



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: February 5, 2009

APPLICANT: Omnipoint Communications, Inc. for T-Mobile
3659 Green Road, Suite 317 (Sure Site)
Beachwood, OH 44122

TO: Planning Commission

CASE NO.: 07-CUP-007

LOCATION: 5844 Larboard Lane (Lindero Middle School)
(A.P.N. 2056-015-900)

REQUEST: Request for approval of a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure.

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA (Class 3)

RECOMMENDATION: Staff recommends approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions, based on the findings of the attached resolution.

ZONING DESIGNATION: SH (School District)

GENERAL PLAN DESIGNATION: PF (Public Facility)

I. PROJECT BACKGROUND AND DESCRIPTION

The applicant, Omnipoint Communication, Inc., an authorized agent for T-Mobile, is proposing to install an unmanned wireless telecommunication facility on the Lindero

Middle School property, located at 5844 Larboard Lane, owned by the Las Virgenes School District. As a State agency, the school district can exempt itself from City regulations. However, since this cellular site is considered a commercial use that will serve the T-Mobile customers and not solely serve the school and/or school district, although located on school district land, it is subject to a Conditional Use Permit from the City prior to installation as required by the Zoning Ordinance.

T-Mobile has applied for a Conditional Use Permit to construct an unmanned wireless telecommunication facility on the center portion of the Lindero Middle School campus. Road access to the facility would be via Larboard Lane. The school site is surrounded by single-family residences. The closest distance from the telecommunication facility is approximately 300 feet.

The applicant is proposing to install a new wireless telecommunication facility on three (3) new 40 and 45-foot high T-Mobile flag poles that encase the antennas, 18 inches in diameter. Two (2) PCS panel antennas are proposed to be mounted in stacked pairs at effective heights of no more than 40 feet above ground within each pole. A GPS antenna is proposed to be mounted to one of the equipment cabinets. PCS antennas are used to transmit and receive the actual data to and from the handheld (cellular) phones.

In addition, six (6) associated ground-mounted equipment cabinets are proposed to be located at the parking lot level (off the Rainbow View Drive entrance), adjacent and ten feet below the proposed flag pole level. The three parking spaces at the north end of the parking lot are proposed to be removed to accommodate the equipment cabinets. The cabinets will be surrounded by an eight (8) foot high masonry equipment enclosure to match the existing retaining wall finish, with a black wrought iron lid and 4-foot wide corrugated steel gate. In addition, a new planter area will be installed on the north and west elevations of the new equipment enclosure. No off-site or public improvements will be needed for this proposed facility.

T-Mobile is considered a public utility and is regulated and licensed by the Federal Communications Commission (FCC). The FCC authorizes a utility's initial system and then delegates its authority to local agencies to regulate the location, construction and aesthetics of the wireless telecommunication facilities. In the event of a natural disaster, T-Mobile will assist in providing emergency communication for the community. Therefore, while the intent of the wireless telecommunication facility is for private commercial use, the service provided will benefit the public at large.

Furthermore, the Telecommunication Act of 1996 states that: "No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission regulations concerning such emission."

The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards. The FCC relies on standards

developed by a non-profit privately funded organization known as the American National Standards Institute (ANSI). Standards are continually reviewed to account for new research findings and modified when appropriate. In addition, the State Public Utilities Commission (PUC) requires the applicant to submit notification to the PUC when local approval of a facility is obtained. It also requires quarterly updates of new cellular sites approved by local governmental agencies and built as a result of the approval.

II. STAFF ANALYSIS

Potential Visual Impacts

T-Mobile will install its antennas within an 18 inch new galvanized steel pole, with a flag attached. The antennas will not be constructed higher than 45 feet above ground. The maximum allowable height in the School zone is 35 feet. The code allows towers and antennas to be 10 feet above the maximum allowable height for the zone. Thus, the proposed 45 foot antenna is within the limits of the code. In order to prevent access to the cabinets, the equipment will be enclosed in a free-standing masonry structure, with both a protective and decorative wrought iron cover. Additional landscaping will be placed on the west and south sides of the equipment enclosure for additional screening.

Design Requirements

The new flag poles will be painted gray. The material finish is non-reflective. In addition, the new concrete masonry wall around the equipment cabinets will match the existing retaining wall finish. Signage is proposed to be placed on the gates to the equipment according to federal standards.

III. FINDINGS

In order for a Conditional Use Permit to be approved, the proposed project must show substantial evidence to demonstrate that the use will satisfy the five findings listed below.

The Planning Commission must find that the proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the School District (SH) zone in which the use is located. Wireless telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. Although the City's jurisdiction is limited on school properties, the development standards defined in the Zoning Ordinance apply to any commercial activity. As such, applicants are encouraged to camouflage telecommunication antennas by incorporating the apparatus in an architectural feature of an existing building. The use of monopoles for wireless telecommunication antennas is typically discouraged by policy unless sufficiently screened from view. In this case, the applicant has designed the proposed antennas to be

hidden within a pole design, which appears as a flag pole and does not have the visual mass of the typical monopole array antennas.

Another finding that the Planning Commission must make is that the proposed use is compatible with the surrounding properties. The proposed antennas will be concealed within the top of an 18 inch wide galvanized steel flag pole "radome". Consequently, the project would not visually impact the surrounding residential community in that the antennas appear as only a flag pole, typically found on a school campus. The visibility of the equipment will be limited as it is located more than 200 feet from the closest public right-of-way (Rainbow View Drive), bordering the school on the south. The overall project is obstructed from views at surrounding streets (Larboard Lane, Sandtrap Drive, Rainbow Hill Road, and Rainbow View Drive) by mature landscaping and surrounding residential developments.

The Planning Commission must also find that the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated.

