

## REPORT TO CITY COUNCIL

**DATE: JUNE 10, 2009**

**TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL**

**FROM: GREG RAMIREZ, CITY MANAGER**

**BY: MIKE KAMINO, DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT**

**SUBJECT: APPEAL OF THE PLANNING COMMISSION'S APPROVAL OF CONDITIONAL USE PERMIT CASE NO. 07-CUP-007, WHICH ALLOWS FOR THE CONSTRUCTION OF AN UNMANNED WIRELESS TELECOMMUNICATION FACILITY CONSISTING OF THREE (3) NEW T-MOBILE ANTENNA FLAG POLES WITH TWO (2) ANTENNAS INSIDE EACH POLE, AND SIX (6) ASSOCIATED GROUND-MOUNTED EQUIPMENT CABINETS SURROUNDED BY AN EIGHT- (8) FOOT HIGH MASONRY EQUIPMENT ENCLOSURE (OMNIPPOINT COMMUNICATIONS, INC. FOR T-MOBILE, APPLICANT)**

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The request before the City Council is to conduct a public hearing to consider an appeal of the Planning Commission's approval of Conditional Use Permit Case No. 07-CUP-007, which allows the construction of an unmanned wireless telecommunication facility on the Lindero Canyon Middle School property, located at 5844 Larboard Lane.

The Planning Commission held two public hearings on February 5, 2009, and March 5, 2009, and approved T-Mobile's request for a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles, with two (2) antennas hidden inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an 8-foot high masonry equipment enclosure.

The applicant's proposal to the Planning Commission was to construct a new wireless telecommunication facility on three new antenna flag poles that are 18 inches in diameter. Two of the flag poles will be 40 feet tall and one will be 45 feet tall and each of the poles are located eight feet apart. Two panel antennas were proposed to be mounted in stacked pairs within each pole. In addition, six (6) associated ground-mounted equipment cabinets were proposed to be located at the parking lot level (off the Rainbow View Drive entrance), adjacent to, and ten feet below, the proposed flag pole level. The three parking spaces at the north end of the parking lot were proposed to be removed to accommodate the equipment cabinets. The cabinets will be surrounded by an eight- (8) foot high masonry equipment enclosure to match the existing retaining wall finish, with a black wrought iron lid and 4-foot wide corrugated steel gate. In addition, a new planter area will be installed on the north and west elevations of the new equipment enclosure for additional screening. The facility signage is limited to warning and

informational signs. Although located on school district land, the Zoning Ordinance requires consideration of a Conditional Use Permit for this project since this cellular site is considered a commercial use that will serve T-Mobile customers and not solely serve the school and/or school district for classroom instruction purposes.

The project site consists of a leased area on the center portion of the Lindero Canyon Middle School campus, located at 5844 Larboard Lane, owned by the Las Virgenes Unified School District. The cellular site would be placed west of the athletic field and set back approximately 200 feet from the closest public street (Rainbow View Drive) and approximately 300 feet from the closest residence. No off-site or public improvements will be needed for this proposed facility. The school site is surrounded by single-family residences.

At the February 5, 2009, Planning Commission meeting, the Commission requested additional information from the applicant, as well as questions of staff in clarifying the City's discretionary review authority of wireless telecommunication facilities and continued the hearing to March 5, 2009. In response to the Planning Commission's direction, staff consulted with the City Attorney and returned to the Commission on March 5, 2009, with a memo containing analysis of the issues raised by the Planning Commission. The following is a summary of the memo for City Council's information in reviewing the appeal:

1. The City has discretionary review authority over telecommunications facilities placed on public school property because the proposed flag poles are non-classroom facilities.

Although cities do not always have discretionary review authority on public school property, the City's zoning code applies to this use because it is not directly used for, or related to, student instruction and is devoted completely to ancillary, non-instructional functions. Thus, the City may validly require a discretionary permit for the use. Neither the applicant nor the Las Virgenes Unified School District has contested this authority.

2. The Planning Commission has limited discretionary review authority over the aesthetic impacts of the facilities.

An application cannot be completely denied for aesthetic reasons, but it can be conditioned to provide reasonable aesthetic improvements, such as landscaping or screening. Aesthetic regulations do not threaten the policy behind the Federal Telecommunications Act of 1996 (the "TCA"). The TCA's purpose was to reserve local agencies' power to regulate while providing a pro-competitive, de-regulated telecommunications market. As long as service is not effectively prohibited and the regulations do not reflect favoritism for a particular provider, the competitive markets that the Federal Communications Commission (FCC) has sought to construct are protected. Put differently, if a single siting denial does not create significant gaps in provider coverage and reflects no unreasonable discrimination among providers, market dynamics and FCC authority are not threatened in the first place.

Staff cannot state with clear certainty how much discretion is too much in this context. As such, staff recommended that the Commission limit its aesthetic regulations to reasonable

exactions, such as screening and landscaping where justified by substantial evidence in the record.

3. The Planning Commission may request the applicant to justify the need for the facility at the proposed location. However, a denial of the application would require a written response supported by substantial evidence.

A local government has the authority to make decisions regarding the placement, construction, and modification of personal wireless service facilities, but the regulation can not actually, or effectively, prohibit the provision of personal wireless services. Thus, a city may not impose a general ban or, through a denial, prevent a provider from filling a “significant gap” in its own coverage. After demonstrating that such a significant gap in coverage exists, the provider must make some showing of the necessity of its proposed means of closing that gap. The provider may demonstrate this with a coverage map, which the applicant has provided. The Planning Commission may question this evidence and attempt to confirm the need, but the Commission must rely on expertise or evidence to rebut the provider’s evidence.

To deny an application on the basis of an unnecessary location, the Planning Commission must make written findings of denial, supported by substantial evidence in the record, that there was no actual need to close a “significant gap” in coverage. Non-expert impressions in this regard are not evidence, and neither is the lay testimony of the public.

4. The Planning Commission may request the applicant to consider alternative sites or explain whether other sites were considered, but may not deny the application because the Commission believes another site would be more suitable aesthetically.

The Planning Commission can request the applicant to consider alternative sites, or explain whether other sites were considered as a matter of demonstrating need. However, the provider’s proposed solution need not be the most acceptable option for the community in question, nor need it demonstrate that there are no alternative sites which would resolve the problem. The current “least intrusive” standard allows for a meaningful comparison of alternative sites, but this comparison must take into account federal law’s emphasis on the “gap filling” requirement. A less-intrusive site, aesthetically, may not be imposed over the technically superior site.

5. The Planning Commission has discretion regarding the on-site location of the facility, but may not deny the application because the Commission believes another on-site location would be more suitable.
6. Because the facility is subject to FCC and the Public Utilities Code emission standards, the Planning Commission has no discretion to regulate based on emission-related concerns. However, the Planning Commission may condition the Conditional Use Permit (CUP) on compliance with applicable emission standards.

In general, the City may regulate for public health, safety, and welfare impacts of a proposed

project. However, the TCA expressly prohibits a city's authority to regulate on the basis of concerns over radio frequency emissions, so long as the proposed facility complies with FCC emission requirements. Thus, while the Planning Commission cannot regulate on this basis, the Commission may require compliance with FCC and the Public Utilities Code emission standards.

The Planning Commission staff reports from the February 5, 2009, and March 5, 2009, Planning Commission meetings are attached for reference. On March 5, 2009, on a 3-1 vote (Commissioner Buckley Weber opposed and Vice Chair Zacuto was absent), the Planning Commission adopted Resolution No. 961, approving the project per the findings contained in the resolution.

On March 20, 2009, the City Council filed an application for appeal of the Planning Commission's decision.

In an effort to address aesthetic concerns, the applicant has modified the project plans to eliminate the number of flag poles from three flag poles to one flag pole to assist in mitigating the visual impacts. According to the applicant, different technology has allowed them to combine all the antennas inside one flag pole and still have the same coverage as the previously proposed three flag poles. The flag pole would still be 45 feet high, which, according to the applicant, is the lowest possible height to meet the coverage objectives. For comparison purposes, the February 5, 2009 Planning Commission staff report contains exhibits of the three-pole design.

The flag pole is also still proposed to be an 18 inch diameter cylinder design to be located on the center portion of the Lindero Canyon Middle School campus, as originally planned. The antennas will be mounted inside the flag pole, such that the antennas will not be visible outside the flag pole structure. In addition, the flag pole will be painted to match the existing buildings, and an American flag is proposed to be flown from the pole. A small light at the base of the pole will be installed to illuminate the flag. The ground-mounted equipment is proposed to be screened using landscaping.

The applicant examined several alternative locations, but states the sites would not support their coverage needs due to location. Propagation map review further concluded that service area needs could not be met using these alternate locations. The applicant also examined the palm tree design. They felt that the flag pole would better blend in and be more camouflaged than the palm tree.

The new telecommunication facility is disguised as a flag pole. Flagpoles are structures that are typically found on a school campus. It is for this reason that the applicant chose the flag pole over other options. The antennas would be hidden inside the pole and would not be visible. The project has been revised to have one antenna flag pole rather than three as originally proposed. The equipment masonry wall enclosure is also compatible with other walls in this area of the school site. From the public view, the proposed project site lease area is within a developed property, with the facility located a distance from the public right-of-way and surrounding residential developments, and obstructed from views at surrounding streets by mature

landscaping and residential developments. Additionally, according to an analysis of Radio Frequency (RF) exposure submitted by the applicant, the project will comply with the prevailing standards for limiting public exposure to radio frequency energy.

## **RECOMMENDATION**

It is recommended the City Council conduct a public hearing to consider an appeal of the Planning Commission's approval of Conditional Use Permit No. 07-CUP-007. If the City Council votes to uphold the decision of the Planning Commission and approves the project, it is recommended that attached Resolution No. 09-1532 be adopted, subject to conditions. The resolution reflects the revised project consisting of one flag pole instead of three. If the City Council votes to overturn the Planning Commission decision and denies the project, a revised resolution will be brought back for adoption at the next earliest possible City Council Meeting.

### Attachments:

- City Council Resolution No. 09-1532
- Appeal Application
- Reduced Copies of Project Plans
- Photo-Simulations of Project Site
- Planning Commission Meeting Minutes (February 5, 2009 and March 5, 2009)
- Planning Commission Resolution No. 961
- Planning Commission Staff Reports (February 5, 2009 and March 5, 2009)
- Written Correspondence Received by the Public

**RESOLUTION NO. 09-1532**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF AGOURA HILLS, CALIFORNIA, UPHOLDING THE PLANNING COMMISSION'S APPROVAL OF CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

THE CITY COUNCIL OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Omnipoint Communications, Inc., for T-Mobile with respect to the real property located at 5844 Larboard Lane (Lindero Middle School), Assessor's Parcel Number 2056-015-900, requesting the approval of a Conditional Use Permit (Case No. 07-CUP-007) to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile 40-foot and 45-foot high antenna flag poles with three (3) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight- (8) foot high masonry equipment enclosure. Public hearings were duly held by the Planning Commission on February 5, 2009 and March 5, 2009, at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date and place and purpose of the aforesaid was duly given. Evidence, both written and oral, was duly presented to, and considered by, the Planning Commission at the aforesaid public hearings. On March 5, 2009, the Planning Commission approved Conditional Use Permit Case No. 07-CUP-007 on a 3-1 vote (Commissioner Buckley Weber opposed and Vice Chair Zacuto was absent), subject to conditions, per Resolution 961.

Section 2. An appeal of the Planning Commission's approval of Conditional Use Permit Case No. 07-CUP-007 was filed by the Council Member with respect to the project described in Section 1 hereof. The appellant, the City Council, appealed the decision of the Planning Commission for the following reasons: To allow the City Council the opportunity to review and consider this item at a scheduled public hearing. The applicant submitted a revised plan proposing a single 45-foot high flag pole, instead of three (3) for review and consideration by the City Council. A public hearing on the appeal was duly held and public testimony was given on June 10, 2009, in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid public hearing was duly given.

Section 3. Evidence, both written and oral, was duly presented to, and considered by, the City Council at the aforesaid public hearing.

Section 4. Pursuant to Section 9673.2.E of the Agoura Hills Zoning Ordinance, the City Council finds as follows:

A. The proposed use, as conditioned, will be hidden within a pole design, which appears as a flag pole and does not have the visual mass of the typical monopole array antennas.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed antennas will be concealed within the top of an 18-inch wide galvanized steel flag pole “radome”. Consequently, the project would not visually impact the surrounding residential community, in that the antennas appear as only a flag pole, typically found on a school campus. The visibility of the equipment will be limited, as it is located more than 200 feet from the closest public right-of-way (Rainbow View Drive), bordering the school on the south. The overall project is obstructed from views at surrounding streets (Larboard Lane, Sandtrap Drive, Rainbow Hill Road, and Rainbow View Drive) by mature landscaping and surrounding residential developments.

C. The proposed use, as conditioned, and the conditions under which it would be operated or maintained, will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. Compliance with the aforementioned regulations and standards is a condition of the conditional use permit, and any noncompliance may result in an immediate revocation of the permit. The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated.

D. The proposed use, as conditioned, and the location of the antennas and ancillary equipment will comply with state and federal requirements.

E. The proposed use, as conditioned, will maintain the diversity of the community. The nearest wireless telecommunication facility is located at Kanan Road and Thousand Oaks Boulevard, as such, the new facility would not contribute to the over-concentration of similar uses.

F. The proposed use is consistent with the goals, objectives and policies of the General Plan. The General Plan Community Design Element calls for an efficiently organized and aesthetically pleasing City. The project meets this goal by locating the new antennas on a new antenna flag pole and screening the required ancillary equipment from public view.

G. The applicant has revised the plans from what was approved by the Planning Commission by reducing the number of antennas and flag poles from three flag poles, with two (2) antennas inside each pole, to one (1) flag pole, with three panel antennas inside the pole.

Section 5. The project is exempt from the California Environmental Quality Act (CEQA), as defined in Section 15303, Class 3, and does not require the adoption of an environmental impact report or negative declaration.

Section 6. Based on the aforementioned findings, the City Council hereby upholds the Planning Commission’s approval of Conditional Use Permit Case No. 07-CUP-007, subject

to the attached Conditions, with respect to the property described in Section 1 herein, and denies the appeal.

PASSED, APPROVED AND ADOPTED this 10th day of June, 2009, by the following vote to wit:

AYES:            ()  
NOES:            ()  
ABSENT:         ()  
ABSTAIN:        ()

\_\_\_\_\_  
Denis Weber, Mayor

ATTEST:

\_\_\_\_\_  
Kimberly M. Rodrigues, City Clerk



## **CONDITIONS OF APPROVAL (CASE NO. 07-CUP-007 APPEAL)**

### STANDARD CONDITIONS

1. This decision, or any aspects of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete confirmation to the approved Site Plan, Elevation Plans, and Equipment Details Plans.
4. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
7. For construction within public right-of-way, an encroachment permit is required in accordance with Agoura Hills Municipal Code. All required applicable fees, securities, and insurance must be posted prior to issuance of the encroachment permit.
8. The SWPPP shall be prepared in compliance with the Development Construction Model Program for Stormwater Management within the County of Los Angeles, and shall be subject to approval by the City Engineer. The SWPP shall identify pollutant sources, and shall include design and recommend construction and implementation of stormwater pollution prevention measures in order to reduce pollutants in stormwater discharges from the construction site during the construction period, and after construction as required.
9. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.

10. Unless this permit is used within two (2) years from the date of City approval, these permits will expire. A written request for a one-year extension may be considered prior to the expiration date.
11. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

#### SPECIAL CONDITIONS

12. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
13. The antenna flag pole shall be painted to blend with the colors of the surrounding buildings.
14. The proposed equipment shall be screened from public view with a masonry equipment enclosure to match the existing retaining wall finish and approved by the Director of Planning and Community Development.
15. No wire or cable shall be visible on the outside of the equipment shelter. All wires and cables shall be located inside the new antenna flag poles.
16. The antenna installation shall comply with Federal Communication Commission regulations, the National Electric Code, the American National Standard Institute, Public Utilities Code, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment.
17. Upon installation of the facility, the applicant shall provide written verification for review and approval by the Director of Planning and Community Development that the antennas installation complies with Federal Communication Commission regulations, the National Electric Code, the American Standards Institute, Public Utilities Code, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The power levels of each antenna shall be verified by the applicant and approved by the Director of Planning and Community Development.
18. If any future inspection discloses that the subject property is being used in violation of any one of the Conditions of Approval, the applicant shall be financially responsible and shall reimburse the City of Agoura Hills for all additional enforcement efforts necessary to bring the subject use into compliance.
19. The antennas and appurtenant equipment shall be removed from the property within 60 days in the event the wireless telecommunication facility ceases operation.

20. If any circumstance or change to the site results in greater visibility of the facility, the approval of this Conditional Use Permit shall be subject to re-evaluation which may result in the revocation of the Conditional Use Permit or modifications to the Conditions of Approval.
21. As part of the approval, the Planning Department must receive from the applicant a copy of the notice of completion registered with the State Public Utility Commission.
22. Compliance with the Federal Communication Commission and the Public Utilities Code emission regulations and standards is a condition of this permit, and any noncompliance may result in an immediate revocation of the permit.

END



**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

**APPEAL APPLICATION**

**APPLICATION FOR APPEAL**

CITY OF AGOURA HILLS

2009 MAR 20 PM 12: 24

NAME: Agoura Hills City Council CITY CLERK

ADDRESS: 30001 Ladyface Court, Agoura Hills, CA 91301

PHONE NO.: (818) 597-7300

CASE NO.: Conditional Use Permit Case No. 07-CUP-007

Appeal to (circle one): Planning Commission  
City Council

In the following space, please briefly indicate the reasons for the appeal.

On March 25, 2009, at the regular City Council meeting, the City Council, unanimously approved a motion to appeal the March 5, 2009 decision of the Agoura Hills Planning Commission to approve Conditional Use Permit Case No. 07-CUP-007 (construction of T-Mobile antenna flag poles at Lindero Canyon Middle School) to allow the City Council the opportunity to review and consider this item at a scheduled public hearing.

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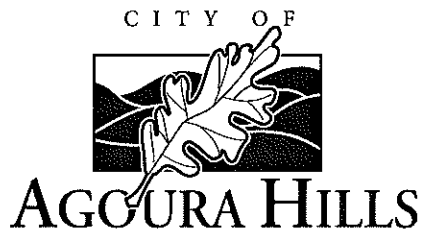
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Mark for the AtH City Council  
 Signature of Applicant

**NOTE:** Applications for appeals must be filed within fifteen (15) days of the date of the decision. This application, along with the appropriate filing fee, should be submitted to the Director of Community Development. As part of the appeal, applicants should be prepared to provide the Planning Department with additional sets of project plans and other pertinent materials.

\* Pursuant to AHMC 9804.6, no filing fee is required. (FR) 3/20/2009



**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

**REDUCED COPIES OF PROJECT PLANS**

# T-Mobile

**SITE NUMBER: SV01895C**

**CITY: AGOURA HILLS**

**SITE NAME: LINDERO MIDDLE SCHOOL**  
**SITE TYPE: RAW LAND**

**COUNTY: COUNTY LOS ANGELES**  
**JURISDICTION: CITY OF AGOURA HILLS**

**T-Mobile**  
Stick Together

4100 GUARDIAN  
SIMI VALLEY, CA 90263

PLANS PREPARED BY:

**EDG**

CONNELL DESIGN GROUP, LLC

4883 MACARTHUR COURT, SUITE 480, NEWPORT BEACH CA 92660  
949 751-4887 OFFICE - 714 751-8883 FAX  
CDG#: 08-9009

CONSULTING GROUP:

**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

**PROJECT SUMMARY:**

**SITE ADDRESS:**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
COUNTY OF LOS ANGELES

**PROPERTY OWNER:**

LAS VIRGENES UNIFIED SCHOOL DISTRICT  
4113 N. LAS VIRGENES RD.  
CALABASAS, CA 91302  
PHONE: (818) 878-5203

**APPLICANT:**

T-MOBILE USA  
4100 GUARDIAN STREET  
SUITE 101  
SIMI VALLEY, CA 90263  
REAL ESTATE MANAGER:  
CONSTRUCTION MANAGER:  
DEVELOPMENT MANAGER:

ALBERT CORCKENBERG  
CHRIS HATCH  
ADRIENNE PATNAUD

**PROJECT DESCRIPTION:**

CONSTRUCTION OF 8'-0" CMU WALL EQUIPMENT ENCLOSURE WITH WROUGHT IRON U.D.

INSTALLATION (1) NEW FLAG POLE FOR T-MOBILE PANEL ANTENNAS AND ONE GPS ANTENNA AT EQUIPMENT AREA

COAX RUNS FROM EQUIPMENT TO ANTENNAS

200A ELECTRICAL & TELCO SERVICE TO EQUIPMENT

**BUILDING SUMMARY:**

OCCUPANCY CLASSIFICATION: UNMANNED TELECOMMUNICATIONS  
TYPE OF CONSTRUCTION: V-N  
ZONING: DSA  
AREA OF CONSTRUCTION: 450± SQ FT  
ASSESSORS PARCEL NUMBER: 2956-015-900

**SHEET INDEX:**

**SHEET NUMBER: DESCRIPTION:**

T-1 TITLE SHEET

C-1 TOPOGRAPHIC SURVEY  
C-2 TOPOGRAPHIC SURVEY  
A-1 EXISTING SITE PLAN  
A-1.1 FUTURE SCHOOL SITE PLAN  
A-2 EQUIPMENT AND ANTENNA LAYOUT  
A-2.1 ENLARGED SITE PLAN  
A-3 ARCHITECTURAL ELEVATIONS

**DSA NOTES:**

- NOTES:**
1. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE REPAIR WORK.
  2. ALL WORK SHALL CONFORM TO TITLE 24, 2007 CALIFORNIA CODE OF REGULATIONS (CCR).
  3. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR CHANGE ORDERS APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-336, PART 1, TITLE 24, CCR.
  4. A 'DSA CERTIFIED' PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, CALIFORNIA STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR, CLASS 3).
  5. A DSA INSPECTOR WITH CLASS '3' CERTIFICATION IS REQUIRED FOR THIS PROJECT.
  6. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
  7. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE WORK. [REFERENCE SECTION 4-317 (C), CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR)]

**CODE COMPLIANCE:**

LIST OF 2007 CALIFORNIA CODE OF REGULATIONS

APPLICABLE CODES AS OF JANUARY 1, 2008

- 2007 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2007 CALIFORNIA BUILDING CODE (CBC)
- 2007 CALIFORNIA ELECTRICAL CODE (CEC)
- 2007 CALIFORNIA MECHANICAL CODE (CMC)
- 2007 CALIFORNIA PLUMBING CODE (CPC)
- 2007 CALIFORNIA ENERGY CODE (CEC)
- 2007 CALIFORNIA FIRE CODE (CFC)
- 2007 CALIFORNIA TITLE 24

PARTIAL LIST OF APPLICABLE STANDARDS

- NFPA 13 AUTOMATIC SPRINKLER SYSTEMS 2002 EDITION
  - NFPA 14 STANDPIPE SYSTEMS 2003 EDITION
  - NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS 2002 EDITION
  - NFPA 17A WET CHEMICAL SYSTEMS 2003 EDITION
  - NFPA 20 STATIONARY PUMPS 2002 EDITION
  - NFPA 24 PRIVATE FIRE MAINS 2002 EDITION
  - NFPA 72 NATIONAL FIRE ALARM CODE (CALIFORNIA AMENDED) 2002 EDITION
- (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")
- NFPA 253 CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS 2004 EDITION
  - NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2004 EDITION
- REFERENCE CODE SECTION FOR NFPA STANDARDS - 2007 CBC (SFM) 3504.1

NO.	DATE	DESCRIPTION	BY:

SITE INFORMATION:

**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
**ISSUE DATE: 09/23/08**

SECTOR	AZIMUTH	CENTERLINE	# OF ANTENNAS	ANTENNA MODEL #	# OF COAX LINES	COAX DIAMETER	COAX LENGTH
A	0°	37'-1"	1	CSHX-8518-R2-TAO	4	7/8"	85' ±
B	120°	37'-1"	1	CSHX-8518-R2-TAO	4	7/8"	85' ±
C	240°	37'-1"	1	CSHX-8518-R2-TAO	4	7/8"	85' ±

**CONSULTING TEAM:**

**SAC/ZONING/PERMITTING:**

SURESITE CONSULTING GROUP, LLC  
3659 GREEN ROAD, SUITE 317  
CLEVELAND, OHIO 44122  
CONTACT: FRANK KOPPALA  
PHONE: (310) 743-9884

**ARCHITECTURAL & ENGINEERING:**

CDG-CONNELL DESIGN GROUP, L.L.C.  
4885 MACARTHUR COURT, STE 480  
NEWPORT BEACH, CA 92660  
CONTACT: JOE CONNELL  
PHONE: (949) 306-4650

**STRUCTURAL ENGINEER:**

VECTOR ENGINEERS  
9135 S. STATE STREET, SUITE 101  
SANDY UT, 84070  
CONTACT: ROGER ALWORTH  
PHONE: (801) 990-1775

**STRUCTURAL ENGINEER:**

CDG-CONNELL DESIGN GROUP, L.L.C.  
4885 MACARTHUR COURT, STE 480  
NEWPORT BEACH, CA 92660  
CONTACT: HANNS BAUMANN  
PHONE: (949) 753-6801

**SURVEY:**

BERT HAZE SURVEYING  
3188 AIRWAY AVE., SUITE K1  
COSTA MESA, CA 92626  
OFFICE: (714) 557-1557  
FAX: (714) 557-1558

**ELECTRICAL ENGINEER:**

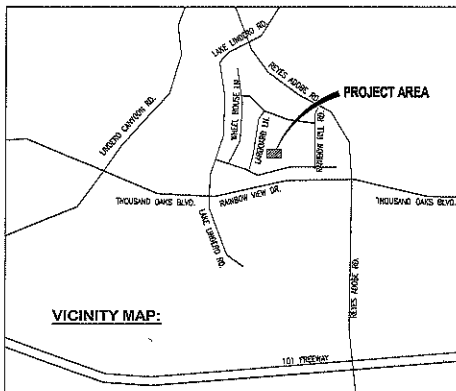
CDG-CONNELL DESIGN GROUP, L.L.C.  
4885 MACARTHUR COURT, STE 480  
NEWPORT BEACH, CA 92660  
CONTACT: DINH TANG  
PHONE: (714) 282-8811

**POWER UTILITY CONTACT INFO:**

T.B.D.

