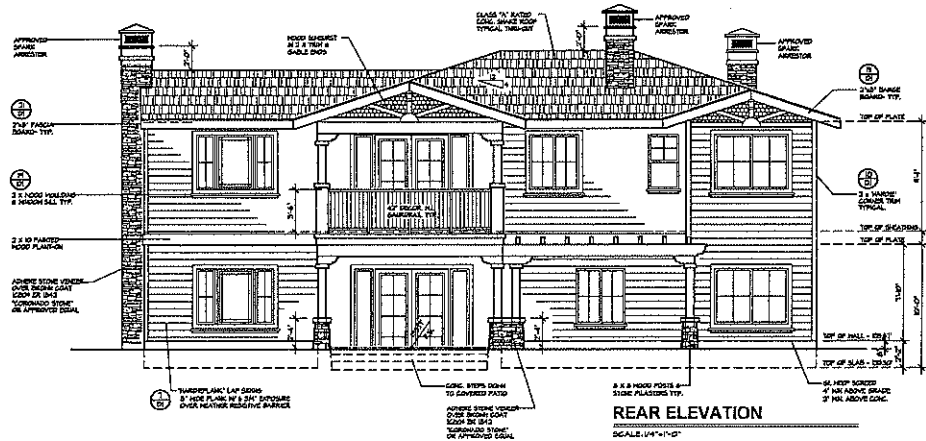
DATE:	REVISION:
DATE:	REVISION:
DATE:	REVISION:

ARCHITECT: **KEN STOCKTON**

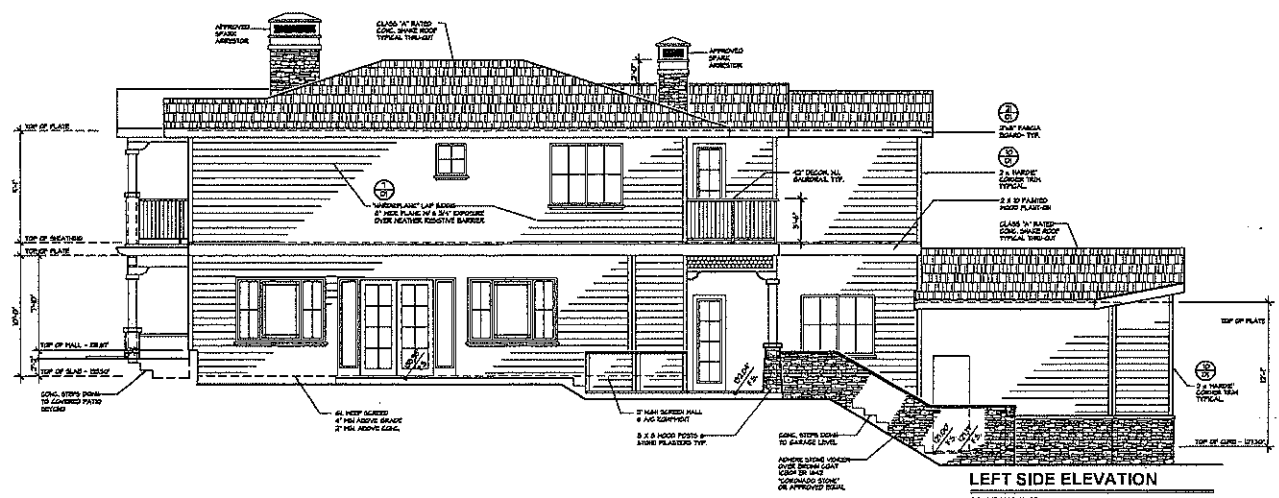
NO. 01822

A-7

NOT FOR CONSTRUCTION



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

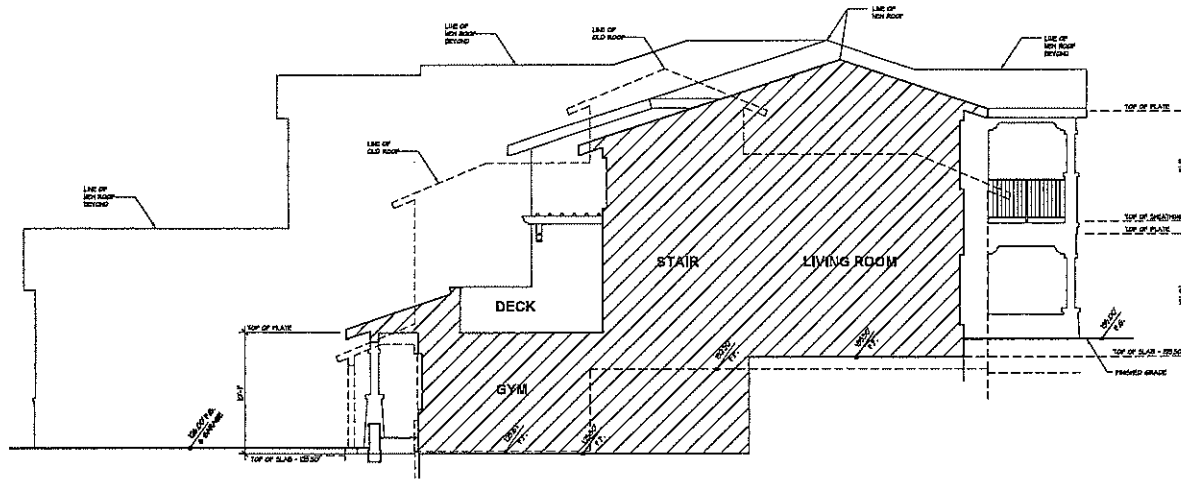
PROJECT NAME	
BEN-MENACHEM CUSTOM RESIDENCE	
PROJECT NO.	
DATE	
DRAWN BY	
CHECKED BY	
SCALE	
SHEET NO.	
A-8	

EXTERIOR ELEVATIONS	
REVISIONS	DATE
1	07/20/20
2	08/10/20
3	08/10/20
4	08/10/20
5	08/10/20
6	08/10/20
7	08/10/20
8	08/10/20
9	08/10/20
10	08/10/20

KEN STOCKTON
ARCHITECT
2800 N. HANCOCK AVENUE, SUITE 100
DALLAS, TEXAS 75219



NOT FOR CONSTRUCTION



BLD'G. SECTION OVERLAY (X)
SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

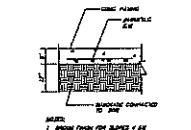
PROJECT NAME BEN-MENACHEM CUSTOM RESIDENCE	
DATE 12/15/11	REVISIONS 1. 12/15/11
BY K.S.	CHECKED K.S.
SCALE 1/4" = 1'-0"	PROJECT RESIDENT
ARCHITECT KEN STOCKTON 2800 N. ARROYO AVENUE, SUITE 100, CALAHEAS, CA 95008 (530) 834-1440 FAX: (530) 834-1441	
SHEET NO. A-x	

GRADING NOTES

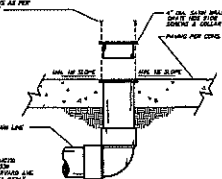
- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT ON CONTAINED IN THE CONSULTANT SOILS AND GEOLGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
1. ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
2. FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SOILS PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN COMPLIANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
3. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION IMPROVEMENTS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FAIL LOCATION OF ALL BENTLEY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, SETBACK LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSIDERS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACKSTRAIPS AND OUTLETS. GEOLGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
8. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
10. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
11. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
12. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:30 PM MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OWNED RIGHTS-OF-WAY.

PUBLIC UTILITIES / SERVICES

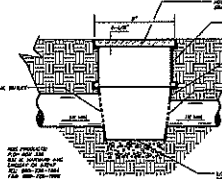
WATER: LAH WROGGER MUNICIPAL WATER DISTRICT
4333 LAH WROGGER ROAD
CALABASAS, CA 91302
(818) 588-5110
ELECTRICAL: SOUTHERN CALIFORNIA EDISON
3000 FTINGALL DRIVE
THOUSAND OAKS, CA 91326
(805) 458-2700
TELEPHONE: SBC (SBC TELLS)
1801 JAYMIGER STREET, #115
VAN HUY, CA 91408
(818) 373-8188
GAS: SOUTHERN CALIFORNIA GAS
3405 CANADALE AVENUE
CHATHAMPORT, CA 91513
(916) 781-5524
SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1509 N. FREDRICK AVENUE, BLDG. 49 EAST
ALHAMBRA, CA 91803
(818) 303-3104
CABLE: ADOLPHUS
3233 TELLER ROAD
RESIDENT PARK, CA 91320
(916) 793-4219
CABLE: CHARTER COMMUNICATIONS
3038 GRANDWOODS ROAD
MALIBU, CA 90262
(310) 458-8100
CALTRANS: CALTRANS
5949 PENNATA BOULEVARD
TARCANA, CA 91354
(626) 282-4428



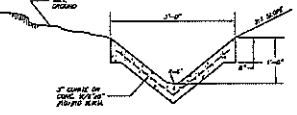
CONC. PAVING DETAIL (A) NO SCALE



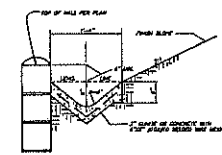
POOL DRAIN (B) NO SCALE



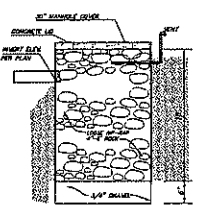
9" x 9" AREA DRAIN (C) NO SCALE



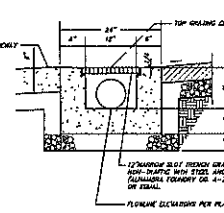
PAVED SWALE (D) NO SCALE (10% OF SLOPE)



TOP OF WALL DRAIN (E) NO SCALE



DRY WELL DETAIL (F) NO SCALE



12" TRENCH DRAIN (G) NO SCALE

PROJECT GEOTECHNICAL CONSULTANT

MTC ENGINEERING, INC. TEL: (818) 281-6416 FAX: (818) 282-5838
5924 TEMPLE CITY BLVD., CITY OF TEMPLE CITY, CA 91768

PROJECT GEOTECHNICAL CONSULTANT

SOILS REPORTS:
1) PRELIMINARY SOILS AND GEOLOGIC REPORT DATED 8-18-2005, P. 348-351-1 & 2.
2) ADDENDUM REPORT DATED 11-17-2005, P. 348-351-1 & 2.
3) ADDENDUM REPORT 1 DATED 3-14-2006, P. 348-351-1 & 2.
4) ADDENDUM REPORT 2 DATED 10-14-2006, P. 348-351-1 & 2.
5) ADDENDUM REPORT 3 DATED 2-06-2007, P. 348-351-1 & 2.

PRIN. SOILS ENGR.: JEFF YANG, PRIN. GEOLOGIST: CHARLES SCHRÖTNER

GEOTECHNICAL NOTES

- 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
3. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION IMPROVEMENTS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FAIL LOCATION OF ALL BENTLEY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, SETBACK LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSIDERS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACKSTRAIPS AND OUTLETS. GEOLGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.

STORMWATER POLLUTION NOTES

- 1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE ROGUE PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC "WEATHER-SENSITIVE EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPOT THESE LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
3. IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INHERITS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

INSPECTION NOTES

- 1. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUESTED INSPECTIONS AT THE FOLLOWING STAGES OF WORK.



OAK TREE NOTES

- 1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 957-5830, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

ABBREVIATIONS

- AC - ASPHALTIC CONCRETE
BF - BOTTOM OF FOOTING
CB - CATCH BASIN
CF - CURB FACE
C - CENTERLINE
CLF - CHAIN LINE FEIGE
CO - CLEAN OUT
DB - DRIVE BASIN
DB - DRAINAGE
ES - EDGE OF OUTLET
EP - EDGE OF PAVEMENT
FF - FINISHED FLOOR
FH - FINISHED GRADE
FH - FIRE HYDRANT
FL - FLOWLINE
FS - FINISH SURFACE
HS-RAP - HANDICAP RAMP
HP - HIGH POINT
HV - HIGH POINT
N - NATURAL GROUND
NTS - NOT TO SCALE
PL - PROPERTY LINE
POB - POINT OF BEGINNING
SDMH - STORM DRAIN MANHOLE
SLS - SEWER MANHOLE
SS - SANITARY SEWER
TB - TOP OF BURN
TD - TOP OF CURB
TF - TOP OF FOOTING
TG - TOP OF GRADE
TM - TOP OF MALL
TYP - TYPICAL
WV - WATER VALVE

INDEX OF DRAWINGS table with columns SHEET NO. and DESCRIPTION. Includes sheets for GENERAL NOTES AND DETAILS, GRADING PLAN, GRADING DETAILS, SWPPP / EROSION CONTROL PLAN, STREET IMPROVEMENT NOTES, and STREET IMPROVEMENT PLAN.

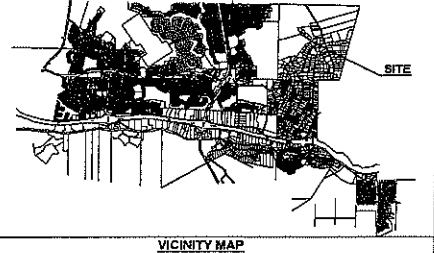
ESTIMATED EARTHWORK QUANTITIES table with columns ESTIMATED CUT, ESTIMATED FILL, ESTIMATED OVER-EXCAVATION, ESTIMATED REPORT, ESTIMATED IMPORT, ESTIMATED EXPORT.

BENCH MARK:
DESCRIPTION: BM NO. (SEE SHEET NO. 2) ELEVATION: 100.00' SURVEY DATE: 3/25/07

RECORD DRAWING STATEMENT
I, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR THAT THE WORK ON SHEET NO. [] THROUGH [] MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

SOILS APPROVAL
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED []

OWNER and CIVIL ENGINEER information forms including NAME, ADDRESS, REPRESENTATIVE, and TELEPHONE.



LEGEND AND SYMBOLS table listing various symbols and their corresponding descriptions for elevations and features.

APPROVAL table with columns for REVIEWED BY, PROJECT ENGINEER, DATE, and CITY OF AGOURA HILLS APPROVAL.

BENCHMARK:
 F.D. BM. # 9982 AT THE N.W. CORNER
 OF THE INTERSECTION OF FAIRVIEW PL.
 AND CHESEBRO RD.
 ASSUMED EL. = 100.00'

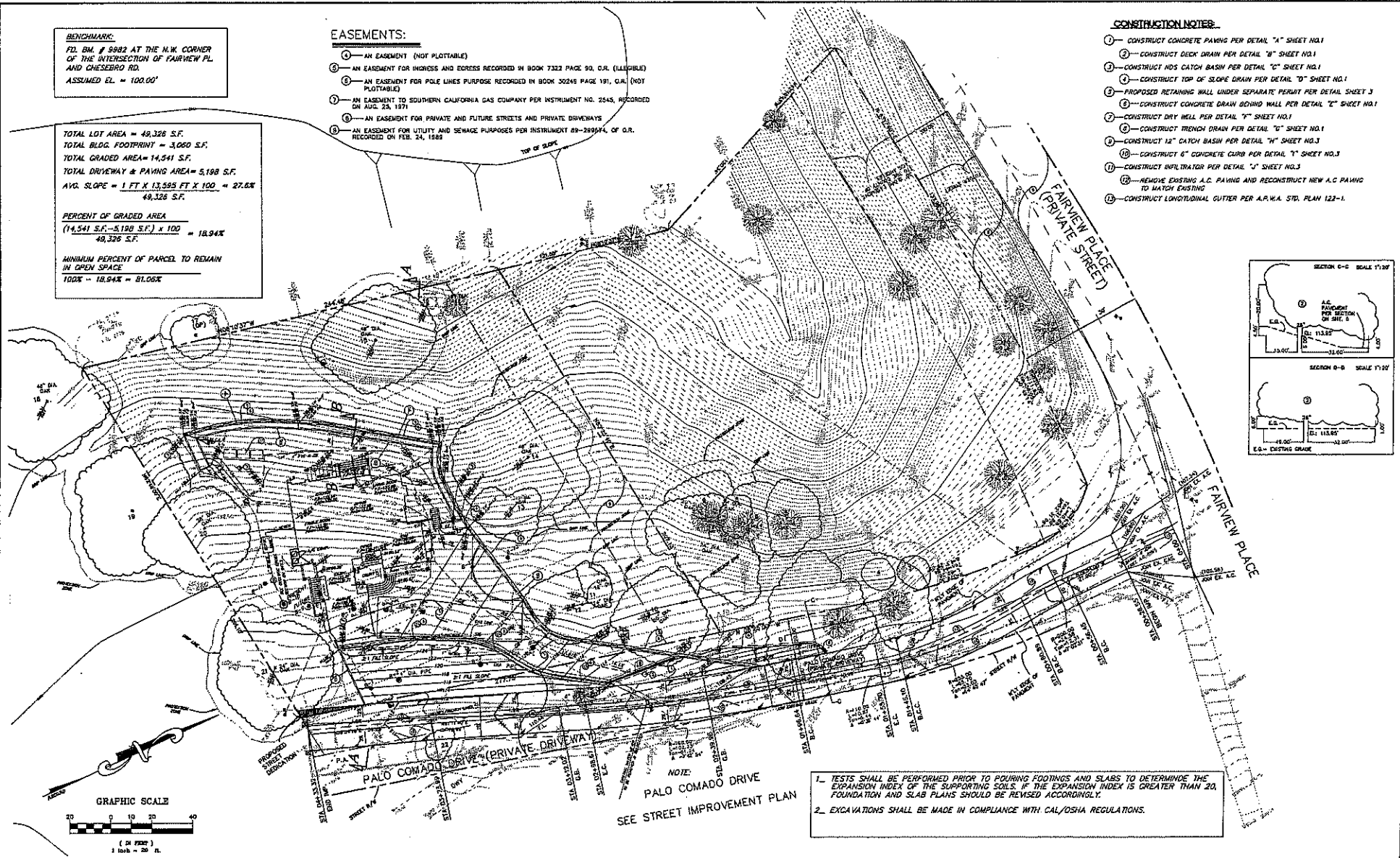
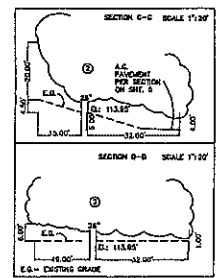
TOTAL LOT AREA = 49,326 S.F.
 TOTAL BLDG. FOOTPRINT = 3,060 S.F.
 TOTAL GRADED AREA = 14,541 S.F.
 TOTAL DRIVEWAY & PAVING AREA = 5,198 S.F.
 AVG. SLOPE = 1 FT X 13,555 FT X 100 = 27.6%
 49,326 S.F.

PERCENT OF GRADED AREA
 (14,541 S.F. - 5,198 S.F.) X 100 = 18.94%
 49,326 S.F.

MINIMUM PERCENT OF PARCEL TO REMAIN
 IN OPEN SPACE
 100% - 18.94% = 81.06%

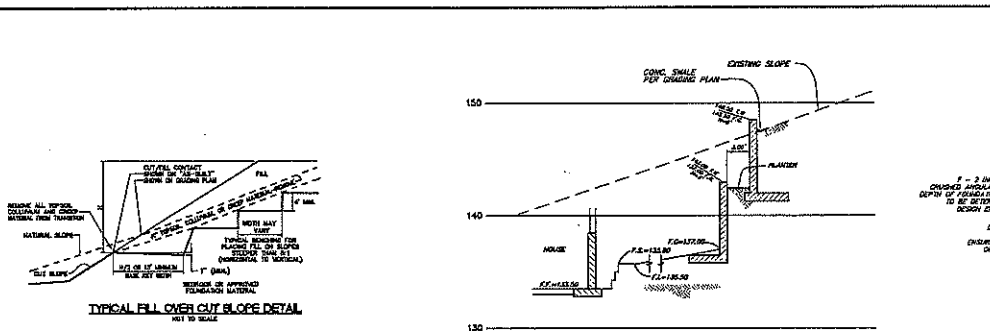
- EASEMENTS:**
- 1 - AN EASEMENT (NOT PLOTTABLE)
 - 2 - AN EASEMENT FOR HIGHWAYS AND EGRESS RECORDED IN BOOK 7323 PAGE 90, O.A. (ILLUSIBLE)
 - 3 - AN EASEMENT FOR POLE LINES PURPOSE RECORDED IN BOOK 30249 PAGE 191, O.A. (NOT PLOTTABLE)
 - 4 - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2545, RECORDED ON AUG. 23, 1971
 - 5 - AN EASEMENT FOR PRIVATE AND FUTURE STREETS AND PRIVATE DRIVEWAYS
 - 6 - AN EASEMENT FOR UTILITY AND SEWAGE PIPAGES PER INSTRUMENT 89-289974, OF O.R. RECORDED ON FEB. 24, 1989

- CONSTRUCTION NOTES:**
- 1 - CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO.1
 - 2 - CONSTRUCT GDECK DRAIN PER DETAIL "B" SHEET NO.1
 - 3 - CONSTRUCT HDS CATCH BASIN PER DETAIL "C" SHEET NO.1
 - 4 - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
 - 5 - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET J
 - 6 - CONSTRUCT CONCRETE DRAIN BEHIND WALL PER DETAIL "E" SHEET NO.1
 - 7 - CONSTRUCT DRY WELL PER DETAIL "F" SHEET NO.1
 - 8 - CONSTRUCT TRENCH DRAIN PER DETAIL "G" SHEET NO.1
 - 9 - CONSTRUCT 12" CATCH BASIN PER DETAIL "H" SHEET NO.3
 - 10 - CONSTRUCT 6" CONCRETE CURB PER DETAIL "I" SHEET NO.3
 - 11 - CONSTRUCT INFILTRATOR PER DETAIL "J" SHEET NO.3
 - 12 - REMOVE EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
 - 13 - CONSTRUCT LONGITUDINAL GUTTER PER A.P.W.A. STD. PLAN 122-1.

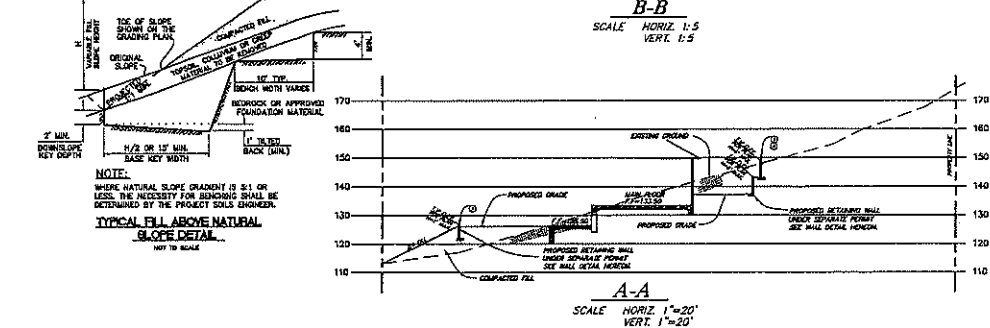


NOTE:
 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.

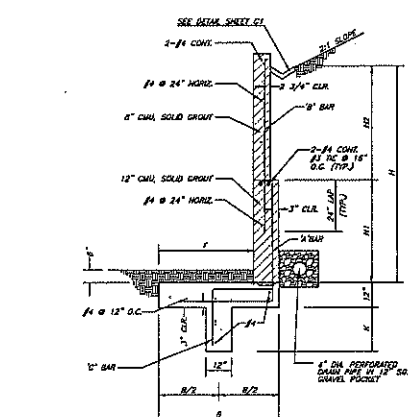
PREPARED BY: CALCIVIC ENGINEERING GROUP CONSULTING ENGINEERS & LAND SURVEYORS 1540 FEDERAL RD. GARDEN, CALIFORNIA 92540 (714) 241-7000 FAX (714) 708-6541					CITY OF AGOURA HILLS APPROVAL RAMIRO ADEVA CITY ENGINEER					AGOURA HILLS PROJECT NO. _____ SHEET <u>2</u> OF <u>8</u>		
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	DATE	RCE NO. 38855	EXP. DATE	CITY OF AGOURA HILLS CIVIL NO. _____



TYPICAL FILL OVER CUT SLOPE DETAIL
NOT TO SCALE

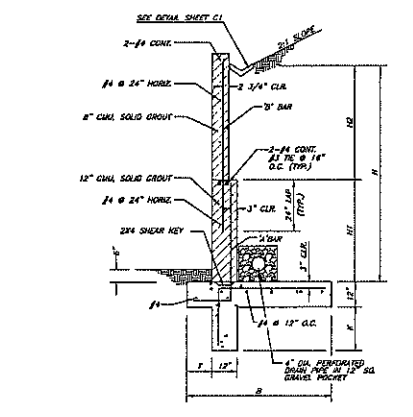


TYPICAL FILL ABOVE NATURAL SLOPE DETAIL
NOT TO SCALE



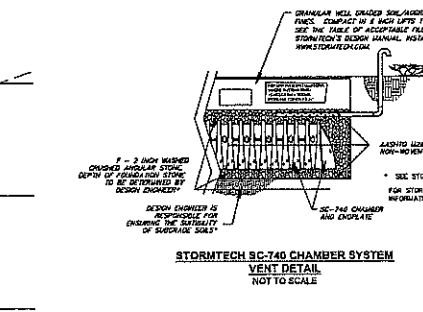
RETAINING WALL SCHEDULE - TYPE A WALL

H	H1	H2	B	F	R	2" BAN	3" BAN
1'-6"	1'-0"	3'-0"	2'-2"	1'-0"	1'-0"	24" @ 12"	24" @ 12"
4'-8"	4'-0"	3'-0"	3'-0"	1'-0"	1'-0"	24" @ 12"	24" @ 12"
3'-6"	2'-0"	3'-6"	4'-0"	1'-0"	1'-0"	24" @ 12"	24" @ 12"

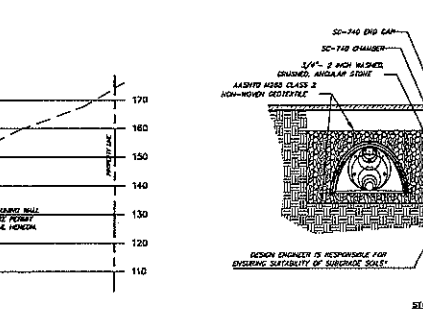


RETAINING WALL SCHEDULE - TYPE B WALL

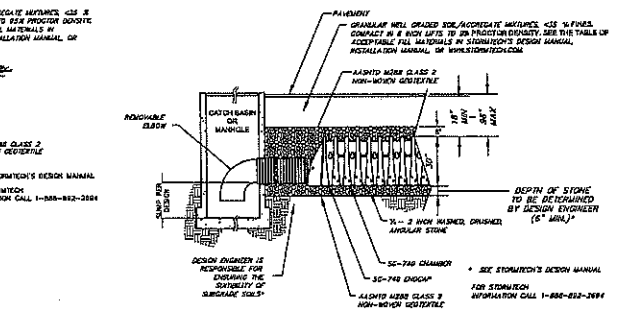
H	H1	H2	B	F	R	2" BAN	3" BAN
4'-4"	1'-0"	3'-0"	1'-0"	1'-0"	1'-0"	24" @ 12"	24" @ 12"
3'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	24" @ 12"	24" @ 12"
6'-0"	2'-0"	4'-0"	2'-0"	1'-0"	1'-0"	24" @ 12"	24" @ 12"