Another finding must demonstrate that the proposed use will comply with each of the applicable provisions of the Zoning Ordinance. Telecommunication facilities are allowed in the SH zone, subject to the issuance of a Conditional Use Permit. The location of the antennas and ancillary equipment will comply with State and Federal requirements.

A finding must also be made that the distance from other similar and like uses is sufficient to maintain the diversity of the community. T-Mobile has informed the City that the nearest wireless telecommunication facility is located at Kanan Road and Thousand Oak Boulevard, as such, the new facility would not contribute to the over-concentration of similar uses.

Finally, a finding must be made that the proposed use is consistent with the goals, objectives and policies of the General Plan. The General Plan Community Design Element calls for an efficiently organized and aesthetically pleasing City. The project meets this goal by locating the new antennas on new antenna flag poles and screening the required ancillary equipment from public view.

IV. RECOMMENDATION

Based on the above analysis, staff recommends approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions of the attached draft resolution.

V. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Reduced Photocopies of Plans
- Photo Simulations
- Vicinity Map

CASE PLANNER: Renee Madrigal, Assistant Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 07-CUP-007

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY
FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Omnipoint Communications, Inc., for T-Mobile with respect to the real property located at 5844 Larboard Lane (Lindero Middle School), Assessor's Parcel Number 2056-015-900, requesting the approval of a Conditional Use Permit (Case No. 07-CUP-007) to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure. A public hearing was duly held on February 5, 2009, at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid Public Hearing.

Section 3. The Planning Commission, pursuant to the Agoura Hills Zoning Ordinance, finds as follows:

A. The proposed use, as conditioned, is consistent with the objectives and the provisions of the Zoning Ordinance and the purposes of the School District (SH) zone in which the use is located. Wireless telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. The proposed antennas will be hidden within a pole design, which appears as a flag pole and does not have the visual mass of the typical monopole array antennas.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed antennas will be concealed within the top of an 18 inch wide galvanized steel flag pole "radome". Consequently, the project would not visually impact the surrounding residential community in that the antennas appear as only a flag pole, typically found on a school campus. The visibility of the equipment will be limited as it is located more than 200 feet from the closest public right-of-way (Rainbow View Drive), bordering the school on the south. The overall project is obstructed from views at surrounding streets (Larboard Lane, Sandtrap Drive, Rainbow Hill Road, and Rainbow View Drive) by mature landscaping and surrounding residential developments.

C. The proposed use, as conditioned, and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The

antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. Telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. The location of the antennas and ancillary equipment will comply with the state and federal requirements.

E. The proposed use, as conditioned, will maintain the diversity of the community. The nearest wireless telecommunication facility is located at Kanan Road and Thousand Oaks Boulevard, as such, the new facility would not contribute to the over-concentration of similar uses.

F. The proposed use is consistent with the goals, objectives and policies of the General Plan. The General Plan Community Design Element calls for an efficiently organized and aesthetically pleasing City. The project meets this goal by locating the new antennas on new antenna flag poles and screening the required ancillary equipment from public view.

Section 4. The project is exempt from the California Environmental Quality Act (CEQA), as defined in Section 15303, Class 3, and does not require the adoption of an environmental impact report or negative declaration.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 07-CUP-007, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 5th day of February, 2009, by the following vote to wit:

AYES:
NOES:
ABSTAIN:
ABSENT:

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL (CASE NO. 07-CUP-007)

STANDARD CONDITIONS

1. This decision, or any aspects of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete confirmation to the approved Site Plan, Elevation Plans, and Equipment Details Plans.
4. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
7. For construction within public right-of-way, an encroachment permit is required in accordance with Agoura Hills Municipal Code. All required applicable fees, securities, and insurance must be posted prior to issuance of the encroachment permit.
8. The SWPPP shall be prepared in compliance with the Development Construction Model Program for Stormwater Management within the County of Los Angeles, and shall be subject to approval by the City Engineer. The SWPP shall identify pollutant sources, and shall include design and recommend construction and implementation of stormwater pollution prevention measures in order to reduce pollutants in stormwater discharges from the construction site during the construction period, and after construction as required.
9. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.

10. Unless this permit is used within two (2) years from the date of City approval, these permits will expire. A written request for a one-year extension may be considered prior to the expiration date.
11. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

SPECIAL CONDITIONS

12. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
13. The antenna flag poles shall be painted gray.
14. The proposed equipment shall be screened from public view with a masonry equipment enclosure to match the existing retaining wall finish and approved by the Director of Planning and Community Development.
15. No wire or cable shall be visible on the outside of the equipment shelter. All wires and cables shall be located inside the new antenna flag poles.
16. The antenna installation shall comply with Federal Communication Commission regulations, the National Electric Code, the American National Standard Institute, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment.
17. Upon installation of the facility, the applicant shall provide written verification for review and approval by the Director of Planning and Community Development that the antennas installation complies with Federal Communication Commission regulations, the National Electric Code, the American Standards Institute, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The power levels of each antenna shall be verified by the applicant and approved by the Director of Planning and Community Development.
18. If any future inspection discloses that the subject property is being used in violation of any one of the Conditions of Approval, the applicant shall be financially responsible and shall reimburse the City of Agoura Hills for all additional enforcement efforts necessary to bring the subject use into compliance.
19. The antennas and appurtenant equipment shall be removed from the property within 60 days in the event the wireless telecommunication facility ceases operation.
20. If any circumstance or change to the site results in greater visibility of the facility, the approval of this Conditional Use Permit shall be subject to re-evaluation which

may result in the revocation of the Conditional Use Permit or modifications to the Conditions of Approval.

21. As part of the approval, the Planning Department must receive from the applicant a copy of the notice of completion registered with the State Public Utility Commission.