**TELCO UTILITY CONTACT INFO:**

T.B.D.



**DIRECTIONS FROM T-MOBILE SIMI VALLEY OFFICE:**  
START AT 4100 GUARDIAN ST, SIMI VALLEY GOING TOWARD TAPO CANYON RD TURN RIGHT ON TAPO CANYON RD - GO 1.5 MI., TURN RIGHT TO TAKE RAMP ONTO CA-118 W TOWARD VENTURA - GO 8.1 MI., CONTINUE ON CA-23 S - GO 0.0 MI.  
TAKE THE LOS ANGELES LEFT EXIT ONTO US-101 S - GO 3.8 MI., TAKE EXIT #38/LINDERO CYN RD - GO 0.4 MI.  
TURN LEFT ON LINDERO CANYON RD - GO 0.8 MI., TURN RIGHT ON THOUSAND OAKS BLVD - GO 0.3 MI.  
TURN LEFT ON LAKE LINDERO DR - GO 0.1 MI., TURN RIGHT ON RAINBOW VIEW DR - GO 0.1 MI.  
TURN LEFT ON LARBOARD LN  
ARRIVE AT 5844 LARBOARD LN, AGOURA HILLS, ON THE RIGHT

THOMAS GUIDE  
REGION: LOS ANGELES  
PAGE: 207  
GRID #: 04

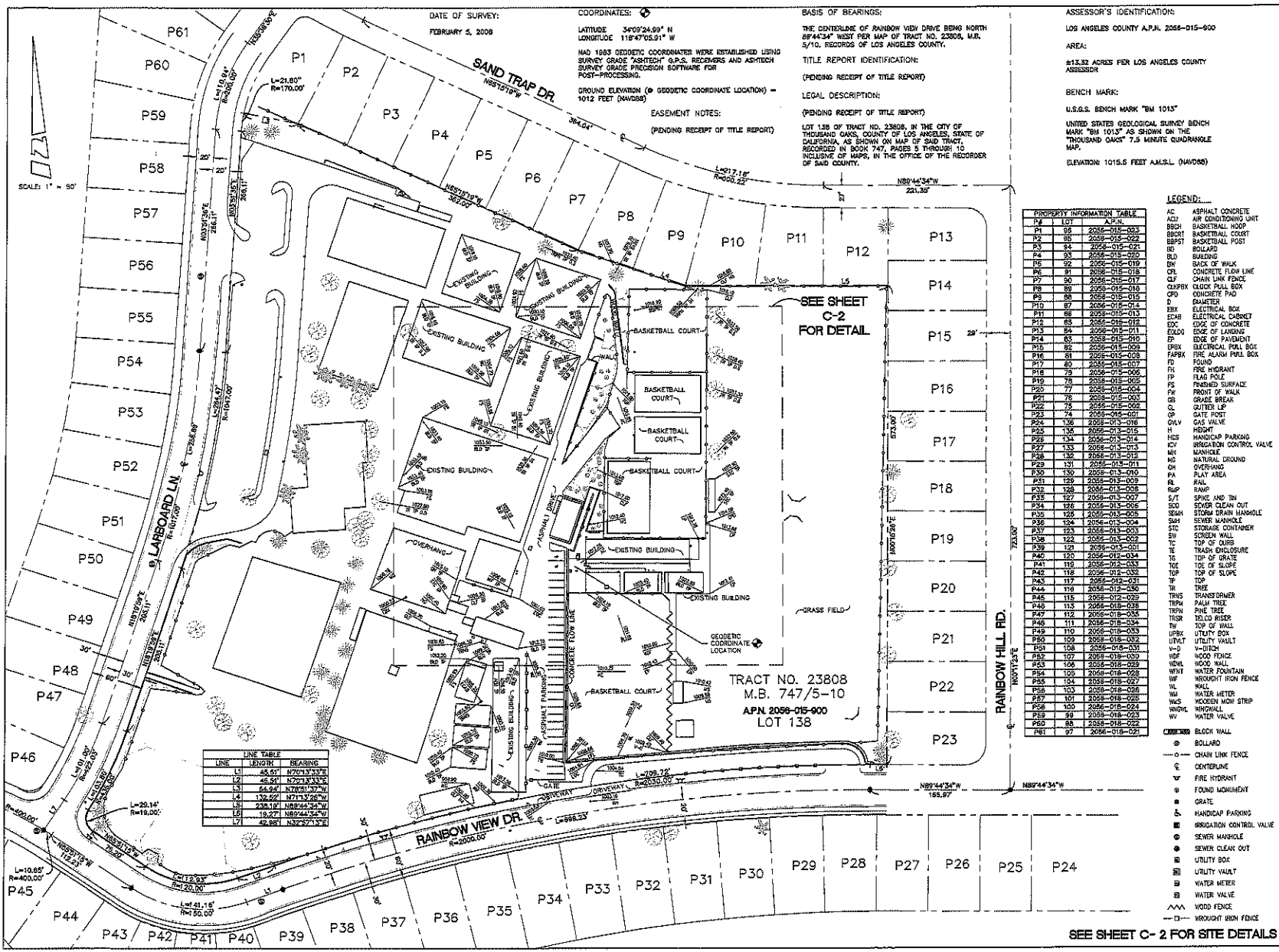
SEAL:

SHEET TITLE:

**TITLE SHEET**

SHEET NUMBER:

**T-1**



DATE OF SURVEY:  
FEBRUARY 5, 2008

COORDINATES:  
LATITUDE 34°05'24.89" N  
LONGITUDE 118°47'05.91" W  
HAD 1983 GEODETIC COORDINATES WERE ESTABLISHED USING SURVEY GRADE "ASITECH" G.P.S. RECEIVERS AND ASITECH SURVEY GRADE PROCESSING SOFTWARE FOR POST-PROCESSING.  
GROUND ELEVATION (Ø GEODETIC COORDINATE LOCATION) = 1012 FEET (NAVD83)

EASEMENT NOTES:  
(PENDING RECEIPT OF TITLE REPORT)

BASIS OF BEARINGS:  
THE CENTERLINE OF RAINBOW VIEW DRIVE BEING NORTH 89°44'34" WEST PER MAP OF TRACT NO. 23808, M.B. 5/10, RECORDS OF LOS ANGELES COUNTY.

TITLE REPORT IDENTIFICATION:  
(PENDING RECEIPT OF TITLE REPORT)

LEGAL DESCRIPTION:  
(PENDING RECEIPT OF TITLE REPORT)

LOT 138 OF TRACT NO. 23808, IN THE CITY OF THOUSAND OAKS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP OF SAID TRACT, RECORDED IN BOOK 747, PAGES 5 THROUGH 10 INCLUSIVE OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.

ASSESSOR'S IDENTIFICATION:  
LOS ANGELES COUNTY A.P.N. 2056-015-900

AREA:  
#13.32 ACRES PER LOS ANGELES COUNTY ASSESSOR

BENCH MARK:  
U.S.G.S. BENCH MARK "BM 1013"

ELEVATION: 1015.6 FEET A.M.S.L. (NAVD83)

SEE SHEET  
C-2  
FOR DETAIL

TRACT NO. 23808  
M.B. 747/5-10  
APN. 2056-015-900  
LOT 138

LINE	LENGTH	BEARING
L1	45.51	S72°13'33"E
L2	42.57	S72°13'33"E
L3	63.64	N72°01'37"E
L4	170.20	N71°13'26"W
L5	238.17	N88°44'34"W
L6	18.27	N88°44'34"W
L7	18.27	N88°44'34"W

PROPERTY INFORMATION TABLE	AC	ASPHALT CONCRETE
P1	55	2056-015-033
P2	55	2056-015-033
P3	84	2056-015-034
P4	93	2056-015-030
P5	92	2056-015-019
P6	91	2056-015-018
P7	90	2056-015-017
P8	89	2056-015-016
P9	88	2056-015-015
P10	87	2056-015-014
P11	86	2056-015-013
P12	85	2056-015-012
P13	84	2056-015-011
P14	83	2056-015-010
P15	82	2056-015-009
P16	81	2056-015-008
P17	80	2056-015-007
P18	79	2056-015-006
P19	78	2056-015-005
P20	77	2056-015-004
P21	76	2056-015-003
P22	75	2056-015-002
P23	74	2056-015-001
P24	73	2056-015-001
P25	72	2056-015-001
P26	71	2056-015-001
P27	70	2056-015-001
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P54	43	2056-015-001
P55	42	2056-015-001
P56	41	2056-015-001
P57	40	2056-015-001
P58	39	2056-015-001
P59	38	2056-015-001
P60	37	2056-015-001
P61	36	2056-015-001

- LEGEND:
- AC ASPHALT CONCRETE
  - AC2 AIR CONDITIONING UNIT
  - BBCH BASKETBALL HOOP
  - BBCH2 BASKETBALL COURT
  - BBPST BASKETBALL POST
  - BLD BOLLARD
  - BLD BUILDING
  - BM BENCH MARK
  - CONC CONCRETE FLOW LINE
  - CLF CHAIN LINK FENCE
  - CONCREX CONCRETE PAVER
  - CPD CONCRETE PAD
  - D DRAINAGE
  - EBK ELECTRICAL BOX
  - ECAB ELECTRICAL CABINET
  - EDK EDGE OF CONCRETE
  - EDLG EDGE OF LANDING
  - EP EDGE OF PAVEMENT
  - EPB ELECTRICAL PULL BOX
  - FAPBX FIRE ALARM PULL BOX
  - FD FOUND
  - FI FIRE HYDRANT
  - FP FLAG POLE
  - FRSFRS FRESH SURFACE
  - FRONT FRONT OF WALK
  - GB GRADE BREAK
  - GUTTER GUTTER
  - GP GATE POST
  - GRV GRADE VALVE
  - HWY HIGHWAY
  - HCS HANDICAP PARKING
  - ICV IRRIGATION CONTROL VALVE
  - MH MANHOLE
  - NG NATURAL GROUND
  - OV OVERHANG
  - PA PLAY AREA
  - RAMP RAMP
  - S/T SPICE AND TEA
  - SCD SCHOR CLEAN OUT
  - SEAW STORM DRAIN MANHOLE
  - SEWER SEWER MANHOLE
  - STOR STORAGE CONTAINER
  - SW TOP OF CURB
  - TE TRASH ENCLOSURE
  - TOP TOP OF GRADE
  - TOS TOP OF SLOPE
  - TR TREE
  - TR TRANSFORMER
  - TRF TRAIL TREE
  - TRF2 TRAIL TREE
  - TRF3 TRAIL TREE
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  - TRF97 TRAIL TREE
  - TRF98 TRAIL TREE
  - TRF99 TRAIL TREE
  - TRF100 TRAIL TREE

**T Mobile**  
Stick Together

3 IMPERIAL PROMENADE, SUITE 1100  
SANTA ANA, CA 92707

PLANS PREPARED BY:

**BERT HAZE**  
AND ASSOCIATES, INC.  
LAND SURVEYING & MAPPING  
3198 AIRWAY AVENUE, SUITE K1  
COSTA MESA, CALIFORNIA 92626  
714 557-1567 OFFICE  
714 557-1568 FAX  
JL 706.057

NO.	DATE	DESCRIPTION	BY
1	02/12/08	ISSUED FOR REVIEW	OB

SITE INFORMATION:

**SV01895C**  
LINDERO CANYON  
MIDDLE SCHOOL  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91001

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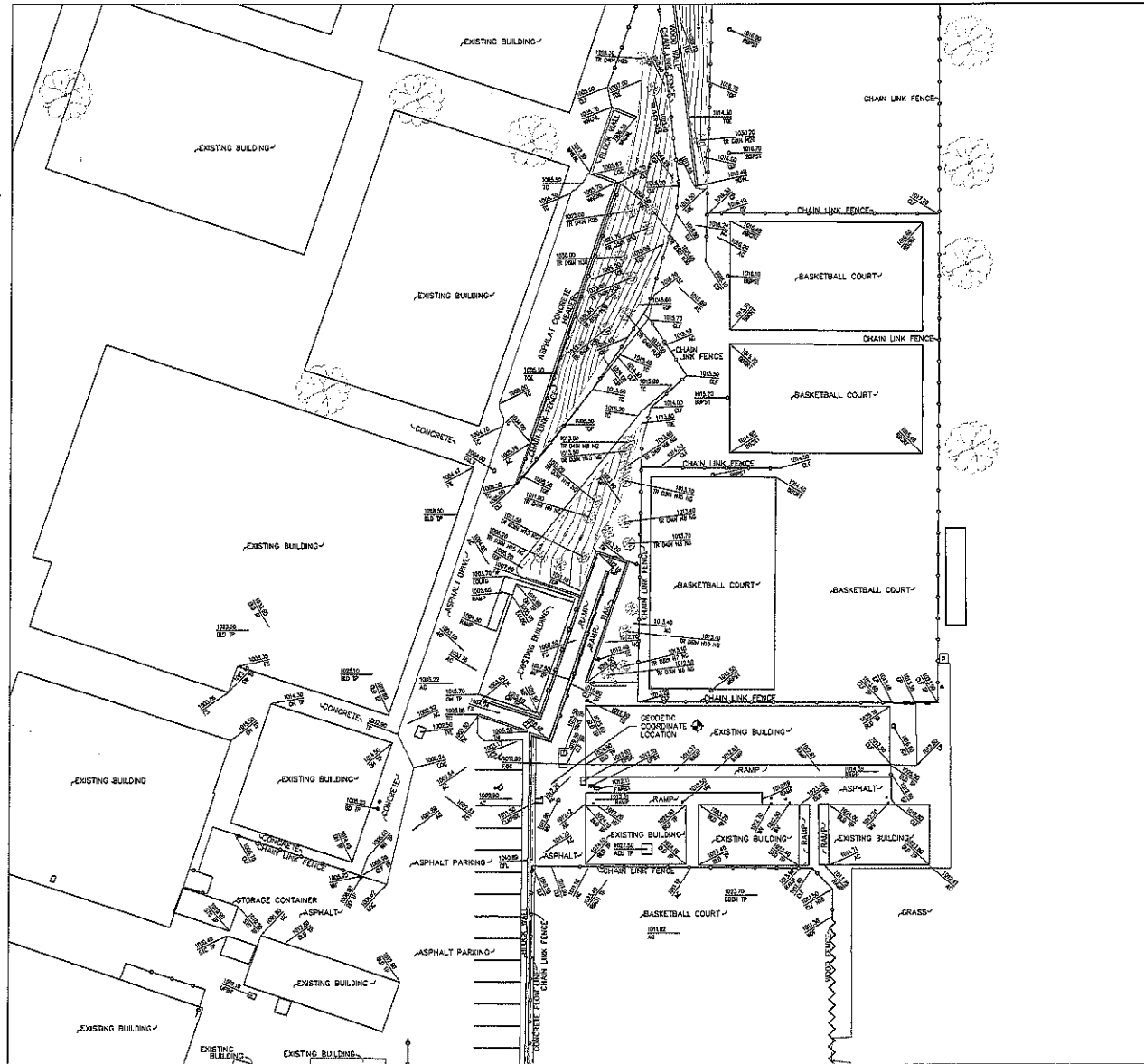
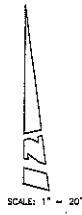
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Dp. 3-1-08

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER:  
**C-1**

SEE SHEET C-2 FOR SITE DETAILS





**LEGEND:**

- AC ASPHALT CONCRETE
- ACU AIR CONDITIONING UNIT
- BBCH BASKETBALL HOOP
- BBCHT BASKETBALL COURT
- BBPST BASKETBALL POST
- BL BOLLARD
- BLD BUILDING
- BNV BACK OF WALK
- CL CONCRETE TYP LINE
- CLF CHAIN LINK FENCE
- CLPCHX CHAIN LINK FENCE
- CPD CONCRETE PAD
- D DIAMETER
- EDB ELECTRICAL BOX
- ECAB ELECTRICAL CABINET
- ECC EDGE OF CONCRETE
- EQDQD EDGE OF LAANDING
- EP EDGE OF PAVEMENT
- EPBX ELECTRICAL PULL BOX
- FAPBX FIRE ALARM PULL BOX
- FD FOUND
- FR FIRE HYDRANT
- FP FLAG POLE
- FS FINISHED SURFACE
- FW FRONT OF WALK
- GB GRADE BREAK
- GL BUTTER LIP
- GP GATE POST
- GV GAS VALVE
- H HIGHT
- HCS HANDICAP PARKING
- ICV IRRIGATION CONTROL VALVE
- IRI IRRIABLE
- NG NATURAL GROUND
- OH OVERHANG
- PA PLAY AREA
- RL RAIL
- RUP RAMP
- S/T SPIKE AND TIN
- SCD SEWER CLEAN OUT
- SNM STORM DRAIN MANHOLE
- SMH SEWER MANHOLE
- STC STORAGE CONTAINER
- SW SCREEN WALL
- TC TOP OF CURB
- TE TRASH ENCLOSURE
- TC TOP OF GRATE
- TSE TIE OF SLOPE
- TOP TOP OF SLOPE
- TP TOP
- TR TREE
- TRIG TRANSFORMER
- TRPM PALM TREE
- TRON PINE TREE
- TRSR TEDO RISER
- TF TOP OF WALL
- UBX UTILITY BOX
- UPVT UTILITY VAULT
- V-D V-DITCH
- WDF WOOD FENCE
- WHW WOOD WALL
- WFT WATER FOUNTAIN
- WIF WROUGHT IRON FENCE
- W WALL
- WM WATER METER
- WMS WOODEN MOW STRIP
- WNSW WALL
- WY WATER VALVE
- BLK BLOCK WALL
- BOLL BOLLARD
- CLF CHAIN LINK FENCE
- CLF CENTERLINE
- FR FIRE HYDRANT
- FR FOUND MORTMENT
- GR GRATE
- HCS HANDICAP PARKING
- ICV IRRIGATION CONTROL VALVE
- SMH SEWER MANHOLE
- SCD SEWER CLEAN OUT

**T** "Mobile"  
Stick Together  
3 IMPERIAL PROMENADE, SUITE 1100  
SANTA ANA, CA 92707

PLANS PREPARED BY:  
**BERT HAZE**  
AND ASSOCIATES, INC.  
LAND SURVEYING & MAPPING  
3189 AIRWAY AVENUE, SUITE K1  
COSTA MESA, CALIFORNIA 92626  
714 557-1567 OFFICE  
714 557-1568 FAX  
JN. 706.037

NO.	DATE	DESCRIPTION	BY
1	02/12/08	ISSUED FOR REVIEW	OB

SITE INFORMATION  
**SV01895C**  
**LINDERO CANYON**  
**MIDDLE SCHOOL**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301



SHEET TITLE  
**TOPOGRAPHIC SURVEY**

SHEET NUMBER  
**C-2**

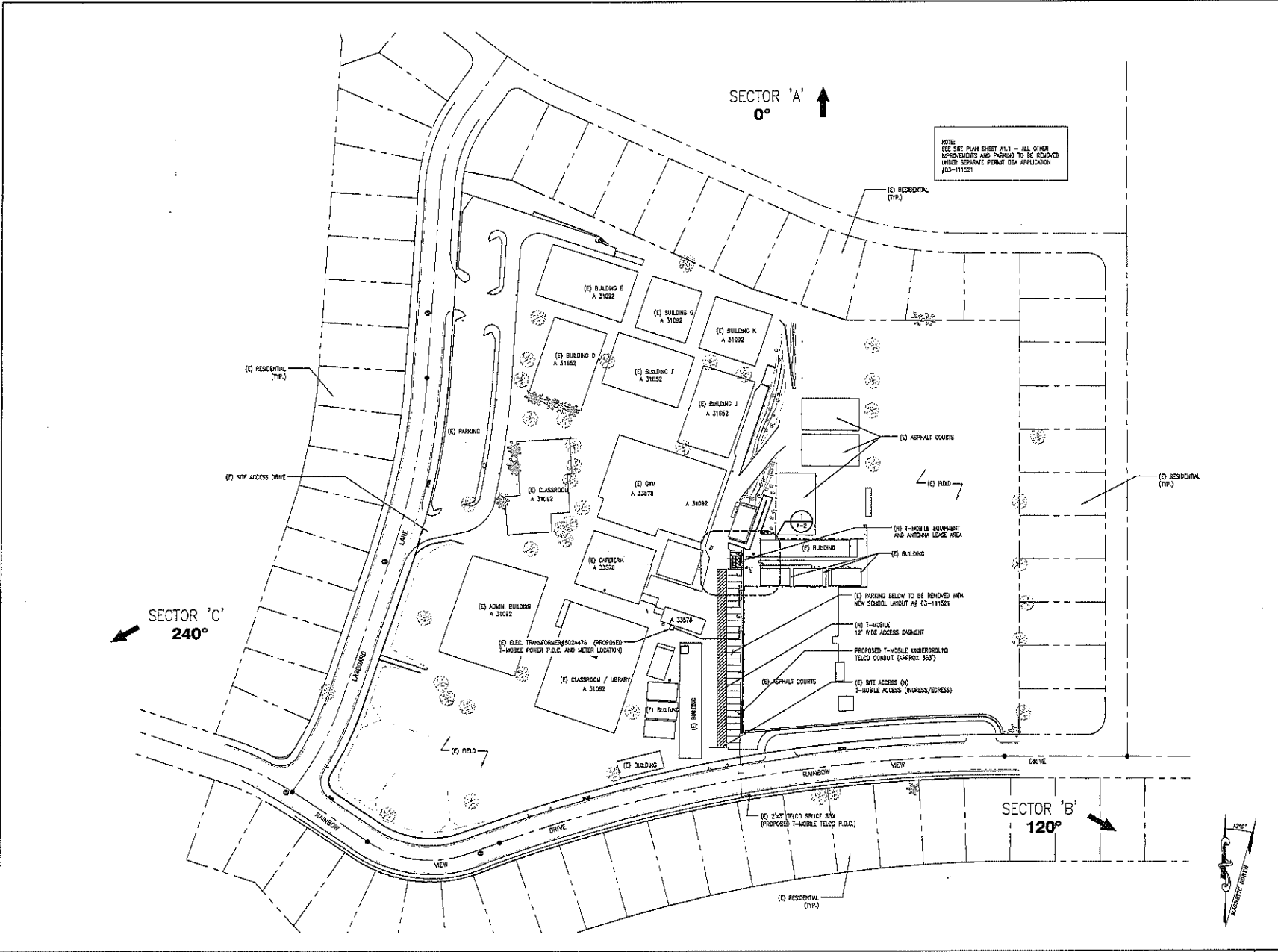
SEE SHEET C-1 FOR BOUNDARY AND TITLE INFO

NO.	DATE	DESCRIPTION	BY

**SITE INFORMATION:**  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
**ISSUE DATE: 09/23/08**

—SEAL—  
  
SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**A-1**



PLANS PREPARED BY:  
  
**CONNELL DESIGN GROUP, LLC**  
 CONSULTING CIVIL ENGINEERS  
 4435 MACARTHUR COURT, SUITE 400, NEWPORT BEACH CA 92660  
 (714) 731-8811 OFFICE • (949) 751-9813 FAX  
 CDG#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
 3659 Green Road, Suite 317  
 Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

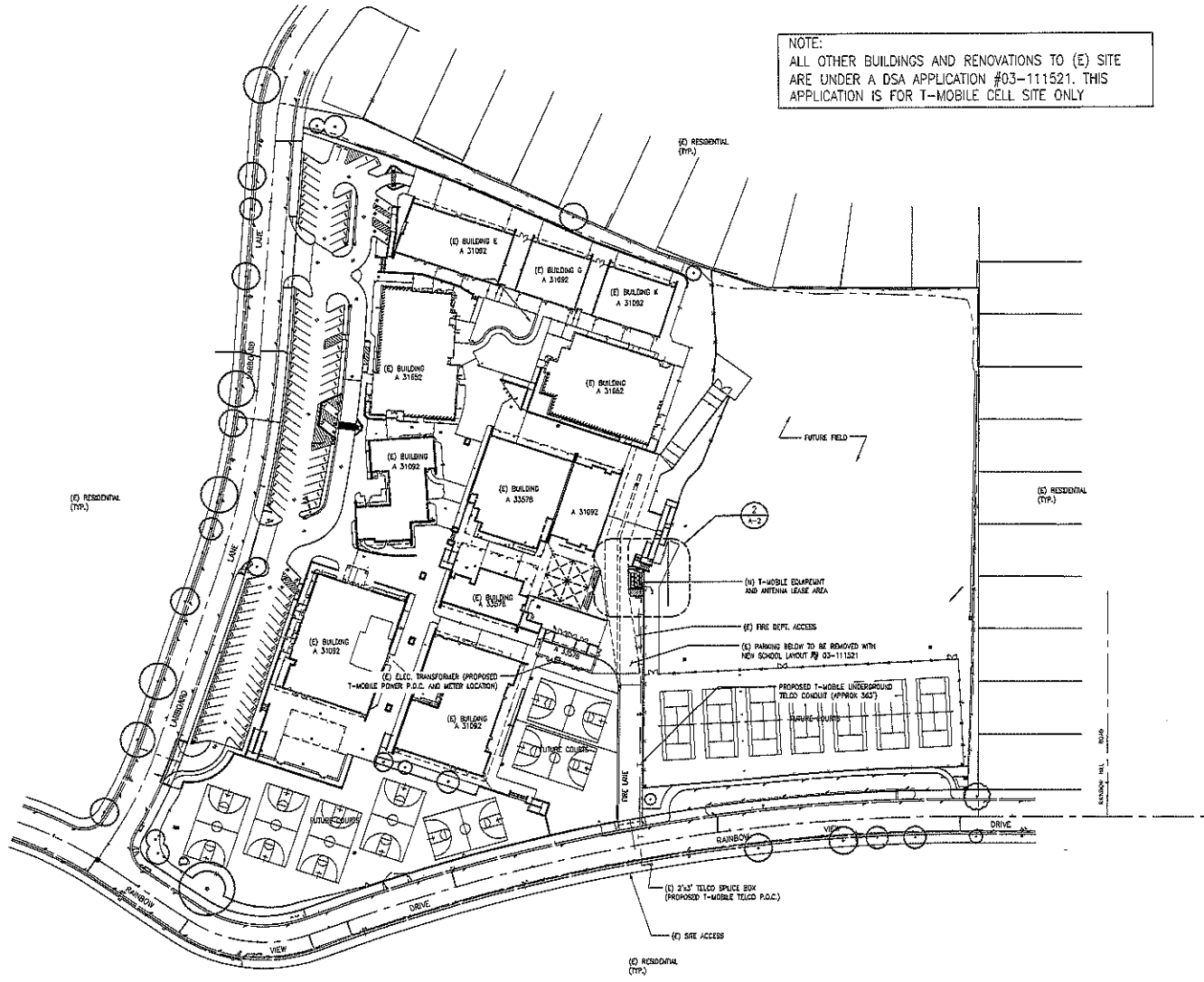
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**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
 5844 LARBOARD LANE  
 AGOURA HILLS, CA 91301  
 ISSUE DATE: 09/23/08