STORMTECH SC-740 CHAMBER SYSTEM VENT DETAIL
NOT TO SCALE



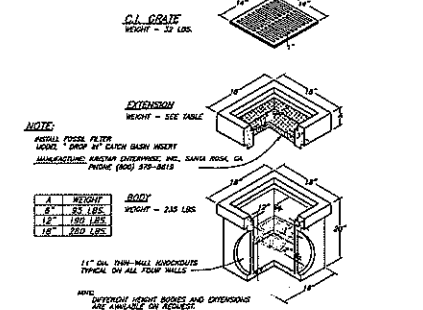
STORMTECH SC-740 CHAMBER SYSTEM DETAIL CROSS SECTION
NOT TO SCALE



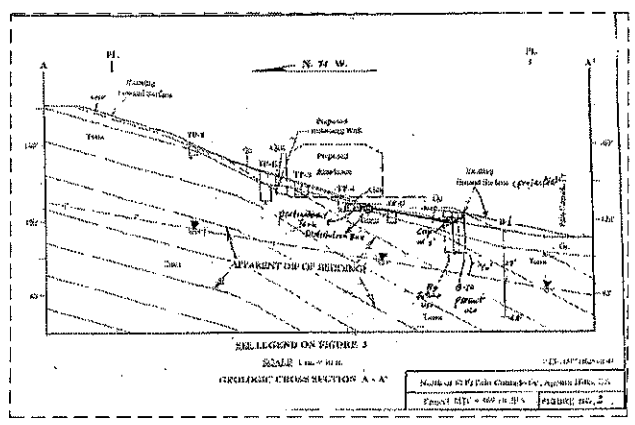
STORMTECH SC-740 CHAMBER SYSTEM DETAIL CROSS SECTION FROM CATCH BASIN MANHOLE
NOT TO SCALE

STORMTECH INFILTRATOR
NO SCALE

CONCRETE CURB ONLY
NO SCALE



BROOKS 12" X 12" CATCH BASIN
NO SCALE



SCALE: 1/4" = 1'-0"
PROLOGIC CROSS SECTION A-A

PREPARED BY: CALCIVIC ENGINEERING GROUP
CONSULTING ENGINEERS & LAND SURVEYORS
2100 W. 10TH AVENUE, SUITE 100, DENVER, CO 80202
TEL: (303) 733-1111 FAX: (303) 733-1112

CITY OF AGOURA HILLS APPROVAL

RAMIRO ABEVA
CITY ENGINEER

DATE: _____ REVISIONS: _____ EXP. DATE: _____

AGOURA HILLS

PROJECT NO. _____ SHEET 3 OF 6

CITY OF AGOURA HILLS BWS, NO. _____

**STORM WATER POLLUTION PREVENTION PLAN (SWPPP)/
WET WEATHER EROSION CONTROL (WWECP) GENERAL NOTES**

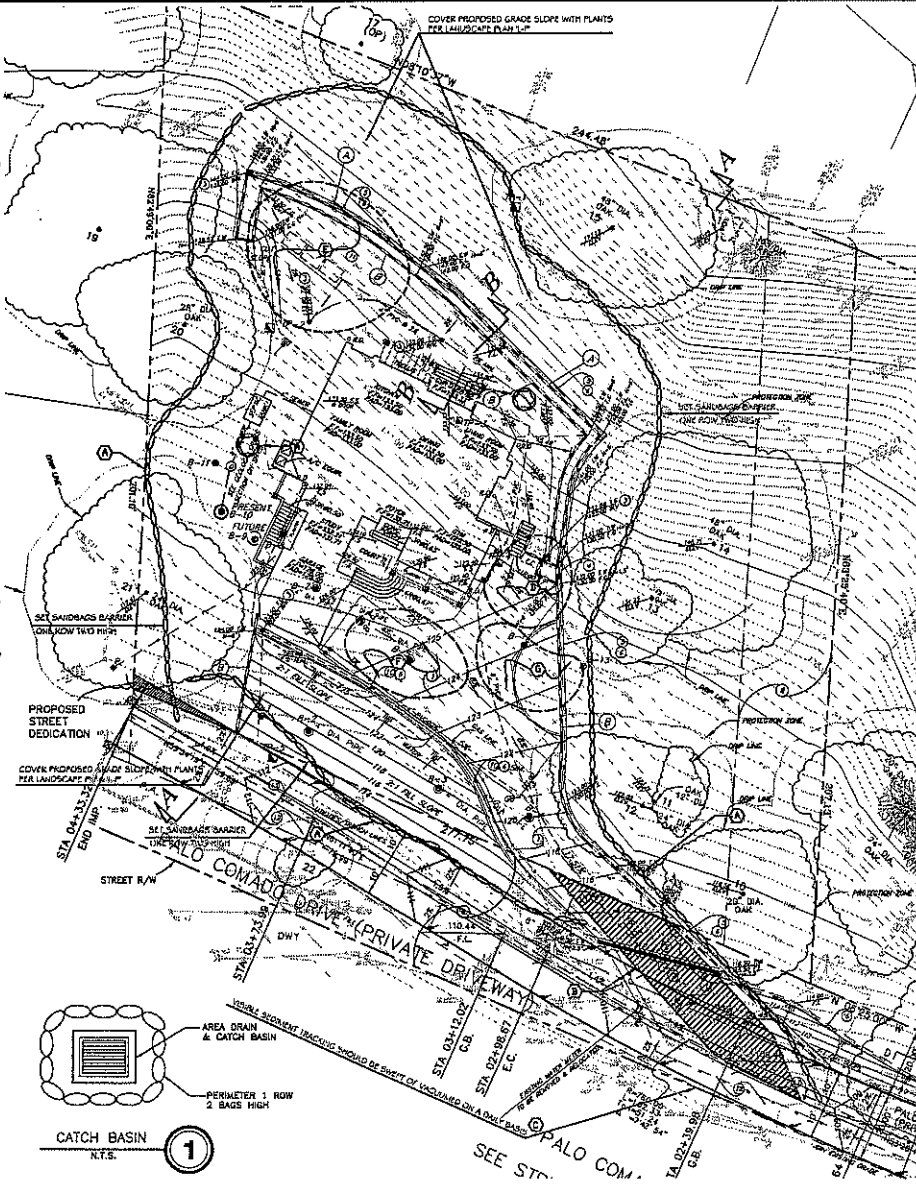
1. In case of emergency, call 911.
2. A standby crew for emergency work shall be available at all times during the rainy season (November 1 to April 15). Necessary materials shall be available on-site and stockpiled at convenient locations to facilitate rapid construction of emergency ditches when rain is imminent.
3. Critical control devices shown on this plan may be removed upon approval by the Building Official if the grading operation has progressed to the point where their use is no longer required.
4. Graded areas exposed to all storm rainfall at the site perimeter must drain away from the top of slope at the conclusion of each working day. All lower ends and ditches that may drain a potential hazard to off-site property shall be stabilized or removed from the site on a daily basis.
5. All soil and debris shall be removed from all ditches within 24 hours after each rain event and be disposed of properly.
6. A guard shall be posted on the site whenever the depth of water in any ditches exceeds two feet. The ditches shall be drained or pumped up within 24 hours after each rain event. Pumping and dewatering of all basins and drainage ditches must comply with the appropriate BMP for dewatering operations.
7. The placement of additional devices to reduce erosion and runoff pollutants with the site is left to the discretion of the Field Engineer. Additional devices not covered shall be included in notes, conditions and other pollutants on site.
8. Ditching basins may not be removed or made impassable between November 1 and April 15 of the following year without the approval of the Building Official.
9. Storm Water Pollution and Erosion Control devices are to be installed as needed, as the project progresses, the design and placement of these devices is the responsibility of the field engineer. Flow responsibility changes must be indicated for approval if required by the Building Official.
10. Every effort should be made to minimize the discharge of excess water from the project site at all times.
11. Control structures and other pollutants must be retained on-site and may not be connected from the site via street flow, ditches, area drains, natural drainage courses, or void.
12. Stockpiles of earth and other construction-related materials must be protected from being transported from the site by the forces of wind and water.
13. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to be considered the site and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
14. Excess or waste concrete may not be washed into the public way or any other drainage system. Practices shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
15. Trash and construction-related solid waste must be deposited into a covered receptacle to prevent contamination of rainwater and disposal by wind.
16. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance matting must be installed as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
17. Any slopes with disturbed soil or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
18. As the architect/engineer of record, I have examined appropriate SWPPP to effectively minimize the negative impacts of this project's construction activities on storm water quality. The project owner and contractor are aware that the selected SWPPP must be installed, maintained, and monitored to ensure their effectiveness. The SWPPP not selected for implementation on individual or deemed not applicable to the proposed construction activity.

City Engineer/Inspector's Signature _____ **Date** _____

20. The following notes must be as the plan (or submitted as a separate document - prior to plan approval):

As the project owner or authorized agent of the owner, I have read and understood the requirements to control storm water pollution from construction activities, and I certify that I will comply with these requirements. I or my representative, architect, engineer, or contractor will make certain that all BMP shown on this plan will be fully implemented and all erosion control devices will be kept clean and functioning. Public notices of the SWPPP will be completed and a journal log, including the actual steps of the inspection and any remedial measures, will be kept at the construction site at all times and will be available for the review by the Building Official.

As the project owner or authorized agent of the owner, I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information used, that the information and data is accurate and reliable, and that I am aware that submitting false and/or misleading information, failing to update the report to reflect current conditions, or failing to properly notify regulatory agencies is a violation of applicable law, and may result in prosecution for making or altering permits or other conditions provided by law.



- NOTES**
1. WET SUPPRESSION WATERING METHOD SHOULD BE EMPLOYED FOR AREAS BEING DISTURBED TO PREVENT DUST FROM BEING CARRIED AWAY BY WIND AS PER 11.
 2. ALL SPILLS SHOULD BE CONTAINED FROM SPREADING OR HAZARDOUS SPILLS THAT CANNOT BE CONTROLLED BY PERSONNEL IN THE IMMEDIATE VICINITY. LOCAL EMERGENCY RESPONSE SHOULD BE NOTIFIED BY CALLING 911. IN ADDITION TO 911, THE CONTRACTOR WILL NOTIFY THE TOWSON COUNTY OFFICIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EMERGENCY PHONE NUMBERS AT THE CONSTRUCTION SITE.
 3. DRAINAGE BASIN AND SANDBAGS SHOWN ON THIS PLAN SHALL BE ADJUSTED AS NEEDED TO CORRECT WITH ACTUAL CONDITIONS AS GRADING PROGRESSES TO PROVIDE ON AND OFF-SITE CONTROL PROTECTION.

- EROSION, WWSPP, AND SWPPP NOTES**
- The following SWPPP are included in this plan (or attached to the plan) and shall be implemented as required during the construction of this project (Additional measures may be required if deemed appropriate by County Inspectors).
- (A) SANDBAG BARRIER PER SE-8 (SEE DETAIL "T" FOR CATCH BASINS)
 - (B) STABILIZED CONSTRUCTION EQUIPMENT ENTRANCE PER 10-1
 - (C) STREET SWEEPING AND VACUUMING NECESSARY TO KEEP STREET CLEAN PER SE-7
 - (D) STOCKPILE MANAGEMENT AS PER MM-3
 - (E) MATERIAL DELIVERY/STORAGE AS PER MM-1
 - (F) WASTE COLLECTION AREA AS PER MM-2, 4.5.6.7 AND MM-8
 - (G) VEHICLE/EQUIPMENT CLEANING, FUELING, AND MAINTENANCE AS PER NS-4, 8, AND NS-10

- ATTACHMENT 'A' NOTES**
1. Every effort should be made to eliminate the discharge of non-storm water from the project site at all times.
 2. Eroded sediments and other pollutants must be retained on-site and may not be transported from the site via street flow, ditches, area drains, natural drainage courses or void.
 3. Stockpiles of earth and other construction related materials must be protected from being transported from the site by forces of wind and water.
 4. Fuels, oils, solvents, and other toxic materials must be stored in accordance with their listing and are not to be considered the site and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
 5. Excess or waste concrete may not be washed into the public way or any other drainage system. Practices shall be made to retain concrete wastes on-site until they can be disposed of as solid waste.
 6. Trash and construction related solid waste must be deposited into a covered receptacle to prevent contamination of rainwater and disposal by wind.
 7. Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance matting must be installed as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
 8. Any slopes with disturbed soil or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.
 9. As the project owner or authorized agent of the owner, I have read and understood the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name _____ **(Owner or authorized agent of the owner)**

Signature _____ **(Owner or authorized agent of the owner)** **Date** _____

- ATTACHMENT 'B' NOTES**
- The following SWPPP are included in this plan (or attached to the plan) and shall be implemented as required during the construction of this project (Additional measures may be required if deemed appropriate by County Inspectors).
- EROSION CONTROL**
- EC1 - SCHEDULING
 - EC2 - PRESERVATION OF EXISTING VEGETATION
 - EC3 - HYDRAULIC MULCH
 - EC4 - HYDROSEEDING
 - EC5 - SOIL BARRIERS
 - EC6 - STRAW MULCH
 - EC7 - GEOTEXTILES & MATS
 - EC8 - WOOD MULCHING
 - EC9 - EARTH DICES AND DRUMMAE ENROLLS
 - EC10 - VELOCITY DISSIPATION DEVICES
 - EC11 - SLOPE DRAPES
 - EC12 - STRAWBAG STABILIZATION
 - EC13 - POLYMERLAND
- TEMPORARY SEDIMENT CONTROL**
- SE1 - SILT FENCE
 - SE2 - SEDIMENT BASIN
 - SE3 - CHECK DAM
 - SE4 - CHECK DAM
 - SE5 - FIBER ROLLS
 - SE6 - CONCRETE BALE BERM
 - SE7 - STREET SWEEPING AND VACUUMING
 - SE8 - SANDBAG BARRIER
 - SE9 - STRAW BALE BARRIER
 - SE10 - STORM DRAIN INLET PROTECTION
- WIND EROSION CONTROL**
- WE1 - WIND EROSION CONTROL
- EQUIPMENT TRACKING CONTROL**
- TC1 - STABILIZED CONSTRUCTION ENTRANCE EXP
 - TC2 - STABILIZED CONSTRUCTION ROADWAY
 - TC3 - ENTRANCE/OUTLET TIRE WASH
- NON-STORED WATER MANAGEMENT**
- NS1 - WATER CONSERVATION PRACTICES
 - NS2 - DEWATERING OPERATIONS
 - NS3 - PAVING AND GRADING OPERATIONS
 - NS4 - TEMPORARY STREAM CHANNELING
 - NS5 - CLEAR WATER DIVERSION
 - NS6 - SLUDG COLLECTION/DISCHARGE
 - NS7 - PORTABLE WATER PURIFICATION
 - NS8 - VEHICLE AND EQUIPMENT CLEANING
 - NS9 - VEHICLE AND EQUIPMENT FUELING
 - NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
 - NS11 - FILL DRAINING OPERATIONS
 - NS12 - CONCRETE CURING
 - NS13 - CONCRETE FINISHING
 - NS14 - HAZARDOUS WASTE MANAGEMENT USE
 - NS15 - DEMOLITION ADJACENT TO WATER
 - NS16 - TEMPORARY BATCH PLANTS
- WASTE MANAGEMENT**
- WM1 - MATERIAL POLLUTION CONTROL
 - WM2 - MATERIAL DELIVERY AND STORAGE
 - WM3 - MATERIAL USE
 - WM4 - STOCKPILE MANAGEMENT
 - WM5 - SPILL PREVENTION AND CONTROL
 - WM6 - HAZARDOUS WASTE MANAGEMENT
 - WM7 - CONTAMINATION SOIL MANAGEMENT
 - WM8 - CONCRETE WASTE MANAGEMENT
 - WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
 - WM10 - LIQUID WASTE MANAGEMENT

PREPARED BY:				CITY OF AGOURA HILLS APPROVAL:			
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY
					EC, SWPPP, AND WWECP		
					PROJECT NO. _____ SHEET 4 OF 9		
CITY OF AGOURA HILLS DIV. NO. _____							

STREET IMPROVEMENT NOTES

- ALL WORK SHALL CONFORM TO THESE IMPROVEMENT PLANS, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SPPWC) "GREENBOOK", AND THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (SPPWC).
- NO DEVIATION FROM THESE PLANS SHALL BE MADE UNLESS A CHANGE ORDER IS APPROVED BY THE CITY ENGINEER.
- ALL CONTRACTORS AND SUBCONTRACTORS DOING WORK WITHIN CITY LIMITS SHALL POSSESS A VALID BUSINESS REGISTRATION WITH THE CITY OF AGOURA HILLS PRIOR TO COMMENCING WORK.
- CONTRACTORS SHALL COMPLY WITH ALL CAL-OSHA SAFETY STANDARDS.
- CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING WORK, AND TWENTY-FOUR (24) HOURS IN ADVANCE OF SPECIFIC INSPECTION NEEDS DURING THE COURSE OF THE WORK.
- ALL WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 7:00 AM AND 4:00 PM AND IS SUBJECT TO INSPECTION BY THE PUBLIC WORKS DEPARTMENT.
- CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.
- CONTRACTORS SHALL LOCATE, PROTECT, AND SAVE ANY AND ALL SURVEY MONUMENTS THAT MAY BE OR MAY BE DAMAGED OR DESTROYED BY THESE OPERATIONS. ONCE FOUND, THE CONTRACTOR SHALL THEN NOTIFY BOTH THE DEVELOPER'S CIVIL ENGINEER AND THE CITY'S PUBLIC WORKS INSPECTOR. THE SUPERVISING CIVIL ENGINEER SHALL RESET ALL SAID MONUMENTS PER THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC AND PRIVATE PROPERTY INsofar AS IT MAY BE AFFECTED BY THESE OPERATIONS. ALL COSTS FOR PROTECTING, REPAIRING, AND RESTORING EXISTING IMPROVEMENTS SHALL BE BORNE BY THE CONTRACTOR.

EXISTING TRAFFIC SIGNS ARE NOT TO BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF THE CITY ENGINEER. AS A MINIMUM, CONSTRUCTION MOVING TRAFFIC SIGNS AND STOPPING SHALL BE FURNISHED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE "WORK AREA TRAFFIC CONTROL HANDBOOK" (CALICM MANUAL). TRAFFIC SIGNS AND STOPPING SHALL BE FURNISHED AT THE DEVELOPER'S EXPENSE.

ALL MEASURES SHALL BE TAKEN TO ENSURE THAT DUST CONTROL IS MAINTAINED AT ALL TIMES THROUGH THE DURATION OF THE PROJECT.

ALL UNDERGROUND UTILITIES AND SERVICE LATERALS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF CURBS, GUTTERS, SIDEWALKS, AND PAVING UNLESS OTHERWISE PERMITTED BY THE CITY ENGINEER.

"RECORD DRAWING" PLANS SHALL BE SUBMITTED PRIOR TO FINAL WALK-THROUGH INSPECTION AND ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY.

ALL TRAFFIC MEDIANS SHALL BE DESIGNED AND CONSTRUCTED PER CITY ENGINEER APPROVAL.

TRENCH WORK SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. "TIE-DAPPING" SHALL BE APPLIED TO ALL TRENCH CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. REFER TO DETAIL HEREON FOR TRENCH SECTION.

EQUESTRIAN TRAILS AND FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. EQUESTRIAN TRAILS ON PUBLICLY-MANAGED ROADS REQUIRE DESIGNATION OF TRAIL EASEMENTS TO THE CITY OF AGOURA HILLS. APPLICANT IS RESPONSIBLE FOR PREPARING ALL LEGAL DOCUMENTATION.

NEEDS TO DESIGNATE EASEMENTS. EQUESTRIAN TRAILS ON PRIVATE ROADS ARE TO BE MAINTAINED AT THE EXPENSE OF THE PROPERTY OWNERS.

AN ENCROACHMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO RESUME OF WORK. ALL WORK DIVING STREET IMPROVEMENTS REQUIRES APPROVAL FROM THE PUBLIC WORKS INSPECTOR.

APPLICANT SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO SCHEDULE ALL INSPECTIONS.

CONTRACTOR SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-422-4133 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.

REQUIREMENT FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE IN DETAILS.

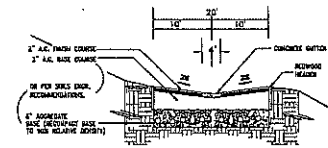
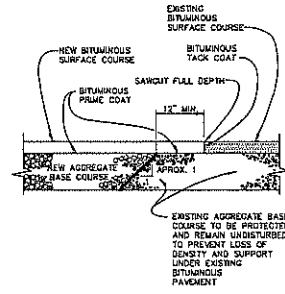
WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LAS VARGENES MUNICIPAL WATER DISTRICT WORKS MANUAL.

SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VARGENES MUNICIPAL WATER DISTRICT.

PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VARGENES MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.

PUBLIC UTILITIES / SERVICES

- WATER: LAS VARGENES MUNICIPAL WATER DISTRICT
4332 LAS VARGENES ROAD
CALABASAS, CA 91302
(818) 820-4110
- ELECTRICAL: SOUTHERN CALIFORNIA Edison
3088 FORDHILL DRIVE
THOUSAND OAKS, CA 91321
(805) 424-7010
- TELEPHONE: SBC (PAC BELL)
18201 PAYMET STREET, #115
VAN NUYS, CA 91406
(818) 373-8889
- GAS: SOUTHERN CALIFORNIA GAS
2400 DANADALE AVENUE
COSTA MESA, CA 92626
(714) 701-3324
- SEWER: LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1000 S. FREMONT AVENUE, BLDG. AD EAST
ALHAMBRA, CA 91803
(626) 330-3308
- CABLE: JOSEPHINE
1323 TELLER ROAD
MEMORIAL PARK, CA 91320
(805) 376-5213
- CABLE: CHARTER COMMUNICATIONS
3005 CROSSCREEK ROAD
MALIBU, CA 90263
(310) 456-9010
- CALTRANS: CALTRANS
2620 RESEDA BOULEVARD
TARZANA, CA 91356
(805) 339-1428



NOTES:
1. C. BASE COURSE SHALL BE TYPE III AS-16-4000 ON C3-16-4000.
2. C. FINISH COURSE SHALL BE TYPE III C3-16-4000.
3. FINAL A.C. FINISH COURSE (CAF) SHALL BE A MINIMUM OF 2" THICK.
CONSTRUCTION DETAILS IS REQUIRED FOR ALL PAVING/IMPROVED STREETS.

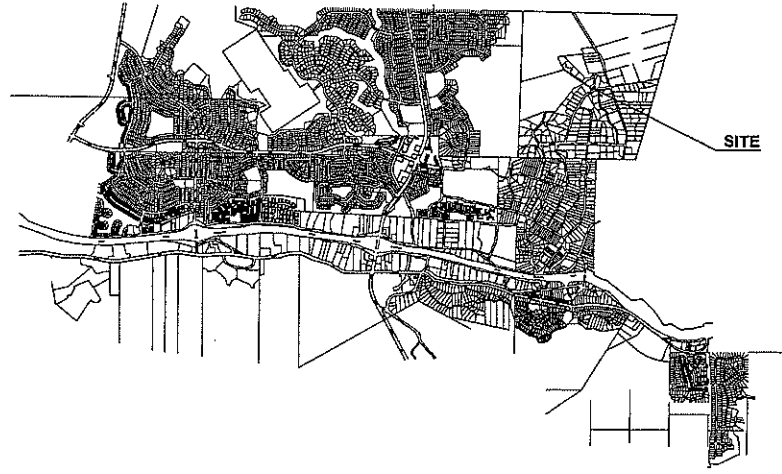
ASPHALT PAVEMENT JOINT DETAIL

STREET CROSS-SECTION



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.



VICINITY MAP
NO SCALE

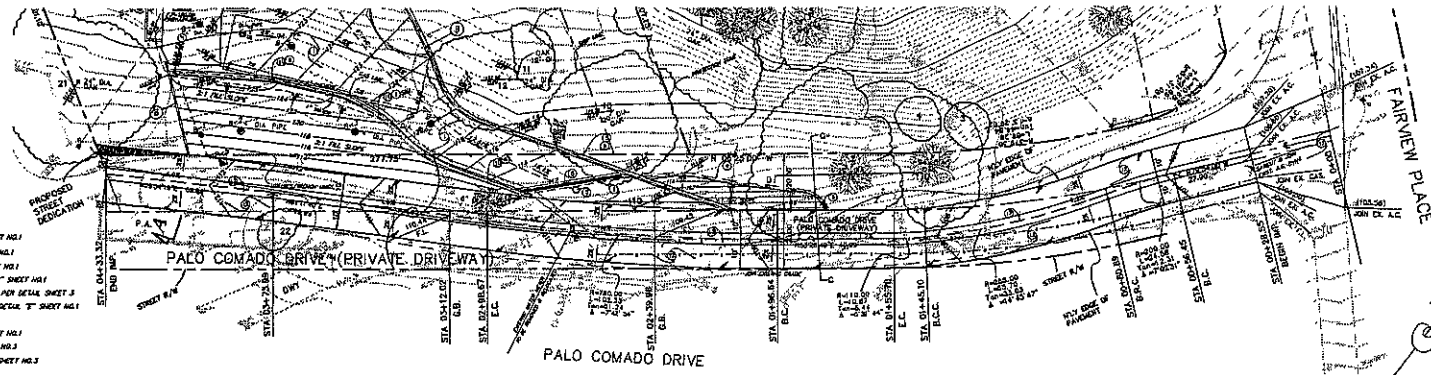
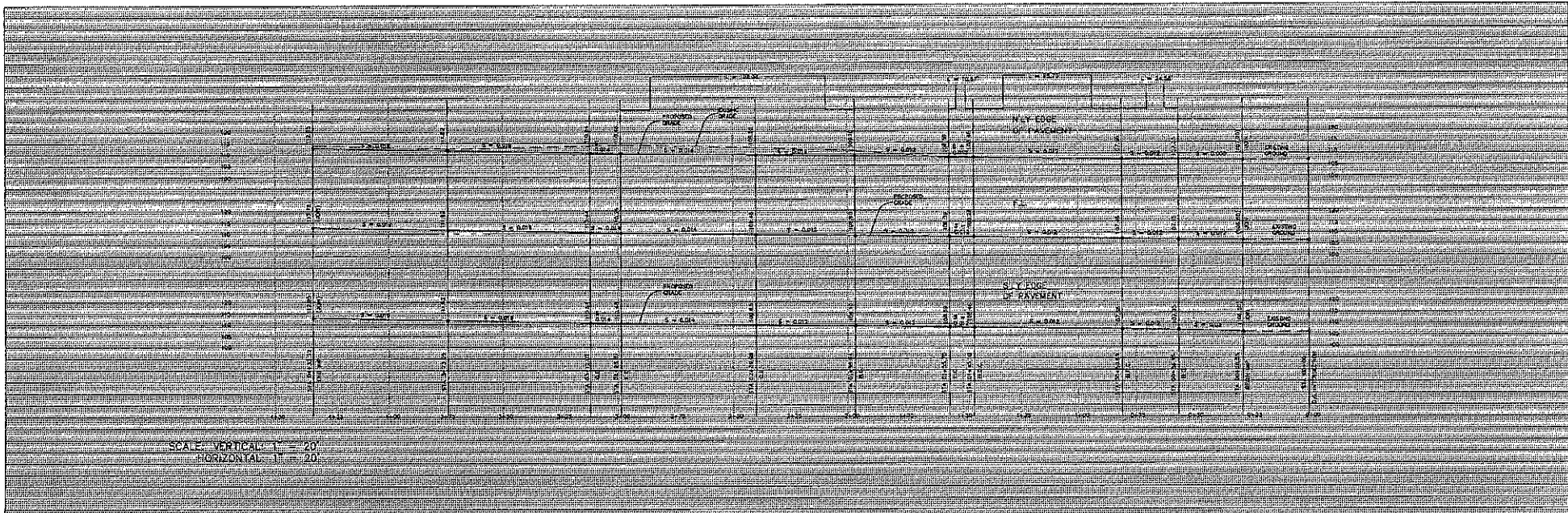
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE

PREPARED BY:	CITY OF AGOURA HILLS APPROVAL			
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA CITY ENGINEER



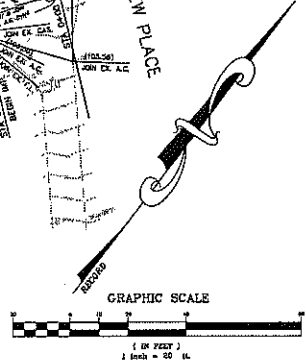
STREET IMPROVEMENTS NOTES

PROJECT NO. _____ SHEET 5 OF 6



CONSTRUCTION NOTES

- ① — CONSTRUCT CONCRETE PAVING FOR DETAIL "A" SHEET N01
- ② — CONSTRUCT DECK DRAIN FOR DETAIL "B" SHEET N01
- ③ — CONSTRUCT 18" CLAYD BASHN FOR DETAIL "C" SHEET N01
- ④ — CONSTRUCT TOP OF SLOPE DRAIN FOR DETAIL "D" SHEET N01
- ⑤ — PROPOSED RETAINING WALL UNDER SEPARATE PERMIT FOR DETAIL SHEET 3
- ⑥ — CONSTRUCT CONCRETE DRAIN BOARD WALL FOR DETAIL "E" SHEET N01
- ⑦ — CONSTRUCT DRY HILL FOR DETAIL "F" SHEET N01
- ⑧ — CONSTRUCT BENCH DRAIN FOR DETAIL "G" SHEET N01
- ⑨ — CONSTRUCT 12" CLAYD BASHN FOR DETAIL "H" SHEET N03
- ⑩ — CONSTRUCT 18" CONCRETE CURB FOR DETAIL "I" SHEET N03
- ⑪ — CONSTRUCT INFILTRATION FOR DETAIL "J" SHEET N03
- ⑫ — REPAIR EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
- ⑬ — CONSTRUCT GEOMETRICAL CURVES PER A.P.M.A. STD. PLAN 123-1.