END

T-Mobile®

SITE NUMBER: SV01895C CITY: AGOURA HILLS
SITE NAME: LINDERO MIDDLE SCHOOL COUNTY: COUNTY LOS ANGELES
SITE TYPE: RAW LAND JURISDICTION: CITY OF AGOURA HILLS

T-Mobile®
 Stick Together™

4100 GUARDIAN
 SMI VALLEY, CA 90263

PLANS PREPARED BY:



CONNELL DESIGN GROUP, LLC
 CONSULTING CIVIL ENGINEERS
 4685 MACARTHUR COURT, SUITE 408, NEWPORT BEACH CA 92660
 (949) 755-8977 OFFICE - (949) 755-8533 FAX
 CDG#: 08-9009

CONSULTING GROUP:

SureSite Consulting Group, LLC
 3659 Green Road, Suite 317
 Cleveland, Ohio 44122

PROJECT SUMMARY:

SITE ADDRESS:
 5844 LARBOARD LANE
 AGOURA HILLS, CA 91301
 COUNTY OF LOS ANGELES

PROPERTY OWNER:
 LAS VIRGENES UNIFIED SCHOOL DISTRICT
 4111 N. LAS VIRGENES RD.
 CALABASAS, CA 91302
 PHONE: (818) 878-5203

APPLICANT:
 T-MOBILE USA
 4100 GUARDIAN STREET
 SUITE 101
 SMI VALLEY, CA 93083
 ZONING MANAGER: BRIAN STOTELMEYER
 CONSTRUCTION MANAGER: DENNIS PIKE
 CONSTRUCTION INSPECTOR: ROB BROWN (661) 904-4637
 FREEDOM MANAGER: JOSIE BINGMAN
 A&E PROJECT MANAGER: EUGENE HAIK
 DEVELOPMENT MANAGER: DAMON HOLZUM

PROJECT DESCRIPTION:
 CONSTRUCTION OF 8'-0" CMU WALL ENCLOSURE WITH WRTTOUTHT IRON LID.
 INSTALLATION (3) NEW FLAG POLES FOR T-MOBILE PANEL ANTENNAS (2 EACH FLAG POLE)
 COAX RUNS FROM EQUIPMENT TO ANTENNAS
 200A ELECTRICAL & TELCO SERVICE TO EQUIPMENT

BUILDING SUMMARY:
 OCCUPANCY CLASSIFICATION: UNMANNED TELECOMMUNICATIONS
 TYPE OF CONSTRUCTION: V-N
 ZONING: DSA
 AREA OF CONSTRUCTION: 460± SQ FT
 ASSESSORS PARCEL NUMBER: 2056-015-900

SHEET INDEX:

SHEET NUMBER:	DESCRIPTION:
T-1	TITLE SHEET
T-2	ABBREVIATIONS, SYMBOLS, GENERAL NOTES & SPECIFICATIONS
T-3	GENERAL NOTES & SPECIFICATIONS
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C-2	TOPOGRAPHIC SURVEY
A-1	EXISTING SITE PLAN
A-1.1	FUTURE SCHOOL SITE PLAN
A-2	EQUIPMENT AND ANTENNA LAYOUT
A-2.1	ENLARGED SITE PLAN
A-3	ARCHITECTURAL ELEVATIONS
A-4	ARCHITECTURAL DETAILS
A-5	ARCHITECTURAL DETAILS
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E-1	ELECTRICAL, SITE PLAN, POWER AND RF CONFIG
E-2	GENERAL NOTES, PANEL SCHEDULE AND SINGLE LINE DIAGRAM
E-3	GROUNDING PLAN, GROUNDING NOTES, AND COAX CABLE GROUNDING SCHEMATIC DIAGRAM
E-4	ELECTRICAL DETAILS
E-5	ELECTRICAL DETAILS

DSA NOTES:

NOTES:
 1. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE REPAIR WORK.
 2. ALL WORK SHALL CONFORM TO TITLE 24, 2007 CALIFORNIA CODE OF REGULATIONS (CCR)
 3. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR CHANGE ORDERS APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-336, PART 1, TITLE 24, CCR.
 4. A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, CALIFORNIA STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR; CLASS 3).
 5. AN INSPECTOR WHO IS SPECIALLY QUALIFIED IN MECHANICAL AND ELECTRICAL WORK WILL BE REQUIRED FOR THIS PROJECT.
 6. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

CODE COMPLIANCE:

LIST OF 2007 CALIFORNIA CODE OF REGULATIONS
APPLICABLE CODES AS OF JANUARY 1, 2008
 2007 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 2007 CALIFORNIA BUILDING CODE (CBC)
 2007 CALIFORNIA ELECTRICAL CODE (CEC)
 2007 CALIFORNIA MECHANICAL CODE (CMC)
 2007 CALIFORNIA PLUMBING CODE (CPC)
 2007 CALIFORNIA ENERGY CODE (CEC)
 2007 CALIFORNIA FIRE CODE (CFC)

PARTIAL LIST OF APPLICABLE STANDARDS
 NFPA 13 AUTOMATIC SPRINKLER SYSTEMS 2002 EDITION
 NFPA 14 STANDPIPE SYSTEMS 2003 EDITION
 NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS 2002 EDITION
 NFPA 17A WET CHEMICAL SYSTEMS 2002 EDITION
 NFPA 20 STATIONARY PUMPS 2003 EDITION
 NFPA 24 PRIVATE FIRE MAINS 2002 EDITION
 NFPA 72 NATIONAL FIRE ALARM CODE (CALIFORNIA AMENDED) 2002 EDITION
 (NOTE: SEE UL STANDARD 1971 FOR "VISUAL DEVICES")
 NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2006 EDITION
 NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2004 EDITION
 REFERENCE CODE SECTION FOR NFPA STANDARDS- 2007 CBC (SFM) 3504.1