SEAL:

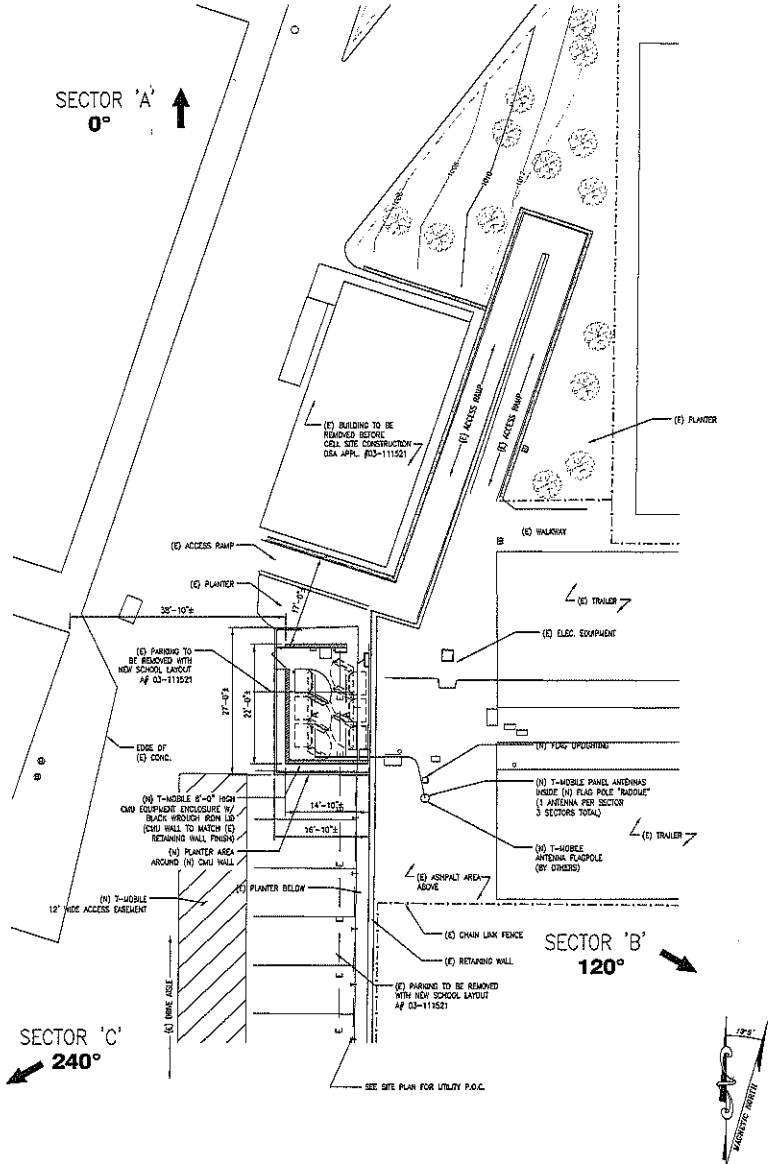
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**SCHOOL SITE PLAN**

SHEET NUMBER:  
**A-1.1**

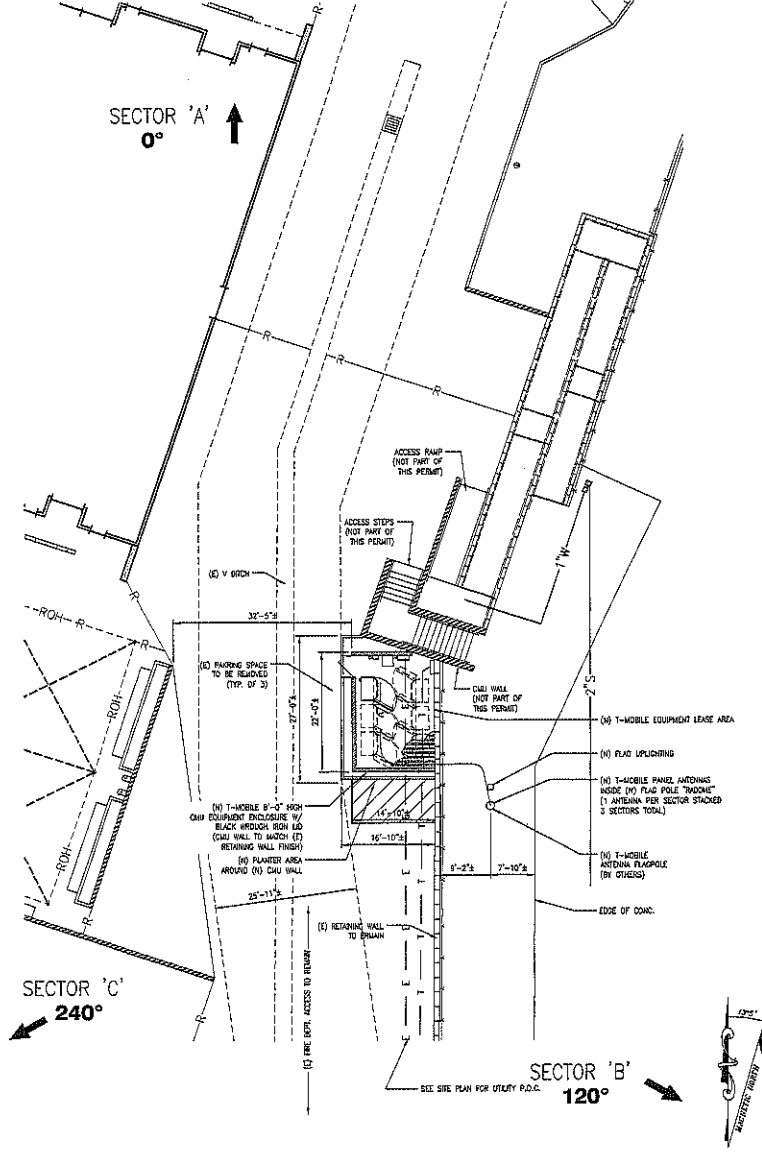
NOTE:  
 ALL OTHER BUILDINGS AND RENOVATIONS TO (E) SITE  
 ARE UNDER A DSA APPLICATION #03-111521. THIS  
 APPLICATION IS FOR T-MOBILE CELL SITE ONLY



NOTE:  
UTILITY P.O.D.'S TO BE DETERMINED  
UPON FUTURE SCHOOL RENOVATION



NOTE:  
ALL OTHER BUILDINGS AND RENOVATIONS TO (E) SITE  
ARE UNDER A DSA APPLICATION #03-111521. THIS  
APPLICATION IS FOR T-MOBILE CELL SITE ONLY



**T-Mobile**  
Stick Together

4100 GUARDIAN  
SUNNY VALLEY, CA 90263

PLANS PREPARED BY:

**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
1402 141 CANTONER COURT, SUITE 400, WESTPORT BEACH CA 92680  
(408) 753-8800 OFFICE - (408) 753-8802 FAX  
CDG#: 08-9009

CONSULTING GROUP:

SureSite Consulting Group, LLC  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY:

SITE INFORMATION:

LINDERO MIDDLE  
SCHOOL  
**SV01895C**  
5844 LARBORARD LANE  
ACQUORA HILLS, CA 91801  
ISSUE DATE: 09/23/08

SEAL:

SHEET TITLE:

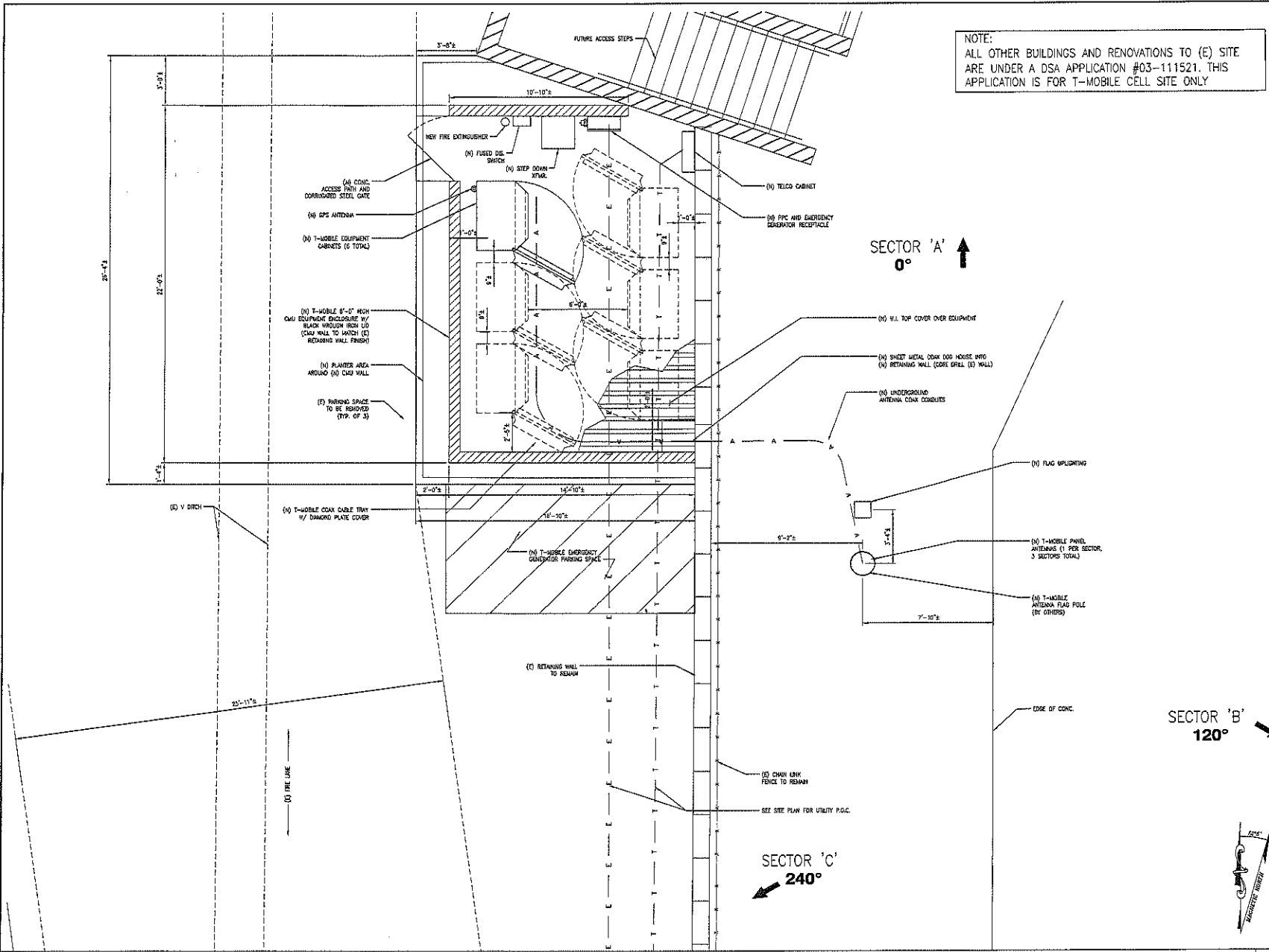
**EQUIPMENT AND ANTENNA LAYOUT**

SHEET NUMBER:

**A-2**

EQUIPMENT / ANTENNA PLAN AT (E) SITE LAYOUT 1

EQUIPMENT / ANTENNA PLAN AT FUTURE SITE LAYOUT 2



NOTE:  
 ALL OTHER BUILDINGS AND RENOVATIONS TO (E) SITE  
 ARE UNDER A DSA APPLICATION #03-111521. THIS  
 APPLICATION IS FOR T-MOBILE CELL SITE ONLY

**T-Mobile**  
 Stick Together

4100 GUARDIAN  
 SIMI VALLEY, CA 90263

PLANS PREPARED BY:

**EDG**  
 CONNELL DESIGN GROUP, LLC  
 CONSULTING CIVIL ENGINEERS  
 1465 E. CARLTON COURT, SUITE 400, NEWPORT BEACH, CA 92660  
 (949) 753-4807 OFFICE (949) 753-9811 FAX  
 CDG#: 08-9009

CONSULTING GROUP:

SureSite Consulting Group, LLC  
 3659 Green Road, Suite 317  
 Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:

**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
 5844 LARBOARD LANE  
 AGOURA HILLS, CA 91301  
 ISSUE DATE: 09/23/08

SEAL:

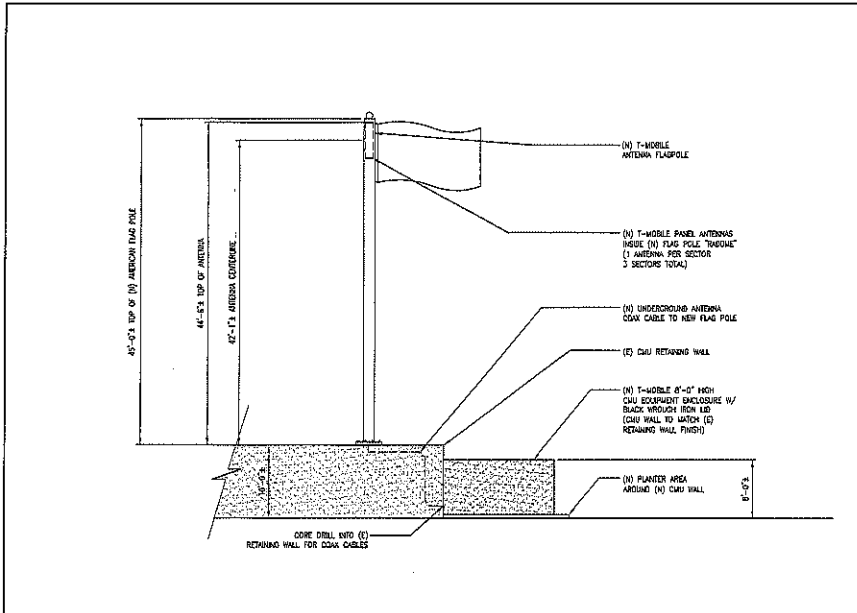
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**ENLARGED SITE PLAN**

SHEET NUMBER:

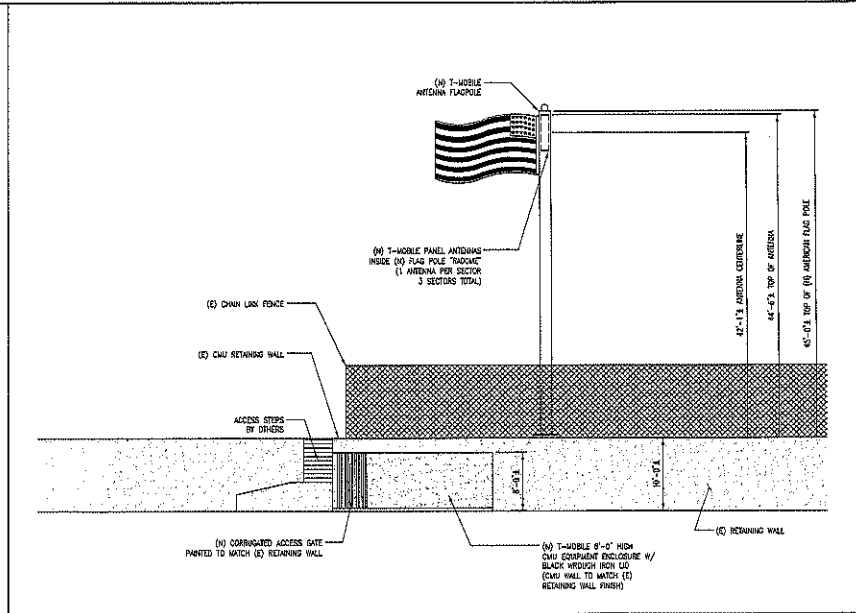
**A-2.1**

EQUIPMENT / ANTENNA PLAN AT (E) SITE LAYOUT



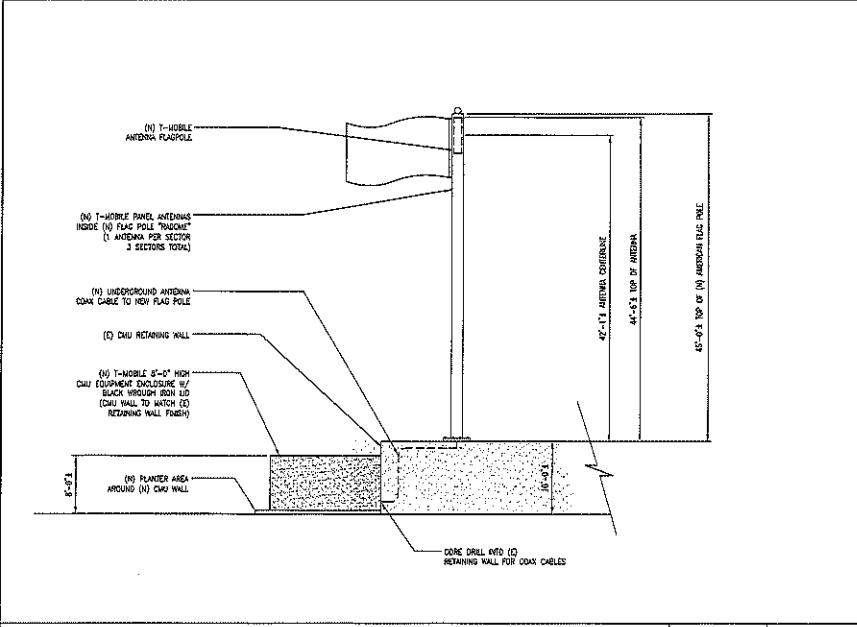
**NORTH ELEVATION**

SCALE: 1/8"=1'-0"  
0 4 8



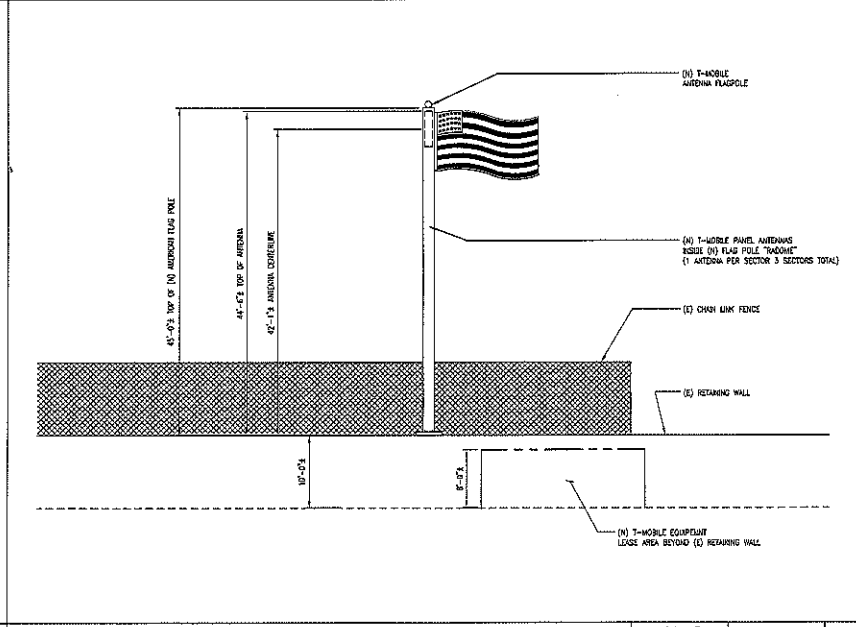
**WEST ELEVATION**

SCALE: 1/8"=1'-0"  
0 4 8 1



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"  
0 4 8



**EAST ELEVATION**

SCALE: 1/8"=1'-0"  
0 4 8 2

**T-Mobile**  
Stick Together  
4100 GUARDIAN  
SMI VALLEY, CA 90263

PLANS PREPARED BY:  
**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
4433 HILLCREST COURT, SUITE 400, WESTPORT BEACH CA 92660  
(714) 733-8807 OFFICE • (714) 733-8833 FAX  
CDG#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

SEAL:

SHEET TITLE:  
**ARCHITECTURAL ELEVATIONS**

SHEET NUMBER:  
**A-3**



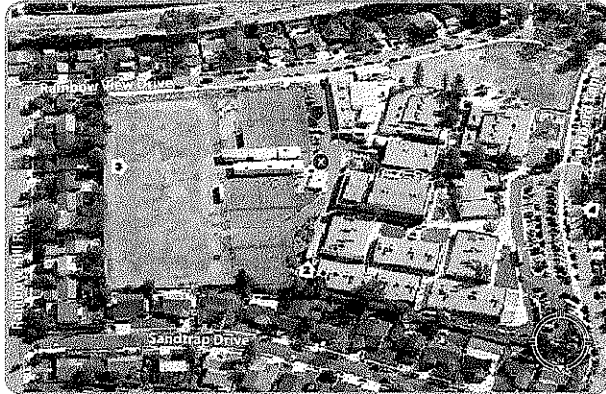
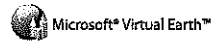
**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

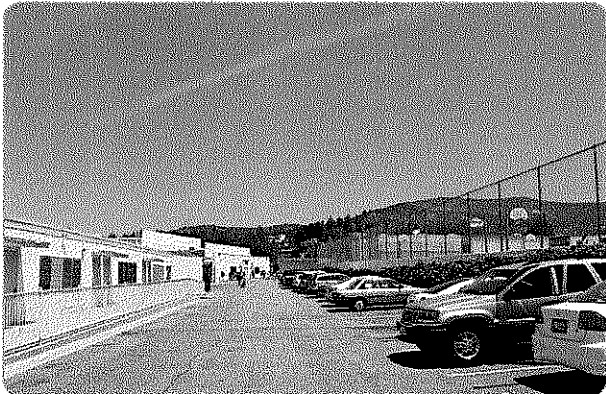
**PHOTO SIMULATIONS OF PROJECT SITE**

..T..Mobile..