					PREPARED BY:	CITY OF AGOURA HILLS APPROVAL						
					PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA CITY ENGINEER	DATE	RCE NO. 48885	EXP. DATE
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE								

AGOURA HILLS
PALO COMADO DRIVE (PRIVATE DRIVEWAY)
 PROJECT NO. _____ SHEET 6 OF 6
 CITY OF AGOURA HILLS DWG. NO. _____



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT B

March 20, 2008 Meeting Approved Minutes

(August 7, 2008 Meeting)



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
March 20, 2008**

CALL TO ORDER:

Chair O'Meara called the meeting to order at 6:31 p.m.

FLAG SALUTE

Commissioner Nouzille

ROLL CALL:

Chair John O'Meara, Vice Chair Curtis Zacuto, Commissioners Illece Buckley Weber, Cyrena Nouzille and Steve Rishoff.

Also present were Assistant Community Development Director Doug Hooper, Associate Planner Valerie Darbouze, Planning Technician Britteny Tang, Assistant Engineer Kelly Fisher, and Oak Tree and Landscape Consultant Kay Greeley.

APPROVAL OF MINUTES:

March 6, 2008 Planning Commission Meeting

On a motion by Vice Chair Zacuto, seconded by Commissioner Nouzille, the Planning Commission moved to approve the Minutes of the March 6, 2008 Planning Commission Meeting. Motion carried 4-0-1. Commissioner Buckley Weber abstained.

COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA:

None

NEW PUBLIC HEARING ITEM NO. 3 WAS MOVED TO THE FIRST ITEM ON AGENDA

NEW PUBLIC HEARINGS

COMMISSIONER RISHOFF RECUSED HIMSELF FROM ITEM 2 ON THE AGENDA DUE TO HIS RESIDENCE BEING LESS THAN 500 FEET FROM THE PROJECT.

2. REQUEST: Request approval of a Site Plan/Architectural Review to construct a 1,399 square foot single-story addition with a 500 square foot patio cover to an existing 916 square foot, single-story residence, and to convert and 806 square foot detached accessory structure to a garage; a request for an Oak Tree Permit to remove one (1) oak tree and encroach within the protected zone of one (1) oak tree for the proposed construction; and a request for a Variance from the Zoning Ordinance Section 9233.2.B to construct the room addition 7.75 feet from the south side property line, instead of at least 12 feet from the side property line.
- APPLICANTS: Mike and Darin Millett
 5446 Fairview Place
 Agoura Hills, Ca 91301
- CASE NOS.: 06-SPR-011; 06-OTP-031; and 08-VAR-001
- LOCATION: 5446 Fairview Place
 (A.P.N. 2055-014-018)
- ENVIRONMENTAL
 DETERMINATION: Categorically Exempt from CEQA per Section 15303.
- RECOMMENDATION: Staff recommended approval of Site Plan/Architectural Review Case No. 06-SPR-011, Oak Tree Permit Case No. 06-OTP-031, and Variance Case No. 08-VAR-001, subject to conditions, based on the findings of the draft Resolutions.
- PUBLIC COMMENTS: Chair O'Meara opened the public hearing.

The following persons spoke in favor of the project.

Michael Silva, Architect representing the applicant.

Darin Millett, Applicant

Robyn Britton, Old Agoura Home Owners Association

REBUTTAL: Applicant chose not to give rebuttal

Chair O'Meara closed the hearing.

ACTION: On a motion by Commissioner Buckley Weber, seconded by Vice Chair Zacuto, the Planning Commission moved to adopt Resolution No. 929, approving Variance Case No. 08-VAR-001. Motion carried 4-0-1. Commissioner Rishoff recused.

On a motion by Commissioner Buckley Weber, seconded by Vice Chair Zacuto, the Planning Commission moved to adopt Resolution No. 930, approving Site Plan/Architectural Review Case No. 06-SPR-011, Oak Tree Permit Case No. 06-OTP-031, subject to amended conditions. Motion carried 4-0-1. Commissioner Rishoff recused.

3. REQUEST: Request for approval of a Conditional Use Permit to construct a 4,880 square foot, two-story, single-family residence a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck; and a request for an Oak Tree Permit to remove one (1) oak tree and encroach in the protected zone of nine (9) oak trees for the proposed construction.

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 & 03-OTP-017

LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)

- ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA per Section 15303.
- RECOMMENDATION: Staff recommended approval of Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to conditions, based on the findings of the attached draft Resolution.
- PUBLIC COMMENTS: Chair O'Meara opened the Public Hearing
- The following person spoke on this agenda item.
- Sean Ben-Menahem, Applicant
- The following persons spoke in opposition of the project.
- Mike Kaye, Resident
- Kevin Austin, Resident
- Mark Dixon, Resident
- Robyn Britton, Old Agoura Homeowners Association
- The following person spoke neither for nor against the project
- Robert Michitsch – Resident
- RECESS: Chair O'Meara called for a recess at 8:30 p.m.
- RECONVENE: Chair O'Meara reconvened the meeting at 8:44 p.m.
- REBUTTAL: Sean Ben-Menahem, Applicant gave rebuttal regarding the project and answered additional questions of the Planning Commission.
- Chair O'Meara closed the hearing.

ACTION: On a motion by Vice Chair Zacuto, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 to the June 19, 2008 Planning Commission meeting. Motioned carried 5-0.

ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA

(Planning Commission and Staff)

Commissioner Nouzille announced she would be absent at the April 3, 2008 Planning Commission meeting.

ADJOURNMENT

At 10:10 p.m., on a motion by Vice Chair Zacuto, seconded by Commissioner Nouzille; the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday April 3, 2008, at 6:30 p.m.



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT C

March 20, 2008 Meeting Staff Report

(August 7, 2008 Meeting)



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: March 20, 2008

TO: Planning Commission

APPLICANT: Sean Ben-Menahem
5000 N. Parkway Calabasas, Suite 106
Calabasas, CA 91302

CASE NOS.: 03-CUP-016 & 03-OTP-017

LOCATION: 6149 Palo Comado Drive
(A.P.N. 2055-023-073)

REQUEST: Request for approval of a Conditional Use Permit to construct a 4,880 square foot, two-story, single-family residence, a 463 square foot attached two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck; and a request for an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA per Section 15303 (New Construction of a Single-Family Residence)

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017 subject to conditions, based on the findings of the attached Draft Resolution.

ZONING DESIGNATION: RV-OA – (Residential Very Low Density - Old Agoura Design Overlay District)

GENERAL PLAN DESIGNATION: RV – Residential Very Low Density

I. PROJECT DESCRIPTION AND BACKGROUND

The applicant, Ken Stockton for Sean Ben Menahem, is proposing to construct a 4,880 square-foot, two-story, single-family residence with a 463 square-foot, two-car garage, a 100 square-foot patio cover and a 125 square-foot balcony/deck. The 1.13-acre vacant lot is located on the west side of Palo Comado Drive, one lot south of Fairview Place at 6149 Palo Comado Drive. The applicant is also requesting approval of an Oak Tree Permit to remove 1 oak tree and encroach in the protected zone of 9 others for the construction. The lot is zoned RV-OA (Residential Very Low Density-Old Agoura Design Overlay) zone and is adjacent to developed lots to the rear and east and a vacant residentially zoned lot to the north.

New single-family homes are subject to review by the Planning Commission. Since the average topographic slope of the property exceeds 10%, it is considered a hillside lot and, therefore, development proposals must be reviewed with a Conditional Use Permit application. The proposed single-family residence is a permitted use in the RV zone. The maximum allowable building lot coverage in the RV zone is 25%. The total proposed lot coverage of the residence (footprint and garage) is 6% of the lot size. When adding the square footage of the pool and miscellaneous hardscape features that are anticipated by the applicant, the proposed lot coverage increases to approximately 25%. As designed, the project meets the development requirements relative to lot coverage, minimum yard setbacks and building height. The following is a summary of the proposed development relative to the Zoning Ordinance requirements.

Pertinent Data for the Proposal

	Existing	Proposed	Required
A. Lot Size	49,281 sq.ft.	49,281 sq.ft.	43,560 sq.ft.
	(1.13 acres)	(1.13 acres)	(1 acre)
Width	190 ft.	N/A	N/A
Depth	210 ft.	N/A	N/A
B. Building Setbacks from Property Lines			
1. <u>Residence Setbacks</u>			
Front (Driveway Easement)	N/A	33 feet	25 feet min.
Rear (West Side)	N/A	75 feet	25 feet min.
Side (North Side)	N/A	90 feet	12 feet min.
Side (South Side)	N/A	33 feet	12 feet min.
2. <u>Future Pool</u>			
Front (East)	N/A	N/A	N/A
Rear (West)	N/A	50 ft.	5 ft.
Side (North)	N/A	130 ft.	5 ft.
Side (South)	N/A	35 ft.	5 ft.

	Existing	Proposed	Required
C. Building Sizes			
Residence			
1 st Floor	N/A	2,690 sq.ft.	N/A
2 nd Floor	<u>N/A</u>	<u>2,190 sq.ft.</u>	<u>N/A</u>
Total:	N/A	4,880 sqft.	N/A
Garage	N/A	463 sq.ft.	N/A
Balcony	N/A	125 sq.ft.	N/A
Patio Cover	<u>N/A</u>	<u>100 sq.ft.</u>	<u>N/A</u>
Total:	N/A	5,568 sqft.	N/A
D. Building Height			
	N/A	33 ft.	35 ft. max.
E. Lot Coverage			
Bldg. Footprint	N/A	6%	25%
Bldg. Footprint+ Hardscape*	N/A	25%	25%
F. Undisturbed Open Space**			
	N/A	52%	77.5%
F. Oak Trees Considered for Review			
	11 on-site	same	N/A
	11 off-site	10	N/A

* Hardscape includes future pool and driveway

** The difference between lot coverage and undisturbed open space is unused but disturbed areas.

II. STAFF ANALYSIS

A. Site Plan

The proposed residence is to be built in the center of the parcel. The closest structure is located 77 feet from the south property line on the adjacent southerly lot. Another structure is located 110 feet from the northeast corner of the parcel, across the access driveway. The proposed residence will exceed the minimum required front yard setback by 8 feet (33 feet proposed versus 25 feet required), the rear yard setback by 50 feet (75 feet proposed versus 25 feet required) and the side yard setback on the south side yard setback requirements by 8 feet (33 feet proposed versus 12 feet required) and on the north side by 78 feet (90 feet proposed versus 12 feet required). A future pool is also being considered by the applicant. The all inclusive anticipated development, as shown on the Site Plan would meet the maximum allowable lot coverage for the zone.

The lots on the east side of the access easement generally are steeper and overlook the lots along the west side. The Grading Plan indicates that a proposed flat pad that is to be cut into the hillside and a 2:1 manufactured slope would be created using the support of retaining walls. The pad would be 14 feet above the access driveway. A two-retaining

wall system, each 6 feet in height, is proposed in the rear yard with stair case leading from the house pad to the top of the hill. Two additional retaining walls, 6 to 2.5 feet high, would also be required as part of the construction of the house and the 140-foot long on-site driveway. The design of the driveway was a result of the Fire District requirement to have a turn-around area on-site, the maximum allowable 17% slope of the driveway and the desire to minimize encroachment on oak trees in the vicinity of the project.

The house was designed with one and two-story elements. The garage is a 15-foot high single-story element located in the front of the house. The finished floor elevation of the garage is 6 feet lower than the finished floor elevation of the living areas. The garage is used strictly for the storage of two vehicles and is therefore not counted as a story but it is included when calculating the maximum height of the structure. The roof peak does not exceed 33 feet. The average height is 27 feet. A 6-foot high retaining wall along the northern property line would partially screen the northern elevation as seen from the lots at the corner of the access driveway.

The Hillside Ordinance open space standards are at the discretion of the Planning Commission. The square footage of the open space that should remain undisturbed is a function of the steepness of the lot. In this case, the lot has an average slope of 27.6%, and the Hillside Ordinance calls for 77% of the lot to remain undeveloped in order to effectively preserve the natural topography and biological resources. The project is preserving 52% of the open space. The findings in favor of the proposal are based on the fact that the lot was lawfully created prior to the adoption of the requirement, the change in ownership is not a result of the parcel no longer being considered part of a larger parcel, that the septic system will not be installed on a parcel less than one acre and that a Conditional Use Permit can permit the use and specify the minimum percent of required open space on the parcel. Staff believes that the findings can be made and that with conditions the on-site resources, specifically the oak trees, would be protected. The on-site oak trees are located at the perimeter of the parcel. The project will require the use of retaining walls that partially encroach in the protected zone of the trees and in some cases under the canopy for the purpose of protecting life and property and providing access. The City Oak Tree Consultant has worked very closely with the applicant in order to reduce the amount of encroachment into 9 trees and is able to recommend approval of the Oak Tree Permit.

The applicant is unable to provide an area that would be suitable for horses with the proposed design. The topography combined with the number oak trees all around the parcel preclude the applicant from further grading the hillside for either a pad or access to the pad. Although the General Plan specifies the needs for maintaining sufficient space on a parcel to accommodate horse keeping, some of the remaining undeveloped lots, such as the subject property, seem to have more challenges in complying with this policy. The Planning Commission has discretion to evaluate whether the proposed development precludes such an area or whether it is not feasible to accommodate horses or other farm animals based on the minimum setback requirements and impacts to the natural resource.

In an effort to evaluate the compatibility of the proposed size of the home with the neighboring structures approved and built, a survey of 87 developed lots in the neighborhood was conducted. The results revealed an average size for the living areas of all 87 homes to be 3,241 square feet. The average lot size was found to be 49,675 square feet (1.14 acres). Most recent approvals of single-family residences in the Old Agoura area include a 5,623 square-foot house on a 43,996 square-foot lot on Fairview Drive, east of the project and a 5,694 square-foot house on a 45,227 square-foot lot on Colodny Drive. The total proposed size of the home will be 5,536 square feet (plus a 751 square-foot garage) on a 40,281 square-foot lot minus the driveway. Although, the proposed floor area ratio is higher than the neighborhood average, the proposed lot coverage meet the maximum lot coverage established for the zone.

B. Architectural Review:

The entry of the two-story residence is enclosed with a privacy wall clad with a veneer stone. This 200 square-foot courtyard, open to the sky, links the elevation of the driveway, the garage and the living areas and provides access between the garage and the house. The applicant proposes a Mediterranean style of architecture including Mediterranean tiles, smooth plaster finish, exposed rafter tails, a balcony for the master bedroom facing the hillside and a round tower element. The Architectural Review Panel (ARP) found the proposed design of the residence to be true to the selected architectural style and one that could be added to the eclectic inventory found in the Old Agoura neighborhood. The applicant incorporated the few comments that the ARP's provided staff with. Multiple roof lines reflect the various living areas of the house. The entry to the garage originally faced east but grading changes required that the garage be relocated and reoriented to face north. The residence will not be visible from Fairview Drive where most of the circulation occurs. A letter from the Old Agoura Homeowners Association regarding the project is attached.

C. Oak Tree/Landscape Review:

Based on the scope of the work, the City Oak Tree/Landscape Consultant would be in support of removing Oak Tree Number 22 (8" diameter) if necessary to allow for widening and paving of Palo Comado Drive. This tree is located on the property located to the east of the applicant's property at 6149 Palo Comado Drive. It would be the applicant's responsibility to obtain permission for their removal from the adjacent property owner. Furthermore, the applicant would be permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan. The applicant would also be permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where grading is otherwise approved. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 16, 17, 18, and 20 shall be preserved in place with no direct impacts.

The applicant has worked with the Fuel Modification Department of the Los Angeles County Fire District to incorporate an adequate landscaping and not further impact on

and off-site oak trees. The applicant has also reduced the rear slope to a 2:1 gradient for his proposed landscape improvements.

D. Engineering/Public Works Review:

The Grading Plan has been reviewed by the Engineering Department. The rectangular lot also includes a 365-foot long private driveway providing access from the project north boundary to Fairview Drive which is owned by the applicant. The topography of the lot slopes ascends from east to west. The applicant's civil engineer proposes 2,479 cubic yards of cut and 1,162 cubic yards of fill with 867 cubic yard of export. The grading is necessary to cut a tri-level pad above the access road. The main floor is proposed to be at an elevation of 132 feet and the garage and gym at an elevation of 125 feet whereas the lowest and highest elevation points of the parcel are 110 and 173 feet.

With regard to street improvements, the Engineering Department will require that the applicant improve Palo Comado Drive along the entire property frontage to Fairview Place to provide for a minimum of 20-foot paved width, and 3-foot inverted shoulder or asphalt curb to ensure that the runoff is maintained within the roadway.

A septic system will serve the proposed residence and will be located on the south and east sides of the lot and will not conflict with the proposed structures. Staff has received a conceptual approval from the Los Angeles County Health Services Department of the proposed system.

E. Environmental Review:

Based upon review of this project by the City Environmental Analyst, no significant environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence. A copy of the notice of exemption regarding the project is attached.

In conclusion, staff finds that the proposed project meets the development standards established by the Residential Single-Family Density zone and the Old Agoura Design Overlay zone and the project is designed and sited to be compatible with the neighborhood. Geotechnical and geological studies were completed to analyze the feasibility and impacts of the project. The proposed house size and articulation is in proportion with the lot size and the proposed style adds to the variety of architectural styles found in Old Agoura. The use of natural materials of that particular style is in keeping with the semi-rural character of the neighborhood.

III. RECOMMENDATION

Based on the above analysis, staff recommends that the Planning Commission adopt the attached Draft Resolution approving Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit Case No. 03-OTP-017, subject to the conditions.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Letter from the Old Agoura Homeowners Association
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Square Footage Analysis Map
- Exhibit D: Reduced Copies of the Proposed Project Architectural Plans
- Exhibit E: City's Oak Tree/Landscape and Geological/Geotechnical Consultant
Comments
- Exhibit F: Environmental Categorical Exemption
- Exhibit G: Photographs of the Property and Color and Material Board

Case Planner: Valerie Darbouze, Associate Planner



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT A

Letter from the Old Agoura Homeowners Association

DATE: July 26, 2007

RE: Review of Proposed Project; revised

FROM: Planning and Zoning Committee,
Old Agoura Homeowners Association

TO: Mike Kamino, Director
Department of Planning & Community Development
City of Agoura Hills

SUBJECT: 03-CUP-016 (Iamburg)

Description

The plans submitted show a two storey, single family residence of 4,688 square feet, with an attached garage of 520 square feet on Polo Comado (sic) Drive, off Balkins Ave.

Comment

There were two previous letters of opinion from this committee recommending changes to the design of the house. After the first letter, it would appear that the principal change to the plan is the elimination of the semicircular driveway and some related adjustments to the house's entrance. The size of the house remains unchanged.

In further review, the committee expressed considerable concern about the relation of the building to the site. Except for some flatter area at its base, the lot consists almost entirely of a curved, convex slope like a section of a bowl. The current design has the house situated on a cut into the lower part of the hillside, from which the house rises as a solid visual block, and requires extensive grading and use of retaining walls. The current design is essentially a standard, suburban flat lot design rather awkwardly superimposed upon irregular natural terrain. It would be our preference to see some sort of stepped design that responds more sensitively to the land itself.

Stylistically, the house appears to be a fairly generic Spanish/Mediterranean that seems largely indifferent to its surroundings. It is of course the choice of the owner, but the strong orientation towards indoor space (save for a small balcony) seems like a failure to capitalize on a striking setting characterized by numerous mature oaks. There are a couple of buildings of questionable design in the vicinity – the mock Tudor on the same street and the "Country French" at the corner of Colodny and Fairview – but the existence of these does not persuade us that we should recommend the design with any enthusiasm.

The land does present certain limitations for horse-keeping, but there has been no attempt to try to find even a nominal area that might be set aside for this, although a raised pad has been created for a swimming pool. This concerns us as this property is in the most rural and least suburban part of Old Agoura. We worry that construction of the project as is will void any potential future horse-keeping.

All in all, the conception of this house doesn't touch on any western (whether modern or historical) traditions of rural architecture and will merely add one more "Mediterranean" to the growing inventory of such buildings.

Should you have questions about these comments please contact Robert Evren, Chair, Planning and Zoning Committee, Old Agoura Homeowners Association: 865-9003, robtevren@aol.com.

We hope this is of help to you.

CC: Valerie Darbouze, Associate Planner



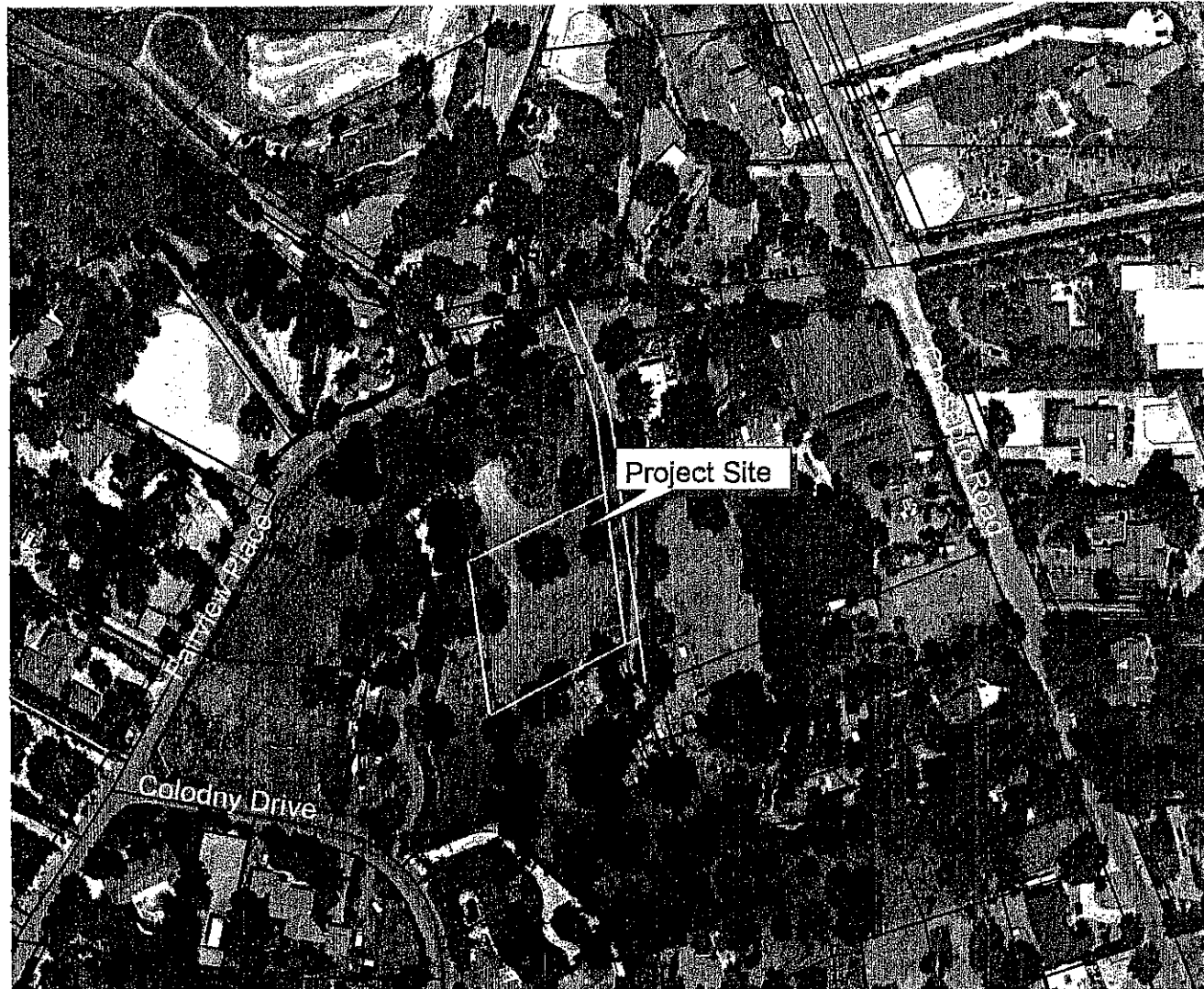
**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