NO.	DATE:	DESCRIPTION:	BY:

SITE INFORMATION:

LINDERO MIDDLE SCHOOL
SV01895C
 5844 LARBOARD LANE
 AGOURA HILLS, CA 91301
ISSUE DATE: 09/23/08

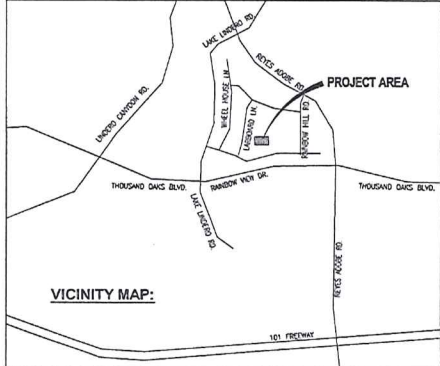
CONSULTING TEAM:

SAC/ZONING/PERMITTING:
 SURESITE CONSULTING GROUP, LLC
 3659 GREEN ROAD, SUITE 317
 CLEVELAND, OHIO 44122
 CONTACT: FRANK KOPPALA
 PHONE: (310) 743-9884

ARCHITECTURAL & ENGINEERING:
 CDG-CONNELL DESIGN GROUP, L.L.C.
 4685 MACARTHUR COURT., STE 408
 NEWPORT BEACH, CA 92660
 CONTACT: JOE CONNELL
 PHONE: (949) 306-4850

SURVEY:
 BEFT HAZE SURVEYING
 3188 AIRWAY AVE., SUITE K1
 COSTA MESA, CA 92626
 OFFICE: (714) 557-1567
 FAX: (714) 557-1568

ELECTRICAL ENGINEER:
 CDG-CONNELL DESIGN GROUP, L.L.C.
 4685 MACARTHUR COURT., STE 408
 NEWPORT BEACH, CA 92660
 CONTACT: CHAU TANG
 PHONE: (714) 262-8811



SECTOR	AZIMUTH	CENTERLINE	# OF ANTENNAS	ANTENNA MODEL #	# OF COAX LINES	COAX DIAMETER	COAX LENGTH
A	0°	37'-1"	2	TMBXX-6516-R2M	4	7/8"	85' ±
B	120°	37'-1"	2	TMBXX-6516-R2M	4	7/8"	95' ±
C	240°	37'-1"	2	TMBXX-6516-R2M	4	7/8"	95' ±
A	0°	31'-2"	2	TMBXX-6516-R2M	4	7/8"	75' ±
B	120°	31'-2"	2	TMBXX-6516-R2M	4	7/8"	85' ±
C	240°	31'-2"	2	TMBXX-6516-R2M	4	7/8"	85' ±

DIRECTIONS FROM T-MOBILE SMI VALLEY OFFICE:
 START AT 4100 GUARDIAN ST, SMI VALLEY GOING TOWARD TAPD CANYON RD TURN RIGHT ON TAPD CANYON RD - GO 1.3 MI, TURN RIGHT TO TAKE RAMP ONTO CA-118 W TOWARD VENTURA - GO 0.1 MI, CONTINUE ON CA-23 S - GO 8.0 MI
 TAKE THE LOS ANGELES LEFT EXIT ONTO US-101 S - GO 3.8 MI, TAKE EXIT #59/LINDERO CYN RD - GO 0.4 MI
 TURN LEFT ON LINDERO CANYON RD - GO 0.8 MI, TURN RIGHT ON E THOUSAND OAKS BLVD - GO 0.3 MI
 TURN LEFT ON LAKE LINDERO DR - GO 0.1 MI, TURN RIGHT ON RAINBOW VIEW DR - GO 0.1 MI
 TURN LEFT ON LARBOARD LN
 ARRIVE AT 5844 LARBOARD LN, AGOURA HILLS, ON THE RIGHT

THOMAS GUIDE
 REGION: LOS ANGELES
 PAGE: 557
 GRID #: G4

BUILDING CODE: CALIFORNIA BUILDING CODE 2007
APPLICABLE CODES
 ALL WORK IS TO COMPLY WITH THE 2007 CALIFORNIA BUILDING CODE (CBC)
 TIA/EIA-222-1998-F LIFE SAFETY CODE NFPA-101, 607 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
 AISC - CONSTRUCTION MANUAL, 9TH EDITION OR LATER.
 NEC (NATIONAL ELECTRIC CODE) 2002 (NFPA 70)

SEAL:

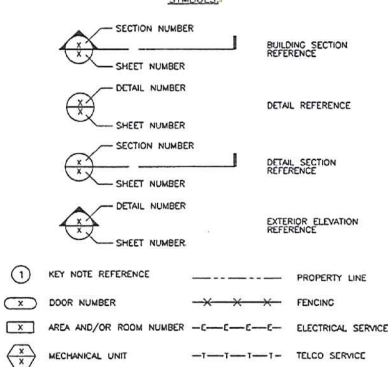
SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ABBREVIATIONS