LOCATION



EXISTING



PROPOSED



# SV01895C

## Lindero Canyon Middle School

5844 Larboard Lane  
Agoura Hills, CA 91301

### VIEW 1

#### APPLICANT

T-Mobile  
Barbara Saito  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

#### CONTACT

SureSite Consulting Group, LLC  
Courtney Schmidt  
3859 Green Road, Suite 317  
Cleveland, OH 44122  
p 310.645.5687



BLUE WATER DESIGN  
1741 Tustin Ave. 19A  
Costa Mesa, CA 92627

bluewater-design.net  
michelle@bluewater-design.net

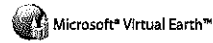
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Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

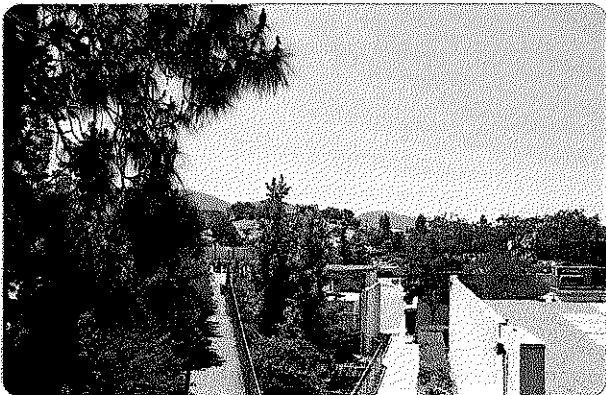


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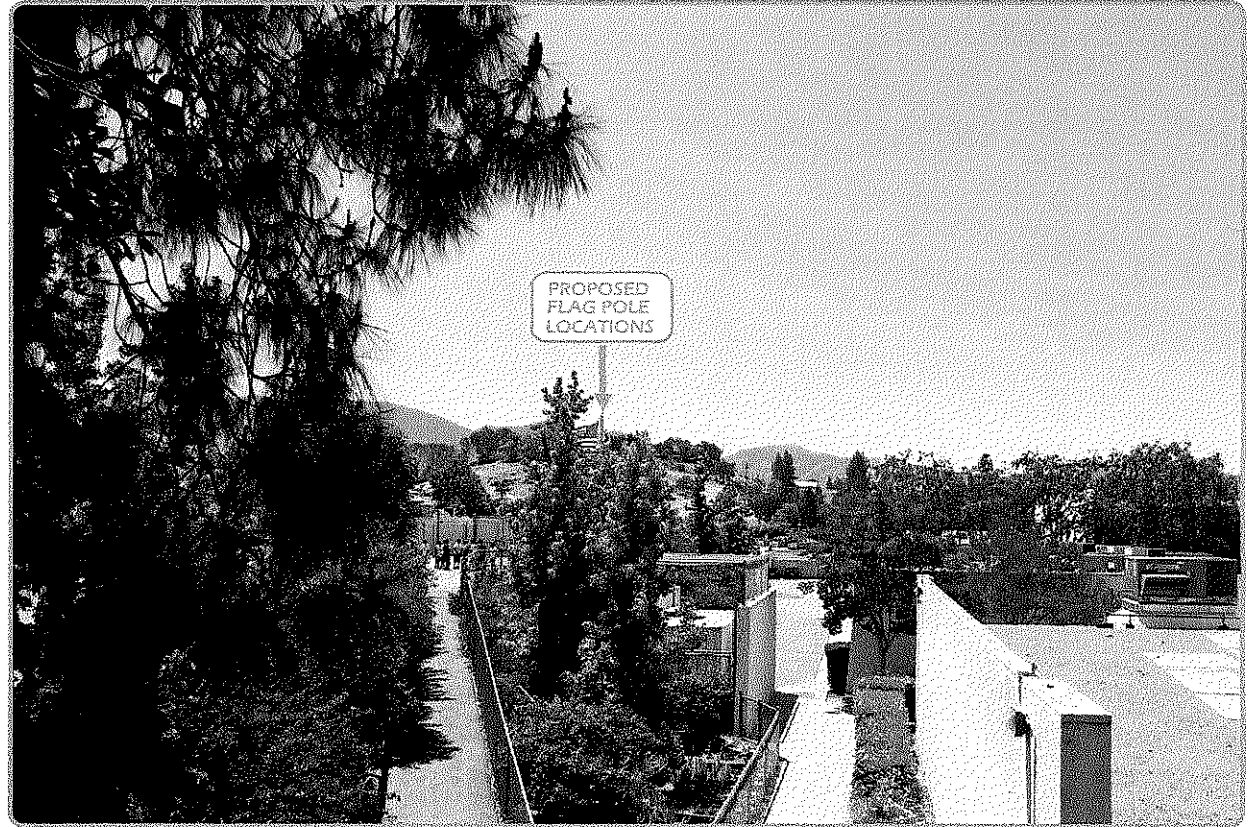
LOCATION



EXISTING



PROPOSED



**SV01895C**  
**Lindero Canyon Middle School**

5844 Larboard Lane  
Agoura Hills, CA 91301

**VIEW 2**

APPLICANT

T-Mobile  
Barbara Saito  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

CONTACT

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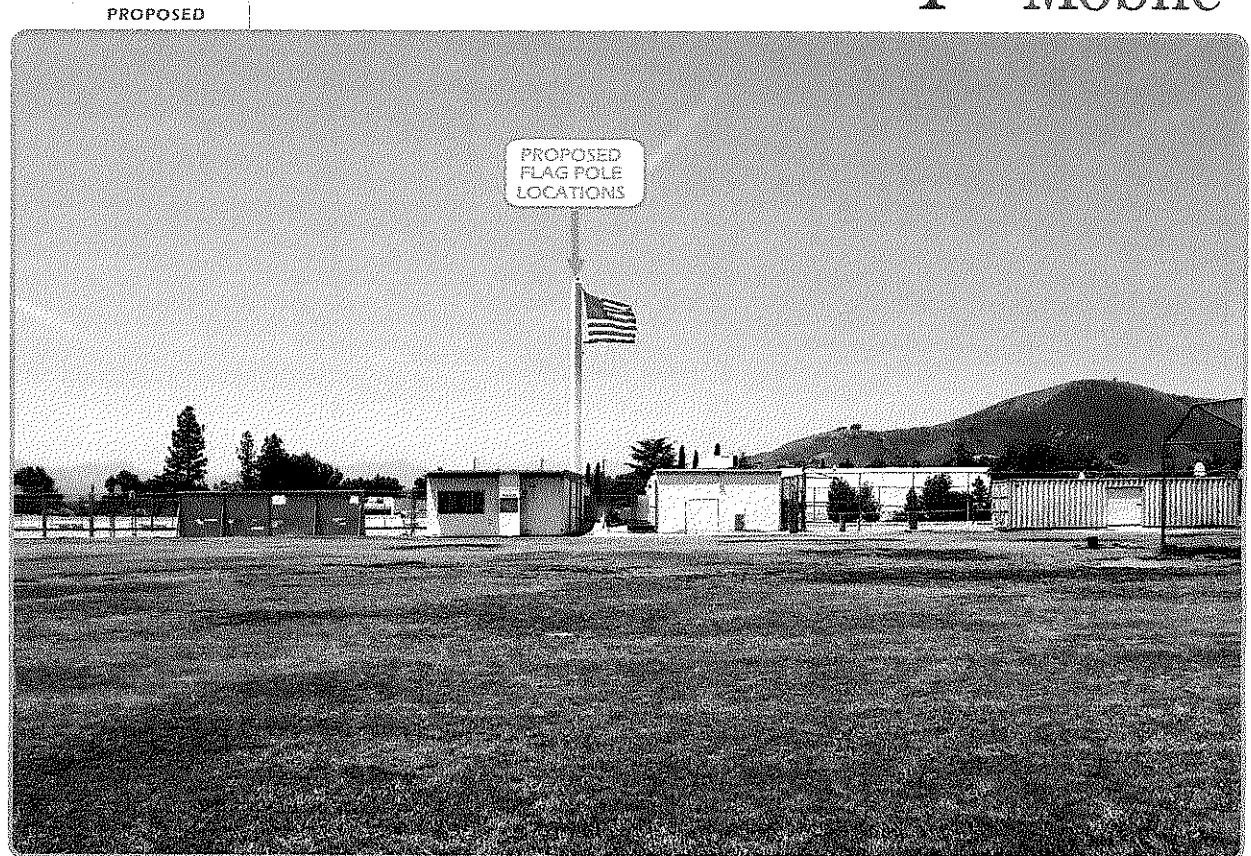
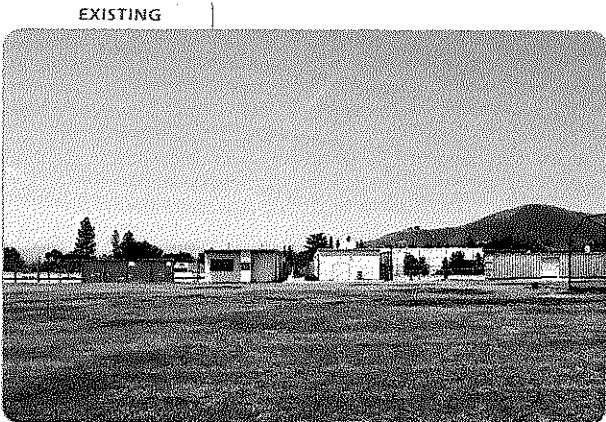
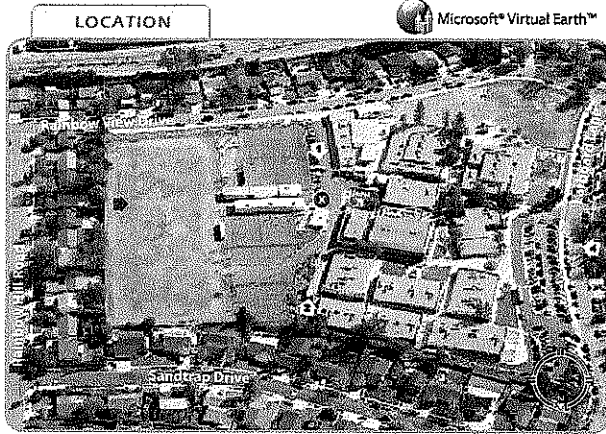


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...T-Mobile...



**SV01895C**  
**Lindero Canyon Middle School**

5844 Larboard Lane  
Agoura Hills, CA 91301

**VIEW 3**

APPLICANT

T-Mobile  
Barbara Saito  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

CONTACT

SureSite Consulting Group, LLC  
Courtney Schmidt  
3659 Green Road, Suite 317  
Cleveland, OH 44122  
p 310.645.5687

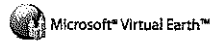


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..T..Mobile..

LOCATION



EXISTING



PROPOSED



**SV01895C**  
**Lindero Canyon Middle School**  
5844 Larboard Lane  
Agoura Hills, CA 91301

**VIEW 4**

APPLICANT

T-Mobile  
Barbara Saito  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

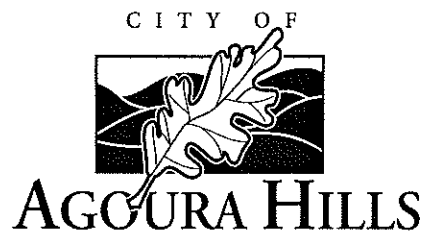
CONTACT

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Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.



**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

**PLANNING COMMISSION MEETING MINUTES  
(FEBRUARY 5, 2009 AND MARCH 5, 2009)**



**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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**MINUTES OF THE REGULAR SCHEDULED MEETING OF  
THE PLANNING COMMISSION  
February 5, 2009**

**CALL TO ORDER:**

Chair O'Meara called the meeting to order at 6:30 p.m.

**FLAG SALUTE:**

Commissioner Rishoff

**ROLL CALL:**

Chair John O'Meara, Commissioners Illece Buckley Weber, Cyrena Nouzille, and Steve Rishoff. Vice Chair Curtis Zacuto was absent.

Also, present were Assistant Community Development Director Doug Hooper, Assistant Planner Renee Madrigal, and Recording Secretary Sheila Keckhut.

Chair O'Meara stated that staff had received notification of Vice Chair Zacuto's absence prior to the meeting. There were no objections to excusing the absence.

1. **APPROVAL OF MINUTES:**

January 15, 2009 Planning Commission Meeting

On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the Minutes of the January 15, 2009 Planning Commission Meeting. Motion carried 4-0. Vice Chair Curtis Zacuto was absent.

**PUBLIC COMMENTS:**

None

**NEW PUBLIC HEARING**

2. **REQUEST:**

Request for approval of a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6)

associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure.

APPLICANT: Omnipoint Communications, Inc. for T-Mobile  
3659 Green Road, Suite 317 (Sure Site)  
Beachwood, OH 44122

CASE NO.: 07-CUP-007

LOCATION: 5844 Larboard Lane (Lindero Middle School)  
(A.P.N. 2056-015-900)

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA (Class 3)

RECOMMENDATION: Staff recommended approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions, based on the findings of the resolution.

PUBLIC COMMENTS: Chair O'Meara opened the Public Hearing.

The following persons spoke on this agenda item:

Frank Koppala, Suresite Consulting Group, LLC, representing T-Mobile.

Jim Lee, Omni-Point Communications, Inc., representing T-Mobile.

Nancy Burns, resident

Lisa Minich, resident

Bob Minich, resident

Paul Bromley, resident

MaryAnn Rush, representing Lindero Canyon Middle School, and Willow Elementary.

Julie A. Buckley, resident

Christina Hoppe, resident

Elisabeth Ismael, resident

Theresa Chiarelli, resident

Thomas Silk, resident

Elizabeth Mathieu, resident

REBUTTAL:

Frank Koppala, Suresite Consulting Group, LLC and Jim Lee, Omni-Point Communications, Inc., representing the applicant, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

RECESS:

Chair O'Meara called for a recess at 8:08 p.m.

RECONVENE:

Chair O'Meara reconvened the meeting at 8:35 p.m.

Chair O'Meara reopened the public hearing and the applicant, Frank Koppala, Suresite Consulting Group, LLC and Jim Lee, Omni-Point Communications, Inc., representing, T-Moible, spoke.

ACTION:

On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 07-CUP-007 to the March 5, 2009 Planning Commission meeting. Motion carried 4-0. Vice Chair Zacuto was absent.

**ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA**

*(Planning Commission and Staff)*

**ADJOURNMENT**

At 8:49 p.m., on a motion by Commissioner Buckley Weber, seconded by Commissioner Nouzille, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday, February 19, 2009 at 6:30 p.m. Motion carried 4-0. Vice Chair Zacuto was absent.



**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

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**MINUTES OF THE REGULAR SCHEDULED MEETING OF  
THE PLANNING COMMISSION- AMENDED  
March 5, 2009**

**ITEM 2: Public Comments were amended ~~MaryAnn Rush, representing Las Virgenes Unified School District~~ to MaryAnn Rush, resident**

**CALL TO ORDER:** Chair O'Meara called the meeting to order at 6:34 p.m.

**FLAG SALUTE:** Commissioner Nouzille

**ROLL CALL:** Chair John O'Meara, Commissioners Illece Buckley Weber, Cyrena Nouzille, and Steve Rishoff. Vice Chair Curtis Zacuto was absent.

Also, present were Assistant Community Development Director Doug Hooper, Assistant Planner Renee Madrigal, and Recording Secretary Sheila Keckhut.

Chair O'Meara stated that the Commissioners had received notification of Vice Chair Zacuto's request for an excused absence from the meeting due to his conflict of interest for agenda item no. 2. There were no objections to excusing the absence.

1. **APPROVAL OF MINUTES:** February 19, 2009 Planning Commission Meeting

On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the Amended Minutes of the February 19, 2009 Planning Commission Meeting. Motion carried 4-0. Vice Chair Curtis Zacuto was absent.

**PUBLIC COMMENTS:** None



**CONTINUED PUBLIC HEARING**

2. REQUEST: Request for approval of a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure.
- APPLICANT: Omnipoint Communications, Inc. for T-Mobile  
3659 Green Road, Suite 317 (Sure Site)  
Beachwood, OH 44122
- CASE NO.: 07-CUP-007
- LOCATION: 5844 Larboard Lane (Lindero Middle School)  
(A.P.N. 2056-015-900)
- ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA (Class 3)
- RECOMMENDATION: It was recommended that if the Planning Commission wishes to approve Conditional Use Permit Case No. 07-CUP-007, a draft Resolution and conditions of approval were prepared for adoption.
- PUBLIC COMMENTS: Chair O'Meara noted the public hearing was open for this item and called for public comments.

The following persons spoke on this agenda item:

Jim Lee, Omni-Point Communications, Inc., representing T-Mobile.

Pankaj Saxena, R.F. Engineering, representing T-Mobile.

Christina Hoppe, resident

Paul Bromley, resident

Julie A. Buckley, resident

Bob Minich, resident

MaryAnn Rush, ~~representing Las Virgenes Unified School District~~-resident

Elisabeth Ismael, resident

REBUTTAL:

Jim Lee, Omni-Point Communications, Inc., representing the applicant, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

ACTION:

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to approve Conditional Use Permit Case No. 07-CUP-007, subject to amended conditions of approval. Motion carried 3-1. Commissioner Buckley Weber opposed. Vice Chair Zacuto was absent.

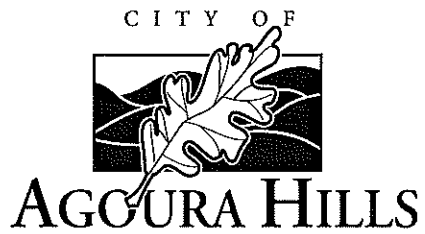
**ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA**

*(Planning Commission and Staff)*

None

**ADJOURNMENT**

At 8:09 p.m., on a motion by Commissioner Buckley Weber, seconded by Commissioner Rishoff, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday, March 19, 2009 at 6:30 p.m. Motion carried 4-0. Vice Chair Zacuto was absent.



**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

**PLANNING COMMISSION  
RESOLUTION NO. 961**

RESOLUTION NO. 961

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF AGOURA HILLS  
APPROVING CONDITIONAL USE PERMIT CASE NO. 07-CUP-007

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Omnipoint Communications, Inc., for T-Mobile with respect to the real property located at 5844 Larboard Lane (Lindero Middle School), Assessor's Parcel Number 2056-015-900, requesting the approval of a Conditional Use Permit (Case No. 07-CUP-007) to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure. Public hearings were duly held on February 5, 2009 and March 5, 2009, at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, CA 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid Public Hearing.

Section 3. The Planning Commission, pursuant to the Agoura Hills Zoning Ordinance, finds as follows:

A. The proposed use, as conditioned, is consistent with the objectives and the provisions of the Zoning Ordinance and the purposes of the School District (SH) zone in which the use is located. Wireless telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. The proposed antennas will be hidden within a pole design, which appears as a flag pole and does not have the visual mass of the typical monopole array antennas.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The proposed antennas will be concealed within the top of an 18 inch wide galvanized steel flag pole "radome". Consequently, the project would not visually impact the surrounding residential community in that the antennas appear as only a flag pole, typically found on a school campus. The visibility of the equipment will be limited as it is located more than 200 feet from the closest public right-of-way (Rainbow View Drive), bordering the school on the south. The overall project is obstructed from views at surrounding streets (Larboard Lane, Sandtrap Drive, Rainbow Hill Road, and Rainbow View Drive) by mature landscaping and surrounding residential developments.

C. The proposed use, as conditioned, and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. Compliance with the aforementioned regulations and standards is a condition of the conditional use permit, and any noncompliance may result in an immediate revocation of the permit. The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated.

D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. Telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. The location of the antennas and ancillary equipment will comply with the state and federal requirements.

E. The proposed use, as conditioned, will maintain the diversity of the community. The nearest wireless telecommunication facility is located at Kanan Road and Thousand Oaks Boulevard, as such, the new facility would not contribute to the over-concentration of similar uses.


F. The proposed use is consistent with the goals, objectives and policies of the General Plan. The General Plan Community Design Element calls for an efficiently organized and aesthetically pleasing City. The project meets this goal by locating the new antennas on new antenna flag poles and screening the required ancillary equipment from public view.

Section 4. The project is exempt from the California Environmental Quality Act (CEQA), as defined in Section 15303, Class 3, and does not require the adoption of an environmental impact report or negative declaration.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 07-CUP-007, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

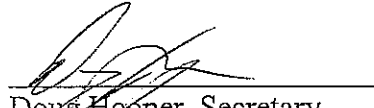
PASSED, APPROVED and ADOPTED this 5<sup>th</sup> day of March, 2009, by the following vote to wit:

AYES: (3) Nouzille, O'Meara, and Rishoff  
NOES: (1) Buckley Weber  
ABSTAIN: (0) None  
ABSENT: (1) Zacuto



John O'Meara, Chairperson

ATTEST:



Doug Hooper, Secretary

## CONDITIONS OF APPROVAL (CASE NO. 07-CUP-007)

### STANDARD CONDITIONS

1. This decision, or any aspects of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete confirmation to the approved Site Plan, Elevation Plans, and Equipment Details Plans.
4. It is hereby declared to be the intent that if any provision of this permit is held or declared invalid, the permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so within thirty (30) days.
6. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
7. For construction within public right-of-way, an encroachment permit is required in accordance with Agoura Hills Municipal Code. All required applicable fees, securities, and insurance must be posted prior to issuance of the encroachment permit.
8. The SWPPP shall be prepared in compliance with the Development Construction Model Program for Stormwater Management within the County of Los Angeles, and shall be subject to approval by the City Engineer. The SWPP shall identify pollutant sources, and shall include design and recommend construction and implementation of stormwater pollution prevention measures in order to reduce pollutants in stormwater discharges from the construction site during the construction period, and after construction as required.
9. Operation of the use shall not be granted until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.

10. Unless this permit is used within two (2) years from the date of City approval, these permits will expire. A written request for a one-year extension may be considered prior to the expiration date.
11. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.

#### SPECIAL CONDITIONS

12. Prior to the issuance of building permits, all requirements of the Los Angeles County Fire Department shall be satisfied.
13. The antenna flag poles shall be painted gray.
14. The proposed equipment shall be screened from public view with a masonry equipment enclosure to match the existing retaining wall finish and approved by the Director of Planning and Community Development.
15. No wire or cable shall be visible on the outside of the equipment shelter. All wires and cables shall be located inside the new antenna flag poles.
16. The antenna installation shall comply with Federal Communication Commission regulations, the National Electric Code, the American National Standard Institute, Public Utilities Code, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment.
17. Upon installation of the facility, the applicant shall provide written verification for review and approval by the Director of Planning and Community Development that the antennas installation complies with Federal Communication Commission regulations, the National Electric Code, the American Standards Institute, Public Utilities Code, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The power levels of each antenna shall be verified by the applicant and approved by the Director of Planning and Community Development.
18. If any future inspection discloses that the subject property is being used in violation of any one of the Conditions of Approval, the applicant shall be financially responsible and shall reimburse the City of Agoura Hills for all additional enforcement efforts necessary to bring the subject use into compliance.
19. The antennas and appurtenant equipment shall be removed from the property within 60 days in the event the wireless telecommunication facility ceases operation.



20. If any circumstance or change to the site results in greater visibility of the facility, the approval of this Conditional Use Permit shall be subject to re-evaluation which may result in the revocation of the Conditional Use Permit or modifications to the Conditions of Approval.
21. As part of the approval, the Planning Department must receive from the applicant a copy of the notice of completion registered with the State Public Utility Commission.
22. Compliance with the Federal Communication Commission and the Public Utilities Code emission regulations and standards is a condition of this permit, and any noncompliance may result in an immediate revocation of the permit.
23. Natural plant species shall be planted in the planter area around the wall that is show on the enlarged landscape plan, Sheet A-2.1 submitted by the applicant, to cover the enclosure wall. The Las Virgenes Unified School District shall accept the required landscaping for maintenance purposes.

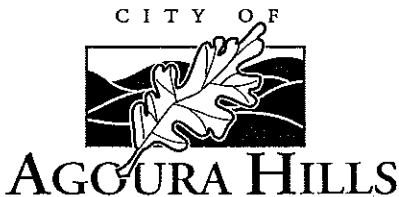
END



**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

**PLANNING COMMISSION STAFF REPORTS  
(FEBRUARY 5, 2009 AND MARCH 5, 2009)**



---

**DATE:** MARCH 5, 2009

**TO:** PLANNING COMMISSION

**FROM:** PLANNING STAFF

**SUBJECT:** CONDITIONAL USE PERMIT CASE NO. 07-CUP-007

---

#### **I. BACKGROUND AND DISCUSSION**

On February 5, 2009, the Planning Commission held a public hearing to consider T-Mobile's request for a Conditional Use Permit (Case No. 07-CUP-007) to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure on the Lindero Canyon Middle School property, located at 5844 Larboard Land, owned by the Las Virgenes School District.

After reviewing the project and taking public testimony, the Planning Commission continued the public hearing to March 5, 2009, and requested additional information from the applicant, as well as questions for staff in clarifying the City's discretionary review authority of wireless telecommunication facilities. Specific questions raised by the Commission included: 1) Does the City have discretionary review authority on telecommunications facilities placed on public school property? 2) Does the Planning Commission have discretionary review authority on the aesthetic impacts of the facilities? 3) Can the Planning Commission request the applicant to justify the need for the facility at the proposed location? 4) Can the Planning Commission request the applicant to consider alternative sites or explain whether other sites were considered? 5) Does the Planning Commission have discretion regarding the on-site location of the facility? 6) If the facility is subject to emission standards, does the Planning Commission have discretion in considering the public health, safety, and welfare impacts of the project? Should draft finding "C" in the draft resolution be revised to clarify the City's lack of discretion on this issue? The project staff report and meeting minutes from the February 5, 2009 Planning Commission meeting are attached for reference. Also attached are Site Coverage Maps provided by the applicant.

## II. STAFF ANALYSIS

Upon consultation with the City Attorney, staff's analysis of the issues raised by the Planning Commission is as follows:

1. The City has discretionary review authority over telecommunications facilities placed on public school property because the proposed flag poles are non-classroom facilities.

Although cities do not always have discretionary review authority on public school property, the City's zoning code applies to this use and the City may validly require a discretionary permit for the use. Neither the applicant nor the Las Virgenes Unified School District has contested this authority.

2. The Planning Commission has limited discretionary review authority over the aesthetic impacts of the facilities.

An application cannot be completely denied for aesthetic reasons, but it can be conditioned to provide reasonable aesthetic improvements, such as landscaping or screening.

Aesthetic regulations do not threaten the policy behind the Federal Telecommunications Act of 1996 (the "TCA"). The TCA's purpose was to reserve local agencies' power to regulate while providing a pro-competitive, de-regulated telecommunications market. As long as service is not effectively prohibited and the regulations do not reflect favoritism for a particular provider, the competitive markets that the Federal Communications Commission (FCC) has sought to construct are protected. Put differently, if a single siting denial does not create significant gaps in provider coverage and reflects no unreasonable discrimination among providers, market dynamics and FCC authority are not threatened in the first place.

Staff cannot state with clear certainty how much discretion is too much in this context. As such, staff recommends that the Commission limit its aesthetic regulations to reasonable exactions such as screening and landscaping where justified by substantial evidence in the record.

3. The Planning Commission may request the applicant to justify the need for the facility at the proposed location. However, a denial of the application would require a written response supported by substantial evidence.

A local government has the authority to make decisions regarding the placement, construction, and modification of personal wireless service facilities, but the regulation can not actually or effectively prohibit the provision of personal wireless services. Thus, a city may not impose a general ban or, through a denial, prevent a provider from filling a "significant gap" in its own coverage. After demonstrating that such a significant gap in coverage exists, the provider must make some showing

of the necessity of its proposed means of closing that gap. The provider may demonstrate this with a coverage map which the applicant has provided and is included as an attachment to this report. The Planning Commission may question this evidence and attempt to confirm the need, but the Commission must rely on expertise or evidence to rebut the provider's evidence.