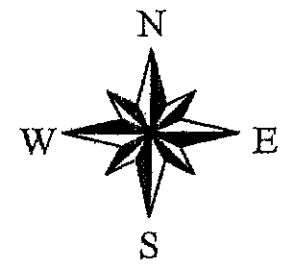
EXHIBIT B

Vicinity/Zoning Map

Conditional Use Permit Case No. 03-CUP-016 Oak Tree Permit Case No. 03-OTP-017



Vicinity/Zoning
Map





**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

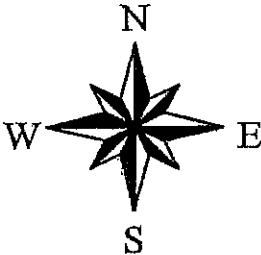
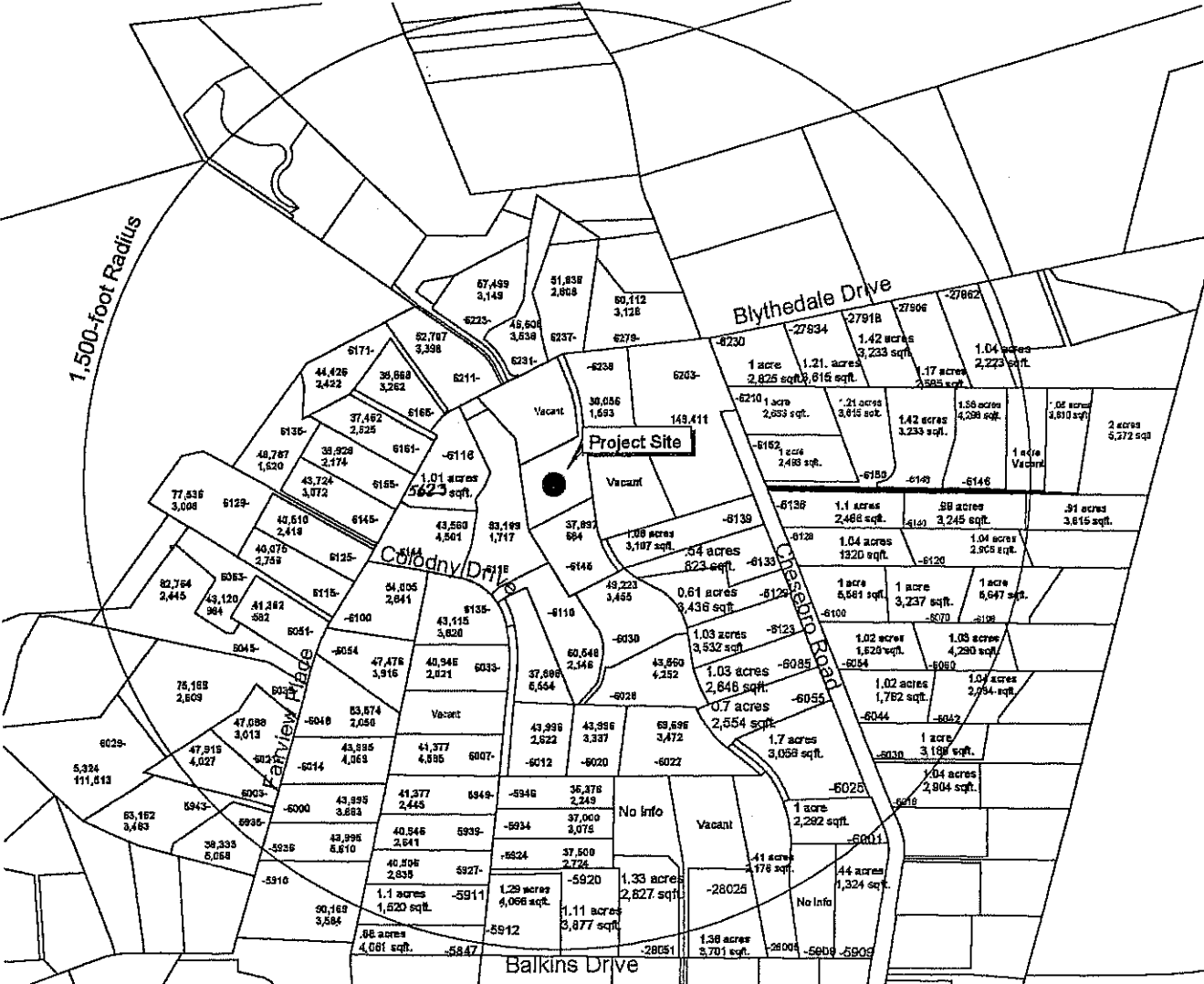
**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT C

Square Footage Analysis Map

Conditional Use Permit - Case No. 03-CUP-016 & Oak Tree Permit - Case No. 03-OTP-017

Square Footage
Analysis



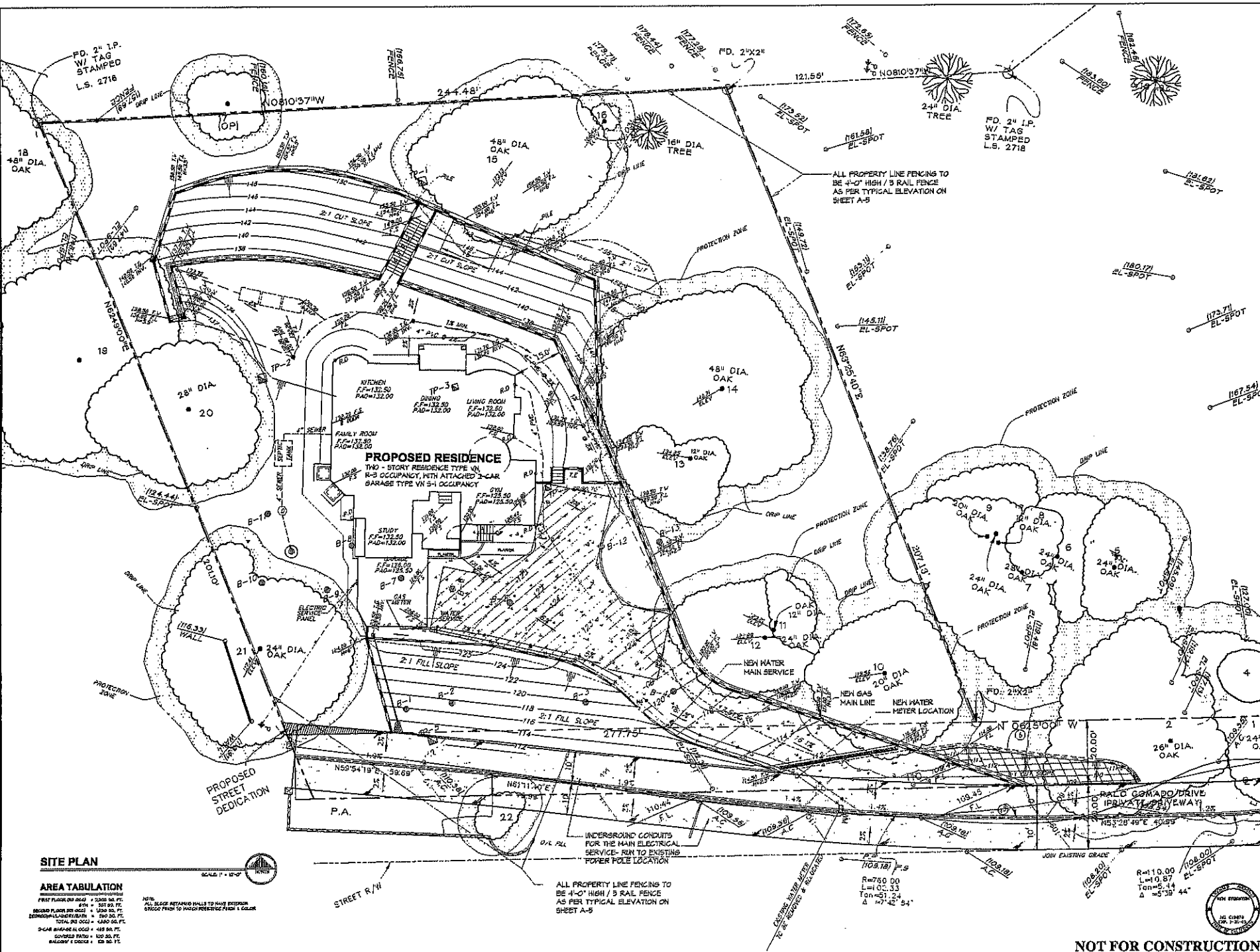


**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT D

Reduced Copy of the Architectural/Grading/Landscape Plans



SITE PLAN

AREA TABULATION

FIRST FLOOR AREA = 2376 SQ. FT.
 SECOND FLOOR AREA = 1540 SQ. FT.
 TOTAL FLOOR AREA = 3916 SQ. FT.
 TOTAL LOT AREA = 4340 SQ. FT.
 2-CAR GARAGE AREA = 489 SQ. FT.
 COVERED PATIO = 100 SQ. FT.
 BALCONY AREA = 120 SQ. FT.

NOTE:
 ALL SLAB RETAINING WALLS TO HAVE EXTERIOR
 FINISH FROM TO MATCH EXISTING FINISH & COLOR

ALL PROPERTY LINE FENCING TO
 BE 4'-0" HIGH / 3 RAIL FENCE
 AS PER TYPICAL ELEVATION ON
 SHEET A-5

ALL PROPERTY LINE FENCING TO
 BE 4'-0" HIGH / 3 RAIL FENCE
 AS PER TYPICAL ELEVATION ON
 SHEET A-5

UNDERGROUND CONDUITS
 FOR THE MAIN ELECTRICAL
 SERVICE- RUN TO EXISTING
 POWER POLE LOCATION

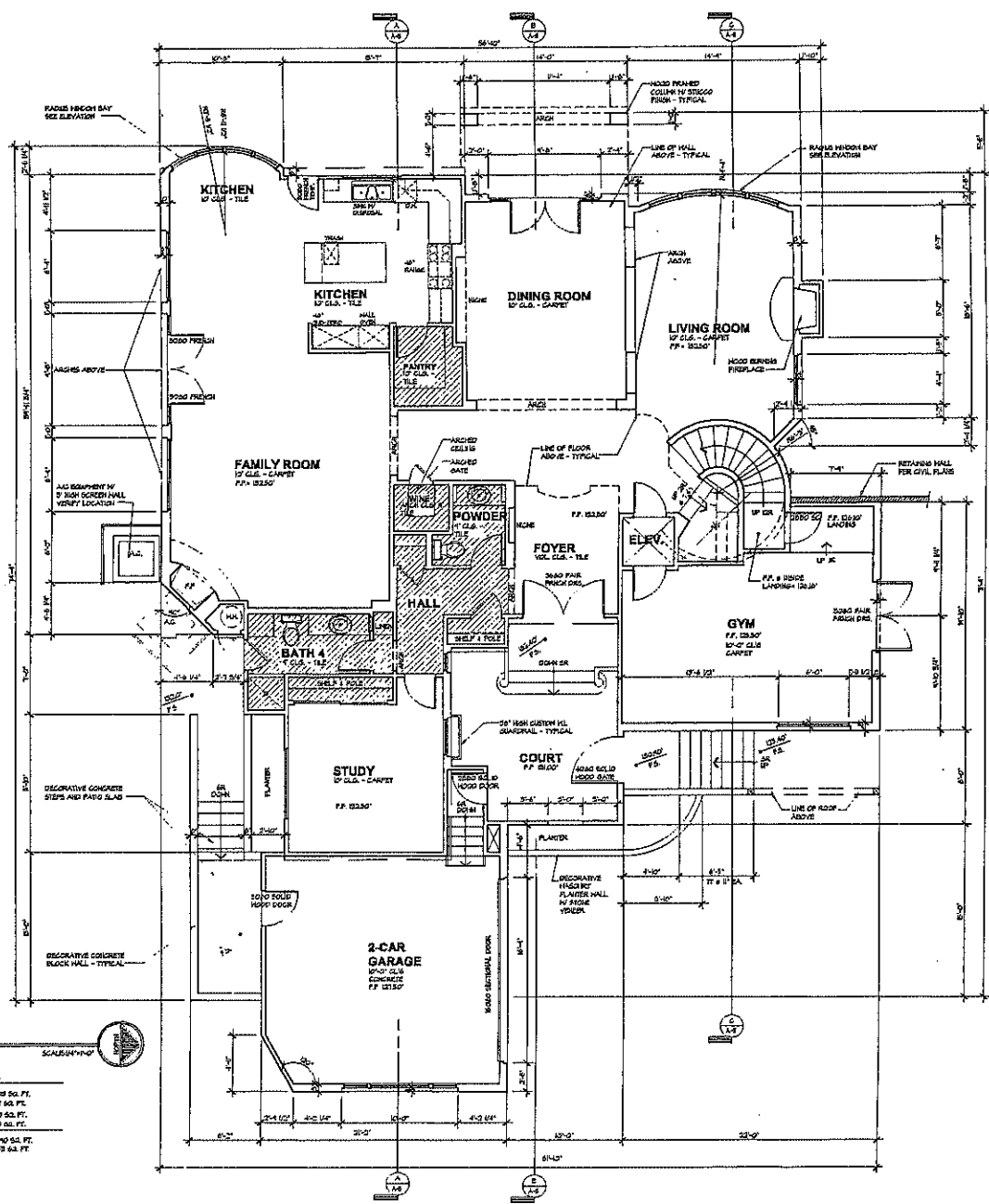
NEW WATER MAIN SERVICE
 METER LOCATION

NEW GAS MAIN LINE
 METER LOCATION

NOT FOR CONSTRUCTION

PROJECT NAME IAMBURG RESIDENCE CUSTOM RESIDENCE PALO COMARDO, OLD ACCORA	
CLIENT NAME KEN STOCKTON ARCHITECT	DATE 02/20/24
DESIGNER KEN STOCKTON	CHECKED BY KEN STOCKTON
SCALE 1" = 10'-0"	PROJECT NO. 24-001
PROJECT ADDRESS PALO COMARDO DRIVE PRIVATE DRIVEWAY	CITY PALO COMARDO, CA
STATE CA	COUNTY SAN DIEGO
ZIP CODE 92161	DATE PLOTTED 02/20/24
SCALE 1" = 10'-0"	PROJECT NO. 24-001
PROJECT NAME IAMBURG RESIDENCE	DATE PLOTTED 02/20/24
PROJECT ADDRESS PALO COMARDO DRIVE PRIVATE DRIVEWAY	CITY PALO COMARDO, CA
STATE CA	COUNTY SAN DIEGO
ZIP CODE 92161	DATE PLOTTED 02/20/24

A-1



FIRST FLOOR PLAN

2340 SQ. FT.
 SCALE 1/8" = 1'-0"
 FLOOR FINISHES
 FIRST FLOOR (SQ. FT.) = 2340 SQ. FT.
 2-CAR GARAGE (SQ. FT.) = 287 SQ. FT.
 2-CAR GARAGE (SQ. FT.) = 483 SQ. FT.
 COVERED PORCH = 162 SQ. FT.
 TOTAL (SQ. FT.) = FIRST FLOOR = 2340 SQ. FT.
 TOTAL (SQ. FT.) = FIRST FLOOR = 3272 SQ. FT.

PROJECT NAME
IAMBURG RESIDENCE
 CUSTOM RESIDENCE
 FALD COMADO, OLD ASCINA

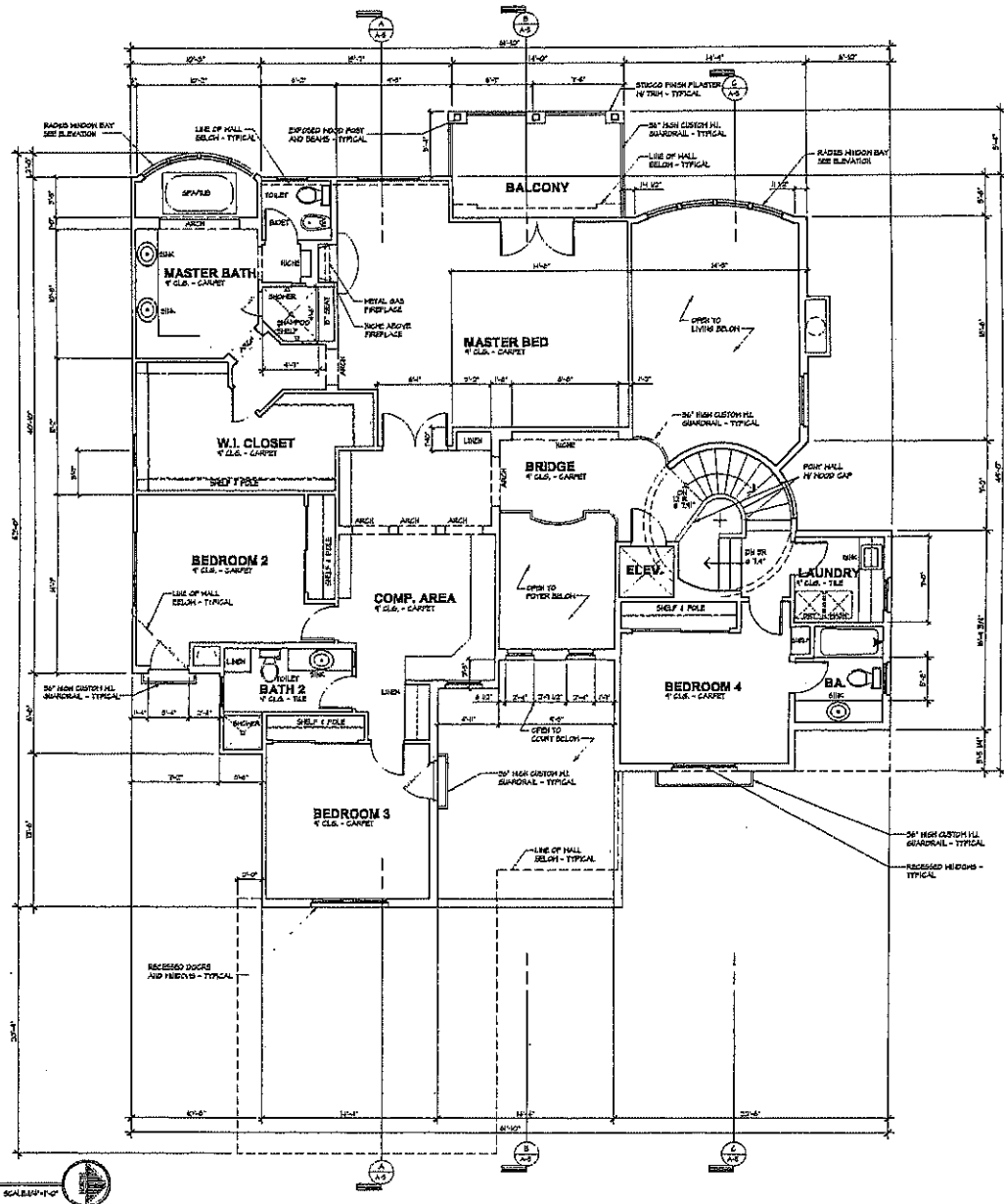
FIRST FLOOR
 REVISIONS
 DRAWN: R. E. S.
 DATE: 05/23/04
 PLAN CHK.: D. J. ALLEN
 REVISIONS: 05/25/04

KEN STOCKTON
 ARCHITECT
 2340 N. MOBILE ROAD, FIVE MILE LAKE, ALABAMA, DA 36608
 (205) 333-3445 FAX: (205) 333-3400



NOT FOR CONSTRUCTION

SHEET NO
A-2



SECOND FLOOR PLAN
2/10/2021

FLOOR CHALLENGE
 SECOND FLOOR (AS SHOWN) = 1450 SQ. FT.
 BEDROOMS/LAUNDRY/BATHS = 540 SQ. FT.
 BALCONY / DECK = 100 SQ. FT.
 TOTAL (AS SHOWN) = 2090 SQ. FT.

PROJECT NAME: **JAMBURG RESIDENCE**
 CUSTOM RESIDENCE
 PALO CONADO, OLD ABOIRA

DEVELOPER:

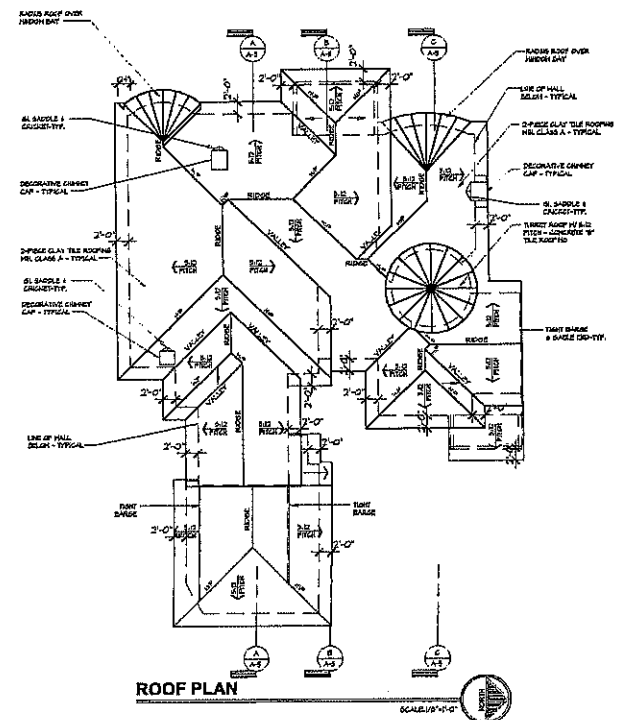
PROJECT NAME: **FIRST FLOOR**

DESIGNED BY:	REVISED BY:
DATE:	DATE:
PLANT (S):	DATE:
PERMIT:	DATE:

KEN STOCKTON
 ARCHITECT
 2800 N. ANAHEIM ROAD, SUITE 100, CALAHEAS, CA 95002
 (530) 835-1185 FAX: (530) 835-1004

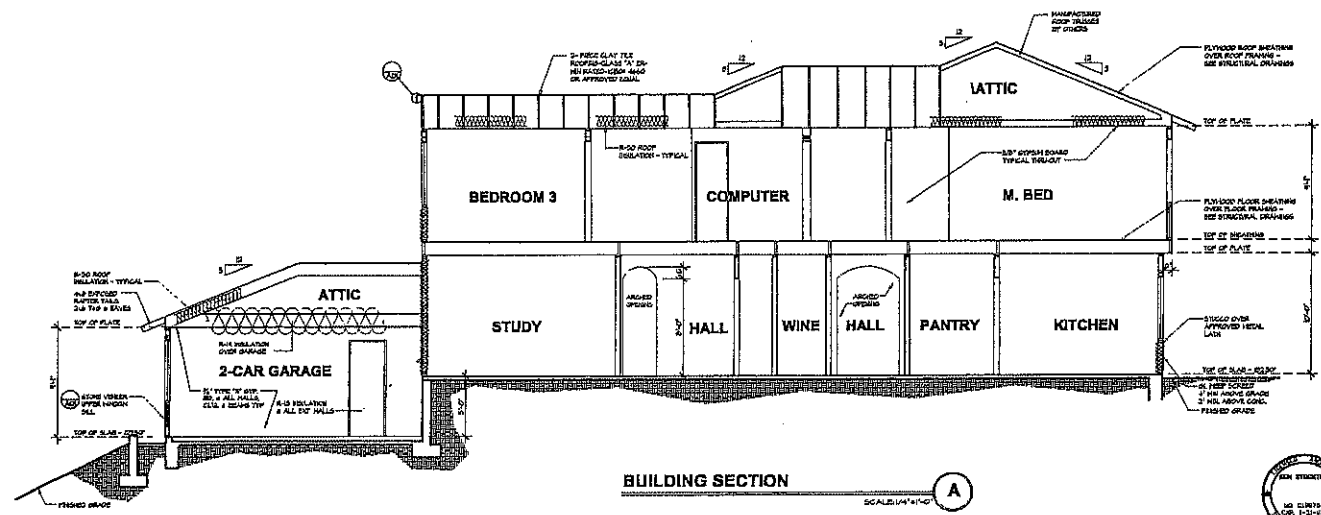
SHEET NO. **A-3**

NOT FOR CONSTRUCTION



ROOF PLAN

SCALE 1/8" = 1'-0"



BUILDING SECTION

SCALE 1/4" = 1'-0"

PROJECT NAME
**JAMBURS RESIDENCE
CUSTOMER RESIDENCE
PALO COMADO, OLD ASORA**

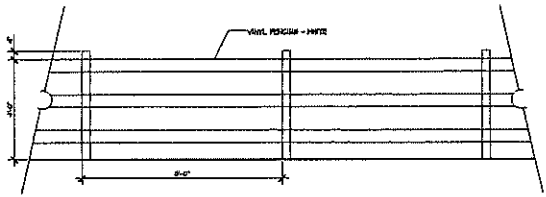
ROOF PLAN & SECTIONS	
REVISIONS	DATE

PROJECT NAME
**KEN STOCKTON
ARCHITECT**

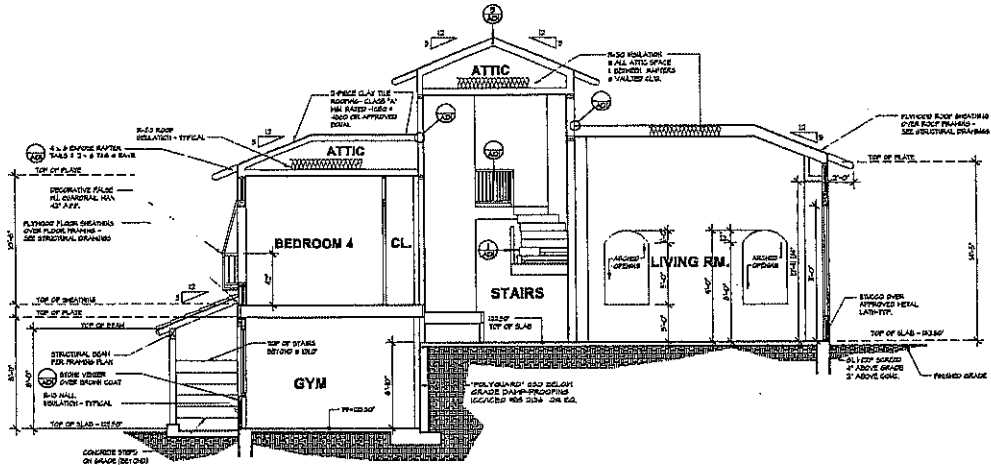
2500 N. AMBASSADOR STREET, PALO COMADO, CA 95025
TEL: 925-462-1111 FAX: 925-462-1112

SHEET NO.
A-4

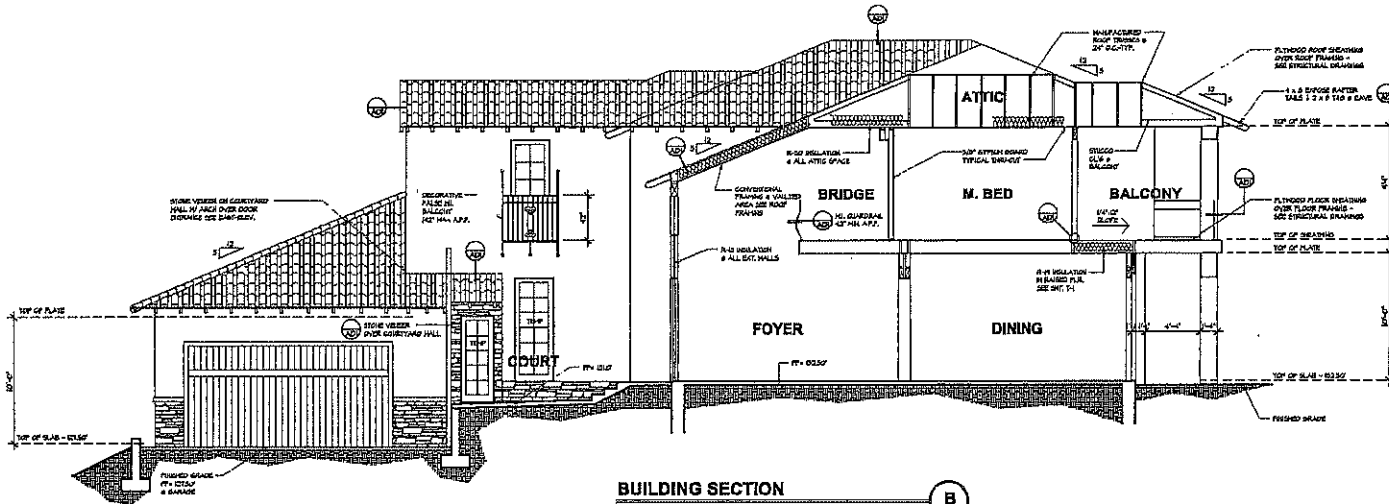
NOT FOR CONSTRUCTION



PROPERTY LINE FENCING ELEV. 1
SCALE: 1/4" = 1'-0"