AB	ANCHOR BOLT	LAM	LAMINATED
AC	ASBESTOS CONCRETE	LES	LESS
A/C	AIR CONDITIONING	LT	LIGHT
ADG	AIR DUCTING	LA	LEADING ARRESTOR
A/F	ABOVE FINISH FLOOR	LNA	LOW NOISE AMPLIFIER
APPROX	APPROXIMATELY	MFR	MANUFACTURER
A.G.L.	APPROXIMATE GRADE LEVEL	MAX	MAXIMUM
A.M.S.L.	ABOVE MEAN SEA LEVEL	MCH	MISCELLANEOUS
B.D.	BOARD	MIN	MINIMUM
BLDC	BUILDING	MISC	MISCELLANEOUS
BLDG	BUILDING	ML	METAL LATH
BOF	BLOCKING	MO	MASS
BSMT	BASMENT	NO	NO
BTS	BASE TRANSDUCER	NTD	NIGHT
		MTL	MOUNTED
		MTL	METAL
		(N)	NEW
C	COURSES(S)	NO	NOT IN CONTRACT
CEM	CEMENT	NTS	NOT TO SCALE
CL	CHAIN LINK	ND	NOT DETERMINED
CLS	CEILING	NS	NOT TO SCALE
CLR	CLEAR	OC	OVER CENTER
COL	COLUMN	OP	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION	PA	PARTITION
CORR	CORROSION	PL	PLATE
COND	CONDUIT ONLY	PLAS	PLASTER
		PLYWD	PLYWOOD
DIA	DIAMETER	POC	POINT OF CONNECTION
DBL	DOUBLE	PROP	PROPERTY
DEPT	DEPARTMENT	PRP	PRESSURE TREATED
DEM	DEMOLITION	R	RISER
DM	DIMENSION	REQ	REQUIRED
DR	DOWN	RFD	REQUIRED
D/R	DETAIL	RD	ROOM DRAIN
DWG	DRAWING	RMS	ROOMS
(E)	EXISTING	RO	ROOF OPENING
EA	ELECTRIC	SC	SOLID CORE
ELEV	ELEVATION	SCHD	SCHEDULE
EQUIP	EQUIPMENT	SECT	SECTION
EXP	EXPANSION	SHT	SHEET
EXT	EXTERIOR	SH	SHIM
FA	FIRE ALARM	SPCS	SPECIFICATIONS
FB	FINISH FLOOR	STL	STEEL
FF	FLAT HEAD	STRUC	STRUCTURAL
FLR	FLOOR	SUSP	SUSPENDED
FS	FACE OF STUDS	SW	SWITCH
FT	FINISH SURFACE	SWBD	SWITCH BOARD
THB	THICK	THK	THICK
FTC	FOOTING	TI	TENANT IMPROVEMENT
FTY	FOUR FEET	TMA	TOWER MOUNTED AMPLIFIER
FD	FLOOR DRAIN	TOS	TOP OF SURFACE
FG	FINISH GRADE	TR	TRUSS
FUT	FUTURE	TYP	TYPICAL
GA	GANGE	UNP	UNNOTED
CA	CALZANIZED	UNP	OTHERWISE
GL	GLASS	VCT	VINYL COMPOSITION
GR	GRASS	VC	VERTICAL
CYSUM	CYCLUM	VCT	VERTICAL
OV	OVER	VF	VERTICAL FIELD
GF	GROUND FAULT CIRCUIT	VG	VERTICAL GROUND
GND	GROUND	VT	VERTICAL
HND	HOLLOW CORE	W	WITH
HW	HARDWARE	W/	WOOD
HR	HEATER	WR	WOOD RESISTANT
HRZ	HORIZONTAL	WT	WEIGHT
HR	HOUR	XFMR	TRANSFORMER
HT	HEIGHT		
HV	HIGH VOLTAGE		
ID	INSIDE DIMENSION		
INS	INSULATION		
INT	INTERIOR		
JT	JOINT		

SYMBOLS



GENERAL NOTES & SPECIFICATIONS

GENERAL

- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THE PLANS, SPECIFICATIONS. NOTES PRIOR TO STARTING CONSTRUCTION. INCLUDING BUT NOT LIMITED TO: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSIONS OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT/ENGINEER.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDUMS, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT DRAWINGS TO THE ARCHITECT/ENGINEER AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM START OF PROJECT TO COMPLETION OF PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES.
- ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST U.B.C. AND ALL OTHER GOVERNING CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON NOR PROVIDE DIRECTION AS TO SAFETY PRECAUTIONS AND PROGRAMS.
- THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMITS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOODING, BANDING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL APPROVED MATERIALS TO FLUZZIFY, PENETRATIONS THROUGH FLOOR ASSEMBLY.
- NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
- WHEN SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT DAILY. PREMISES SHALL BE LEFT IN A CLEAN ROOM FINISHED CONDITION AT ALL TIMES.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATIONS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTORS SHALL VISIT THE SITE PRIOR TO BID TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF.
- THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSION, ELEVATION, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE WORK PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS AND DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
- ANY REFERENCE TO THE WORKS APPROVED, OR APPROVAL IN THESE DOCUMENTS SHALL BE HERE DEFINED TO MEAN GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR, REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK. TO GENERAL CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.
- SEE CFC ARTICLE 14 FOR FIRE SAFETY DURING CONSTRUCTION.

SITE PREPARATION NOTES:

- THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL EXISTING CONCRETE, TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
- BACK FILLING AT TRENCHES SHALL BE OF CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 30 OR GREATER. BACK FILLING SHALL BE DONE IN 8 INCH LAYERS, MOISTURE CONDITIONED AND PROPERLY COMPACTED. ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO ponding OCCURS.
- ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED OR APPROVED COMPACTED FILL. FOOTINGS SHALL EXTEND INTO SOIL DEPTH AS INDICATED IN PLANS.
- SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER UNEXPECTED CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW FOUNDATION, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
- WITHIN AN AREA A MINIMUM OF 5 FEET BEFORE THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL REMOVE ALL ORGANICS, PAWMENT, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
- THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR PROPERTIES OF SOFT OR UNSUITABLE MATERIAL. LOCATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
- PROFUNDITY OF THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDUM AXLE DUMP TRUCK. REMOVE ALL SOILS WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
- FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL. PLACE IN 6" LOGGE LIFTS AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-698. COMPACT TO A MINIMUM OF 90% RELATIVE COMPACTION.
- THE STRUCTURE DRAINAGE SHALL REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CUTTING AND BANDING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION DESIGN SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACE STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
- WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITION.
- BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SATELITES TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION CONSTRUCTION AND TO PROTECT FROM DAMAGE THOSE PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
- THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT BY TORO INTERNATIONAL TITLED "WEST VALLEY HIGH SCHOOL - 12/25/86" DATED 12/16/2007. PER THE GEOTECHNICAL REPORT, SECTION 5.2: THE UPPER 24 TO 30 INCHES OF THE SUBSURFACE SOIL MATERIALS UNDER THE PROPOSED LOCATION OF THE EQUIPMENT SLAB CONSISTS OF ROOTS AND ORGANIC AND VERY WET THEREFORE, WE RECOMMEND THAT ALL DELETERIOUS MATERIALS BE DISCARDED OFF SITE AND THE UPPER 30 INCHES OF THE SUBSURFACE MATERIALS BE REMOVED AND REPLACED WITH COMPACTED FILL. SINGLE SOILS MAY BE REUSED PROVIDED ALL DELETERIOUS MATERIALS ARE REMOVED. THE EXTENT OF THE REMOVAL SHOULD BE WITHIN THE PROPOSED CONCRETE SLAB FOOTPRINT AND 3 FEET BEYOND IT, WHEREVER POSSIBLE. THE REMOVAL BOTTOM AND COMPACTED FILL SHOULD BE PREPARED IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN SECTION 5.3 OF THE REPORT.

SUBMITTALS:

SUBMITTALS: SUBMITTALS FOR SHOP DRAWINGS, MILL TESTS, PRODUCT DATA, ETC. FOR ITEMS DESIGNED BY THE ARCHITECT/ENGINEER OF RECORD SHALL BE MADE TO THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE SUBMITTAL BEFORE FORWARDING TO THE ARCHITECT. SUBMITTALS SHALL BE MADE IN ADVANCED TO ARCHITECT/ENGINEER. SUBMITTALS REQUIRED FOR EACH SECTION OF THESE NOTES ARE SPECIFIED IN THIS SECTION.

SHOP DRAWING REVIEW:

REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN COPY AND THE CONTRACT DOCUMENTS. MARKINGS OR EQUIVALENTS SHALL NOT BE CONSIDERED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE DESIGN COPY AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND CORRECTING ALL QUANTITIES AND DIMENSIONS, FOR SELECTION FABRICATION PROCESSES.

ACCESSIBILITY NOTE:

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN HEREON THESE PLANS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT: MOBILITY, SIGHT, AND/OR HEARING. REFER TO PER 2007 CALIFORNIA BUILDING CODE SECTION 1105.11.1. EXEMPTIONS 1 & 2. THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

STRUCTURAL STEEL:

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE AISC MANUAL OF STEEL CONSTRUCTION, WHICH INCLUDES THE SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS. THE CODE OF STANDARD PRACTICE AND THE AISC STRUCTURAL WELDING CODE. IDENTIFY AND MARK STEEL PER CDC 2203.
- STRUCTURAL STEEL SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER/ARCHITECT PRIOR TO FABRICATION.
- GROUTING OF COLUMN BASE PLATES: BASE PLATES SHALL BE DRYPACKED OR GROUTED WITH NON-SHRINK, NON-FERROUS GROUT. MINIMUM COMPRESSIVE STRENGTH SHALL BE 4,000 PSI AT 28 DAYS. ALL SURFACES SHALL BE PROPERLY CLEANED OF FOREIGN MATERIAL PRIOR TO GROUTING.
- ALL EXPOSED BOLTS SHALL BE FILED AND GROUND SMOOTH WHERE METAL COULD COME IN CONTACT WITH THE PUBLIC.
- NO HOLES OTHER THAN THOSE SPECIFICALLY DETAILED SHALL BE ALLOWED THRU STRUCTURAL STEEL MEMBERS. BOLT HOLES SHALL CONFORM TO AISC SPECIFICATION AND SHALL BE STANDARD HOLES UNLESS OTHERWISE NOTED. NO CUTTING OR BURNING OF STRUCTURAL STEEL WILL BE PERMITTED WITHOUT PRIOR CONSENT OF THE ENGINEER.
- WELDING: CONFORM TO AWS D1.1. WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH WABO REQUIREMENTS. USE E70 ELECTRODES OF TYPE REQUIRED FOR MATERIALS TO BE WELDED.
- BOLTING: ASTM A307 BOLTS SHALL BE INSTALLED "SNUG TIGHT" PER AISC. SECTION R308 (B) ASTM A325 BOLTS SHALL CONFORM TO THE R308 SPECIFICATION SECTION B (9).
- FABRICATION: CONFORM TO AISC SPECIFICATION SEC M2 "FABRICATION" AND AISC CODE SEC 6 "FABRICATION AND DELIVERY" PERFORM WORK ON PREMISES OF A FABRICATOR APPROVED BY THE BUILDING OFFICIAL.
- CALCULATING: ALL EXPOSED STEEL TOUCHING THE BUILDING EXTERIOR SHALL BE HOT-DIPPED GALVANIZED. APPLY FIELD TOP-UP-UP PER SPECIFICATIONS PER ASTM A153.