To deny an application on the basis of an unnecessary location, the Planning Commission must make written findings of denial, supported by substantial evidence in the record, that there was no actual need to close a "significant gap" in coverage. Non-expert impressions in this regard are not evidence, and neither is the lay testimony of the public.

4. The Planning Commission may request the applicant to consider alternative sites or explain whether other sites were considered, but may not deny the application because the Commission believes another site would be more suitable aesthetically.

The Planning Commission can request the applicant to consider alternative sites or explain whether other sites were considered as a matter of demonstrating need. However, the provider's proposed solution need not be the most acceptable option for the community in question, nor need it demonstrate that there are no alternative sites which would resolve the problem. The current "least intrusive" standard allows for a meaningful comparison of alternative sites, but this comparison must take into account federal law's emphasis on the "gap filling" requirement. A less-intrusive site aesthetically may not be imposed over the technically superior site.

5. The Planning Commission has discretion regarding the on-site location of the facility, but may not deny the application because the Commission believes another on-site location would be more suitable (reference the previous answers to Questions 3 and 4).
6. Because the facility is subject to FCC and the Public Utilities Code emission standards, the Planning Commission has no discretion to regulate based on emission-related concerns. However, the Planning Commission may condition the Conditional Use Permit (CUP) on compliance with applicable emission standards. Thus, draft finding "C" in the draft resolution should be revised to clarify this condition.

In general, the City may regulate for public health, safety, and welfare impacts of a proposed project. However, the TCA expressly prohibits a city's authority to regulate on the basis of concerns over radio frequency emissions so long as the proposed facility complies with FCC emission requirements. Thus, while the Planning Commission cannot regulate on this basis, the Commission may require compliance with FCC and the Public Utilities Code emission standards. The draft conditions of approval include this requirement. If the Planning Commission conditioned the application of the CUP on compliance with emissions standards, it would not be regulating on this basis but rather emphasizing the significance of controlling EMF

emissions. In order to clarify this point in the draft resolution, draft finding "C" should be revised since the last public hearing on this project to state:

"The proposed use, as conditioned, and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. ***Compliance with the aforementioned regulations and standards is a condition of the conditional use permit, and any noncompliance may result in an immediate revocation of the permit.*** The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated."

The only change to draft finding "C" is the additional sentence in bold italics.

### III. RECOMMENDATION

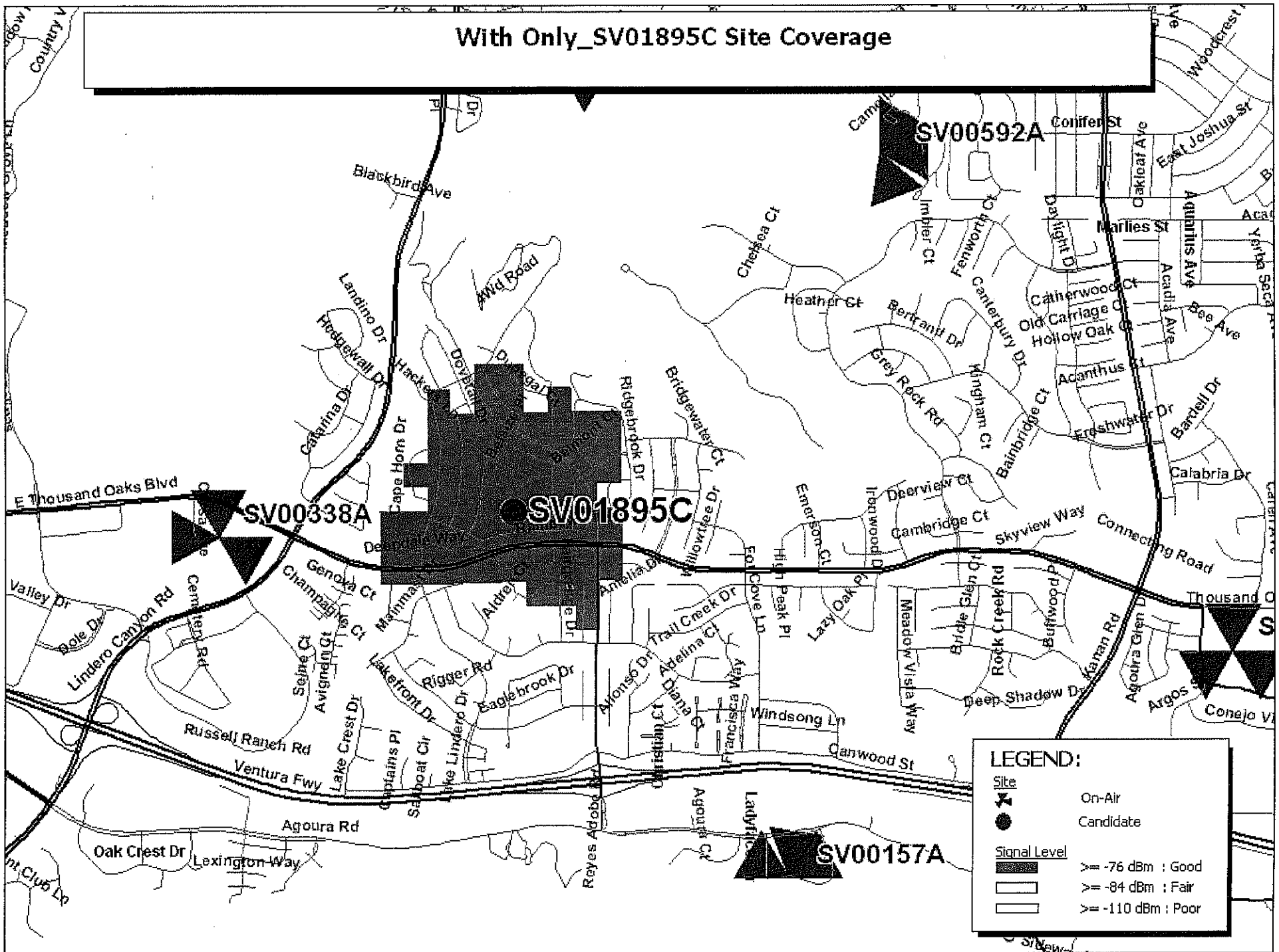
If the Planning Commission wishes to approve Conditional Use Permit Case No. 07-CUP-007, a draft Resolution and conditions of approval are attached for adoption.

### IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Site Coverage Maps
- February 5, 2009 Meeting Minutes
- February 5, 2009 Staff Report

Case Planner: Renee Madrigal, Assistant Planner

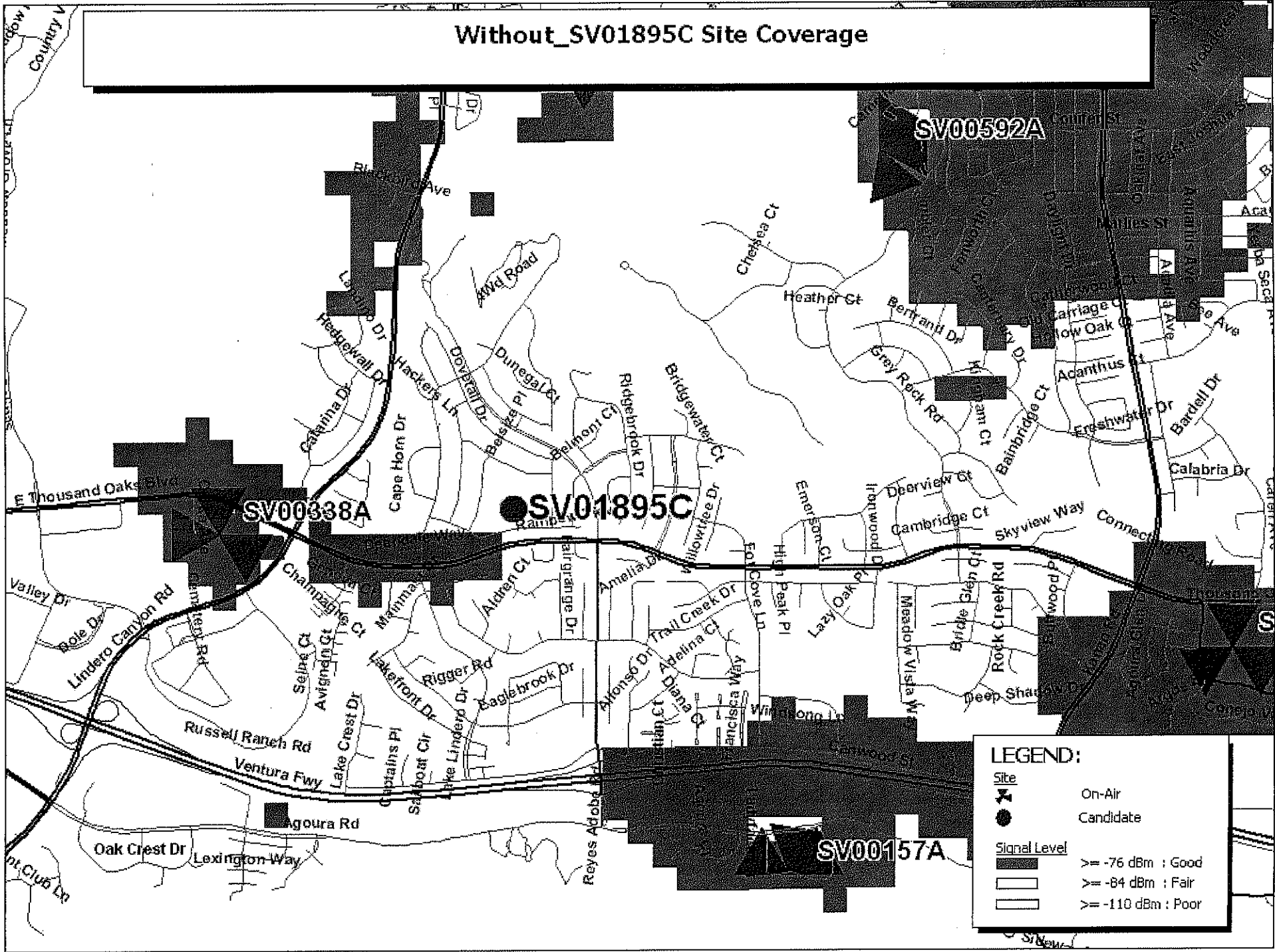
With Only\_SV01895C Site Coverage



**LEGEND:**

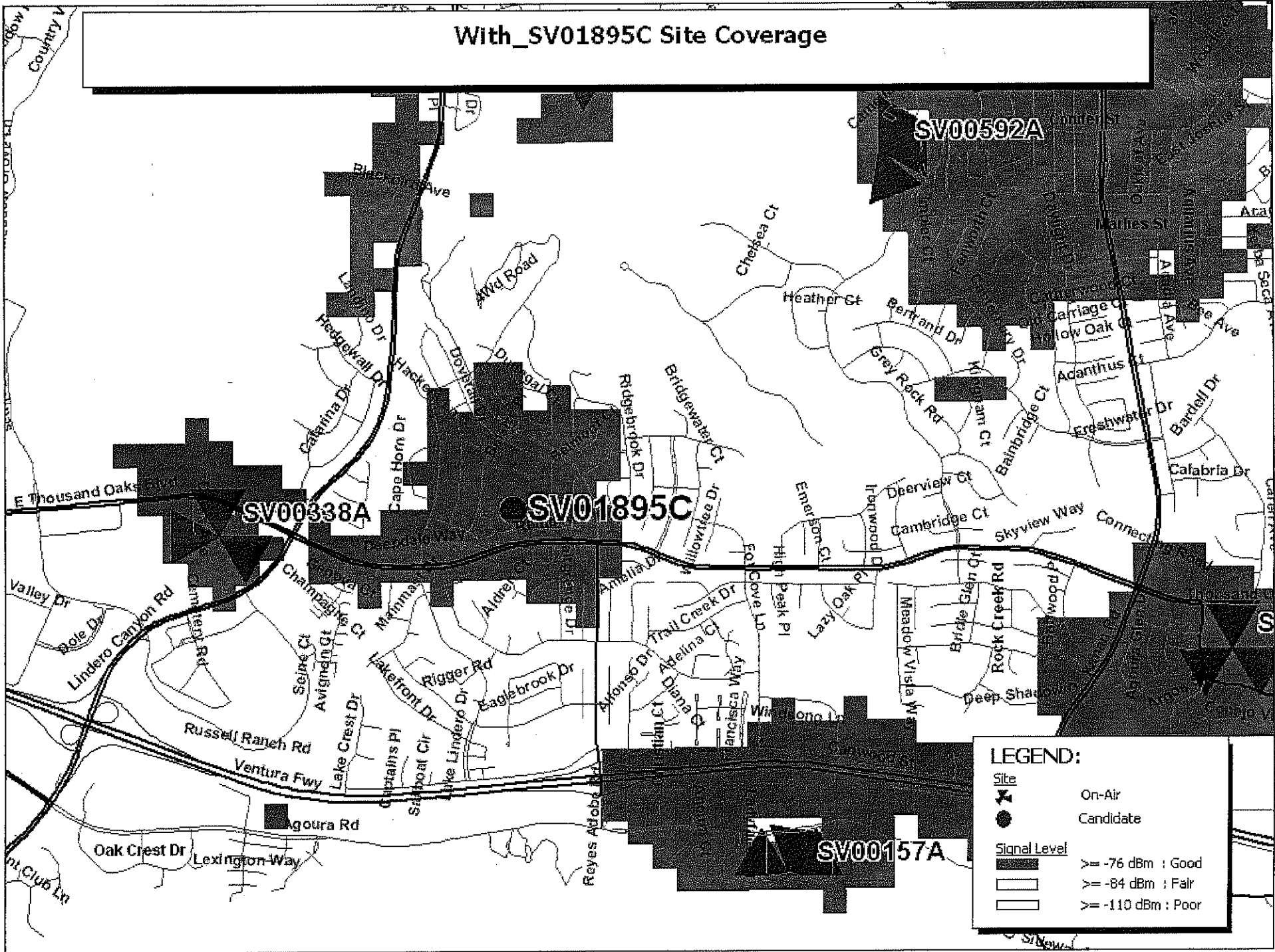
Site	
	On-Air
	Candidate
Signal Level	
	≥ -76 dBm : Good
	≥ -84 dBm : Fair
	≥ -110 dBm : Poor

Without\_SV01895C Site Coverage





With\_SV01895C Site Coverage





DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

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MINUTES OF THE REGULAR SCHEDULED MEETING OF  
THE PLANNING COMMISSION  
February 5, 2009

**CALL TO ORDER:**

Chair O'Meara called the meeting to order at 6:30 p.m.

**FLAG SALUTE:**

Commissioner Rishoff

**ROLL CALL:**

Chair John O'Meara, Commissioners Illece Buckley Weber, Cyrena Nouzille, and Steve Rishoff. Vice Chair Curtis Zacuto was absent.

Also, present were Assistant Community Development Director Doug Hooper, Assistant Planner Renee Madrigal, and Recording Secretary Sheila Keckhut.

Chair O'Meara stated that staff had received notification of Vice Chair Zacuto's absence prior to the meeting. There were no objections to excusing the absence.

1. **APPROVAL OF MINUTES:**

January 15, 2009 Planning Commission Meeting

On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to approve the Minutes of the January 15, 2009 Planning Commission Meeting. Motion carried 4-0. Vice Chair Curtis Zacuto was absent.

**PUBLIC COMMENTS:**

None

**NEW PUBLIC HEARING**

2. **REQUEST:**

Request for approval of a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6)

associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure.

APPLICANT:

Omnipoint Communications, Inc. for T-Mobile  
3659 Green Road, Suite 317 (Sure Site)  
Beachwood, OH 44122

CASE NO.:

07-CUP-007

LOCATION:

5844 Larboard Lane (Lindero Middle School)  
(A.P.N. 2056-015-900)

ENVIRONMENTAL  
DETERMINATION:

Categorically Exempt from CEQA (Class 3)

RECOMMENDATION:

Staff recommended approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions, based on the findings of the resolution.

PUBLIC COMMENTS:

Chair O'Meara opened the Public Hearing.

The following persons spoke on this agenda item:

Frank Koppala, Suresite Consulting Group, LLC,  
representing T-Mobile.

Jim Lee, Omni-Point Communications, Inc., representing T-Mobile.

Nancy Burns, resident

Lisa Minich, resident

Bob Minich, resident

Paul Bromley, resident

MaryAnn Rush, representing Lindero Canyon Middle School, and Willow Elementary.

Julie A. Buckley, resident

Christina Hoppe, resident

Elisabeth Ismael, resident

Theresa Chiarelli, resident

Thomas Silk, resident

Elizabeth Mathieu, resident

REBUTTAL: Frank Koppala, Suresite Consulting Group, LLC and Jim Lee, Omni-Point Communications, Inc., representing the applicant, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

RECESS: Chair O'Meara called for a recess at 8:08 p.m.

RECONVENE: Chair O'Meara reconvened the meeting at 8:35 p.m.

Chair O'Meara reopened the public hearing and the applicant, Frank Koppala, Suresite Consulting Group, LLC and Jim Lee, Omni-Point Communications, Inc., representing, T-Moible, spoke.

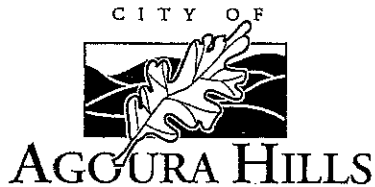
ACTION: On a motion by Commissioner Rishoff, seconded by Commissioner Buckley Weber, the Planning Commission moved to continue Conditional Use Permit Case No. 07-CUP-007 to the March 5, 2009 Planning Commission meeting. Motion carried 4-0. Vice Chair Zacuto was absent.

**ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA**

*(Planning Commission and Staff)*

**ADJOURNMENT**

At 8:49 p.m., on a motion by Commissioner Buckley Weber, seconded by Commissioner Nouzille, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday, February 19, 2009 at 6:30 p.m. Motion carried 4-0. Vice Chair Zacuto was absent.



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DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

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DATE: February 5, 2009

APPLICANT: Omnipoint Communications, Inc. for T-Mobile  
3659 Green Road, Suite 317 (Sure Site)  
Beachwood, OH 44122

TO: Planning Commission

CASE NO.: 07-CUP-007

LOCATION: 5844 Larboard Lane (Lindero Middle School)  
(A.P.N. 2056-015-900)

REQUEST: Request for approval of a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure.

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA (Class 3)

RECOMMENDATION: Staff recommends approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions, based on the findings of the attached resolution.

ZONING DESIGNATION: SH (School District)

GENERAL PLAN DESIGNATION: PF (Public Facility)

**I. PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Omnipoint Communication, Inc., an authorized agent for T-Mobile, is proposing to install an unmanned wireless telecommunication facility on the Lindero

Middle School property, located at 5844 Larboard Lane, owned by the Las Virgenes School District. As a State agency, the school district can exempt itself from City regulations. However, since this cellular site is considered a commercial use that will serve the T-Mobile customers and not solely serve the school and/or school district, although located on school district land, it is subject to a Conditional Use Permit from the City prior to installation as required by the Zoning Ordinance.

T-Mobile has applied for a Conditional Use Permit to construct an unmanned wireless telecommunication facility on the center portion of the Lindero Middle School campus. Road access to the facility would be via Larboard Lane. The school site is surrounded by single-family residences. The closest distance from the telecommunication facility is approximately 300 feet.

The applicant is proposing to install a new wireless telecommunication facility on three (3) new 40 and 45-foot high T-Mobile flag poles that encase the antennas, 18 inches in diameter. Two (2) PCS panel antennas are proposed to be mounted in stacked pairs at effective heights of no more than 40 feet above ground within each pole. A GPS antenna is proposed to be mounted to one of the equipment cabinets. PCS antennas are used to transmit and receive the actual data to and from the handheld (cellular) phones.

In addition, six (6) associated ground-mounted equipment cabinets are proposed to be located at the parking lot level (off the Rainbow View Drive entrance), adjacent and ten feet below the proposed flag pole level. The three parking spaces at the north end of the parking lot are proposed to be removed to accommodate the equipment cabinets. The cabinets will be surrounded by an eight (8) foot high masonry equipment enclosure to match the existing retaining wall finish, with a black wrought iron lid and 4-foot wide corrugated steel gate. In addition, a new planter area will be installed on the north and west elevations of the new equipment enclosure. No off-site or public improvements will be needed for this proposed facility.

T-Mobile is considered a public utility and is regulated and licensed by the Federal Communications Commission (FCC). The FCC authorizes a utility's initial system and then delegates its authority to local agencies to regulate the location, construction and aesthetics of the wireless telecommunication facilities. In the event of a natural disaster, T-Mobile will assist in providing emergency communication for the community. Therefore, while the intent of the wireless telecommunication facility is for private commercial use, the service provided will benefit the public at large.

Furthermore, the Telecommunication Act of 1996 states that: "No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission regulations concerning such emission."

The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards. The FCC relies on standards

developed by a non-profit privately funded organization known as the American National Standards Institute (ANSI). Standards are continually reviewed to account for new research findings and modified when appropriate. In addition, the State Public Utilities Commission (PUC) requires the applicant to submit notification to the PUC when local approval of a facility is obtained. It also requires quarterly updates of new cellular sites approved by local governmental agencies and built as a result of the approval.

## II. STAFF ANALYSIS

### Potential Visual Impacts

T-Mobile will install its antennas within an 18 inch new galvanized steel pole, with a flag attached. The antennas will not be constructed higher than 45 feet above ground. The maximum allowable height in the School zone is 35 feet. The code allows towers and antennas to be 10 feet above the maximum allowable height for the zone. Thus, the proposed 45 foot antenna is within the limits of the code. In order to prevent access to the cabinets, the equipment will be enclosed in a free-standing masonry structure, with both a protective and decorative wrought iron cover. Additional landscaping will be placed on the west and south sides of the equipment enclosure for additional screening.

### Design Requirements

The new flag poles will be painted gray. The material finish is non-reflective. In addition, the new concrete masonry wall around the equipment cabinets will match the existing retaining wall finish. Signage is proposed to be placed on the gates to the equipment according to federal standards.

## III. FINDINGS

In order for a Conditional Use Permit to be approved, the proposed project must show substantial evidence to demonstrate that the use will satisfy the five findings listed below.

The Planning Commission must find that the proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the School District (SH) zone in which the use is located. Wireless telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. Although the City's jurisdiction is limited on school properties, the development standards defined in the Zoning Ordinance apply to any commercial activity. As such, applicants are encouraged to camouflage telecommunication antennas by incorporating the apparatus in an architectural feature of an existing building. The use of monopoles for wireless telecommunication antennas is typically discouraged by policy unless sufficiently screened from view. In this case, the applicant has designed the proposed antennas to be

hidden within a pole design, which appears as a flag pole and does not have the visual mass of the typical monopole array antennas.

Another finding that the Planning Commission must make is that the proposed use is compatible with the surrounding properties. The proposed antennas will be concealed within the top of an 18 inch wide galvanized steel flag pole "radome". Consequently, the project would not visually impact the surrounding residential community in that the antennas appear as only a flag pole, typically found on a school campus. The visibility of the equipment will be limited as it is located more than 200 feet from the closest public right-of-way (Rainbow View Drive), bordering the school on the south. The overall project is obstructed from views at surrounding streets (Larboard Lane, Sandtrap Drive, Rainbow Hill Road, and Rainbow View Drive) by mature landscaping and surrounding residential developments.

The Planning Commission must also find that the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated.

Another finding must demonstrate that the proposed use will comply with each of the applicable provisions of the Zoning Ordinance. Telecommunication facilities are allowed in the SH zone, subject to the issuance of a Conditional Use Permit. The location of the antennas and ancillary equipment will comply with State and Federal requirements.

A finding must also be made that the distance from other similar and like uses is sufficient to maintain the diversity of the community. T-Mobile has informed the City that the nearest wireless telecommunication facility is located at Kanan Road and Thousand Oak Boulevard, as such, the new facility would not contribute to the over-concentration of similar uses.

Finally, a finding must be made that the proposed use is consistent with the goals, objectives and policies of the General Plan. The General Plan Community Design Element calls for an efficiently organized and aesthetically pleasing City. The project meets this goal by locating the new antennas on new antenna flag poles and screening the required ancillary equipment from public view.

#### **IV. RECOMMENDATION**

Based on the above analysis, staff recommends approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions of the attached draft resolution.