BUILDING SECTION C
SCALE: 1/4" = 1'-0"



BUILDING SECTION B
SCALE: 1/4" = 1'-0"

REVISIONS

PROJECT NAME
JAMESBURG RESIDENCE
CUSTOM RESIDENCE
PALM CONADO, OLD ACQUORA

BUILDING SECTIONS	
FRANK, R. L. & ASSOCIATES	REVISIONS
DATE: 02/20/24	DESCRIPTION
BY: J. L. L.	REVISION
PROJECT	REVISION

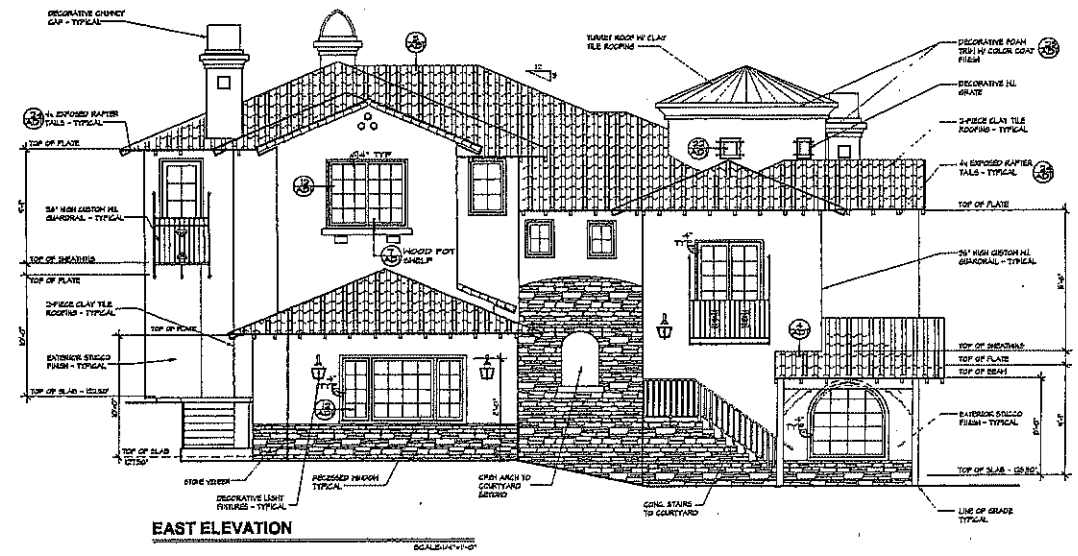
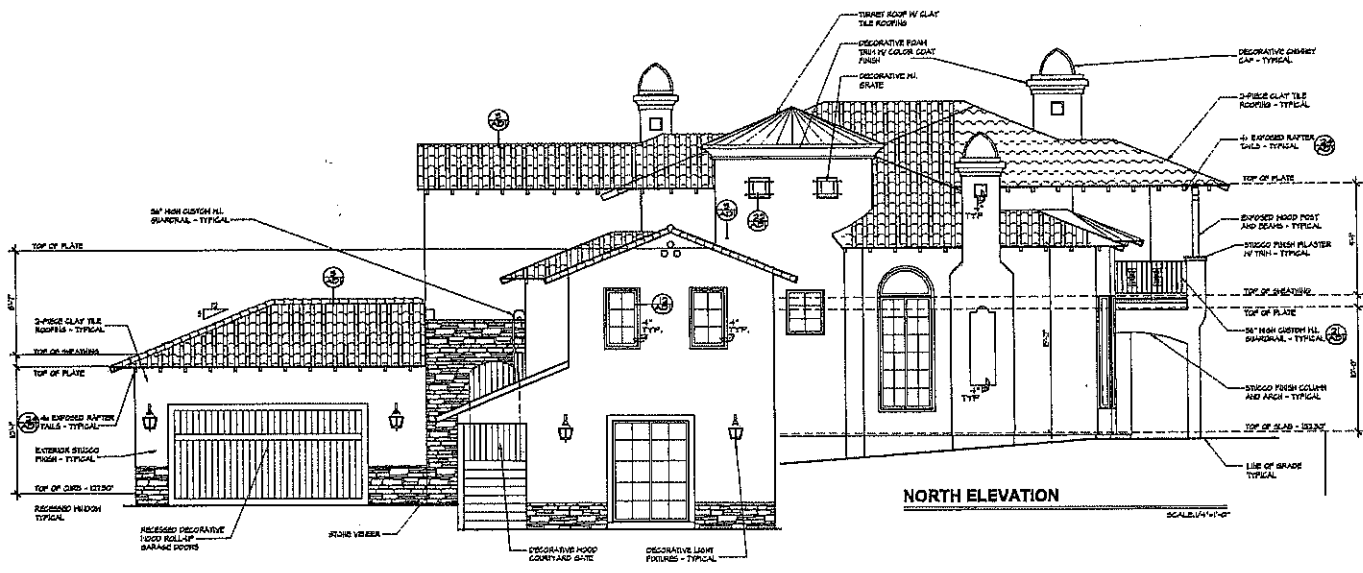
KEN STOCKTON
ARCHITECT
2800 N. ALABAMA, HOUSTON, TEXAS 77008, TX, USA
PH: 281.441.1111
WWW.KENSTOCKTON.COM

SHEET NO.

A-5



NOT FOR CONSTRUCTION



PROJECT NAME
IAMBURG RESIDENCE
 CUSTOM RESIDENCE
 PALO COMARCO, OLD ABOURA

EXTERIOR ELEVATIONS

DRAWN BY	REVISED	DATE	DATE	DATE	DATE
R. K. E.		05/20/04	05/28/04	12/08/04	9/10/06
PLAN					
PERMIT					

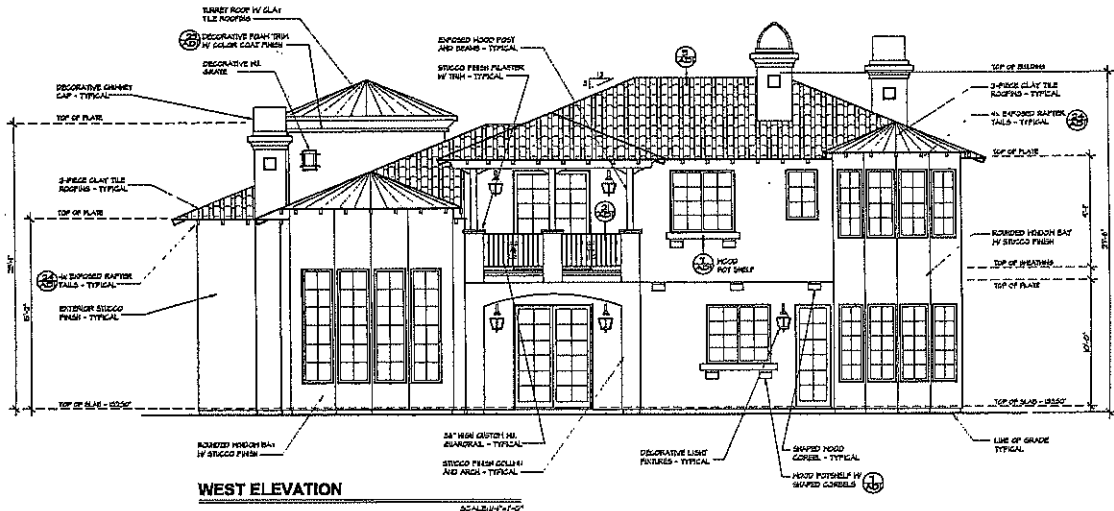
KEN STOCKTON
 ARCHITECT
 2600 N. AMARILLO BLVD. SULLY, OKLAHOMA, OK 74080
 (405) 783-0444 FAX (405) 783-0444



SHEET NO.

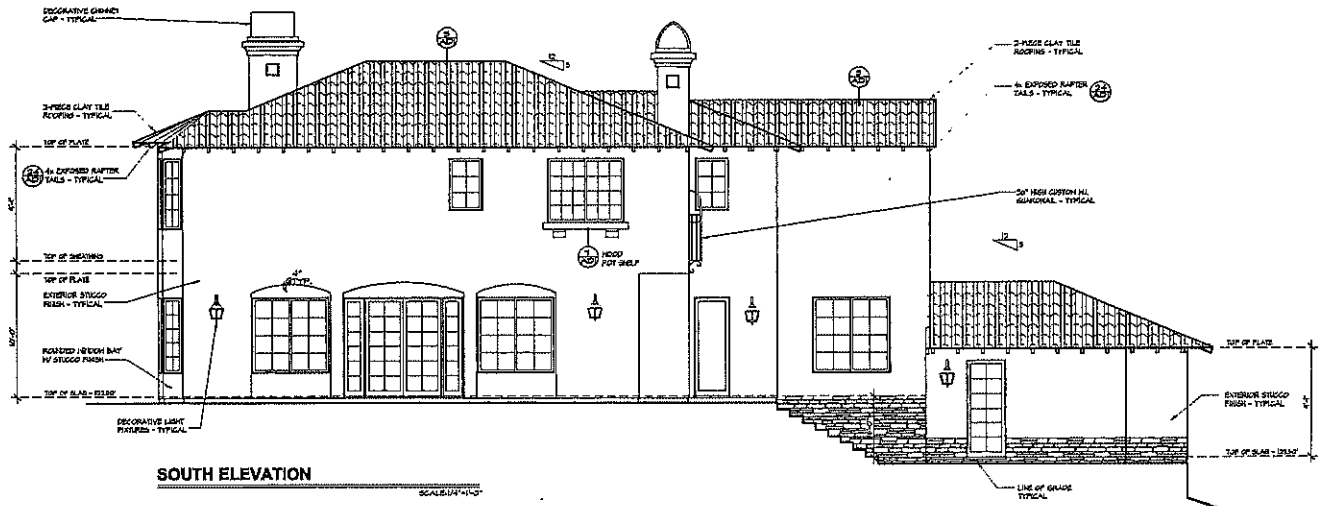
A-6

NOT FOR CONSTRUCTION



WEST ELEVATION

SCALE: 1/4" = 1'-0"



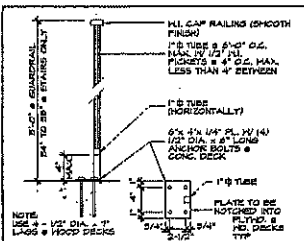
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

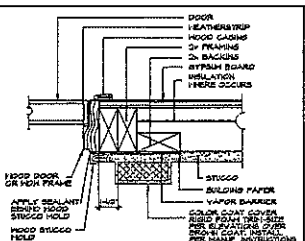
PROJECT NAME		IAMBURG RESIDENCE CUSTOM RESIDENCE PALO COHADO, OLD ASOIRA	
EXTERIOR ELEVATIONS		DESIGNER	DATE
KEVIN B. S.L.S.	RESIDENCE	08/20/24	02/20/25
STATE	COUNTY	PALM BEACH	DADE
PLANNING	PERMIT		
KEN STOCKTON ARCHITECT		3800 N. AGORA ROAD, SUITE 104, CALAMANDRA, CA 95022 408.248.4400 FAX: 408.248.4400	
SHEET NO.		A-7	



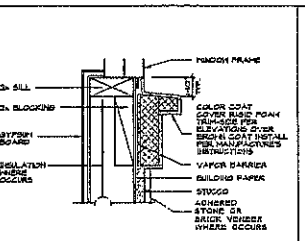
NOT FOR CONSTRUCTION



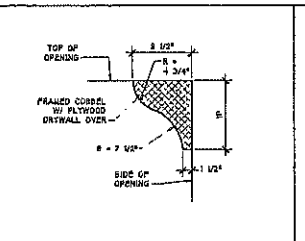
21 GUARDRAIL DETAIL
SCALE: NONE



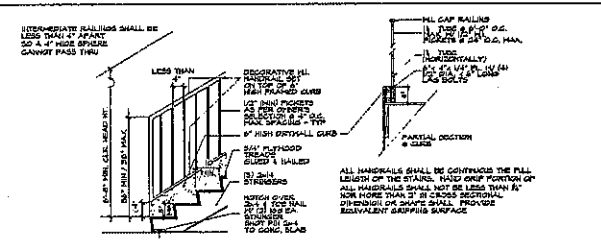
16 FOAM WINDOW JAMB DETAIL
SCALE: 1/2" = 1'-0"



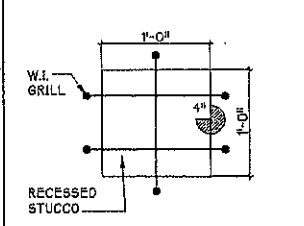
11 FOAM SILL DETAIL
SCALE: 1/2" = 1'-0"



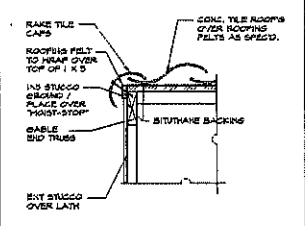
8 FRAMED CORBEL & ARCHES
SCALE: 1/2" = 1'-0"



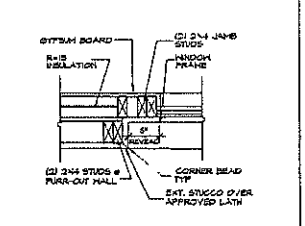
1 STAIR DETAIL / STAIR RAILING DETAIL
SCALE: 3/4" = 1'-0"



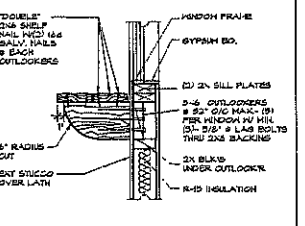
22 RECESSED BOX W/ GRILL
SCALE: 1/2" = 1'-0"



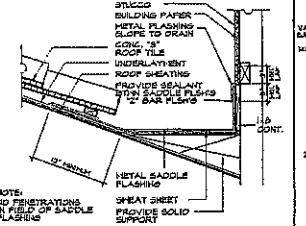
17 FLUSH RAKE DETAIL
SCALE: 1/2" = 1'-0"



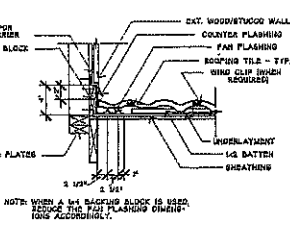
12 WINDOW DETAIL
SCALE: 1/2" = 1'-0"



7 POT SHELF DETAIL
SCALE: 1/2" = 1'-0"



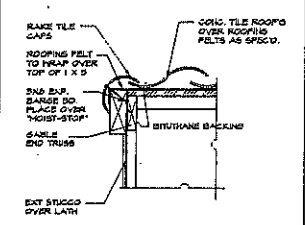
2 CHIMNEY FLASHING DETAIL
SCALE: 1/2" = 1'-0"



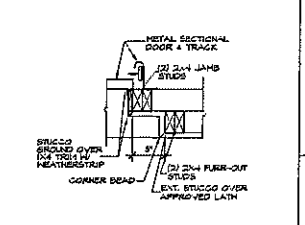
20 WALL FLASHING DETAIL
SCALE: 1/2" = 1'-0"



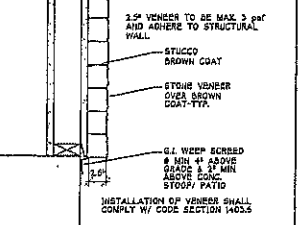
23 EAVE DETAIL
SCALE: 1/2" = 1'-0"



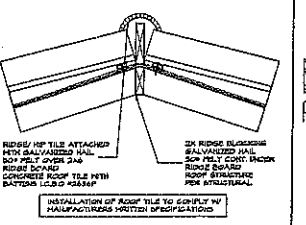
18 FLUSH RAKE W/ BARGE
SCALE: 1/2" = 1'-0"



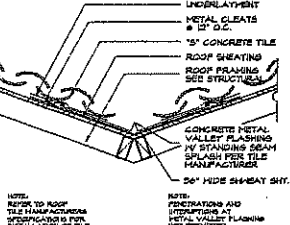
13 GARAGE DOOR DETAIL
SCALE: 1/2" = 1'-0"



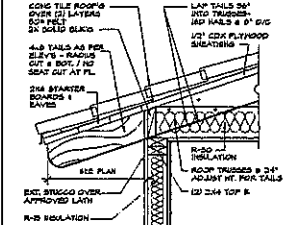
9 FIREPLACE ELEVATION
SCALE: 1/2" = 1'-0"



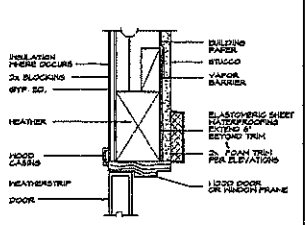
3 RIDGE DETAIL
SCALE: 1/2" = 1'-0"



30 VALLEY DETAIL
SCALE: 1/2" = 1'-0"



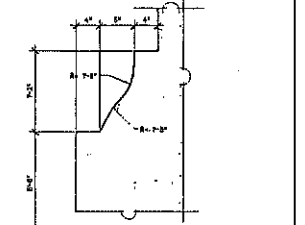
24 EXP. RAFTER TAILS
SCALE: 1/2" = 1'-0"



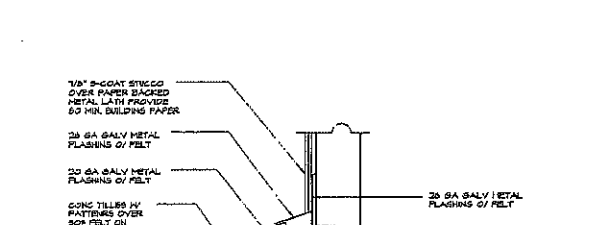
19 FOAM HEAD DETAIL
SCALE: 1/2" = 1'-0"



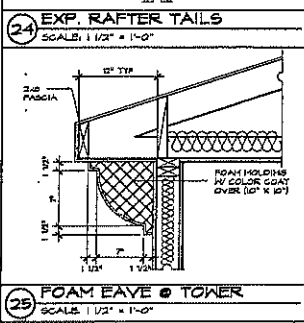
14 STUCCO EAVE DETAIL
SCALE: 1/2" = 1'-0"



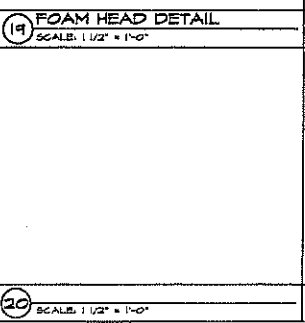
10 CHIMNEY CAP DETAIL
SCALE: 3" = 1'-0"



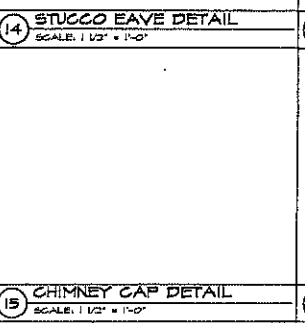
4 ROOF TO WALL CONNECTION
SCALE: 1/2" = 1'-0"



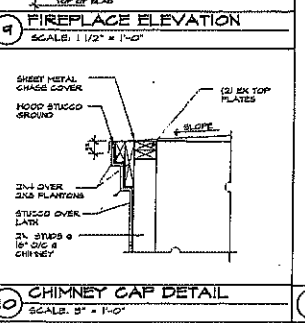
25 FOAM EAVE & TOWER
SCALE: 1/2" = 1'-0"



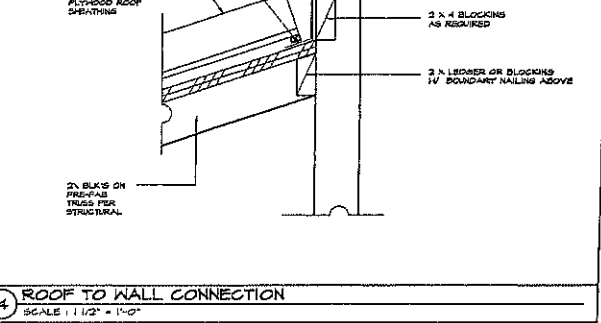
20 WALL FLASHING DETAIL
SCALE: 1/2" = 1'-0"



15 CHIMNEY CAP DETAIL
SCALE: 1/2" = 1'-0"



10 CHIMNEY CAP DETAIL
SCALE: 3" = 1'-0"



4 ROOF TO WALL CONNECTION
SCALE: 1/2" = 1'-0"

PROJECT NAME: TAMBOURS RESIDENCE
 ARCHITECTURAL DETAILS: TAMBOURS RESIDENCE
 DRAWN BY: KEN STOCKTON
 DATE: 04/07/04
 SHEET NO.: AD1
 PROJECT: CUSTOM RESIDENCE
 LOCATION: PALO COMADO, OLD AGOIRA
 REVISIONS: 01/07/04
 PLANT DATE: 01/07/04
 PERMIT: 01/07/04

GRADING NOTES

1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
2. A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THE APPROPRIATE CITY STAFF.
3. ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
4. ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
5. ANY CHANGES IN THE WORK HEREBIN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
6. THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
7. REPORTS REQUIRED:
 1. ROUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 2. FINAL GRADING REPORT, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE ELEVATION PLANS AND VERTICAL CURVES HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 3. AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOLOGICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP SHOWING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBGRADE AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 4. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 5. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 6. A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 7. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:30 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

GEO TECHNICAL NOTES

1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
3. AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOLOGICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP SHOWING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBGRADE AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.

INSPECTION NOTES

1. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK.

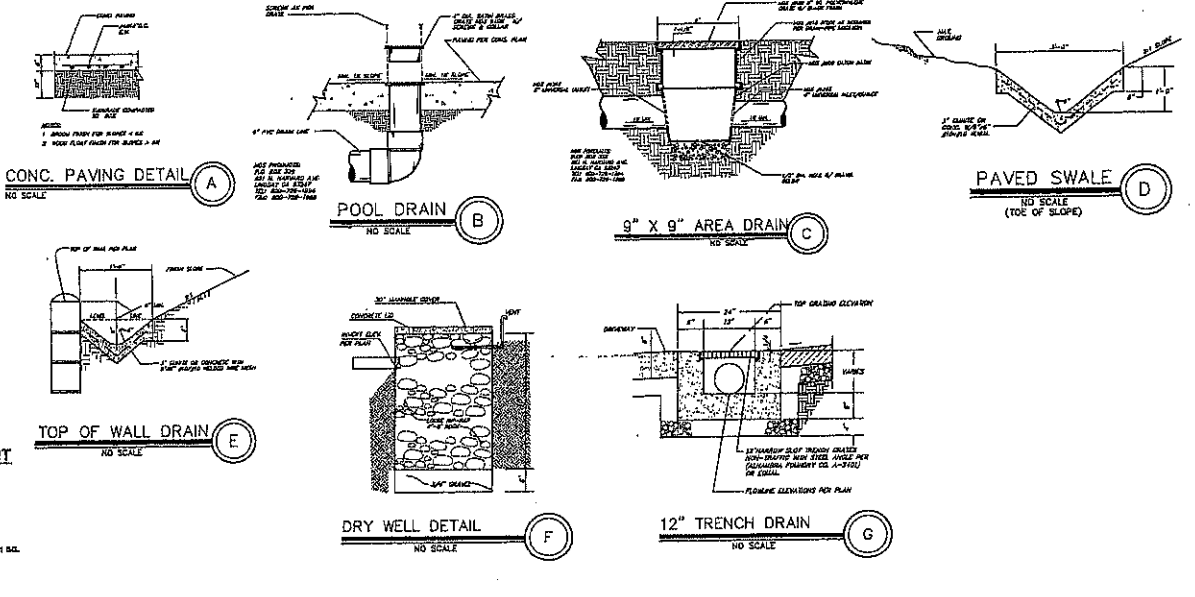


LEGEND AND SYMBOLS

- AC - ASPHALTIC CONCRETE
- BP - BOTTOM OF FOOTING OR - BOTTOM OF BENCH
- CF - CURB FACE
- E - EXISTING
- CLP - CHAIN LINK FENCE
- CO - CLEAN OUT
- CS - CURB SIDE
- DA - DAYLIGHT
- EP - EDGE OF PAVEMENT
- FF - FINISHED FLOOR
- FG - FINISHED GRADE
- FR - FIRE HYDRANT
- FL - FLOWLINE
- FS - FINISH SURFACE
- HF - HANDICAP RAMP UP - HIGH POINT
- RY - RIVER
- NG - NATURAL GROUND
- NH - NOT TO SCALE
- PL - PROPERTY LINE
- POB - POINT OF BEGINNING
- SMH - STORM DRAIN MANHOLE
- SMH - SEWER MANHOLE
- TS - TYPICAL
- TF - TOP OF FLOOR
- TC - TOP OF CURB
- TF - TOP OF FOOTING
- TY - TOP OF DRIVE
- TY - TOP OF DRIVE
- TY - TYPICAL
- NH - WATER METER
- WV - WATER VALVE

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
2323 LAS VIRGENES ROAD
GALATIAS, CA 91502
(916) 880-4115
- ELECTRICAL:** SOUTHERN CALIFORNIA EDISON
258 FORTYFOUR DRIVE
THOUSAND OAKS, CA 91321
(818) 464-5616
- TELEPHONE:** SBC (PAC BELL)
1601 RAYNES STREET, #116
VAN NUYS, CA 91410
(818) 377-6428
- GAZ:** SOUTHERN CALIFORNIA GAS
9100 GANDALE AVENUE
CHATSWORTH, CA 91313
(818) 701-6338
- SEWER:** LA COUNTY DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1000 S. FREMONT AVENUE, BLDG. 40 EAST
ALHAMBRA, CA 91802
(818) 396-3388
- CABLE:** JOELPHIA
3233 TELLER ROAD
HERMIST PARK, CA 91326
(818) 375-6313
- CABLE:** CHARTER COMMUNICATIONS
3400 CROCKER CREEK ROAD
SALINAS, CA 94466
(415) 458-9116
- CALTRANS:** CALTRANS
3846 REDWOOD BULLYVARD
TARZANA, CA 91359
(818) 388-1428



PROJECT GEO TECHNICAL CONSULTANT

MYC ENGINEERING, INC. TEL: (626) 287-6416 FAX: (626) 287-6400
5124 TEMPLE CITY BLVD., CITY OF TEMPLE CITY, CA 91784
PRINC. SOILS ENGR.: JEFF YANG, PRINC. GEOLOGIST: CHARLES SCHROETER

SOILS REPORTS:

1. PRELIMINARY SOILS AND GEOLOGIC REPORT DATED 8-25-2001, P.N. 104-101-02.
2. ADDENDUM REPORT DATED 11-17-2001, P.N. 286-102-02A.
3. ADDENDUM REPORT'S DATED 04-04-2002, P.N. 286-102-02B.
4. ADDENDUM REPORT'S DATED 11-14-2004, P.N. 286-102-1-02A-D.
5. ADDENDUM REPORT'S DATED 2-9-2007, P.N. 286-102-1-02A-D.