STRUCTURAL STEEL:

MATERIALS: CONFORM TO	
ANCHOR BOLTS (HEADED):	ASTM A307
ANCHOR BOLTS (FLAT-HEAD):	ASTM A307
ANCHOR BOLTS (TYPE):	ASTM A307
ANCHOR BOLTS:	ASTM A307
BARS & PLATES:	ASTM A36
C-, M-, AND ANGLE SHAPES:	ASTM A36
DEFORMED WELDED WIRE FABRIC:	ASTM A497
EPOXY & EXPANSION ANCHORS:	HILTI OR EQUIVALENT
GROUT:	EMCEE OR EQUIVALENT
HIGH-STRENGTH BOLTS:	ASTM A325CC OR (A325M)
OTHER STRUCTURAL SHAPES:	ASTM A36
REINFORCING BARS:	ASTM A615, GRADE 60, DEFORMED BARS
SMOOTH WELDED WIRE FABRIC:	ASTM A183
STRUCTURAL WF SHAPES:	ASTM A36
STEEL PIPE:	ASTM A53, GRADE B
THE WIRE:	1.6 GADE OR HEAVIER, BLACK ANNEALED
WELDING ELECTRODES:	E70XX
W - SHAPES:	ASTM A992, GRADE 50

STRUCTURAL STEEL NOTES:

- HOLE IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.
- ALL FRAMING CONNECTORS SUCH AS CONCRETE ANCHORS, HOLD-DOWNS, POST BASES, FRAMING CAPS, HANGER AND OTHER MISCELLANEOUS STRUCTURAL METALS SHALL BE AS MANUFACTURED BY SIMPSON STRONG TIE CO. OR APPROVED EQUAL.

CONCRETE REINFORCEMENT:

- REINFORCING STEEL SHALL BE SPICED AS SHOWN OR NOTED BELOW. SPLICES AT OTHER LOCATIONS SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER. ALL VERTICAL WALL REINFORCEMENT SHALL BE CONTINUOUS BETWEEN SPLICE LOCATIONS SHOWN IN THE DETAILS.
- ALL REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60 LAP REINFORCING STEEL AT SPLICES TO THE FOLLOWING MINIMUM LENGTHS UNLESS NOTED OTHERWISE:

$$l_d = \frac{f_y A_s}{4 \lambda \sqrt{f_c}}$$

$$l_e = \frac{f_y A_s}{4 \lambda \sqrt{f_c}}$$

$$l_{e1} = \frac{f_y A_s}{4 \lambda \sqrt{f_c}}$$

$$l_{e2} = \frac{f_y A_s}{4 \lambda \sqrt{f_c}}$$
- BARS SHALL BE CLEAN OF MUD, OIL, OR OTHER COATINGS LIKELY TO IMPAIR BONDING.
- ALL REINFORCING SHALL BE SECURED IN PLACE PRIOR TO INSPECTIONS, PLACING CONCRETE, OR GROUTING MASONRY.
- WELDING: BARS SHALL NOT BE WELDED UNLESS AUTHORIZED. WHEN AUTHORIZED, CONFORM TO AISC 301, SEC 3.2. 2.2. "WELDING" AND PROVIDE ASTM A706, GRADE 60 REINFORCEMENT.
- FIELD BONDING: CONFORM TO AISC 301 SEC 3.2.2.8 "FIELD BONDING OR STRAIGHTENING". BAR SIZES #3 THROUGH #8 MAY BE FIELD BENT COLD THE FIRST TWO OTHER BARS REQUIRE PREBENDING OR HOT BENDING.
- ALL REINFORCING MARKED CONTINUOUS (CON) ON THE PLANS AND DETAILS SHALL BE LAPPED 36BAR DIAMETERS AT SPLICES UNLESS OTHERWISE NOTED. (2'-0" MINIMUM).

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1100 GUARDIAN
2ND VALLEY, CA 92063

PLANS PREPARED BY:
EDG
CONNELL DESIGN GROUP, LLC
CONSULTING ENGINEERS
4845 MACARTHUR COURSE, SUITE 405 NEWPORT BEACH CA 92660
(949) 753-8897 OFFICE • (949) 133-8811 FAX
CDG#: 08-9009

CONSULTING GROUP:

SureSite Consulting Group, LLC
3659 Green Road, Suite 317
Cleveland, Ohio 44122

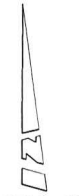
NO.	DATE	DESCRIPTION	BY:

SITE INFORMATION:
LINDERO MIDDLE SCHOOL
SV01895C
5844 LARBOARD LANE
AGOURA HILLS, CA 91301
ISSUE DATE: 09/23/08

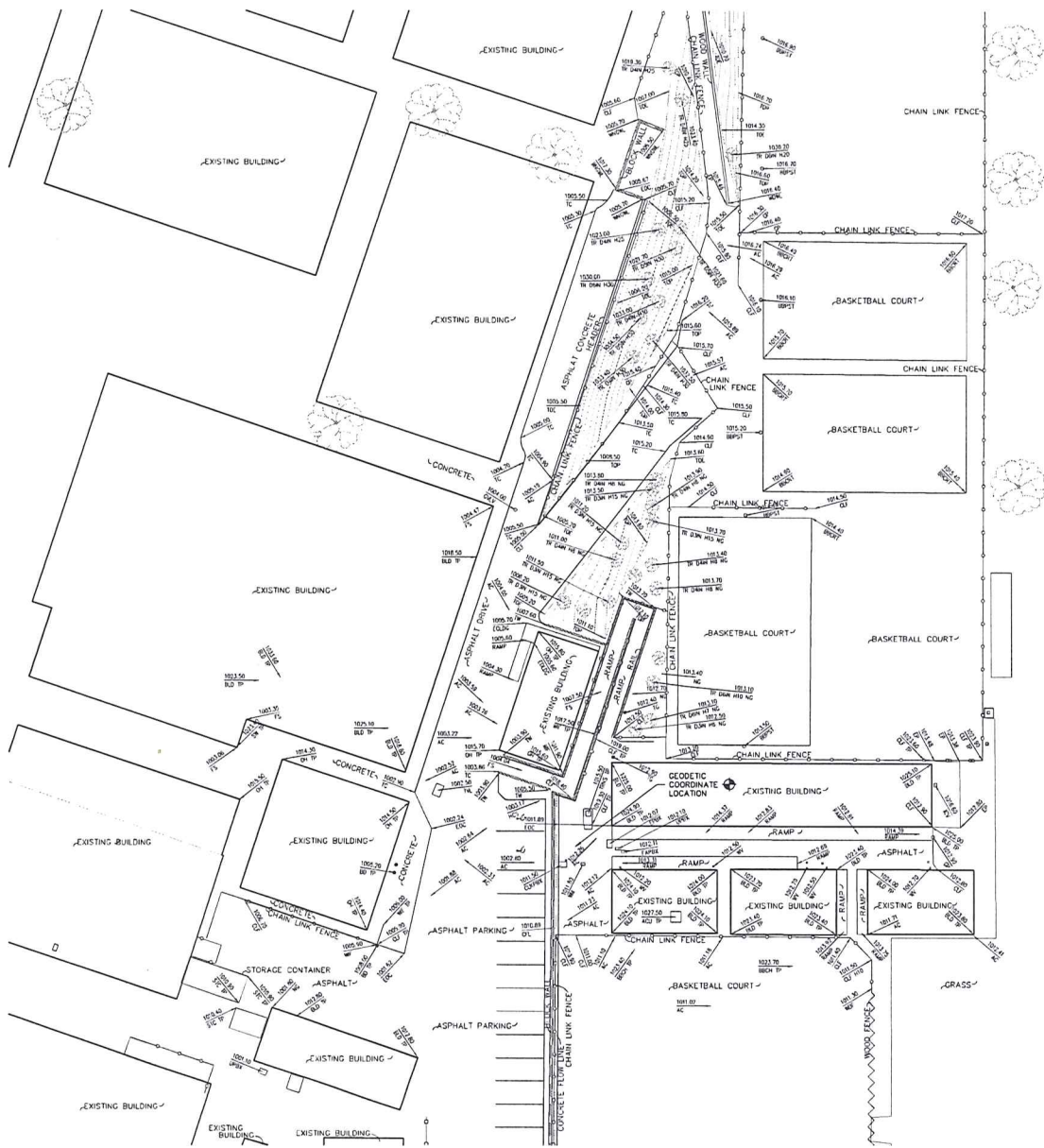
SCALE:
N.T.S. 1

SHEET TITLE:
GENERAL NOTES & SPECIFICATIONS

SHEET NUMBER:
T-3



SCALE: 1" = 20'



LEGEND:

- AC ASPHALT CONCRETE
- ACU AIR CONDITIONING UNIT
- BBCH BASKETBALL HOOP
- BBCT BASKETBALL COURT
- BBPS BASKETBALL POST
- BD BOLLARD
- BLD BUILDING
- BW BACK OF WALK
- CFI CONCRETE FLOW LINE
- CLF CHAIN LINK FENCE
- CLF/PS CLOCK PULL BOX
- CPD CONCRETE PAD
- D DIAMETER
- EBV ELECTRICAL BOX
- ECAB ELECTRICAL CABINET
- ECC EDGE OF CONCRETE
- ELODC EDGE OF LANDING
- EP EDGE OF PAVEMENT
- EP/PS ELECTRICAL PULL BOX
- FAPBX FIRE ALARM PULL BOX
- FO FOUND
- FH FIRE HYDRANT
- FP FLAG POLE
- FS FINISHED SURFACE
- FW FRONT OF WALK
- GB GRADE BREAK
- GL GUTTER LIP
- GP GATE POST
- GVLV GAS VALVE
- H HEIGHT
- HCS HANDICAP PARKING
- ICV IRRIGATION CONTROL VALVE
- MH MANHOLE
- NG NATURAL GROUND
- OH OVERHANG
- PA PLAY AREA
- RAIL RAIL
- RMP RAMP
- S/T SPIKE AND TIN
- SCD SEWER CLEAN OUT
- SDMH STORM DRAIN MANHOLE
- SAM SEWER MANHOLE
- STC STORAGE CONTAINER
- SW SCREEN WALL
- TC TOP OF CURB
- TE TRASH ENCLOSURE
- TG TOP OF GRATE
- TOS TOP OF SLOPE
- TOP TOP
- TR TREE
- TRNS TRANSFORMER
- TRPM PALM TREE
- TRPW PINE TREE
- TRSR TRUSS RISER
- TW TOP OF WALL
- UBEX UTILITY BOX
- UT/VT UTILITY VAULT
- V-D V-DITCH
- WDF WOOD FENCE
- WDWL WOOD WALL
- WFNT WATER FOUNTAIN
- WFI WROUGHT IRON FENCE
- WL WALL
- WM WATER METER
- WMS WOODEN MOW STRIP
- WINCR WINDOW
- WV WATER VALVE
- BLOCK WALL
- BOLLARD
- CHAIN LINK FENCE
- CENTERLINE
- FIRE HYDRANT
- FOUND MONUMENT
- GRATE
- HANDICAP PARKING
- IRRIGATION CONTROL VALVE
- SEWER MANHOLE
- SEWER CLEAN OUT

T-Mobile
Stick Together™
3 IMPERIAL PROMENADE, SUITE 1100
SANTA ANA, CA 92707

PLANS PREPARED BY:
BERT HAZE
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3188 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 706.057

NO.	DATE	DESCRIPTION	BY
1	02/12/08	ISSUED FOR REVIEW	OB

SV01895C
LINDERO CANYON
MIDDLE SCHOOL
5844 LARBOARD LANE
AGOURA HILLS, CA 91001

STAMP:

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
C-2

SEE SHEET C-1 FOR BOUNDARY AND TITLE INFO