**V. ATTACHMENTS**

- Draft Resolution and Conditions of Approval
- Reduced Photocopies of Plans
- Photo Simulations
- Vicinity Map

CASE PLANNER: Renee Madrigal, Assistant Planner

# T-Mobile

**T-Mobile**  
Stick Together®  
4100 GUARDIAN  
5th FLOOR, CA 90233

**SITE NUMBER: SV01895C**  
**SITE NAME: LINDERO MIDDLE SCHOOL**  
**SITE TYPE: RAW LAND**

**CITY: AGOURA HILLS**  
**COUNTY: COUNTY LOS ANGELES**  
**JURISDICTION: CITY OF AGOURA HILLS**

PLANS PREPARED BY:  
**CDG**  
CONNELL DESIGN GROUP, LLC  
ENGINEERING FIRM NUMBER  
1455 MACARTHUR COURT, SUITE 405, NEWPORT BEACH CA 92660  
(949) 842-0177 OFFICE / (949) 774-3851 FAX  
CDG#: 08-9005

CONSULTING GROUP:  
**SureSite Consulting Group, L.L.C.**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

**PROJECT SUMMARY:**

**SITE ADDRESS:**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
COUNTY OF LOS ANGELES

**PROPERTY OWNER:**  
LAS VIRGENES UNIFIED SCHOOL DISTRICT  
4113 N. LAS VIRGENES RD.  
CALABASAS, CA 91302  
PHONE: (818) 878-9203

**APPLICANT:**  
T-MOBILE USA  
4150 GUARDIAN STREET  
SUITE 101  
SUN VALLEY, CA 93063  
ZONING MANAGER: BRIAN STOTTELMAYER  
CONSTRUCTION MANAGER: DENNIS PHE  
CONSTRUCTION INSPECTOR: ROB BROWN (881) 904-4437  
FREDON MANAGER: JOSH BINGAMON  
ASST PROJECT MANAGER: EUGENE HOK  
DEVELOPMENT MANAGER: DANIEL HOLZMAN

**PROJECT DESCRIPTION:**  
CONSTRUCTION OF 6'-0" CHW WALL EQUIPMENT ENCLOSURE WITH WROUGHT IRON LD.

INSTALLATION (3) NEW FLAG POLES FOR T-MOBILE PANEL ANTENNAS (2 EACH FLAG POLE)

COAX RUNS FROM EQUIPMENT TO ANTENNAS

200A ELECTRICAL & TELCO SERVICE TO EQUIPMENT

**BUILDING SUMMARY:**

OCCUPANCY CLASSIFICATION: UNMANNED TELECOMMUNICATIONS  
TYPE OF CONSTRUCTION: V-N  
ZONING: DSA  
AREA OF CONSTRUCTION: 460± SQ FT  
ASSESSORS' PARCEL NUMBER: 2558-015-900

**SHEET INDEX:**

SHEET NUMBER: DESCRIPTION:

T-1 TITLE SHEET  
T-2 ABBREVIATIONS, SYMBOLS, GENERAL NOTES & SPECIFICATIONS  
T-3 GENERAL NOTES & SPECIFICATIONS

C-1 TOPOGRAPHIC SURVEY  
C-2 TOPOGRAPHIC SURVEY

A-1 EXISTING SITE PLAN  
A-1.1 FLEMING SCHOOL SITE PLAN  
A-2 EQUIPMENT AND ANTENNA LAYOUT  
A-2.1 ENLARGED SITE PLAN  
A-3 ARCHITECTURAL ELEVATIONS  
A-4 ARCHITECTURAL DETAILS  
A-5 DETAILS  
A-6 DETAILS  
A-7 GENERAL NOTES

E-1 ELECTRICAL SITE PLAN, POWER AND RF CONFIG  
E-2 GENERAL NOTES, PANEL SCHEDULE AND SINGLE LINE DIAGRAM  
E-3 GROUNDING PLAN, GROUNDING NOTES, AND COAX CABLE GROUNDING SCHEMATIC DIAGRAM  
E-4 ELECTRICAL DETAILS  
E-5 ELECTRICAL DETAILS

**DSA NOTES:**

**NOTES:**

- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE TITLE 24, CALIFORNIA CODE OF REGULATIONS, SHOULD ANY EXISTING CONDITIONS SUCH AS DEGENERATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DIVISION OF THE STATE ARCHITECT BEFORE PROCEEDING WITH THE REPAIR WORK.
- ALL WORK SHALL CONFORM TO TITLE 24, 2007 CALIFORNIA CODE OF REGULATIONS (CCR)
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR CHANGE ORDER APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-332, PART 1, TITLE 24, CCR.
- A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS SUPERVISION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, CALIFORNIA STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR; CLASS 3).
- AN INSPECTOR WHO IS SPECIALLY QUALIFIED IN MECHANICAL AND ELECTRICAL WORK WILL BE REQUIRED FOR THIS PROJECT.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL, HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

**CODE COMPLIANCE:**

LIST OF 2007 CALIFORNIA CODE OF REGULATIONS

APPLICABLE CODES AS OF JANUARY 1, 2008

2007 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.  
2007 CALIFORNIA BUILDING CODE (CBC)  
2007 CALIFORNIA ELECTRICAL CODE (CEC)  
2007 CALIFORNIA MECHANICAL CODE (CMC)  
2007 CALIFORNIA PLUMBING CODE (CPC)  
2007 CALIFORNIA ENERGY CODE (CEC)  
2007 CALIFORNIA FIRE CODE (CFC)

PARTIAL LIST OF APPLICABLE STANDARDS

NFPA 13 AUTOMATIC SPRINKLER SYSTEMS 2002 EDITION  
NFPA 14 STANDPIPE SYSTEMS 2003 EDITION  
NFPA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS 2002 EDITIONS  
NFPA 17A WET CHEMICAL SYSTEMS 2003 EDITION  
NFPA 20 STATIONARY PUMPS 2002 EDITION  
NFPA 24 PRIVATE FIRE ARMS 2002 EDITION  
NFPA 72 NATIONAL FIRE ALARM CODE (CALIFORNIA AMENDED) 2002 EDITION  
NFPA 96 NATIONAL STANDARD 1971 FOR "FUELS DEVICES" (NOTE SEE UL STANDARD 1971 FOR "FUELS DEVICES") 2005 EDITION  
NFPA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2004 EDITION  
REFERENCE CODE SECTION FOR NFPA STANDARDS - 2007 CBC (SFA) 3504.1

NO.	DATE	DESCRIPTION	BY:

**SITE INFORMATION:**

**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
5844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
**ISSUE DATE: 09/23/08**

**CONSULTING TEAM:**

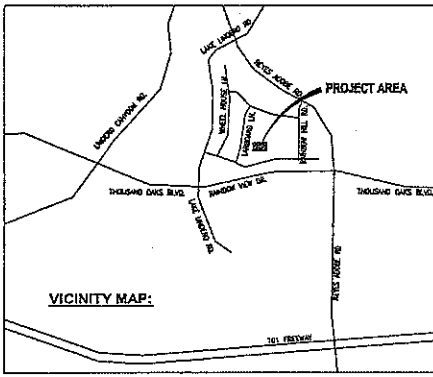
**SAC/ZONING/PERMITTING:**  
SURESITE CONSULTING GROUP, LLC  
3659 GREEN ROAD, SUITE 317  
CLEVELAND, OHIO 44122  
CONTACT: FRANK KOPPALA  
PHONE: (310) 743-8884

**ARCHITECTURAL & ENGINEERING:**  
CDG-CONNELL DESIGN GROUP, L.L.C.  
4685 MACARTHUR COURT, STE 480  
NEWPORT BEACH, CA 92660  
CONTACT: JOE CONNELL  
PHONE: (949) 306-4650

**ELECTRICAL ENGINEER:**  
CDG-CONNELL DESIGN GROUP, L.L.C.  
4685 MACARTHUR COURT, STE 480  
NEWPORT BEACH, CA 92660  
CONTACT: CHAU TANG  
PHONE: (714) 253-1581

**BEET NAZE SURVEYING**  
3168 ARWAY AVE., SUITE X1  
COSTA MESA, CA 92626  
OFFICE: (714) 337-1567  
FAX: (714) 337-1558

**POWER UTILITY CONTACT INFO:** T.B.D.  
**TELCO UTILITY CONTACT INFO:** T.B.D.



SECTOR	AZIMUTH	CENTERLINE	# OF ANTENNAS	ANTENNA MODEL #	# OF COAX LINES	COAX DIAMETER	COAX LENGTH
A	0°	37'-1"	2	TMBX-5516-R24	4	7/8"	85' ±
B	120°	37'-1"	2	TMBX-5516-R24	4	7/8"	85' ±
C	240°	37'-1"	2	TMBX-5516-R24	4	7/8"	85' ±
A	0°	31'-2"	2	TMBX-5516-R24	4	7/8"	75' ±
B	120°	31'-2"	2	TMBX-5516-R24	4	7/8"	85' ±
C	240°	31'-2"	2	TMBX-5516-R24	4	7/8"	85' ±

**DIRECTIONS FROM T-MOBILE SUN VALLEY OFFICE:**  
START AT 4100 GUARDIAN ST, SUN VALLEY GOING TOWARD TAPO CANYON RD TURN RIGHT ON TAPO CANYON RD - GO 1.5 MI, TURN RIGHT TO TAKE RAMP ONTO CA-518 W TOWARD VENTURA - GO 8.1 MI, CONTINUE ON CA-23 S - GO 8.0 MI  
TAKE THE LOS ANGELES LEFT EXIT ONTO US-101 S - GO 3.8 MI, TAKE EXIT #39/LINDERO CYN RD - GO 0.4 MI  
TURN LEFT ON LINDERO CANYON RD - GO 0.8 MI, TURN RIGHT ON E THOUSAND OAKS BLVD - GO 0.5 MI  
TURN LEFT ON LAKE LINDERO DR - GO 0.1 MI, TURN RIGHT ON RAMBOW VIEW DR - GO 0.1 MI  
TURN LEFT ON LARBOARD LN  
ARRIVE AT 5844 LARBOARD LN, AGOURA HILLS, ON THE RIGHT

THOMAS GUIDE  
RECORD LOS ANGELES  
PAGE: 57  
GRID # 64

**APPLICABLE CODES**

BUILDING CODE: CALIFORNIA BUILDING CODE 2007  
ALL WORK IS TO COMPLY WITH THE 2007 CALIFORNIA BUILDING CODE (CBC)

TIA/EIA-222-1886-F LIFE SAFETY CODE NFPA-101, 507 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS  
ASC - CONSTRUCTION MANUAL, 9TH EDITION OR LATER.  
NEC (NATIONAL ELECTRIC CODE) 2002 (NFPA 70)

SEAL:

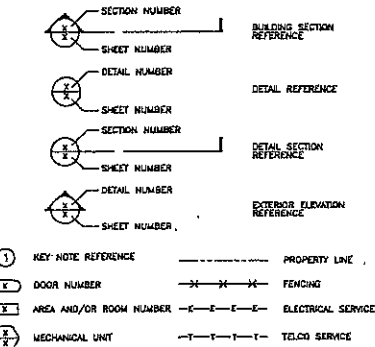
**TITLE SHEET**

SHEET NUMBER:  
**T-1**

ABBREVIATIONS

Table with 3 columns: Abbreviation (e.g., AB, AC, AD), Full Name (e.g., ANCHOR BOLT, AIR CONDITIONING), and Symbol/Reference (e.g., LAM, LBS).

SYMBOLS



GENERAL

- 1. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY ERRORS, OMISSIONS, OR CONFLICTS AS THEY ARE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION...
3. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES...
4. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY...
5. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES...
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS...
7. ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST U.S.A.C. AND ALL OTHER GOVERNING CODES...
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES AND INSURANCE WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT...
9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, WALKWAYS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS...
10. THE CONTRACTOR SHALL PROVIDE THE FIRE HAZARD APPROVED MATERIALS TO ALL PERMITS, PERMITS THROUGH THE FIRE BUREAU ASSEMBLED BY THE OWNER OR HIS REPRESENTATIVE...
11. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED...
12. THE CONTRACTOR SHALL PROVIDE THE FINE HAZARD APPROVED MATERIALS TO ALL PERMITS, PERMITS THROUGH THE FIRE BUREAU ASSEMBLED BY THE OWNER OR HIS REPRESENTATIVE...
13. THE CONTRACTOR SHALL PROVIDE THE FINE HAZARD APPROVED MATERIALS TO ALL PERMITS, PERMITS THROUGH THE FIRE BUREAU ASSEMBLED BY THE OWNER OR HIS REPRESENTATIVE...
14. WHEN CONSTRUCTION AHEAD TO THE CONSTRUCTION SHALL BE MATCHED IN FINISH, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS...
15. WHEN SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS SPECIFIED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS...
16. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE...
17. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT DAILY...
18. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE METHODS, MEANS OR SEQUENCE OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR...
19. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSION, ELEVATION, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK...
20. CONTRACTORS SHALL NOT THE SITE FROM TO GO TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF...
21. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS...
22. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR STOPPED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK...
23. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER...
24. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL, IN THESE DOCUMENTS SHALL BE CONSIDERED AS CONSIDERATION OF REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED...
25. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE...
26. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE METHODS, MEANS OR SEQUENCE OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR...
27. SEE CITY ORDINANCE 14 FOR FIRE SAFETY DURING CONSTRUCTION.

SITE PREPARATION NOTES

- 1. THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL OBSTACLES, TREES AND ANY OTHER OBSTACLES THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
2. BACK FILL AT TRENCHES SHALL BE OF CLEAN, STABLE SOIL HAVING A SAND EQUIVALENT OF 50 OR GREATER...
3. ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL UNDISTURBED SOIL OR ARTIFICIALLY PLACED FOOTINGS SHALL EXTEND INTO SOIL DEPTH AS INDICATED IN PLANS...
4. SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, GROUND WATER OR ANY OTHER UNSUITABLE CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW FOUNDATION...
5. WITHIN AN AREA A MINIMUM OF 4 FEET BEYOND THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL...
6. THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBING OR TESTING TO CHECK FOR POSITIVE OR SOFT OR UNSUITABLE MATERIAL...
7. PROOFRAIL THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED WANDA AXLE LOAD TRUCK...
8. ALL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL PLACED IN AT LEAST 6" AND THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1586...
9. THE STRUCTURAL DRAWINGS HEREIN REPRESENT THE FINISHED STRUCTURE...
10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION...
11. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS...
12. BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY...
13. THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT BY TORG INTERNATIONAL TITLED "WEST VALLEY HIGH SCHOOL - 923885" DATED 12/15/2007...
14. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE...
15. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT DAILY...
16. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE METHODS, MEANS OR SEQUENCE OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR...
17. CONTRACTORS SHALL NOT THE SITE FROM TO GO TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF...
18. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS...
19. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSION, ELEVATION, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK...
20. CONTRACTORS SHALL NOT THE SITE FROM TO GO TO ASCERTAIN CONDITIONS WHICH MAY ADVERSELY AFFECT THE WORK OR COST THEREOF...
21. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS...
22. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR STOPPED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK...
23. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER...
24. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL, IN THESE DOCUMENTS SHALL BE CONSIDERED AS CONSIDERATION OF REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING THE REQUIRED MATERIALS OR LABOR SPECIFIED...
25. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE...
26. THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE METHODS, MEANS OR SEQUENCE OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR...
27. SEE CITY ORDINANCE 14 FOR FIRE SAFETY DURING CONSTRUCTION.

SUBMITTALS

SUBMITTALS SUBMITTALS FOR SHOP DRAWINGS, SOIL TESTS, PRODUCT DATA, ETC. FOR ITEMS DESIGNED BY THE ARCHITECT/ENGINEER OF RECORD SHALL BE MADE TO THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION...

SHOP DRAWING REVIEW

REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND TO CONTRACT DOCUMENTS, VARIANCES OR COMMENTS SHALL NOT BE CONSIDERED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS...

ACCESSIBILITY NOTE

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN HEREON THESE PLANS IS NOT CURRENTLY OCCUPIED, WORK TO BE PERFORMED WITHIN THIS FACILITY SHOULD BE PERFORMED BY PERSONS WITH A SEVERE APPARENTMENT MOBILITY, HEARING, AND/OR VISUAL IMPAIRMENT...

STRUCTURAL STEEL

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE AISC MANUAL OF STEEL CONSTRUCTION...
2. STRUCTURAL STEEL SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER/ARCHITECT PRIOR TO FABRICATION...
3. DRIFTING OF COLUMN BASE PLATES SHALL BE SUPPLEMENTED OR COUNTERED WITH NON-SHEAR, NON-TENSION GRADE 60 MINIMUM COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 30 DAYS...
4. ALL EXPOSED WELDS SHALL BE FILED AND BURNED SMOOTH WHERE METAL COULD COME IN CONTACT WITH THE PUBLIC...
5. NO HOLES OTHER THAN THOSE SPECIFICALLY DETAILED SHALL BE ALLOWED THROUGH STRUCTURAL STEEL MEMBERS...
6. WELDING CONFORM TO AWS D1.1. WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH AISC REQUIREMENTS...
7. BOLTING: ASTM A307 BOLTS SHALL BE INSTALLED "SNUG TIGHT" PER AISC SECTION B02...
8. FABRICATION CONFORM TO AISC SPECIFICATION SEE USE "FABRICATION" AND AISC CODE SEC 5 FABRICATION AND DELIVERY...
9. GALVANIZING ALL EXPOSED STEEL OUTSIDE THE BUILDING ENVELOPE SHALL BE HOT-DIPPED GALVANIZED AFTER FIELD TOUCH-UP PER SPECIFICATIONS PER ASTM A153.

STRUCTURAL STEEL

- MATERIALS: CONFORM TO AND/OR BOLTS (HEADS): ASTM A307 AND/OR BOLTS (NUTS): ASTM A307
BARS & PLATES: ASTM A36 BOLTS: ASTM A307
C-, W-, M- AND ANGLE SHAPES: ASTM A36 DEFORMED WELDED WIRE FABRIC: ASTM A647
EPOXY & EXPANSION ANCHORS: MULTI OR EQUIVALENT
GRUOK: UNDECO OR EQUIVALENT
HIGH-STRENGTH BOLTS: ASTM A4302 OR A4320M
OTHER STRUCTURAL SHAPES: ASTM A36
REINFORCING BARS: ASTM A615, GRADE 60, DEFORMED BARS
SMOOTH WELDED WIRE FABRIC: ASTM A647
STRUCTURAL W/F SHAPES: ASTM A270-DR50
STEEL PIPE: ASTM A53, GRADE B
THE WELLS: 1/2" GAUGE OR HEAVIER, BLACK ANNEALED
TUBE STEEL & PIPE COLLARS: ASTM A500, GRADE B
WELDING ELECTRODES: E7018
W - SHAPES: ASTM A992, GRADE 50

STRUCTURAL STEEL NOTES

- 1. HOLES IN STEEL SHALL BE DRILLED OR PUNCHED, ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES, BURNING OF HOLES AND TORCH CUTTING AT ALL LOCATIONS SHALL BE PROVIDED BY THE CONTRACTOR...
2. ALL FRAMING CONNECTIONS SUCH AS CONCRETE ANCHORS, HOLD-DOWNS, POST BASES, FRAMING CAPS, HANGERS AND OTHER MISCELLANEOUS STRUCTURAL DETAILS SHALL BE AS MANUFACTURED BY SUPPLIER UNLESS OTHERWISE NOTED.

CONCRETE REINFORCEMENT

- 1. REINFORCING STEEL SHALL BE SPICED AS SHOWN OR NOTED BELOW. SPICES AT OTHER LOCATIONS SHALL BE PROVIDED BY THE STRUCTURAL ENGINEER...
2. ALL REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60...
3. BARS SHALL BE CLEAN OF MUDD, OIL OR OTHER CONTAMINANTS...
4. ALL REINFORCEMENT SHALL BE SECURED IN PLACE PRIOR TO INSPECTIONS, PLACING CONCRETE, OR GRouting...
5. WELDING BARS SHALL NOT BE WELDED UNLESS AUTHORIZED...
6. FIELD REINFORCING CONFORM TO AISC 301 SEC 3.2.2.2...
7. ALL REINFORCING BARRED CONTIGUOUS CORNERS ON THE PLANS AND DETAILS SHALL BE LAPPED USING BANDED LAPS AT SPICES UNLESS OTHERWISE NOTED...
8. SPICE ALL BARS IN WALLS WITH A MINIMUM OF 48 BAR DIAMETER LAPS (2'-0" MINIMUM).

Mobile Stick Together logo. EDG CONNELL DESIGN GROUP, LLC. SureSite Consulting Group, LLC 3659 Green Road, Suite 317 Cleveland, Ohio 44122. SITE INFORMATION: LINDERO MIDDLE SCHOOL SV01895C 584 LARBOARD LANE AGOURA HILLS, CA 91301 ISSUE DATE: 09/23/08. SHEET TITLE: ABBREVIATIONS, SYMBOLS, GENERAL NOTES & SPECIFICATIONS. SHEET NUMBER: T-2.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes items like ANCHOR BOLT, REINFORCED CONCRETE, LIGHT, etc.

SYMBOLS

Table with 2 columns: Symbol and Description. Includes symbols for SECTION NUMBER, SHEET NUMBER, DETAIL NUMBER, etc.

GENERAL NOTES & SPECIFICATIONS

GENERAL

- 1. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY ERRORS...
3. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR HAS THE RESPONSIBILITY...
4. A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY...
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE FROM START OF PROJECT TO COMPLETION OF PROJECT.
6. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES.
7. ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST U.S.A. AND ALL OTHER GOVERNING EDICTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK...
9. THE CONTRACTOR SHALL SUPPLY AND COORDINATE ALL WORK USING HIS PROFESSIONAL KNOWLEDGE AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES AND SCHEDULING AND COORDINATING ALL PORTIONS OF THE WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT...
11. ALL DIMENSIONS THE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ELEVATIONS, DIMENSIONS, FINISHINGS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
13. THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL APPROVED MATERIALS TO PROTECT PENETRATIONS THROUGH THE RAISED ACCESSFLOORS.
14. NEW CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
15. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR RESPECTING THE RESULTS.
16. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
17. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT SWATH PROMPTLY SHALL BE LEFT IN A CLEAN BROOM SWEEP CONDITION AT ALL TIMES.
18. ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT/ENGINEER SHALL BE NOTIFIED FOR CLARIFICATION.
19. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
20. CONTRACTORS SHALL VISIT THE SITE PRIOR TO BID TO ASCERTAIN CONDITIONS WHICH MAY AFFECT THE WORK OR COST THEREOF.
21. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSION, ELEVATION, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW PORTION OF THE WORK TO THE EXISTING WORK. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION OF STRUCTURAL MEMBERS AND EQUIPMENT SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
22. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTENSIVE CUTTING SHOULD BE USED BY THE CONTRACTOR WHEN LOCATING OR PEN DILLING AROUND OR NEAR UTILITIES.
23. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND DEBRIS OR CUTTER, PLACED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ENGINEER.
24. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. UNAUTHORIZED CHANGES RENDER THESE DRAWINGS VOID.
25. ANY REFERENCE TO THE WORDS APPROVED, OR APPROVAL, IN THESE DOCUMENTS SHALL BE HERE DEEMED TO IMPLY GENERAL ACCEPTANCE OR REVIEW AND SHALL NOT RELIEVE THE CONTRACTOR AND/OR HIS SUB-CONTRACTORS OF ANY LIABILITY IN FURNISHING OR INSTALLING MATERIALS OR LABOR SPECIFIED.
26. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE THE ENTIRE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FROM DAMAGE BY REPLACEMENT IN CONFORMANCE WITH THE EXECUTION OF THE WORK. IN GENERAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES FROM ANY DISAPPROPRIATE PILING WITHIN THE CONTRACT DOCUMENTS, PRIOR TO STARTING WORK.
27. SEE SPEC. ARTICLE 14 FOR FIRE SAFETY DURING CONSTRUCTION.

SITE PREPARATION NOTES:

- 1. THE PREPARATION OF THE SITE FOR CONSTRUCTION SHALL INCLUDE THE REMOVAL OF ALL BUSHES AND WEEDS, TREE TRUNKS AND ANY OTHER DEBRIS THAT WOULD BE DAMAGING TO THE FOOTINGS OF THE NEW STRUCTURE.
2. BACKFILL AT VERTICES SHALL BE OF CLEAN, STERILE SOIL HAVING A SAND EQUIVALENT OF 100% OR GREATER. BACKFILL SHALL BE DONE IN 8 INCH LAYERS. BACKFILL CONDITION IS PROPERLY COMPACTED, ADEQUATE DRAINAGE SHALL BE PROVIDED SUCH THAT NO POUGHES OCCURE.
3. ALL FOUNDATION FOOTINGS SHALL EXTEND INTO AND BEAR AGAINST NATURAL, UNDISTURBED SOIL, OR APPROVED COMPACTED FILL FOOTINGS SHALL EXTEND INTO SOIL DEPTH AS INDICATED IN PLANS.
4. SHOULD ANY LOOSE FILL, EXPANSIVE SOIL, ERODING WATER OR ANY OTHER UNEXPECTED CONDITIONS BE ENCOUNTERED DURING THE EXCAVATION FOR THE NEW FOUNDATION, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AND ALL FOUNDATION WORK SHALL CEASE IMMEDIATELY.
5. WITHIN AN AREA A MINIMUM OF 5 FEET BEYOND THE BUILDING LIMITS, EXCAVATE A MINIMUM OF 4" OF EXISTING SOIL. REMOVE ALL ORGANICS, PAVERS, ROOTS, DEBRIS AND OTHERWISE UNSUITABLE MATERIAL.
6. THE SURFACE OF THE EXPOSED SUBGRADE SHALL BE INSPECTED BY PROBEING OR TESTING TO CHECK FOR POUGHES OF SOFT OR UNSUITABLE MATERIAL. EXCAVATE UNSUITABLE SOIL AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
7. PROTECT THE SURFACE OF THE EXPOSED SUBGRADE WITH A LOADED TANDEN AXLE DUMP TRUCK. REMOVE ALL SOILS WHICH PUMP OR DO NOT COMPACT PROPERLY AS DIRECTED BY THE GEOTECHNICAL ENGINEER/TESTING AGENCY.
8. FILL ALL EXCAVATED AREAS WITH APPROVED CONTROLLED FILL, PLACE IN 8" LOGSIF LIFTS AND ALL OTHER GOVERNING EDICTS IN ACCORDANCE WITH ASTM D-155. COMPACT TO A MINIMUM OF 98% FOR RELATIVE COMPACTION.
9. THE STRUCTURAL DRAWINGS HEREON REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL MEMBERS AND CONNECTIONS HAVE BEEN INSTALLED. THE INSTALLATION DESIGN, SAFETY, ADEQUACY AND INSPECTION OF EXISTING BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING SURFACE STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
11. WHEN STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR SOO AS NOT TO EXCEED THE DESIRED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE EXISTING WORK.
12. BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING STRUCTURAL AND OTHER CONDITIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY BRACING, SHORING AND OTHER SUPPORTS TO MAINTAIN ALL PARTS OF THE EXISTING WORK IN A SAFE CONDITION DURING THE PROCESS OF DEMOLITION AND CONSTRUCTION AND TO PROTECT FROM DAMAGE EXISTING PORTIONS OF THE EXISTING WORK WHICH ARE TO REMAIN.
13. THE FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT BY TORB INTERNATIONAL, TITLED "WEST VALLEY HIGH SCHOOL - REDESIGN" DATED 12/14/2007, FOR THE GEOTECHNICAL REPORT, SECTION 3.2. THE UPPER 24 TO 36 INCHES OF THE SUBSURFACE SOIL MATERIALS UNDER THE PROPOSED LOCATION OF THE LOUPHOUT SLAB CONSISTS OF ROOTS AND ORGANIC AND VERY WEET THEREON. IT IS RECOMMENDED THAT ALL COLLECTIBLE MATERIALS ARE DISCARDED OFF SITE AND THE UPPER 24 INCHES OF THE SUBSURFACE MATERIALS BE REMOVED AND REPLACED WITH COMPACTED FILL. ORGANIC SOILS MAY BE REUSED PROVIDED ALL COLLECTIBLE MATERIALS ARE REMOVED. THE EXTENT OF THE REMOVAL SHOULD BE WITHIN THE PROPOSED CONCRETE SLAB FOOTPRINT AND 3 FEET BEYOND IT, WHEREVER POSSIBLE. THE REMOVAL BOTTOM AND COMPACTED FILL SHOULD BE PROVIDED IN ACCORDANCE WITH THE RECOMMENDATIONS STATED IN SECTION 3.2 OF THE REPORT.