STORMWATER POLLUTION NOTES

1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF CHWICE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
2. A SITE-SPECIFIC, "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND INDICATE THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 01, AND IMPLEMENTED FROM NOVEMBER 01ST THROUGH APRIL 01ST.
3. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER DECKETS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

1. APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (618) 381-7234, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

ABBREVIATIONS

- AC - ASPHALTIC CONCRETE
- BP - BOTTOM OF FOOTING OR - BOTTOM OF BENCH
- CF - CURB FACE
- E - EXISTING
- CLP - CHAIN LINK FENCE
- CO - CLEAN OUT
- CS - CURB SIDE
- DA - DAYLIGHT
- EP - EDGE OF PAVEMENT
- FF - FINISHED FLOOR
- FG - FINISHED GRADE
- FR - FIRE HYDRANT
- FL - FLOWLINE
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- HF - HANDICAP RAMP UP - HIGH POINT
- RY - RIVER
- NG - NATURAL GROUND
- NH - NOT TO SCALE
- PL - PROPERTY LINE
- POB - POINT OF BEGINNING
- SMH - STORM DRAIN MANHOLE
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- TS - TYPICAL
- TF - TOP OF FLOOR
- TC - TOP OF CURB
- TF - TOP OF FOOTING
- TY - TOP OF DRIVE
- TY - TOP OF DRIVE
- TY - TYPICAL
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- WV - WATER VALVE

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
1	GENERAL NOTES AND DETAILS
2	GRADING PLAN
3	GRADING DETAILS
4	SWPPP / EROSION CONTROL PLAN
5	STREET IMPROVEMENT NOTES
6	STREET IMPROVEMENT PLAN

ESTIMATED EARTHWORK QUANTITIES

ESTIMATED CUT:	2,473 CY	ESTIMATED EXPORT:	887 CY
ESTIMATED FILL:	3,182 CY	ESTIMATED IMPORT:	_____ CY
ESTIMATED OVER-EXCAVATION:	NONE CY		

BENCH MARK:

DESCRIPTION: BM NO. (SEE SHEET NO. 2) ASSUMED ELEVATION: 100.00' SURVEY DATE: 3/25/03

RECORD DRAWING STATEMENT

I, _____, ENGINEER CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK SHOWN HEREON, THROUGHOUT, HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER	DATE	REVISION	EXP. DATE

SOILS APPROVAL

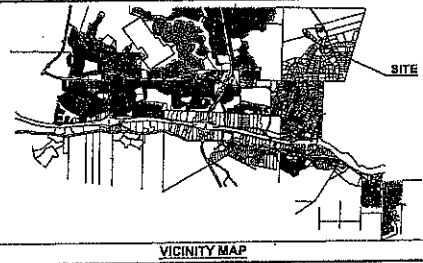
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____.

REGISTERED GEOLOGIST	DATE	REVISION	EXP. DATE

OWNER
NAME: EHUD LAMBURG
ADDRESS: 5919 TOPEKA DR., TARZANA, CA. 91356
REPRESENTATIVE:
TELEPHONE:

CIVIL ENGINEER
NAME: CAL CIVIC ENGINEERING
ADDRESS: 2160 PARNELL WAY, ALTADENA
REPRESENTATIVE: IVAN CHIU
TELEPHONE: (626) 798-2828

GEO TECHNICAL ENGINEER
NAME: MYC ENGINEERING, INC.
ADDRESS: 5224 TEMPLE CITY BLVD., TEMPLE CITY, CA. 91780
REPRESENTATIVE: JEFF YANG
TELEPHONE: (626) 287-6416



REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE
1		ADD STREET IMPROVEMENTS PLAN & NOTES	44672	MAY/26/2006
2		ADD GEO TECHNICAL NOTES	44672	SEP/22/2004

PREPARED BY: IVAN CHIU DATE: 5/25/08
PROJECT ENGINEER: DATE: _____
REVIEWED BY: DATE: _____

CITY OF AGOURA HILLS APPROVAL

REGISTERED CIVIL ENGINEER	DATE	REVISION	EXP. DATE

AGOURA HILLS

GRADING 01/07/2008
PROJECT NO. _____ SHEET 1 OF 6

BENCHMARK:
 F.D. B.M. # 9982 AT THE N.W. CORNER
 OF THE INTERSECTION OF FAIRVIEW PL.
 AND CHESSBRO RD.
 ASSUMED EL. = 100.00'

TOTAL LOT AREA = 49,328 S.F.
 TOTAL BLDG. FOOTPRINT = 3,080 S.F.
 TOTAL GRADED AREA = 23,770 S.F.
 TOTAL DRIVEWAY & PAVING AREA = 5,198 S.F.
 AVG. SLOPE = 1 FT X 13,995 FT X 100 = 27.6%
 49,328 S.F.

PERCENT OF GRADED AREA
 $(23,770 \text{ S.F.} - 5,198 \text{ S.F.}) \div 100 = 37.65\%$
 49,328 S.F.

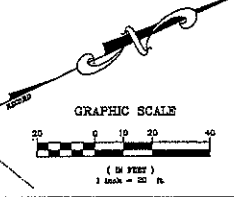
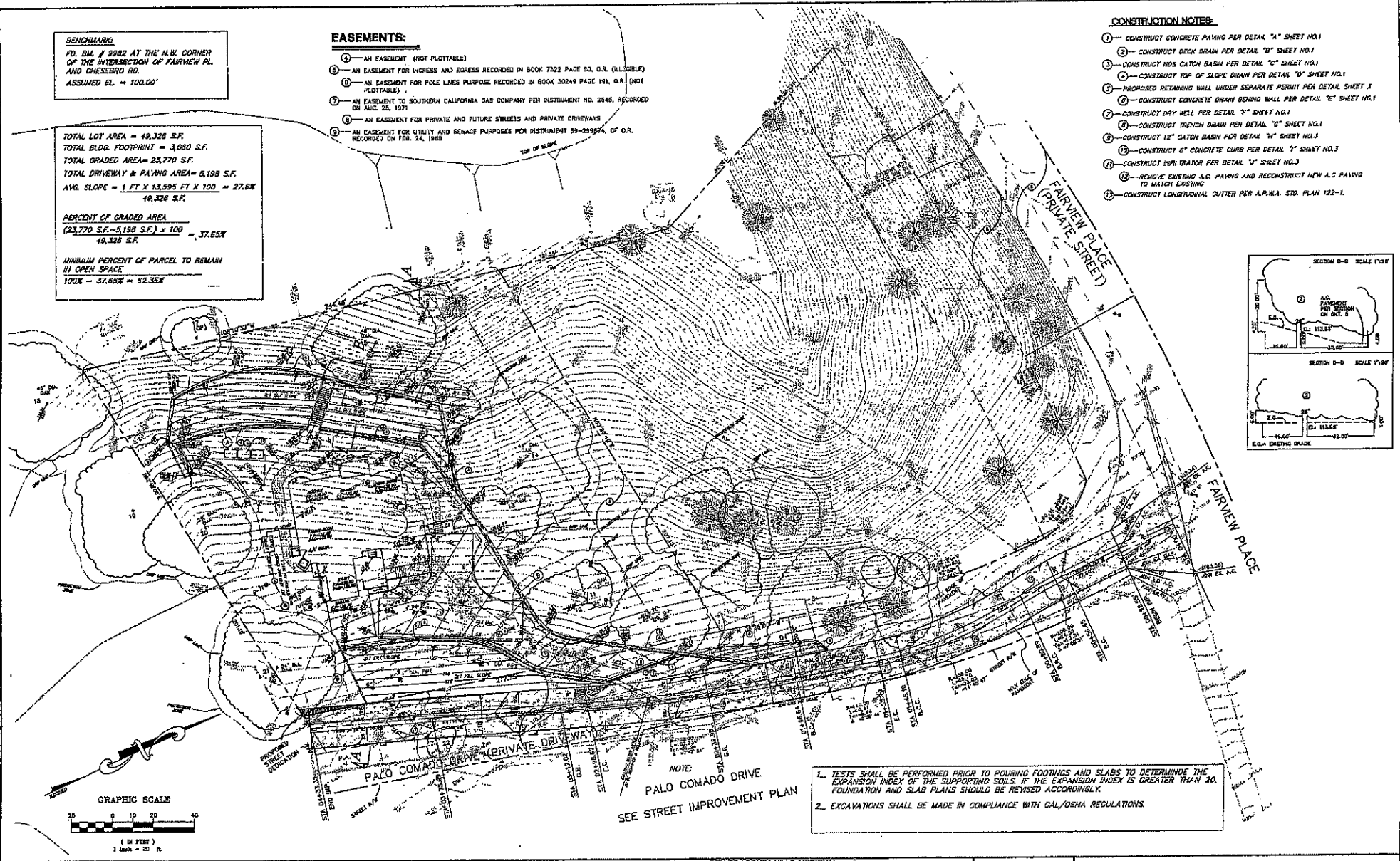
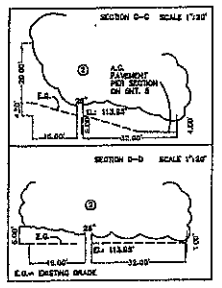
MINIMUM PERCENT OF PARCEL TO REMAIN
 IN OPEN SPACE
 100% - 37.65% = 62.35%

EASEMENTS:

- ① - AN EASEMENT (NOT PLOTTABLE)
- ② - AN EASEMENT FOR INGRESS AND EGRESS RECORDED IN BOOK 7322 PAGE 80, O.R. (ILLUSIBLE)
- ③ - AN EASEMENT FOR POLE LINES PURPOSE RECORDED IN BOOK 30249 PAGE 191, O.R. (NOT PLOTTABLE)
- ④ - AN EASEMENT TO SOUTHERN CALIFORNIA GAS COMPANY PER INSTRUMENT NO. 2545, RECORDED ON AUG. 25, 1971
- ⑤ - AN EASEMENT FOR PRIVATE AND FUTURE STREETS AND PRIVATE DRIVEWAYS
- ⑥ - AN EASEMENT FOR UTILITY AND SEWAGE PURPOSES PER INSTRUMENT 69-299574, O.R. RECORDED ON FEB. 24, 1968

CONSTRUCTION NOTES:

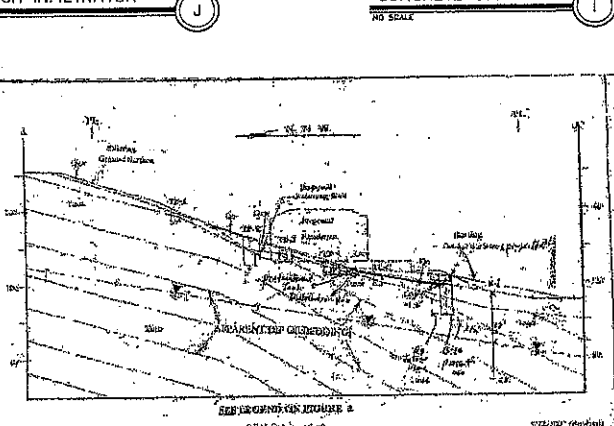
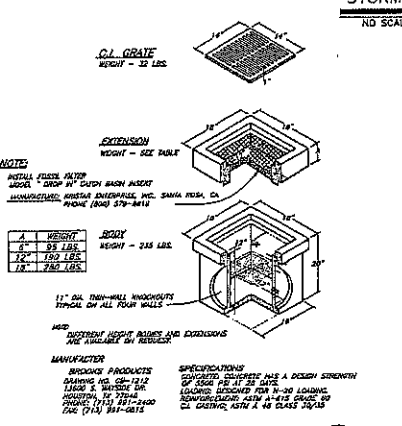
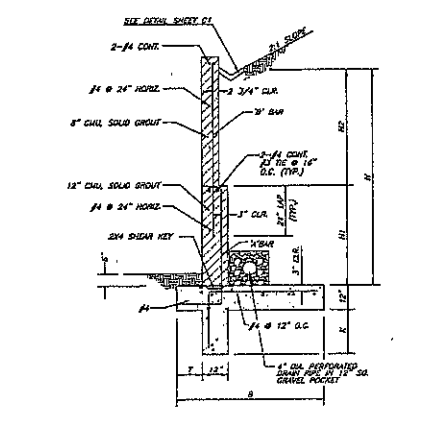
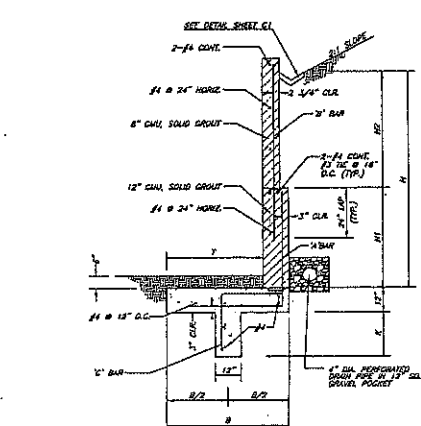
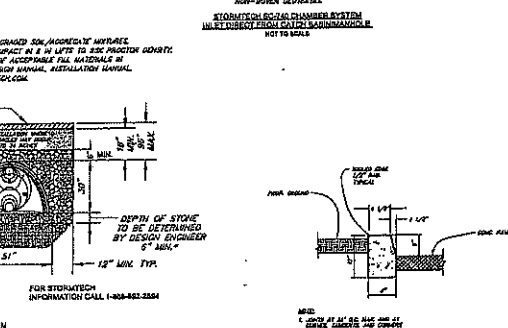
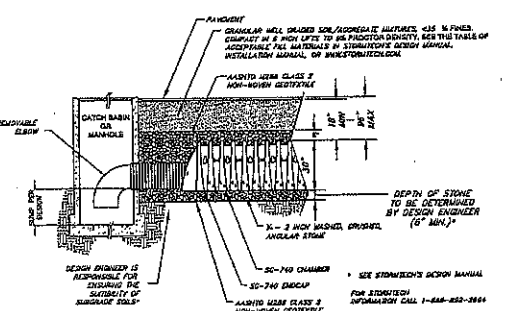
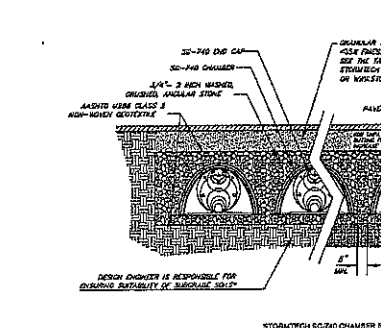
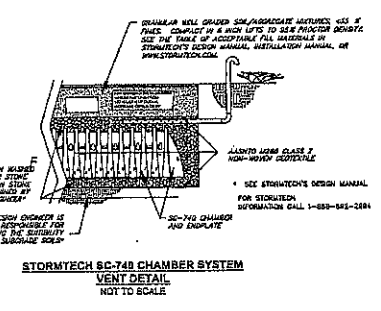
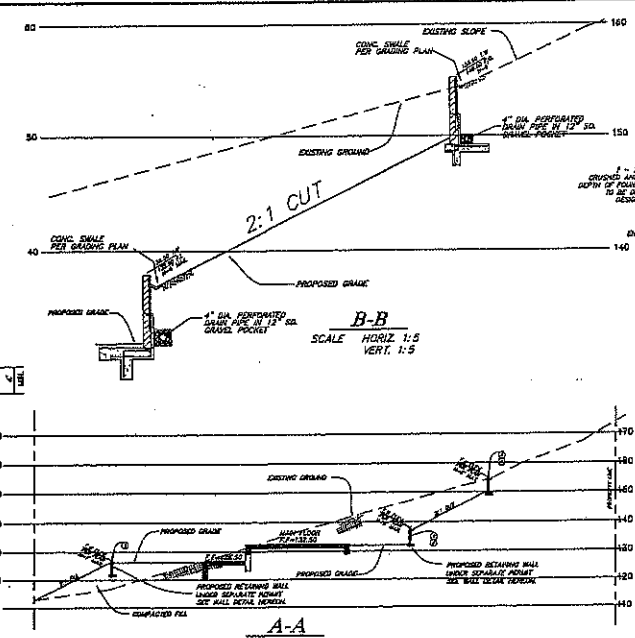
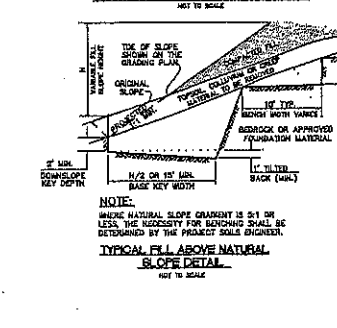
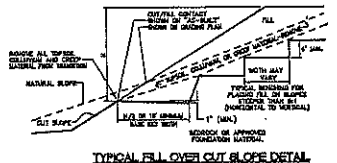
- ① - CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO.1
- ② - CONSTRUCT DECK DRAIN PER DETAIL "B" SHEET NO.1
- ③ - CONSTRUCT NOS CATCH BASIN PER DETAIL "C" SHEET NO.1
- ④ - CONSTRUCT TOP OF SLOPE DRAIN PER DETAIL "D" SHEET NO.1
- ⑤ - PROPOSED RETAINING WALL UNDER SEPARATE PERMIT PER DETAIL SHEET J
- ⑥ - CONSTRUCT CONCRETE DRAIN BEHIND WALL PER DETAIL "E" SHEET NO.1
- ⑦ - CONSTRUCT DRY WELL PER DETAIL "F" SHEET NO.1
- ⑧ - CONSTRUCT TRENCH DRAIN PER DETAIL "G" SHEET NO.1
- ⑨ - CONSTRUCT 12" CATCH BASIN PER DETAIL "H" SHEET NO.1
- ⑩ - CONSTRUCT 6" CONCRETE CURB PER DETAIL "I" SHEET NO.3
- ⑪ - CONSTRUCT INFLTRATOR PER DETAIL "J" SHEET NO.3
- ⑫ - REMOVE EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
- ⑬ - CONSTRUCT LONGITUDINAL OUTER PER A.P.W.A. STD. PLAN 122-1.



NOTE:
 PALO COMADO DRIVE
 SEE STREET IMPROVEMENT PLAN

- 1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 20, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.

				PREPARED BY: CALCIVIC ENGINEERING GROUP <small>CONSULTING ENGINEERS & LAND SURVEYORS 2140 FERRIS, VAN ANSLEY, LOS ANGELES, CALIF. 90008 (213) 475-3200 FAX (213) 475-3441</small>		CITY OF AGOURA HILLS APPROVAL:			GRADING PLAN			
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY			DATE	RAMIRO ADEVA CITY ENGINEER	DATE: RC#NO. 8886 EXP. DATE:



N	H1	H2	B	T	X	3\"/>
3'-4"	3'-4"	3'-0"	3'-0"	0'-8"		H @ 18"
4'-2"	4'-2"	3'-8"	3'-10"	1'-3"		H @ 18"
5'-4"	5'-4"	5'-0"	5'-0"	1'-8"		H @ 18"

N	H1	H2	B	T	X	3\"/>
4'-0"	4'-0"	4'-0"	1'-8"	0'-8"		H @ 18"
5'-0"	5'-0"	3'-8"	4'-0"	1'-8"	1'-3"	H @ 18"
5'-4"	5'-4"	4'-8"	5'-0"	1'-8"	1'-8"	H @ 18"

**STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
WET WEATHER EROSION CONTROL (WWECP) GENERAL NOTES:**

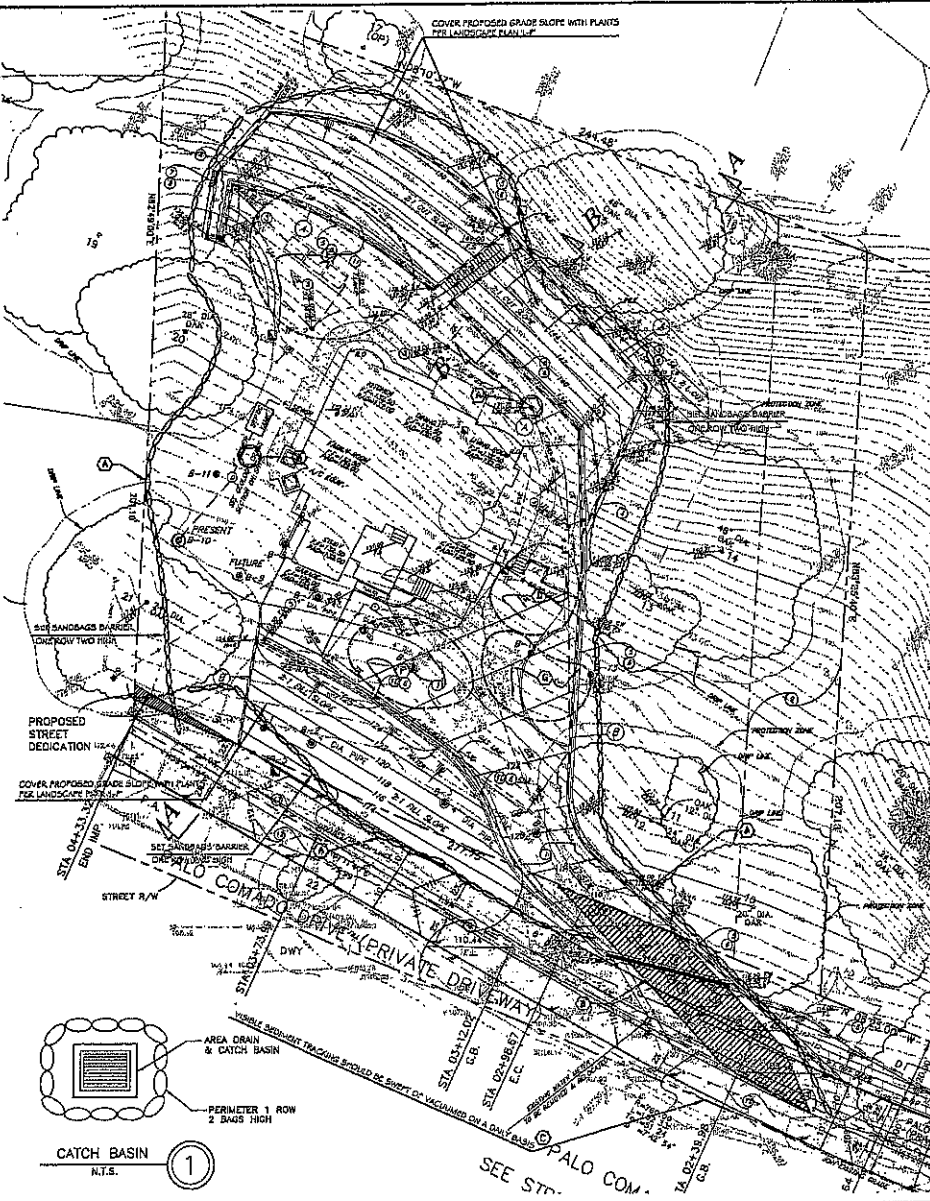
1. In case of emergency, call 911.
2. A clearly open emergency work shall be available at all times through the entry passage (November 1 to April 15). Necessary materials shall be available on-site and stockpiled at convenient locations to facilitate rapid construction of emergency access when rain is imminent.
3. Grass seeded areas shown on this plan may be removed when approved by the Building Official if the grading operation has progressed to the point where they are no longer required.
4. Graded areas adjacent to all areas located at the site perimeter must drain away from the top of slope at the conclusion of each working day. All ditches shall be stable that may create a potential hazard to off-site property shall be stabilized or removed from the site on a daily basis.
5. All soil and debris shall be removed from all devices within 24 hours after each rainstorm and be disposed of properly.
6. A permit shall be posted on the site whenever the depth of water in any device exceeds two feet. The device shall be drained or pumped dry within 24 hours after each rainstorm. Pumping and draining of all water and drainage devices must comply with the appropriate BMP for stormwater operations.
7. The placement of additional devices to reduce stream channel and surface pollutants within the site is left to the discretion of the Final Engineer. Additional devices are needed shall be installed to retain sediment and other pollutants on site.
8. Draining basins may not be removed or made inoperable between November 1 and April 15 of the following year without the approval of the Building Official.
9. Storm Water Pollution and Erosion Control devices are to be modified as needed, on the project progress, the design and placement of these devices is the responsibility of the final engineer. Plans representing changes must be submitted for approval if requested by the Building Official.
10. Every effort should be made to minimize the discharge of sediment water from the project site at all times.
11. Graded surfaces and other pollutants shall be retained on-site and not be transported from the site via sheet flow, rills, ruts, or other natural drainage channels, or wind.
12. Stacks of earth and other construction-related materials must be protected from being transported from the site by the force of wind or rain.
13. Fuel, oil, grease, and other hazardous materials shall be stored in accordance with their labeling and are not to be transported to the site and neither return. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
14. Areas of water resources may not be washed into the public way or any other drainage system.
15. Personnel shall make it their duty to retain concrete wash water and other materials that are by-product of wet weather. Drainage/Construction are responsible to report to County Concrete Drainage and that it is retained and disposed properly if there is a 10% chance of 0.25 inches or greater of precipitation. Precipitation and other actual precipitation. A notification and inspection checklist and inspection log shall be maintained at the project site at all times and available for review by the Building Official (copies of the notification checklist and inspection log are available upon request).
16. Trash and construction-related solid waste must be deposited into a covered receptacle to prevent contamination of materials and disposal by wind.
17. Sediment and other materials may not be treated from the site by vehicle traffic. The construction entrance roadway must be stabilized as to avoid rutting from heavy equipment and the public way. Additional stabilization must be swept up immediately and may not be required when it rains or after snow.
18. Any slopes with disturbed soil or denuded of vegetation must be stabilized as to avoid rutting by wind and water.
19. As the architect/engineer of record, I have retained appropriate BMPs to effectively minimize the negative aspects of the project's construction activities as storm water quality. The architect/engineer and contractor are aware that the selected BMPs must be installed, maintained, and monitored to ensure their effectiveness. The BMPs that are implemented for implementation are retained or deemed not applicable to the proposed construction activity.

Site Engineer/Architect Signature _____ **Date** _____

20. The following notes must be on the plan (or submitted as a separate document - prior to plan approval):

As the project owner or authorized agent of the owner, I have read and understand the requirements to control storm water pollution from sediment, erosion, and construction materials, and I certify that I will comply with these requirements. I, or my representative, contractor, designer, or engineer, will make certain that all BMPs shown on this plan will be fully implemented and all erosion control devices will be installed and functioning. Any modification of the BMPs to be constructed or a current log, specifying the exact nature of the inspection and my retained responsibility, will be kept at the construction site at all times and will be available for the review of the Building Official.

As the project owner or authorized agent of the owner, I hereby certify that the documents and all attachments were prepared under my direction or supervision in accordance with a written design that ensures that qualified personnel properly gather and evaluate the information submitted. Based on my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or deceptive information, failing to update the final SWPPP to reflect current conditions, or failing to properly install and/or adequately maintain the listed BMPs may result in revocation of grading and/or other permits or other sanctions provided by law.



NOTES:

1. WET SUPPRESSION WATERING METHOD SHOULD BE EMPLOYED FOR AREAS BEING CONSTRUCTED TO PREVENT EROSION FROM BEING CAUSED AWAY BY WIND AS PER PER 1.
2. ALL SPILLS SHOULD BE CONTAINED FROM SPREADING OR HAZARDOUS SPILLS THAT CANNOT BE CONTROLLED BY PROSSING IN THE IMMEDIATE VICINITY. LOCAL EMERGENCY RESPONSE SHOULD BE NOTIFIED BY CALLING 911. IN ADDITION TO 911, THE CONTRACTOR WILL NOTIFY THE PROPER COUNTY OFFICIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EMERGENCY PHONE NUMBERS AT THE CONSTRUCTION SITE.
3. DRILLING BASIN AND SANDBAGS SHOWN ON THIS PLAN SHALL BE ADJUSTED AS NEEDED TO CONFORM WITH ACTUAL CONDITIONS AS GRADING PROGRESSES TO PREVENT ON AND OFF-SITE CONTROL PREVENTION.