SUBMITTALS

SUBMITTALS: SUBMITTALS FOR SHOP DRAWINGS, WELL TESTS, PRODUCT DATA, ETC. FOR ITEMS DESIGNATED BY THE ARCHITECT/ENGINEER OF RECORD SHALL BE MADE TO THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE SUBMITTALS BEFORE FURNISHING TO THE ARCHITECT. SUBMITTALS SHALL BE MADE IN ADVANCED. ARCHITECT-ENGINEER, SUBMITTALS REQUIRED FOR EACH SECTION OF THESE NOTES ARE SPECIFIED IN THAT SECTION.

SHOP DRAWING REVIEW

REVIEW BY THE ARCHITECT/ENGINEER IS FOR GENERAL COMPLIANCE WITH THE DESIGN CONCEPT AND THE CONTRACT DOCUMENTS. MINOR OR EMINENT SHALL NOT BE CONSIDERED AS RELIEVING THE CONTRACTOR FROM COMPLIANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. NO DEPARTURES THEREFROM. THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY. FOR CONFORMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTION FABRICATION PROCEDURES.

ACCESSIBILITY NOTES

THE TELECOMMUNICATIONS EQUIPMENT SPACE SHOWN HEREON THESE PLANS IS NOT CUSTOMARILY OCCUPIED. WORK TO BE PERFORMED IN THIS FACILITY CANNOT REASONABLY BE PERFORMED BY PERSONS WITH A SEVERE IMPAIRMENT MOBILITY, SIGHT, AND/OR HEARING. THEREFORE, PER 2007 CLEVELAND BUILDING CODE SECTION 1103.1.1, ENCLOSURE 1 & 2. THIS FACILITY SHALL BE EXEMPTED FROM ALL TITLE 24 ACCESS REQUIREMENTS.

STRUCTURAL STEEL:

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION, WHICH INCLUDES THE SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, THE CODE OF STANDARD PRACTICE AND THE AISC STRUCTURAL WELDING CODE DESIGN AND WELD STEEL PER SEC. 2203.
2. STRUCTURAL STEEL SHOP DRAWINGS SHALL BE REVIEWED BY THE ENGINEER/ARCHITECT PRIOR TO FABRICATION.
3. GROUPING OF COLUMN BASE PLATES. BASE PLATES SHALL BE BRACED OR GROUPED WITH NON-SHARP, NON-PERFORATED CORNERS, UNLESS COMPENSATE. STRENGTH SHALL BE 4,000 PSI AT 28 DAYS. ALL SURFACES SHALL BE PROPERLY CLEANED OF FOREIGN MATERIAL PRIOR TO DRIFTING.
4. ALL EXPOSED WELDS SHALL BE FILLED AND GRIND SMOOTH WHERE METAL COULD COME IN CONTACT WITH THE PUBLIC.
5. NO HOLES OTHER THAN THOSE SPECIFICALLY DETAILED SHALL BE ALLOWED THROUGH STRUCTURAL STEEL. MEMBERS SHALL BE STANDARD UNLESS OTHERWISE NOTED. NO CUTTING OR BURRING OF STRUCTURAL STEEL WILL BE PERMITTED WITHOUT PRIOR CONSENT OF THE ENGINEER.
6. WELDING CONFORM TO AISC 311. WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH WELD REQUIREMENTS. USE E70 ELECTRODS OF TYPE RECOMMEND FOR MATERIALS TO BE WELDED.
7. BOLTING: ASTM A307 BOLTS SHALL BE INSTALLED "TIGHT" PER AISC SECTION R301 (C) ASTM A307 BOLTS SHALL CONFORM TO THE AISC SPECIFICATION SECTION 8 (D).
8. FABRICATION: CONFORM TO AISC SPECIFICATION SEE "FABRICATION" AND AISC CODE SEE "FABRICATION AND DELIVERY" PERFORM WORK ON PROFILES OF A FABRICATOR APPROVED BY THE BUILDING OFFICIAL.
9. GALVANIZING: ALL EXPOSED STEEL SURFACES OF THE BUILDING ENVELOPE SHALL BE NOT-DIPPED GALVANIZED. APPLY FIELD TOUCH-UPS PER SPECIFICATIONS, PER ASTM A153.
10. MATERIALS CONFORM TO: ANCHOR BOLTS (HEADS): ASTM A307 ANCHOR BOLTS (-TYPE): ASTM A307 BARS & PLATES: ASTM A36 BOLTS: ASTM A307 C-, M-, AND ANGLE SHAPES: ASTM A36 DEFORMED WELDED WIRE FABRIC: ASTM A187 EPOXY A EXPANSION ANCHORS: HALF OR EQUIVALENT GRABUT: DMECCO OR EQUIVALENT HIGH-STRENGTH BOLTS: ASTM A325CO OR (A325A) OTHER STRUCTURAL SHAPES: ASTM A36 REINFORCING BARS: ASTM A618, GRADE 60, DEFORMED BARS STRUCTURAL WELDED WIRE FABRIC: ASTM A195 STEEL W/ SPANER: ASTM A53, GRADE 8 TIE WIRE: 18.5 GAUGE OR HEAVIER, BLACK ANNEALED TUBE STEEL & PIPE COLLARNS: ASTM A500, GRADE B WELDING ELECTRODS: E70XX ASTM A572, GRADE 50 W - SHAPES

STRUCTURAL STEEL NOTES:

- 1. HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURRING OF HOLES AND TURN CUTTING AT THE SITE IS NOT PERMITTED.
2. ALL FRAMING CONNECTORS SUCH AS CONCRETE ANCHORS, HOLD-DOWNS, POST BASES, BRACING CAPS, HANGER AND OTHER MISCELLANEOUS STRUCTURAL METALS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. OR APPROVED EQUAL.

CONCRETE REINFORCEMENT:

- 1. REINFORCING STEEL SHALL BE SPLICED AS SHOWN OR NOTED BELOW. SPLICES AT OTHER LOCATIONS SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER. ALL VERTICAL WALL REINFORCING SHALL BE CONTINUOUS BETWEEN SPLICE LOCATIONS SHOWN IN THE DETAILS.
2. ALL REINFORCING STEEL SHALL BE NEW DEFORMED BARS CONFORMING TO ASTM A-618, GRADE 60. LAP REINFORCING STEEL AT SPLICES TO THE FOLLOWING MINIMUM LENGTHS UNLESS NOTED OTHERWISE:
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3. BARS SHALL BE CLEAN OF OIL, OR OTHER CONTAMINANTS LIKELY TO IMPAIR BOND.
4. ALL REINFORCING SHALL BE SECURED IN PLACE PRIOR TO INSPECTIONS, PLACING CONCRETE, OR CURING MASSORY.
5. WELDED: BARS SHALL NOT BE WELDED UNLESS AUTHORIZED, WHEN AUTHORIZED, CONFORM TO AISC 308, SEC 3.2. 2.2. "WELDING" AND PROVIDE ASTM A754, GRADE 80 REINFORCEMENT.
6. FIELD WELDING: CONFORM TO AISC 308 SEC 3.2.3.6 "FIELD WELDING OR STRAIGHTENING". BAR SIZES (#3 THROUGH #5) MAY BE FIELD BENT COLD THE FIRST TIME. OTHER BAR SIZES REQUIRING PROTECTIVE DO NOT BEND.
7. ALL WELDED BARBED CONTINUOUS (CONT) ON THE PLANS AND DETAILS SHALL BE APPROVED 3/8" DIA. BAR DIAMETERS AT SPLICES UNLESS OTHERWISE NOTED.
8. SPLICE ALL BARS IN MASSORY WITH A MINIMUM OF 48 BAR DIAMETER LAPS (2'-0" MINIMUM).

T-Mobile Stick Together logo and address: 1100 GREENBROOK, SAN VALLEY, OH 44083

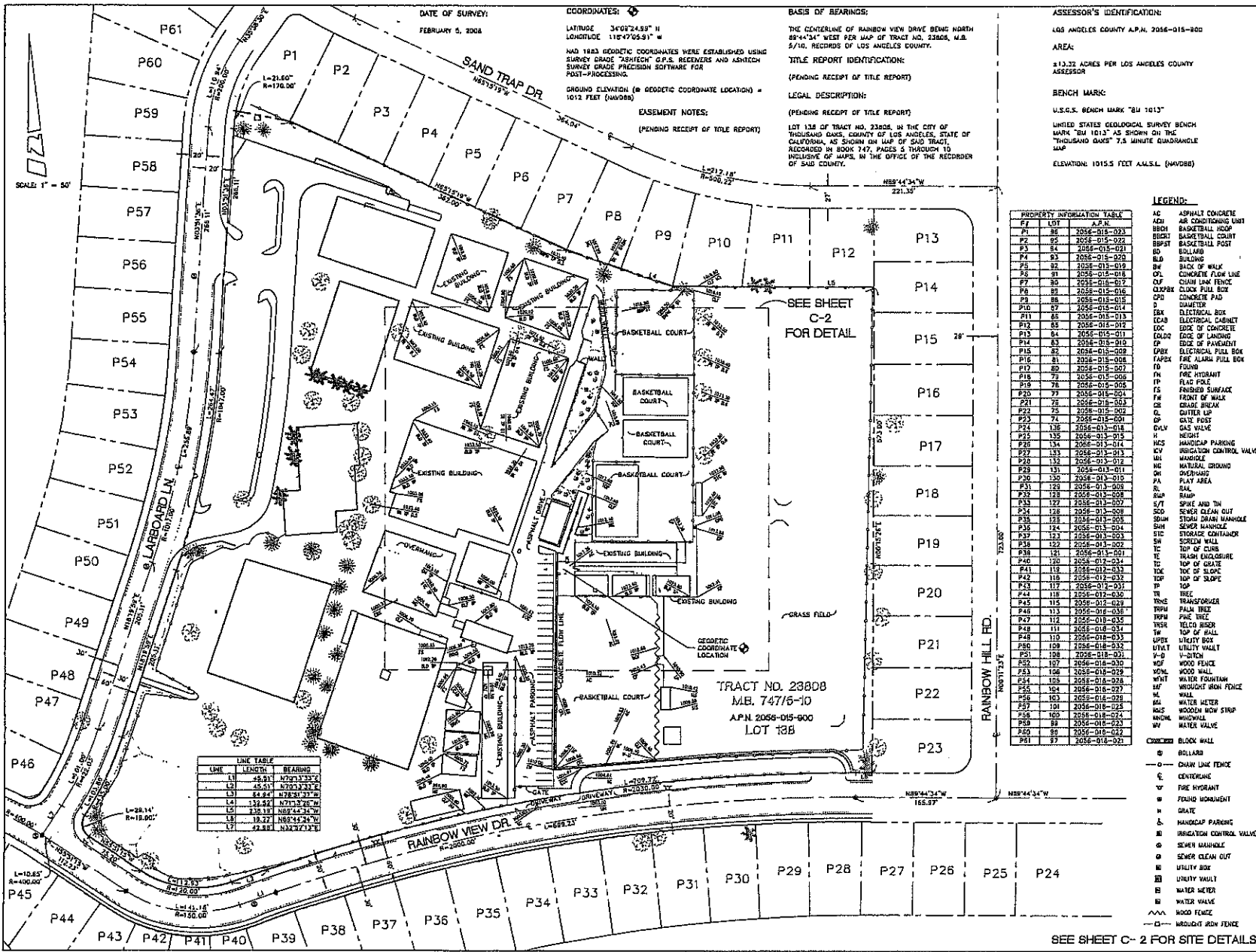
EDG CONNELL DESIGN GROUP, LLC 3659 Green Road, Suite 317 Cleveland, Ohio 44122

Table with columns: NO., DATE, DESCRIPTION, BY.

LINDERO MIDDLE SCHOOL SV01895C 8644 LARBOARD LANE AGOURA HILLS, CA 91301 ISSUE DATE: 09/23/08

GENERAL NOTES & SPECIFICATIONS SHEET NUMBER: T-3

Table with columns: SCALE, N.T.S., 1



**T-Mobile**  
Stick Together™  
3 IMPERIAL PROMENADE, SUITE 1100  
SANTA ANA, CA 92707

PLANS PREPARED BY:  
**BERT HAZE**  
AND ASSOCIATES, INC.  
LAND SURVEYING & MAPPING  
3188 AIRWAY AVENUE, SUITE K1  
COSTA MESA, CALIFORNIA 92626  
714 557-1567 OFFICE  
714 557-1568 FAX  
JN. 708.057

NO.	DATE	DESCRIPTION	BY	CR
1	02/12/08	ISSUED FOR REVIEW		

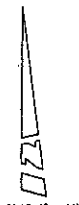
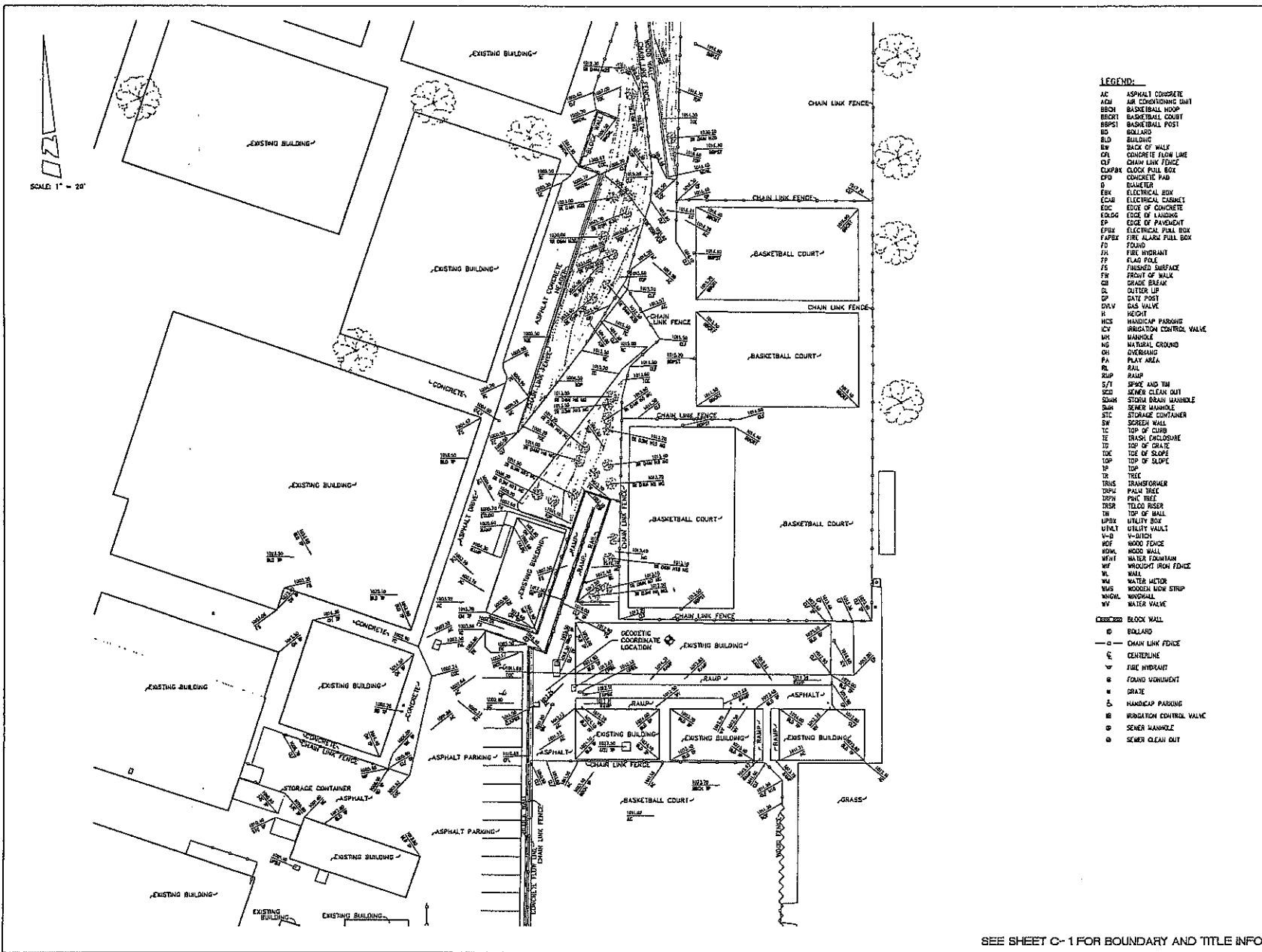
**SITE INFORMATION**  
SV01895C  
LINDERO CANYON  
MIDDLE SCHOOL  
5844 LARBOARD LANE  
AGGURA HILLS, CA 91001

**STAMP**  
NATIONAL LAND SURVEYING SOCIETY  
No. 7211  
Exp. 3-31-08  
STATE OF CALIFORNIA

**SHEET TITLES**  
TOPOGRAPHIC SURVEY

**SHEET NUMBER**  
C-1

SEE SHEET C- 2 FOR SITE DETAILS



SCALE: 1" = 20'

- LEGEND:**
- AC ASPHALT CONCRETE
  - ADU AIR CONDITIONING UNIT
  - BECH BASKETBALL HOOP
  - BECHT BASKETBALL COURT
  - BECHT1 BASKETBALL POST
  - BL BALL
  - BLD BUILDING
  - BW BACK OF WALK
  - CDL CONCRETE FLOW LINE
  - CLP CHAIN LINK FENCE
  - CLPFX CLOCK PULL BOX
  - CPD CONCRETE PAD
  - D BALANCE
  - EBK ELECTRICAL BOX
  - ECAB ELECTRICAL CABINET
  - EDC EDGE OF CONCRETE
  - ELOG EDGE OF LANDING
  - EP EDGE OF PAVEMENT
  - EPBX ELECTRICAL PULL BOX
  - FAPBX FIRE ALARM PULL BOX
  - FD FOUND
  - FW FIRE HYDRANT
  - FP FLAG POLE
  - FS FINISHED SURFACE
  - FR FRONT OF WALK
  - GB GRADE BREAK
  - GL CUTLER LIP
  - GP GATE POST
  - GSV GAS VALVE
  - H HOSE
  - HCS HANDICAP PARKING
  - ICV IRRIGATION CONTROL VALVE
  - IM MANHOLE
  - MG MATERIAL GROUND
  - OH OVERHANG
  - PA PLAY AREA
  - RL RAIL
  - RUP RAUP
  - S/T SPICE AND TIN
  - SCD SEWER CLEAN OUT
  - SDBM SINKHOLE
  - SUM SEMI MANHOLE
  - STC STORAGE CONTAINER
  - SW SCREEN WALL
  - TC TOP OF CURB
  - TE TRASH ENCLOSURE
  - TF TOP OF GRADE
  - TDE TOP OF SLOPE
  - TOP TOP OF SLOPE
  - TR TOP
  - TR TREE
  - TRNS TRANSFORMER
  - TRPV PALM TREE
  - TRPV PINE TREE
  - TRPV TRUSS ROOF
  - TRW TOP OF WALL
  - UBX UTILITY BOX
  - UNVT UTILITY VAULT
  - V-D V-DITCH
  - WDF WOOD FENCE
  - WOW WOOD WALL
  - WFT WATER FEEDER
  - WF WOODPOST IRON FENCE
  - W WALL
  - WA WATER METER
  - WMS WOODEN SIGN STRIP
  - WDR WALL
  - WV WATER VALVE
  - WV WATER VALVE
- 0300222 BLOCK WALL
- 6 BOLLARD
  - 7 CHAIN LINK FENCE
  - 8 CENTERLINE
  - 9 FIRE HYDRANT
  - 10 FOUND MONUMENT
  - 11 GRATE
  - 12 HANDICAP PARKING
  - 13 IRRIGATION CONTROL VALVE
  - 14 SEMI MANHOLE
  - 15 SEWER CLEAN OUT

**T-Mobile**  
Stick Together<sup>®</sup>  
3 IMPERIAL PROMENADE, SUITE 1100  
SANTA ANA, CA 92707

PLANS PREPARED BY:

**BERT HAZE**  
A N E ASSOCIATES, INC.  
LAND SURVEYING & MAPPING  
3188 AIRWAY AVENUE, SUITE X1  
COSTA MESA, CALIFORNIA 92626  
714 557-1567 OFFICE  
714 557-1568 FAX  
JN. 708.057

NO.	DATE	DESCRIPTION	BY	DB
1	02/12/08	ISSUED FOR REVIEW		

SITE INFORMATION

**SV01895C**  
**LINDERO CANYON**  
**MIDDLE SCHOOL**  
6844 LARBOARD LANE  
AGOURA HILLS, CA 90015

STAMP



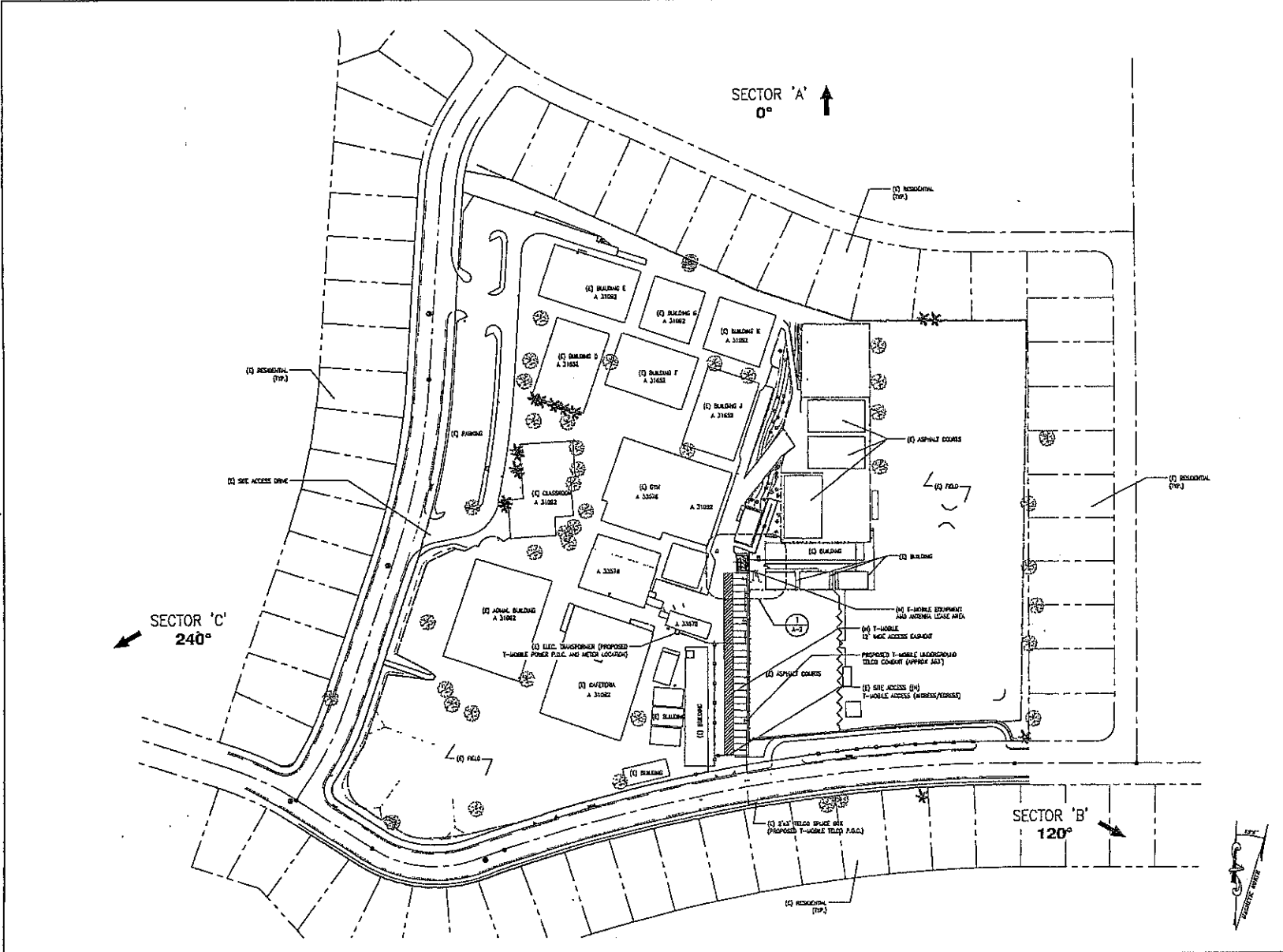
SHEET TITLE

**TOPOGRAPHIC SURVEY**

SHEET NUMBER

**C-2**

SEE SHEET C-1 FOR BOUNDARY AND TITLE INFO



**T-Mobile**  
Stick Together

4100 GUARDIAN  
SAN VALLEY, CA 90363

PLANS PREPARED BY:  
**CDG**  
CONNELL DESIGN GROUP, LLC  
REGISTERED CIVIL ENGINEER  
4441 LUCANITA COURT, SUITE 400, REDWOOD BEACH CA 92078  
(714) 733-8897 OFFICE - (714) 734-3443 FAX  
CDG#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