EROSION WWECP, AND SWPPP NOTES:

- The following BMPs are outlined in, but not limited to, the California Stormwater Quality Association, Stormwater Best Management Practices Handbook Construction, Volume 1, or the latest revised edition, may apply during the construction of the project (additional measures may be required if deemed appropriate by County Inspectors)
- (A) SANDBAG BARRIER PER SE-8 (SEE DETAIL) 1" FOR CATCH BASINS
 - (B) STABILIZED CONSTRUCTION ENTRANCE/EXIT PER 10-1
 - (C) STREET SWEEPING AND VACUUMING NECESSARY TO KEEP STREET CLEAN PER SE-7
 - (D) STOCKPILE MANAGEMENT AS PER 1M-3
 - (E) MATERIAL DELIVERY/STORAGE AS PER 1M-1
 - (F) WASTE COLLECTION AREA AS PER 1M-2, 3, 4, 5, 6, 7 AND 1M-8
 - (G) VEHICLE/EQUIPMENT CLEANING, FUELING, AND MAINTENANCE AS PER NS-8, 9, AND NS-10

ATTACHMENT 'A' NOTES

1. Every effort should be made to eliminate the discharge of non-storm water from the project site at all times.
2. Erosion sediments and other pollutants must be retained on-site and may not be transported from the site via sheet flow, rills, ruts, or other natural drainage courses or wind.
3. Stacks of earth and other construction related materials must be protected from being transported from the site by the force of wind and water.
4. Fuel, oil, grease, and other toxic materials must be stored in accordance with their labeling and are not to be transported to the site and neither return. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
5. Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wash water on-site and they can be disposed of as solid waste.
6. Trash and construction related solid waste must be deposited into a covered receptacle to prevent contamination of materials and disposal by wind.
7. Sediment and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadway must be stabilized as to avoid rutting from heavy equipment and the public way. Additional stabilization must be swept up immediately and may not be washed down by rain or other means.
8. Any slopes with disturbed soil or denuded of vegetation must be stabilized as to avoid rutting by wind and water.
9. As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediment, erosion, and construction materials, and I certify that I will comply with these requirements.

Print Name _____ **(Owner or authorized agent of the owner)**

Signature _____ **(Owner or authorized agent of the owner)** **Date** _____

ATTACHMENT 'B' NOTES

The following BMPs are outlined in, but not limited to, the California Stormwater Best Management Practices Handbook, Volume 1, or the latest revised edition, may apply during the construction of the project (additional measures may be required if deemed appropriate by County Inspectors)

- EROSION CONTROL**
- EC1- SCHEDULING
 - EC2- PRESERVATION OF EXISTING VEGETATION
 - EC3- HYDRAULIC WALLS
 - EC4- HYDROSEEDING
 - EC5- SLOE BUNDLES
 - EC6- STRAW MATS
 - EC7- GEOTEXTILES & NETS
 - EC8- WOOD MULCHING
 - EC9- EARTH MATS AND GRASS SWALES
 - EC10- VEGETIC DESIGNATION SERVICES
 - EC11- SLOPE DRAPES
 - EC12- STRAWBANK STABILIZATION
- TEMPORARY SEDIMENT CONTROL**
- SE1- SILT FENCES
 - SE2- SEDIMENT BASIN
 - SE3- SEDIMENT TRAP
 - SE4- CHECK DAM
 - SE5- FIBER ROLLS
 - SE6- CONCRETE SAND BATH
 - SE7- STREET SWEEPING AND VACUUMING
 - SE8- SANDBAG BARRIER
 - SE9- STORM DRAIN INLET PROTECTION
 - SE10- STORM DRAIN INLET PROTECTION
- WIND EROSION CONTROL**
- WE1- WIND EROSION CONTROL
- EQUIPMENT TRACKING CONTROL**
- TC1- STABILIZED CONSTRUCTION ENTRANCE EXIT
 - TC2- STABILIZED CONSTRUCTION ROADWAY
 - TC3- ENTRANCE/OUTLET TIRE WASH
- WATER POLLUTION MANAGEMENT**
- NS1- WATER CONSERVATION PRACTICES
 - NS2- CONSTRUCTION OPERATIONS
 - NS3- PAVING AND GRADING OPERATIONS
 - NS4- TEMPORARY STREAM CROSSING
 - NS5- CLEAR WATER DIVERSION
 - NS6- ILLUOY CONNECTION/DISCHARGE
 - NS7- PORTABLE WATER PUMP/GENERATOR
 - NS8- VEHICLE AND EQUIPMENT CLEANING
 - NS9- VEHICLE AND EQUIPMENT FUELING
 - NS10- CONCRETE WASTE MANAGEMENT
 - NS11- PILE DRIVING OPERATIONS
 - NS12- CONCRETE FINISHING
 - NS13- CONCRETE EQUIPMENT USE
 - NS14- DEMOLITION ADJACENT TO WATER
 - NS15- TEMPORARY BATCH PLANTS
- WIND-STOP/WATER MANAGEMENT**
- WM1- MATERIAL POLLUTION CONTROL
 - WM2- MATERIAL DELIVERY AND STORAGE
 - WM3- MATERIAL USE
 - WM4- STOCKPILE MANAGEMENT
 - WM5- SPILL PREVENTION AND CONTROL
 - WM6- SOLID WASTE MANAGEMENT
 - WM7- HAZARDOUS WASTE MANAGEMENT
 - WM8- CONTAMINATION SOIL MANAGEMENT
 - WM9- CONCRETE WASTE MANAGEMENT
 - WM10- SANITARY/SEPTIC WASTE MANAGEMENT
 - WM11- LIQUID WASTE MANAGEMENT

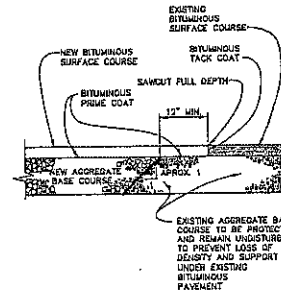
REV		SYMBOL	DESCRIPTION OF CHANGE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	JAMES E. THORSEN CITY ENGINEER	DATE	RCREV	EXP DATE	CITY OF AGOURA HILLS DWR, INC.
<p>PREPARED BY: _____ CITY OF AGOURA HILLS APPROVAL _____</p> <p>PROJECT ENGINEER: _____ DATE: _____</p> <p>REVIEWED BY: _____ DATE: _____</p> <p>JAMES E. THORSEN DATE: _____ RCREV: _____ EXP DATE: _____</p> <p>CITY OF AGOURA HILLS</p>													
PROJECT NO. _____												SHEET 4 OF 6	

STREET IMPROVEMENT NOTES

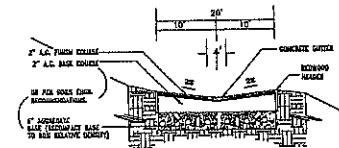
- ALL WORK SHALL CONFORM TO THESE IMPROVEMENT PLANS, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) "GREENBOOK", AND THE STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION (SPPHC).
 - NO DEVIATION FROM THESE PLANS SHALL BE MADE UNLESS A CHANGE ORDER IS APPROVED BY THE CITY ENGINEER.
 - ALL CONTRACTORS AND SUBCONTRACTORS DOING WORK WITHIN CITY LIMITS SHALL POSSESS A VALID BUSINESS REGISTRATION WITH THE CITY OF AGOURA HILLS PRIOR TO COMMENCING WORK.
 - CONTRACTORS SHALL COMPLY WITH ALL CAL-OSHA SAFETY STANDARDS.
 - CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING WORK AND TWENTY-FOUR (24) HOURS IN ADVANCE OF SPECIFIC INSPECTION NEEDS DURING THE COURSE OF THE WORK.
 - ALL WORK SHALL BE PERFORMED BETWEEN THE HOURS OF 7:00 AM AND 4:00 PM AND IS SUBJECT TO INSPECTION BY THE PUBLIC WORKS DEPARTMENT.
 - CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE CITY ENGINEER PRIOR TO COMMENCING WORK.
 - CONTRACTORS SHALL LOCATE, PROTECT AND SAVE ANY AND ALL SURVEY MONUMENTS THAT ARE TO BE OR MAY BE MANAGED OR DESTROYED BY THESE OPERATIONS. ONCE FOUND, THE CONTRACTOR SHALL THEN NOTIFY BOTH THE DEVELOPER'S CIVIL ENGINEER AND THE CITY'S PUBLIC WORKS INSPECTOR. THE SUPERVISING CIVIL ENGINEER SHALL RESET ALL SAID MONUMENTS PER THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR PARTNER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC AND PRIVATE PROPERTY INsofar AS IT MAY BE AFFECTED BY THESE OPERATIONS. ALL COSTS FOR PROTECTING, REPAIRING, AND RESTORING EXISTING IMPROVEMENTS SHALL BE BORNE BY THE CONTRACTOR.
 - EXISTING TRAFFIC SIGNS ARE NOT TO BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF THE CITY ENGINEER. AS A MINIMUM, CONSTRUCTION WORKZONES TRAFFIC SIGNS AND STRIPING SHALL BE FURNISHED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE "WORK AREA TRAFFIC CONTROL HANDBOOK" (W.A.T.C.H. MANUAL). TRAFFIC SIGNS AND STRIPING SHALL BE FURNISHED AT THE DEVELOPER'S EXPENSE.
 - ALL MEASURES SHALL BE TAKEN TO ENSURE THAT DUST CONTROL IS MAINTAINED AT ALL TIMES THROUGH THE DURATION OF THE PROJECT.
 - ALL UNDERGROUND UTILITIES AND SERVICE LATERALS SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION OF CURBS, CURBSIDE SIDEWALKS, AND PARKING UNLESS OTHERWISE PERMITTED BY THE CITY ENGINEER.
 - "RECORD DRAWING" PLANS SHALL BE SUBMITTED PRIOR TO FINAL MULTI-PARTY INSPECTION AND ACCEPTANCE OF THE IMPROVEMENTS BY THE CITY.
 - ALL TRAFFIC MEDIANS SHALL BE DESIGNED AND CONSTRUCTED PER CITY ENGINEER APPROVAL.
 - TRENCH WORK SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. "C" CURBSIDE SHALL BE APPLIED TO ALL TRENCH CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. REFER TO DETAIL DRAWING FOR TRENCH SECTION.
 - EQUESTRIAN TRAILS AND FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER. EQUESTRIAN TRAILS ON PUBLIC-MAINTAINED ROADS REQUIRE DESIGNATION OF TRAIL CASEMENTS TO THE CITY OF AGOURA HILLS. APPLICANT IS RESPONSIBLE FOR PREPARING ALL LEGAL DOCUMENTATION NEEDED TO SECURE CASEMENT. EQUESTRIAN TRAILS ON PRIVATE ROADS ARE TO BE MAINTAINED AT THE EXPENSE OF THE PROPERTY OWNERS.
 - AN ENCLOSUREMENT PERMIT IS REQUIRED OF ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY (ROW). ALL APPLICABLE FEES MUST BE PAID AND SECURITIES POSTED PRIOR TO ISSUANCE OF PERMIT. ALL WORK INVOLVING STREET IMPROVEMENTS REQUIRES APPROVAL FROM THE PUBLIC WORKS INSPECTOR.
 - APPLICANT SHALL ALLOW 48 HOURS ADVANCE NOTICE TO THE DEPARTMENT OF PUBLIC WORKS TO CONDUCT ALL INSPECTIONS.
 - CONTRACTOR SHALL TELEPHONE UNDERGROUND SERVICE ALERT (USA) 1-800-922-4133 A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
 - REQUIREMENT FOR STREET STRUCTURAL SECTION TO BE DETERMINED BY SOIL ANALYSIS AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF BASE MATERIALS.
 - WATER SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LAS VIRGENES MUNICIPAL WATER DISTRICT BODY MANUAL.
 - SEPARATION OF WATER AND WASTEWATER LINES SHALL BE IN ACCORDANCE WITH LAS VIRGENES MUNICIPAL WATER DISTRICT.
- PRIOR TO CONNECTION TO WATER AND SEWER MAINS IN THE PUBLIC RIGHT-OF-WAY, APPLICANT SHALL PROVIDE DOCUMENTATION FROM LAS VIRGENES MUNICIPAL WATER DISTRICT TO THE CITY STATING THAT ALL CONNECTION FEES HAVE BEEN PAID.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
4332 LAS VIRGENES ROAD
CALABASAS, CA 91302
(818) 865-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA Edison
3385 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 494-3744
- TELEPHONE:** SBC (PAC BELL)
1530 BALMAIN STREET #116
VAN NUYS, CA 91406
(818) 322-4488
- GAS:** SOUTHERN CALIFORNIA GAS
3400 DAKOTA AVENUE
CHATSWORTH, CA 91313
(818) 701-3304
- SEWER:** LA COUNTY DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1003 S. FREIGHT AVENUE, BLDG. 18 EAST
ALHAMBRA, CA 91803
(626) 300-3308
- CABLE:** ADELPHI
3322 TELLER ROAD
REVERENT PARK, CA 91320
(805) 375-5213
- CABLE:** CHARTER COMMUNICATIONS
3808 CROSSCREEK ROAD
CALIBUCA, CA 90248
(310) 458-8010
- CALTRANS:** CALTRANS
5680 HESEDA BOULEVARD
TERRANA, CA 91325
(805) 383-1430



ASPHALT PAVEMENT JOINT DETAIL



NOTES:
A.C. BASE COURSE SHALL BE TYPE II 50-50-1000 OR 50-10-1000.
A.C. FURCH COURSE SHALL BE TYPE II 50-10-1000.
FINAL A.C. FURCH COURSE (20") SHALL BE A MINIMUM OF 2" THICK.
CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC/WORKZONES SIGNS.

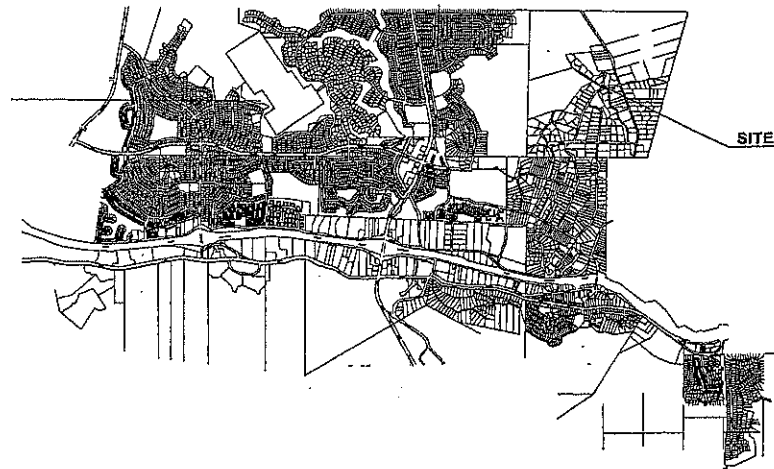
STREET CROSS-SECTION

SCALE 1" = 10'



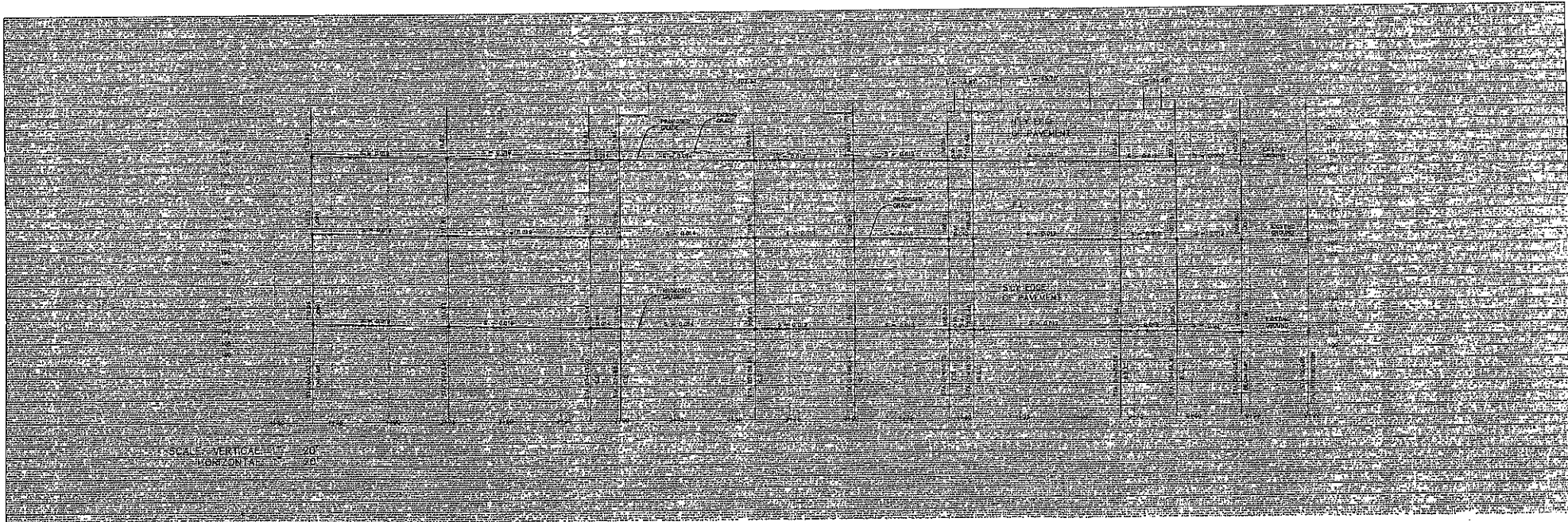
STORMWATER POLLUTION

- NOTES:**
- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED TO PREVENT THE TRANSPORT OF ONSITE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
 - A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPict THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
 - IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ONSITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSPECTS SHALL BE CLEARED OUT A MINIMUM OF THREE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

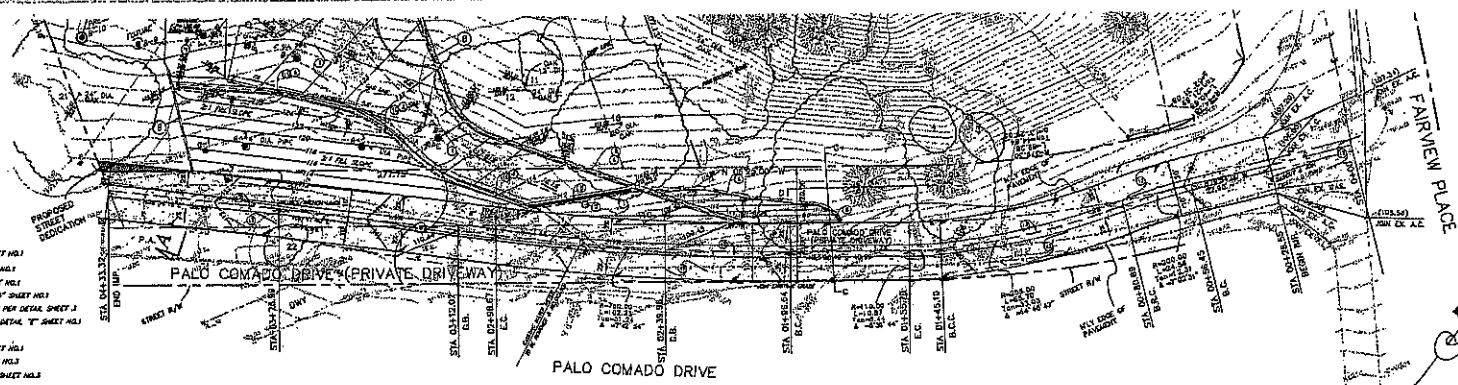


VICINITY MAP
NO SCALE

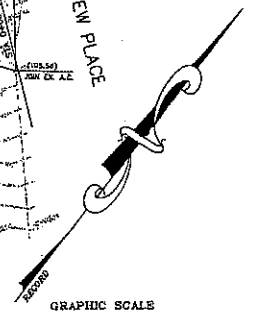
PREPARED BY:					CITY OF AGOURA HILLS APPROVAL							
REV	SYMBOL	DESCRIPTION OF CHANGE	NCE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO ADEVA CITY ENGINEER	DATE	RC#NCE#8888	EXP. DATE
										STREET IMPROVEMENTS NOTES		
PROJECT NO. _____										SHEET 5 OF 6		
CITY OF AGOURA HILLS DWG. NO. _____												




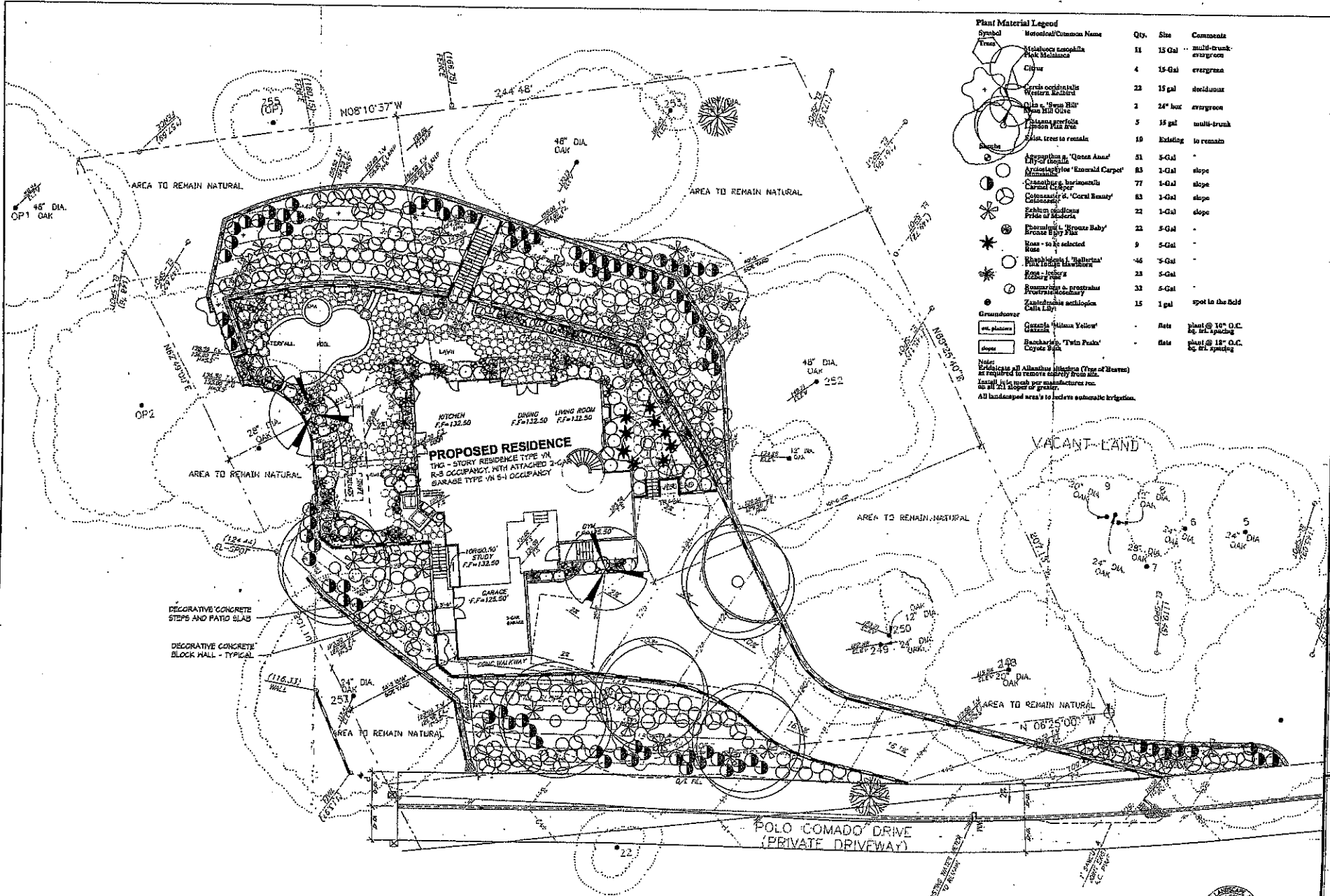
SCALE: HORIZONTAL 1" = 20' VERTICAL 1" = 20'



- CONSTRUCTION NOTES**
1. CONSTRUCT CONCRETE PAVING PER DETAIL "A" SHEET NO.1
 2. CONSTRUCT DECK DRAIN PER DETAIL "B" SHEET NO.1
 3. CONSTRUCT 18" CATCH BASIN PER DETAIL "C" SHEET NO.1
 4. CONSTRUCT 18" 4" SLANT BASH PER DETAIL "D" SHEET NO.1
 5. PROVIDE RETAINING WALL UNDER SEPARATE POINT PER DETAIL SHEET 2
 6. CONSTRUCT CONCRETE GRAB BOARD WALL PER DETAIL "E" SHEET NO.1
 7. CONSTRUCT DAY WALL PER DETAIL "F" SHEET NO.1
 8. CONSTRUCT SLOUCH DRAIN PER DETAIL "G" SHEET NO.1
 9. CONSTRUCT 18" CATCH BASIN PER DETAIL "H" SHEET NO.1
 10. CONSTRUCT 18" CONCRETE CURB PER DETAIL "I" SHEET NO.1
 11. CONSTRUCT INVERT/SLURRY PER DETAIL "J" SHEET NO.1
 12. PROVIDE EXISTING A.C. PAVING AND RECONSTRUCT NEW A.C. PAVING TO MATCH EXISTING
 13. CONSTRUCT LONGITUDINAL GUTTER PER A.P.M.A. STD. PLAN 102-6



				CITY OF AGOURA HILLS APPROVAL			
PREPARED BY:				CITY ENGINEER			
PROJECT ENGINEER				DATE			
REVIEWED BY:				DATE			
							
				PALO COMADO DRIVE (PRIVATE DRIVEWAY)			
				PROJECT NO. _____ SHEET <u>6</u> OF <u>6</u>			
				CITY OF AGOURA HILLS DWG. NO. _____			



Plant Material Legend

Symbol	Botanical/Common Name	Qty.	Size	Comments
Tree	<i>Melaleuca alternifolia</i> Pink Melaleuca	11	15 Gal	multi-trunk evergreen
	Cyperus	4	15-Gal	evergreen
	<i>Persea occidentalis</i> Cottonwood	23	15 Gal	deciduous
	Olive s. 'Sun Hill'	2	24" hot	evergreen
	<i>Palms perfoliata</i> Palm tree	5	18 gal	multi-trunk
	Shrub, tree to remain	19	Existing	to remain
	<i>Argemone s. 'Queen Anne'</i> 'Ry of Opuntia'	51	5-Gal	-
	<i>Argemone s. 'Emerald Carpet'</i>	83	1-Gal	slope
	<i>Ceanothus horizontalis</i> Carmel C. Syc	77	1-Gal	slope
	<i>Ceanothus s. 'Coral Beauty'</i> Ceanothus	83	1-Gal	slope
	<i>Sesbania sesbania</i> Pole of Ponderosa	22	1-Gal	slope
	<i>Phoradendron s. 'Rozema Baby'</i> Brouse Berry Plant	22	5-Gal	-
	Rose - to be selected	9	5-Gal	-
	<i>Rhaphidophora s. 'Ballarina'</i> Pink Lodge Maribrown	46	5-Gal	-
	<i>Rosa s. 'Indica'</i>	23	5-Gal	-
	<i>Rosa s. 'Pratincola'</i>	33	5-Gal	-
	<i>Zantedhaea aestivoides</i> Calla Lily	15	1 gal	spot in the field
Groundcover	<i>Geranium s. 'William Yellow'</i> Geranium	-	Rate	plant @ 10" O.C. @ 1/2 ft. spacing
	<i>Banksia s. 'Twin Peaks'</i>	-	Rate	plant @ 18" O.C. @ 1/2 ft. spacing

Note:
 Estimate all Allamanda altissima (Tree of Heaven)
 as required to remove existing from site.
 Install in 1/2 inch per manufacturer rec.
 as all 1/2" deeper or greater.
 All landscaped areas to include automatic irrigation.

PRELIMINARY LANDSCAPE PLAN
 SCALE: 1/4" = 1'-0"

AREA TABULATION

PLANT PLANTING	225 SQ FT
SECOND FLOOR	240 SQ FT
TOTAL LIVABLE	465 SQ FT
BASEMENT GARAGE	308 SQ FT

NOTE:
 ALL GLEAS HALLS TO HAVE EXTERIOR
 STICKED FRESH TO MATCH RESIDENCE



THE OFFICE OF
 SUSAN R. MCGOWEN
 LANDSCAPE ARCHITECT/PLANNER
 13000 RING OAK LANE
 CANTON, CALIFORNIA
 95721-2425

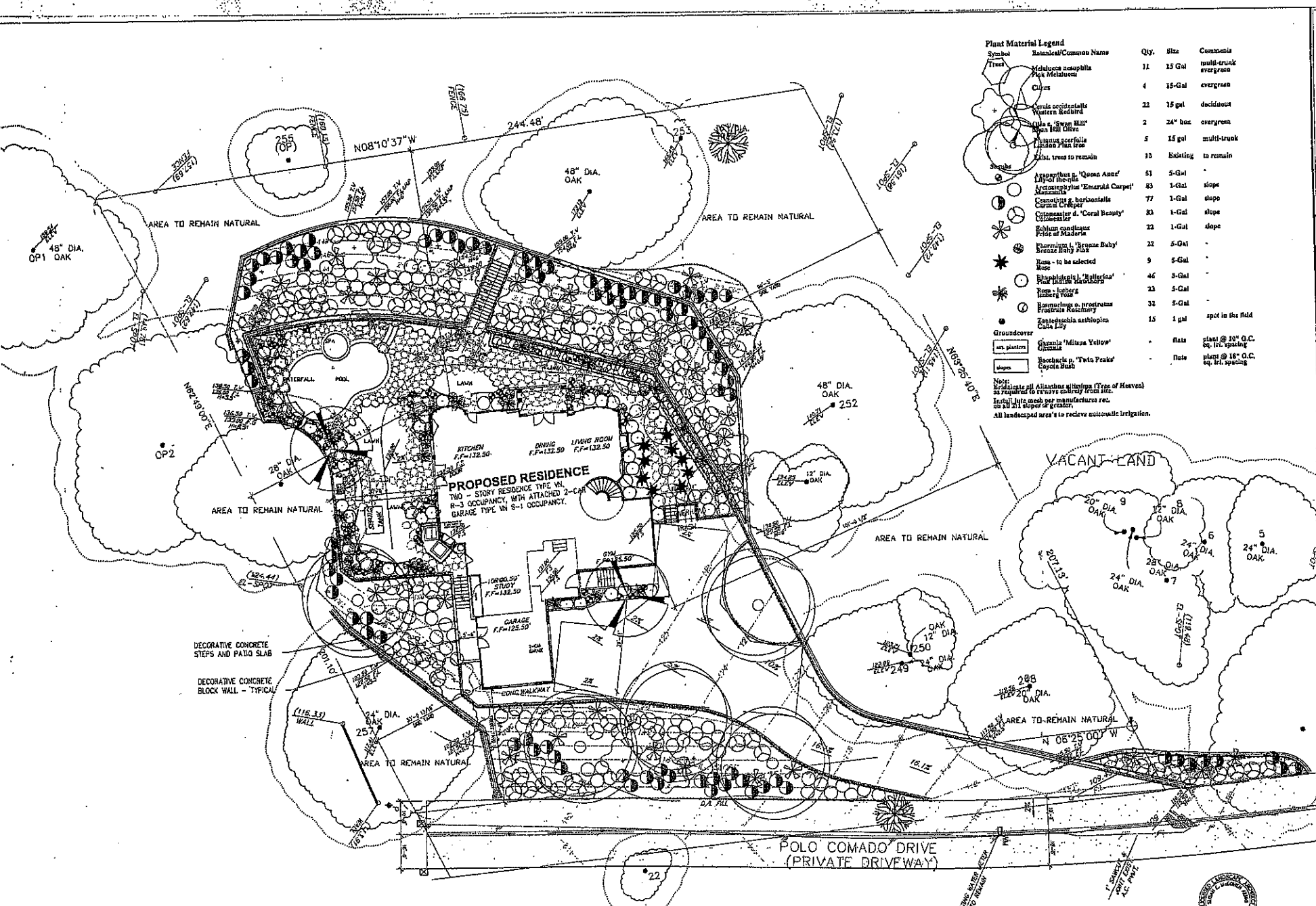
PROJECT NAME:
IAMBURG RESIDENCE
 CUSTOM RESIDENCE
 PALO COMADO, OLD AGORA

PRELIMINARY LANDSCAPE PLAN
 DRAWN: SKP
 REVISIONS:
 DATE: 10/27/08
 PLAN OR:
 PRINT:

KEN STOCKTON
 ARCHITECT
 2820 N. HAZARD ROAD, PALM BEACH, CALIFORNIA 94708
 TEL: 562-855-1111 FAX: 562-855-1112

SHEET NO.
L-P

NOT FOR CONSTRUCTION



Plant Material Legend

Symbol	Botanical/Common Name	Qty.	Size	Comments
(Tree)	<i>Melaleuca acutifolia</i> Wattlewax	11	15 Gal	multi-trunk evergreen
(Tree)	<i>Clusia</i>	4	15-Gal	evergreen
(Tree)	<i>Carya occidentalis</i> Western Redbird	23	15 gal	deciduous
(Tree)	<i>Thuja s. 'Savan Hill'</i> Nash Hill Blue	2	24" box	evergreen
(Tree)	<i>Juniperus scopulorum</i> Juniper Flat Iron	5	15 gal	multi-trunk
(Tree)	Exst. trees to remain	10	Existing	to remain
(Shrub)	<i>Myoporum s. 'Queen Anne'</i> Queen Anne	51	5-Gal	slope
(Shrub)	<i>Arctostaphylos 'Emerald Carpet'</i> Emerald Carpet	83	1-Gal	slope
(Shrub)	<i>Conocarpus s. herbostellata</i> Coral Carpet	77	1-Gal	slope
(Shrub)	<i>Colsonia d. 'Coral Beauty'</i> Coral Beauty	83	1-Gal	slope
(Shrub)	<i>Colsonia</i>	22	1-Gal	slope
(Shrub)	<i>Chorizanthe s. 'Bronze Baby'</i> Bronze Baby Pink	22	5-Gal	-
(Shrub)	Rosa - to be selected	9	5-Gal	-
(Shrub)	<i>Philadelphus s. 'Battersea'</i> Battersea	46	5-Gal	-
(Shrub)	<i>Yucca s. 'Lobelia'</i> Lobelia	23	5-Gal	-
(Shrub)	<i>Hamamelis s. 'Strawberry Frost'</i> Strawberry Frost	32	5-Gal	-
(Shrub)	<i>Zantedeschia aethiopica</i> Canna Lily	15	1 gal	spot in the field
(Groundcover)	<i>Gazania 'Mitsua Yellow'</i> Mitsua Yellow	-	flat	plant @ 10" O.C. sq. ft. spacing
(Groundcover)	<i>Baccharis p. 'Twin Peaks'</i> Coyote Bush	-	flat	plant @ 18" O.C. sq. ft. spacing

Notes:
 1. Redesignate all *Alnus incana* (Tree of Heaven) as required to remove entirely from site.
 2. Material needs per manufacturer rec.
 3. In all 1/2" slopes or greater.
 4. All landscaped area's to receive automatic irrigation.

PLANTING PLAN

AREA TABULATION

FIRST FLOOR	1,528 SQ. FT.
SECOND FLOOR	1,115 SQ. FT.
TOTAL LIVABLE	2,643 SQ. FT.
BASEMENT GARAGE	342 SQ. FT.

NOTE:
 ALL BLOCK WALLS TO HAVE EXTERIOR FINISHED PERMIT TO MATCH MESSAGES

NOT FOR CONSTRUCTION

THE OFFICE OF
SUSAN E. AGRESTI
 LANDSCAPE ARCHITECTURE
 A CALIFORNIA CORPORATION
 10000 S. GARDEN AVENUE
 SUITE 100
 CUSTALIA, CA 91931
 602.345.9320

PROJECT NAME:
IAMBURG RESIDENCE
 CUSTOM RESIDENCE
 PALM COMADO, OLD AGOURA

PLANTING PLAN & FUEL MOD
 REVISIONS:
 DATE: 10.02.08
 BY: KEN STOCKTON
 CHECKED: KEN STOCKTON

KEN STOCKTON
 ARCHITECT
 10000 S. GARDEN AVENUE, SUITE 100, CUSTALIA, CA 91931
 (602) 345-9320 FAX: (602) 345-9320

SHEET NO.
L-P

ASSESSMENT FOR FUEL MODIFICATION PLAN #

Zone A - Setback Zone

- Extends 20 feet beyond the edge of any combustible structure, accessory structure, appendage or projection.
- Irrigation by automatic or manual systems shall be provided in landscaping to maintain healthy vegetation with high fire fuel moisture and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone A shall be inherently highly fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- Except for dwarf varieties or mature trees small in stature, trees are generally not recommended within Zone A.
- Target tree species (including but not limited to *Tuocalypnus*, *Ficus*, *Juniper*, *Cypress*, *Cedar*, *Canary Island Date Palm*, *California Fan Palm*, *Mexican Fan Palm* and *Bougainvillea*) shall not be allowed within 10 feet of combustible structures.
- Vines and climbing plants shall not be allowed on any combustible structure.

Zone B - Irrigated Zone

- Extends from the outermost edge of Zone A to 100 feet from structure.
- Irrigation by automatic or manual systems shall be provided in landscaping to maintain healthy vegetation with high fire fuel moisture and greater fire resistance.
- Landscaping and vegetation in this zone shall consist primarily of green lawns, ground covers, and adequately spaced shrubs and trees. The overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Plants in Zone B shall be fire resistant and spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.

Zone C - Native Brush Thinning Zone

- Extends from the outermost edge of Zone B to 200 feet from structure.
- Irrigation systems are not required for this zone. (Native plants are generally not compatible with regular, unseasonal supplemental water.)
- Landscaping and vegetation in this zone may consist of modified existing native plants, adequately spaced ornamental shrubs and trees, or both. There may also be replacement landscape planting with ornamental or less flammable native species to meet minimum slope coverage requirements of City or County Public Works or Parks & Recreation Landscape or Hillside ordinances. In all cases the overall characteristics of the landscape shall provide adequate defensible space in a fire environment.
- Existing native vegetation shall be modified by thinning and removal of species constituting a high fire risk including but not limited to *lured suncho, chamise, manzanita, sage, sage brush, buckwheat, and California Juniper*. Please reference the *Fuel Modification Plant Reference*.
- Fuel loads shall be reduced by pruning up the lower 1/3 of remaining trees or shrubs and removing dead wood. Native plants may be thinned by reduced amounts as the distance from development increases.
- Plants in Zone C shall be spaced appropriately. Species selection should be made referencing the *Fuel Modification Plant Reference*. Other species may be utilized subject to approval.
- General spacing for existing native shrubs is 15 feet between canopies.
- General spacing for existing native trees is 20 feet between canopies.

Fire Access Road Zone

- Extends 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting apparatus or resources.
- Clear and remove flammable growth for a minimum of 10 feet on each side of Fire Access Roads. (Fire Code 1117.10)
- Fire access roads, driveways and surroundings shall be maintained in accordance with fire code.
- Fire Access Roads shall have unobstructed vertical clearance. (Fire Code 902.2.2.1)
- Landscaping and native plants within the 10-foot Fire Access Road Zone shall be appropriately spaced and maintained to provide safe egress in wildland fire environments.

Maintenance

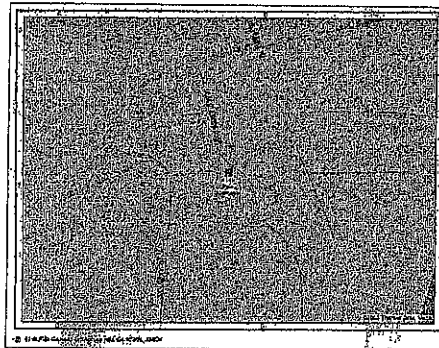
- Routine maintenance shall be regularly performed in all zones which requires:
- Removal or thinning of undesirable combustible vegetation and replacement of dead or dying landscaping.
- Pruning and thinning to reduce the overall fuel load and continuity with other fuels.
- Pruning lower branches of trees and tree-form shrubs to 1/3 of their height (or 6 feet from lowest hanging branches) to help prevent fire from spreading upward into the crown.
- Ground covers shall be maintained at a height not to exceed 18 inches. Annual grasses and weeds shall be maintained at a height not to exceed 3 inches.
- Accumulated plant litter and dead wood shall be removed. Debris and trimmings produced by thinning and pruning should be removed from the site or chipped and evenly dispersed in the same area to a maximum depth of 5 inches.
- Manual and automatic irrigation systems shall be maintained for operational integrity and programming. Effectiveness should be regularly evaluated to avoid over or under-watering.
- Compliance with the Fire Code is a year-round responsibility. Enforcement will occur following inspection by the Fire Department annually and as needed. Annual inspections are conducted following the annual drying of grasses and fire fuels, between the months of April and June depending on geographic region.
- Brush Clearance enforcement issues on adjacent properties should be directed to the County of Los Angeles Fire Department's Brush Clearance Unit at (626) 969-2375.
- All future plantings shall be in accordance with the County of Los Angeles Fire Department Fuel Modification Guidelines and approved prior to installation.
- Questions regarding landscape planting and maintenance with regard to fire safety should be directed to the Fire Department's Fuel Modification Unit at (626) 969-5265.

Long Term Maintenance Agreement

The property owner(s) agree to be responsible for the long-term maintenance of this fuel modification plan, as described herein. Notification of Fuel Modification requirements is to be made upon sale to new owners. Proposed changes to the Final Fuel Modification plan must be submitted to the Fuel Modification Unit for approval, prior to implementation. Failure to comply with the Fuel Modification Plan requirements may result in an Administrative Fine not to exceed \$1000 and possible legal action.

Name (Print) _____ X _____ Signature _____ Date _____

Name (Print) _____ X _____ Signature _____ Date _____



NOT FOR CONSTRUCTION

THE OFFICE OF
 PUBLIC WORKS
 LANDSCAPE ARCHITECTURE
 A CALIFORNIA CORPORATION
 EASTMAN, CALHOUN
 661 294-1716

TELEPHONE

PROJECT NAME
 LAMBURG RESIDENCE
 CUSTOM RESIDENCE
 PALO CONADO, OLD AGOURA

PLANTING PLAN & FUEL MOD
 RESPONSE
 FROM: KEN STOCKTON
 DATE: 10.02.06 PM
 PLAN: 026
 SHEET: 001

KEN STOCKTON
 ARCHITECT
 2500 W. ALHAMBRA AVENUE, SUITE 100
 (914) 865-5151 FAX (914) 865-1068

SHEET NO.
 L-P2



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT E

**Memoranda from the City Oak Tree/Landscape Consultant
&
the City Geological/Geotechnical Consultant**

Memo

To: Valerie Darbouze, City of Agoura Hills
From: Kay Greeley, Landscape and Oak Tree Consultant
Date: February 27, 2008
Re: 03-CUP-016 and 03-CUP-017 - lamburg

I reviewed the following documents submitted with respect to the subject entitlement request:

- Response to Comments 4, prepared by Tree Life Concern Incorporated and dated November 20, 2007
- Grading Plan, prepared by Cal Civic Engineering as submitted January 11, 2008
- Addendum Report II, Percolation Tests and Proposed Private Sewage Disposal System Recommendations, prepared by MTC Engineering, Incorporated and dated May 24, 2007
- Architectural plans, prepared by Ken Stockton and dated December 24, 2007

The applicant responded to all requests for additional information. If the project is to proceed with approval as proposed, I recommend that the following conditions of approval be considered for the project:

Oak Trees

The Oak Tree Report addresses a total of twenty-two (22) oak trees. Eleven (11) of the oak trees are located within the subject site and the remaining eleven (11) oak trees are located off-site within the immediate vicinity. As shown on the attached table, one (1) of the subject trees would be removed and nine (9) of the trees would be encroached upon to accomplish grading, driveway and road improvements. The remaining twelve (12) trees will remain in place with no direct impacts anticipated.

1. The applicant is permitted to remove Oak Tree Number 22 if necessary to allow for widening and paving of Palo Comado Drive. This tree is located on the property located to the east of the applicant's property at 6149 Palo Comado Drive. It is the applicant's responsibility to obtain permission for their removal from the adjacent property owner. The City of Agoura Hills shall have no liability or responsibility in that regard.
2. The applicant is permitted to encroach within the protected zone of Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 to complete the approved grading program and to install the paving and retaining walls shown on the approved grading plan.
3. The applicant is also permitted to prune Oak Tree Numbers 1, 2, 10, 12, 13, 14, 15, 19, and 21 as needed for vertical clearance over the Palo Comado Drive, the driveway and in areas where

grading is otherwise approved. The quantity of pruning on each tree shall be approved by the City Oak Tree and Landscape Consultant.

4. Oak Tree Numbers 3, 4, 5, 6, 7, 8, 9, 11, 16, 17, 18, and 20 shall be preserved in place with no direct impacts.
5. To mitigate the removal of Oak Tree Number 22, the applicant shall plant at least four (4) new Coast Live Oak (*Quercus agrifolia*) within the property. Said trees shall include a minimum of one (1) thirty-six inch (36") box-size tree, two (2) twenty-four inch (24") box-size trees and one (1) fifteen (15) gallon container-size tree. The planting locations shall be subject to review and approval by the City Oak Tree and Landscape Consultant.
6. The design of all retaining walls shall utilize a foundation, construction and drainage detail that minimizes the permitted encroachment into the protected zone of all oak trees, subject to final review and approval by the City Oak Tree and Landscape Consultant.
7. Prior to the start of any work or mobilization on the site, each oak tree to be preserved shall be fenced at the edge of the protected zone or otherwise approved work limits in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations and installation prior to the start of work or mobilization on the site.
8. No grading, scarifying or other soil disturbance shall be permitted within any portion of the protected zone of any oak tree except as specifically permitted above.
9. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time except as specifically required to accomplish the approved encroachments.
10. All work performed within the protected zone of any oak tree shall be monitored by the project oak tree consultant. Forty-eight (48) hours notice shall be provided to the City Oak Tree Consultant prior to the start of any such work. Contact the City Oak Tree Consultant at (818) 597-7350.
11. All excavation within the protected zone of any oak tree shall be performed using only hand tools under the direct supervision of the applicant's oak tree consultant or the City Oak Tree Consultant. Light construction equipment may be utilized with prior approval of the City Oak Tree Consultant.
12. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
13. No irrigation or planting shall be installed within the dripline of any oak tree unless specifically approved by the City Oak Tree and Landscape Consultant.
14. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak tree at that time.
15. All authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
16. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.

17. The applicant shall also comply with all recommendations contained in the Oak Tree Report and addenda as prepared by Tree Life Concern, Inc.
18. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

19. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Susan E. McEowen, Landscape Architect.
20. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
21. The Planting Plan shall indicate the botanical name and size of each plant.
22. Plant symbols shall depict the size of the plants at maturity.

23. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
24. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
25. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
26. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - h. Design and static pressures
 - i. Point of connection
 - j. Backflow protection
 - k. Valves, piping, controllers, heads, quick couplers
 - l. Gallon requirements for each valve
27. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
28. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
29. Native, drought resistant plants shall be utilized on all slopes in accordance with the Old Agoura Design Overlay District requirements.
30. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
31. Proposed plant material may not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.

Please advise should there be any comments or questions.

Attachment: Oak Tree Impact Analysis

**OAK TREE IMPACT ANALYSIS
03-CUP-006 - IAMBURG**

Tree#	Health	Trunk Diameter (inches)						Protected Zone (sq ft)	Impact					Comments	
		Trunk 1	Trunk 2	Trunk 3	Trunk 4	Trunk 5	Total		None	Remove	Encroach	Trunk	Canopy		%
1	A	18	17				35	2,043			X		300	15%	Road paving, grading
2	A	16	16	13			45	2,757			X		700	25%	Road paving, grading
3	A	5	4	3			12	707	X				0	0%	
4	A	3	3	2			8	707	X				0	0%	
5	A	13	10	9	8	1	41	1,225	X				0	0%	
6	B	12	11	7			30	1,149	X				0	0%	
7	C	12	11	10	8		41	1,753	X				0	0%	
8	C	7					7	804	X				0	0%	
9	B	14	12	9			35	1,210	X				0	0%	
10	A	26					26	2,376			X		350	15%	Driveway, grading
11	B	7	6	4	3		20	868	X				0	0%	
12	A	17	14	14			45	1,963			X		400	20%	Driveway
13	B	15					15	1,164			X		125	11%	Driveway
14	A	28	27				55	4,447			X		700	16%	Driveway
15	C	25	20	15			60	2,619			X		300	11%	Grading
16	A	5	2	1			8	707	X				0	0%	
17	A	10	9				19	731	X				0	0%	
18	A	28					28	3,019	X				0	0%	
19	A	37	23				60	4,015			X		200	5%	Grading
20	A	15	14	11			40	2,185	X				0	0%	
21	B	20					20	2,851			X		150	5%	Road paving, grading
22	A	8					8	707		X		8	225	32%	Road paving, grading
Total							658	40,009	12	1	9	8	3,150	8%	

Date: March 21, 2007
GDI #: 06.00103.0109

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Valerie Darbouze

Project Location: 6149 Palo Comado Drive, Agoura Hills, California.

Planning Case #: 03-CUP-016/03-OTP-017/lamburg

Building & Safety #: None

Geotechnical Report: MTC Engineering, Inc. (2007), "Addendum Report III, Proposed Two-Story Residential Building with Retaining Walls, 6149 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SGA4, dated February 6, 2007.

MTC Engineering, Inc. (2004), "Addendum Report I, Proposed Two-Story Residential Building with Retaining Walls, 6149 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SGA, dated October 7, 2003.

MTC Engineering, Inc. (2003), "Preliminary Soils and Geologic Engineering Investigation, Proposed Two-Story Residential Building and Retaining Walls, North of 6145 Palo Comado Dr. (Tentative Parcel No. 8524, Portion of Lot 7 of L. S. 25-33), Agoura Hills, California," Project Number 369-10-1SG, dated August 25, 2003.

Plans: Calcivic Engineering Group (2003), Grading Plan, Fairview Place & Palo Comado Drive, Agoura Hills", 16-scale, dated July 7, 2003.

Previous Reviews: October 10, 2003, November 15, 2004 and December 27, 2006).

FINDINGS

Planning/Feasibility Issues	Geotechnical Report
<input checked="" type="checkbox"/> Acceptable as Presented	<input checked="" type="checkbox"/> Acceptable as Presented
<input type="checkbox"/> Response Required	<input type="checkbox"/> Response Required

REMARKS

MTC Engineering, Inc. (Consultant) provided a response to the City of Agoura Hills geotechnical review letter dated December 27, 2006 regarding the proposed two-story, single-family residence with an attached three-car garage, retaining walls, and grading at the subject site. The City of Agoura Hills – Planning Department reviewed the above referenced reports from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. The review was performed by GeoDynamics, Inc. (GDI), the geotechnical consultants of the City. Based upon the City's review, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case # 03-CUP-016. Plan-Check comments should be addressed in Building & Safety Plan Check, and a separate geotechnical submittal is not required for plan-check comments.

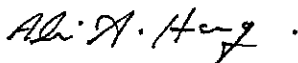
Plan-Check Comments

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.

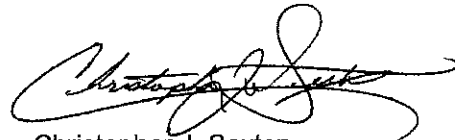
2. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils. If the expansion index is greater than 20, foundation and slab plans should be revised accordingly."*
3. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
4. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
5. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
6. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
7. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
8. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include documentation of any foundation inspections, the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,
GeoDynamics, INC.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/07)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/08)



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT F

Environmental Categorical Exemption

Notice of Exemption

To: [] Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

[] County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Sean Ben-Menahem Single Family Residence Addition (Case Nos. 03-SPR-016 & 03-OTP-017)

Project Location-Specific: 6149 Palo Comado (APN 2055-023-073)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: A Conditional Use Permit Case No. 03-CUP-016 and Oak Tree Permit 03-OTP-017 to build a 4,880 square-foot, two-story, single-family residence with a 463 square-foot 2-car garage with 100 square feet of covered patio and 125 square feet of balconies/deck on a 49,326 square-foot hillside vacant lot.

An Oak Tree Permit is required to review impacts on 22 oak trees. The request is to remove 1 oak tree and encroach in the protected zone of 9 others.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Sean Ben-Menahem

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15301, Class 1 (e). Existing Facilities.
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project is the construction of a single-family residence in a permitted zone. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area.

Lead Agency Contact Person: Valerie Darbouze, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7328

Signature: Valerie Darbouze Date: 3/13/08 Title: Associate Planner



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT E

Vicinity/Zoning Map

(December 18, 2008 Meeting)

Vicinity/Zoning Map



CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016
OAK TREE PERMIT - CASE NO. 03-OTP-017



**CONDITIONAL USE PERMIT - CASE NO. 03-CUP-016,
OAK TREE PERMIT - CASE NO. 03-OTP-017**

**FOR THE PROPERTY LOCATED AT
6149 PALO COMADO DRIVE, AGOURA HILLS**

EXHIBIT F

**Color and Materials Board
&
Renderings**

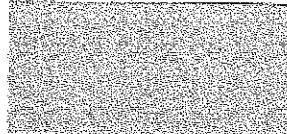
(December 18, 2008 Meeting)

Color and Materials Board
(Case No. 03-CUP-016 & Case No. 03-OTP-017)

BEN-MENAHEM
MATERIAL BOARD

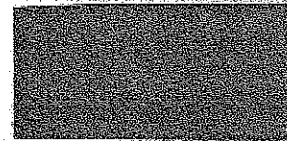
EXTERIOR STUCCO

SMOOTH SAND
DUNN EDWARDS—BISQUE TAN—DE6157



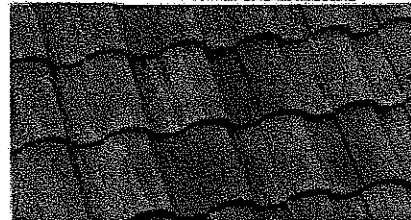
FASCIA, TRIM & SHUTTERS

DUNN EDWARDS—TAN PLAN—DE6137



ROOF MATERIAL

EAGLE ROOFING—CAMINO REAL
SAN GABRIEL



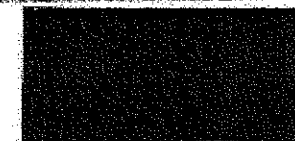
STONE VENEER

EL DORADO STONE
BELLA—COUNTRY RUBBLE



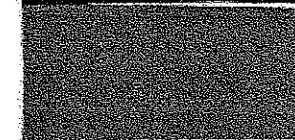
WROUGHT IRON

DUNN EDWARDS—BLACK BAY—DEA188



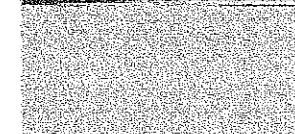
ALUMINUM GUTTERS

DUNN EDWARDS—TAN PLAN—DEA6137



WINDOWS AND FRENCH DOORS

ANDERSON 200 & 400 SERIES
ALMOND



December 18, 2008 Meeting