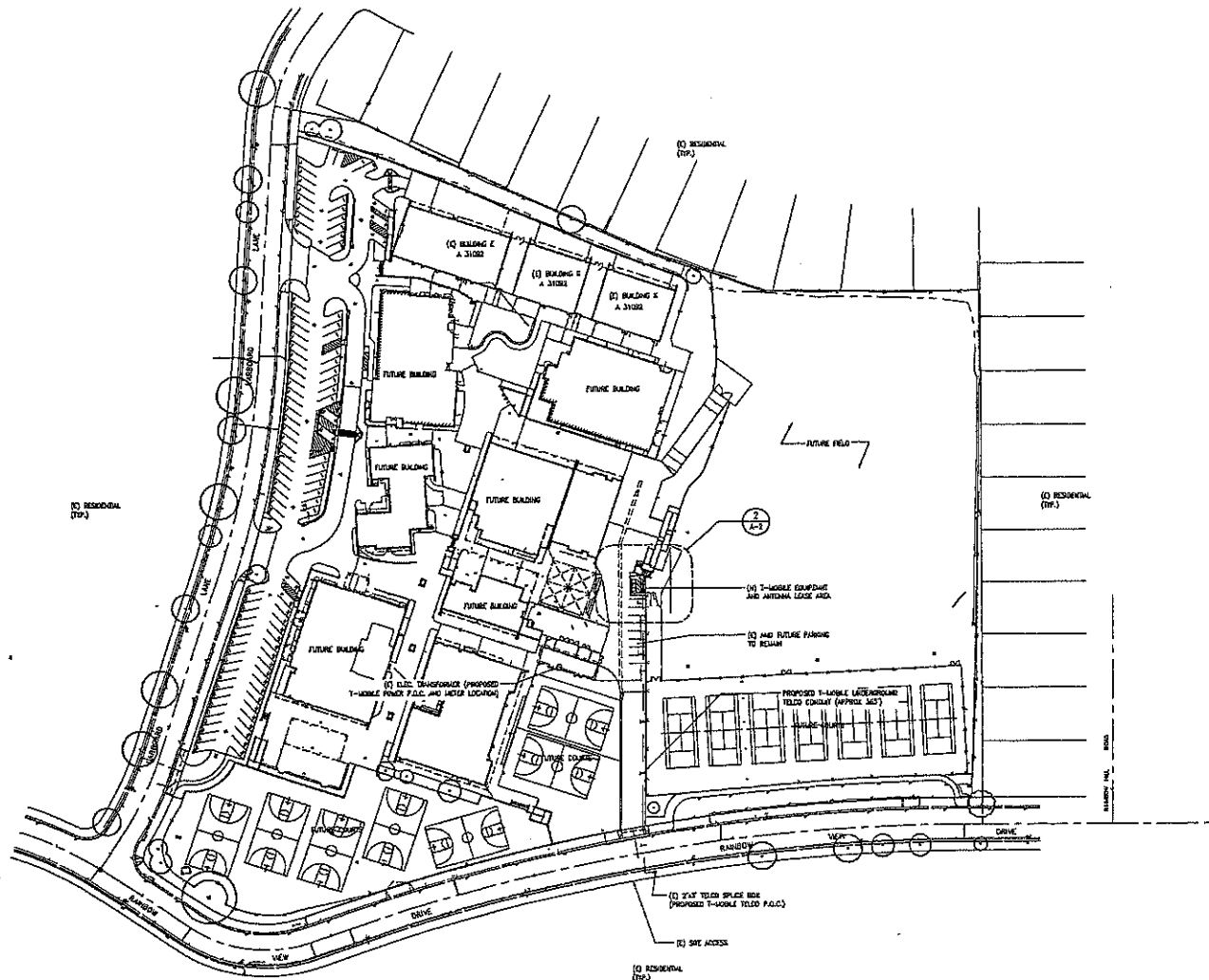
SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
5544 LARBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

SEAL:

SHEET TITLE:  
**EXISTING SITE PLAN**

SHEET NUMBER:  
**A-1**

EXISTING SITE PLAN



**T-Mobile**  
Stick Together™

4100 SHARON  
SUN VALLEY, CA 95063

PLANS PREPARED BY:  
**EDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
4620 LAKELAND COURT, SUITE 200, REDWOOD CITY, CA 94060  
800-773-2431 OFFICE • 650-331-8433 FAX  
CDD#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
5644 LANBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

SEAL:

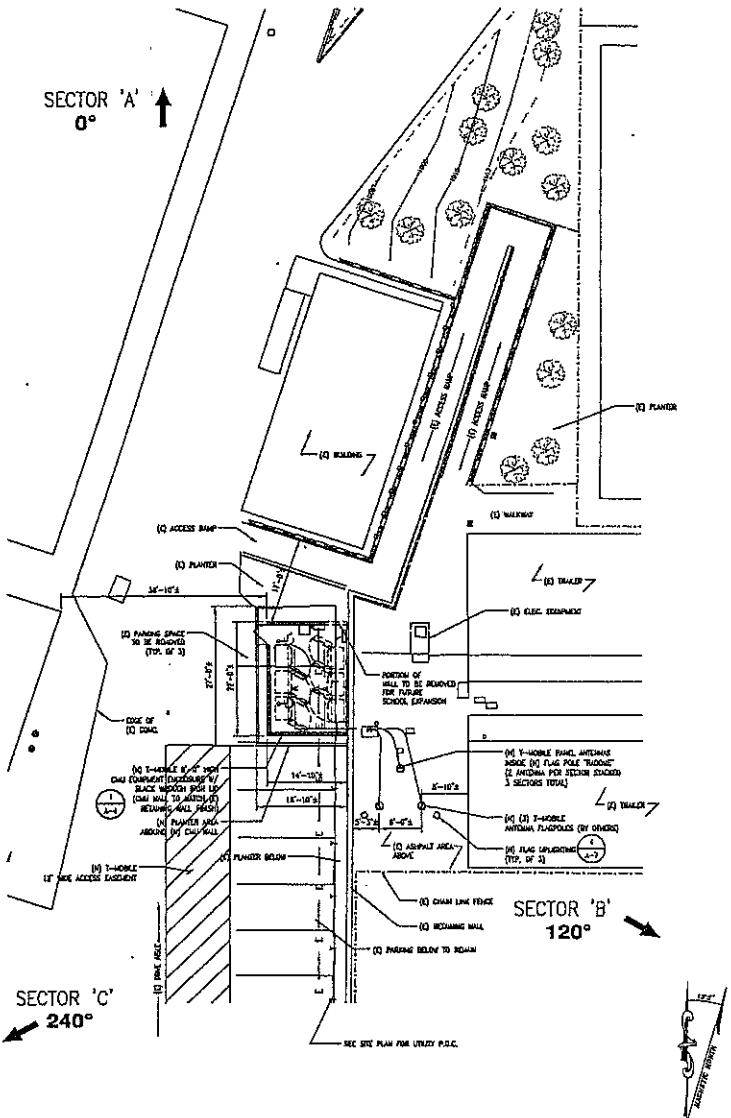
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**FUTURE SCHOOL SITE PLAN**

SHEET NUMBER:  
**A-1.1**

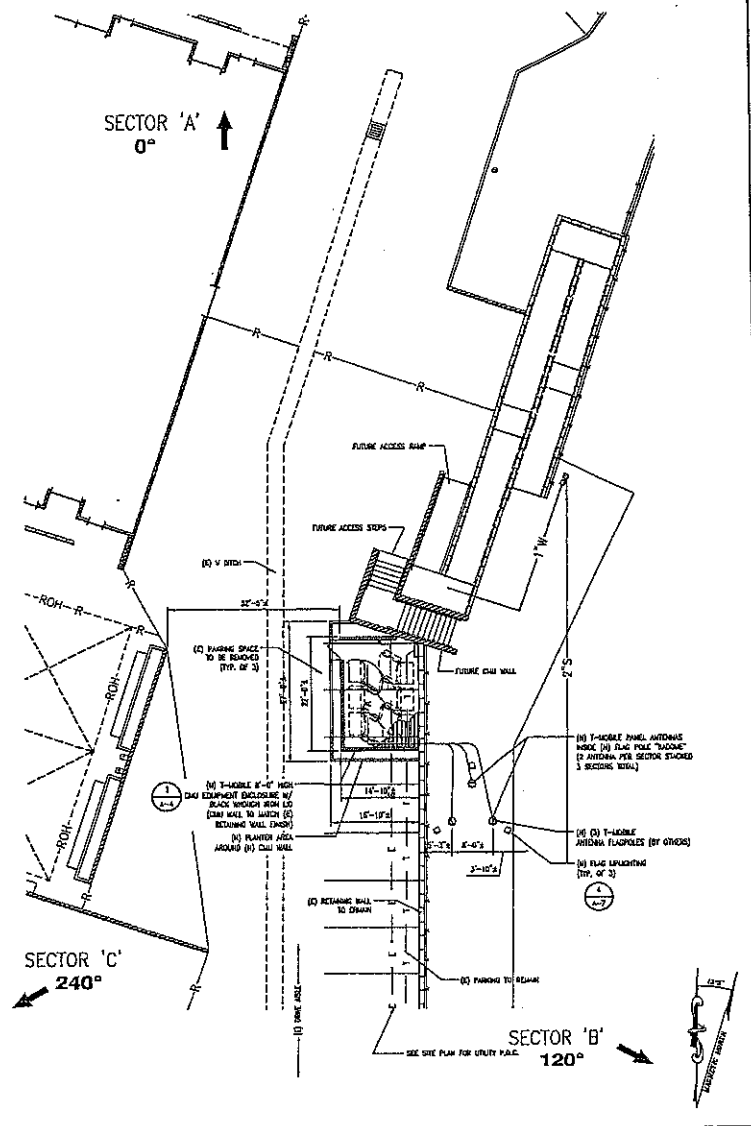
FUTURE SCHOOL SITE PLAN



NOTE:  
UTILITY RATES TO BE DETERMINED  
UPON FUTURE SCHOOL RENOVATION.



1



2

EQUIPMENT / ANTENNA PLAN AT (E) SITE LAYOUT

EQUIPMENT / ANTENNA PLAN AT FUTURE SITE LAYOUT

**T-Mobile®**  
Stick Together®  
4100 ELIARDIAN  
SAN VALLEY, CA 90263

PLANS PREPARED BY:  
**EDG**  
CONNELL DESIGN GROUP, LLC  
ENGINEERING & ARCHITECTURE  
4811 HAINCARTER COURT, SUITE 404, NEWPORT BEACH, CA 92660  
(949) 734-6671 OFFICE • (949) 734-6441 FAX  
CDG#: 06-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

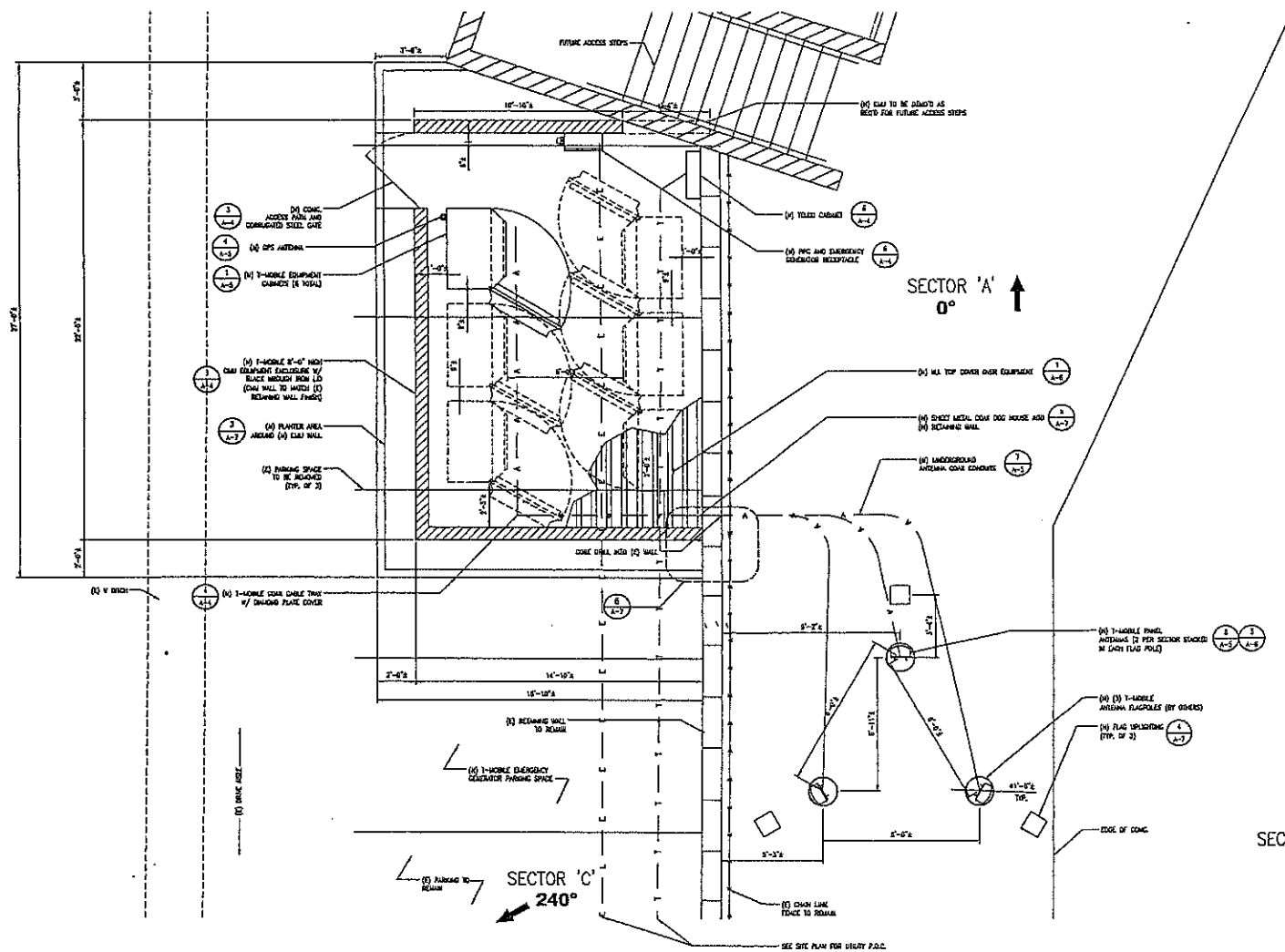
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**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
6544 LARBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

SEAL:

SHEET TITLE:  
**EQUIPMENT AND ANTENNA LAYOUT**

SHEET NUMBER:  
**A-2**

NOTE: UTILITY PRACTICE TO BE DETERMINED FROM FUTURE SCHOOL RECORDS.



**T-Mobile**  
Stick Together™

4100 GARDEN  
DINO VALLEY, CA 92643

PLANS PREPARED BY:  
**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
4424 MACARTHUR OCEAN DRIVE 442 NEWPORT BEACH CA 92660  
(714) 753-8877 OFFICE • (714) 753-8822 FAX  
CDG#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3658 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
6844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

SCALE:  
[Blank space for scale]

SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**A-2.1**

# T-Mobile Stick Together

1100 GUARDIAN  
SUN VALLEY, CA 95243

PLANS PREPARED BY:

**EDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING GROUP SERVICES  
4443 JACARANDA CIRCLE, SUITE 400, NEWPORT BEACH, CA 92660  
(949) 751-4000 OFFICE - (949) 751-4011 FAX  
CDG#: 08-9009

CONSULTING GROUP:

**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

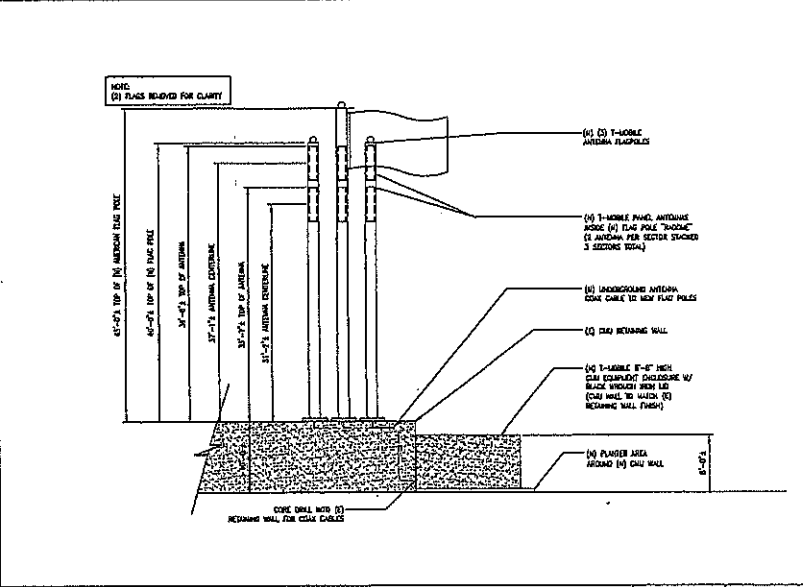
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SITE INFORMATION:  
**LINDERO MIDDLE  
SCHOOL**  
SV01895C  
2644 LARBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

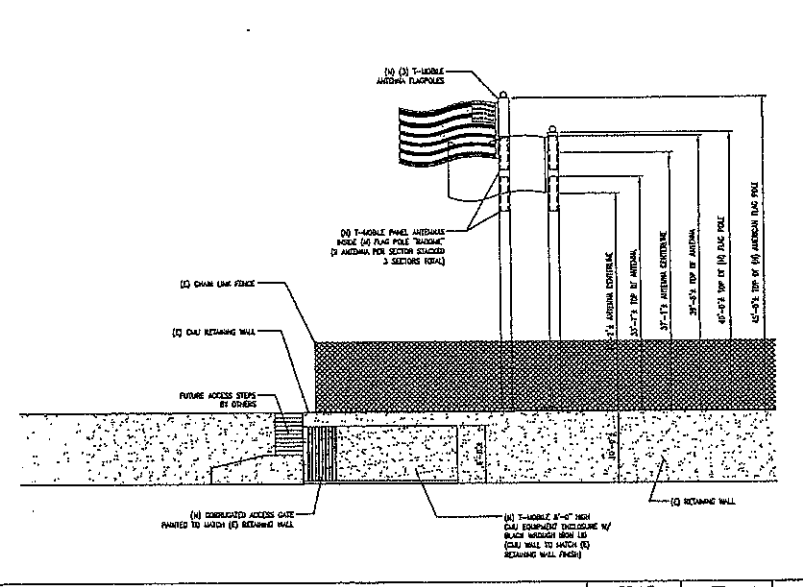
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**ARCHITECTURAL  
ELEVATIONS**

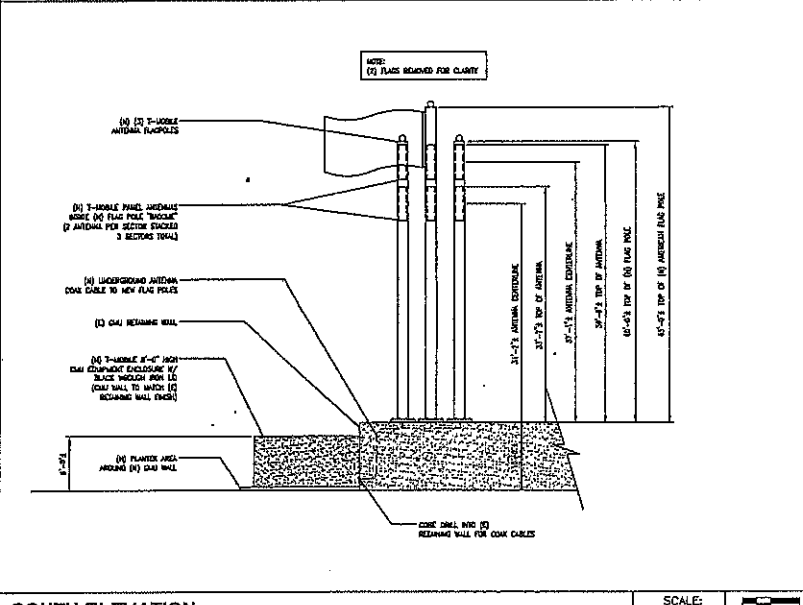
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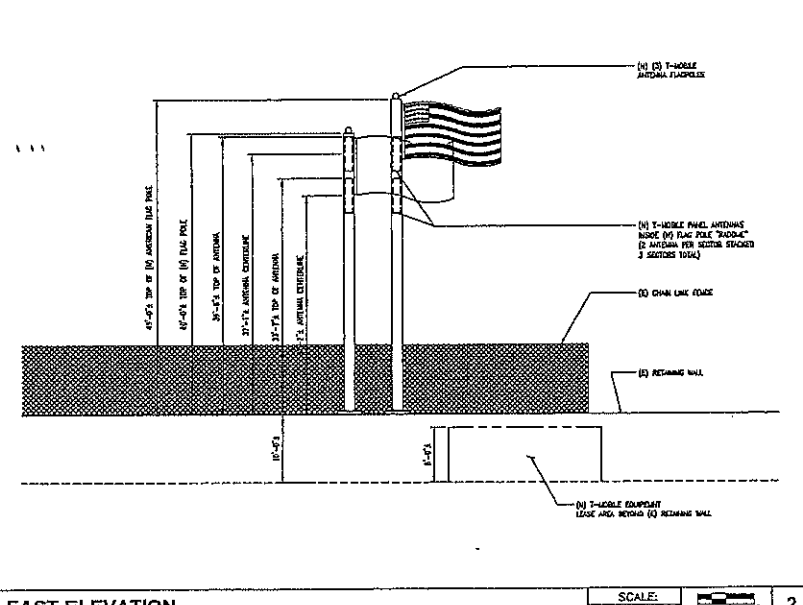
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WEST ELEVATION SCALE: 1/8"=1'-0"



SOUTH ELEVATION SCALE: 1/8"=1'-0"



EAST ELEVATION SCALE: 1/8"=1'-0"

**T-Mobile**  
Stick Together

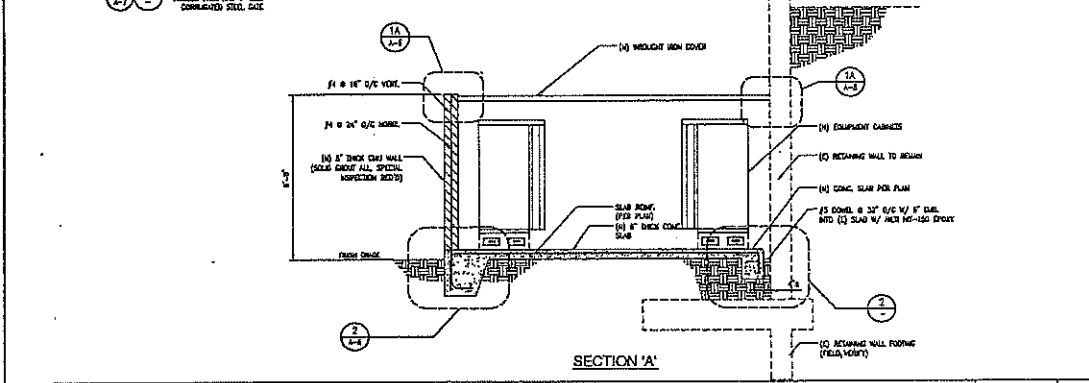
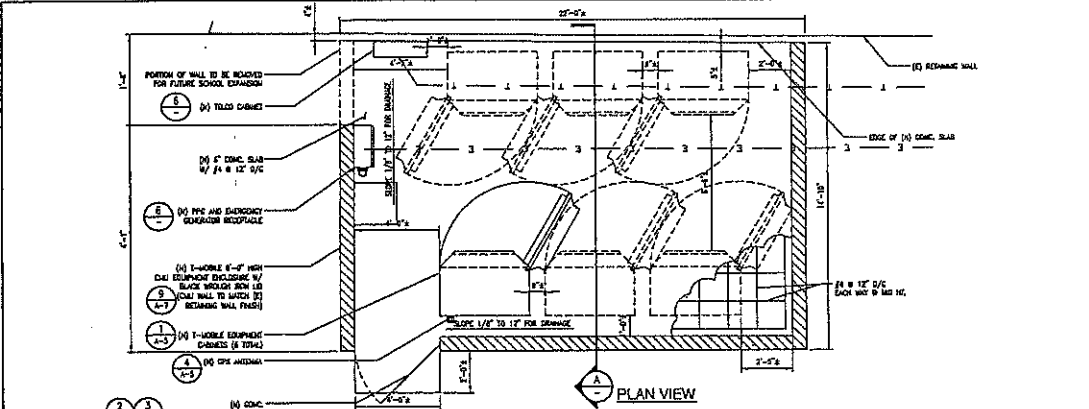
4100 GARDIAN  
SILVA VALLEY, CA 90233

PLANS PREPARED BY:

**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING ENGINEERS  
4445 WILLOW CREEK DRIVE, SUITE 400, REDWOOD CITY, CA 94061  
(650) 734-4400 OFFICE • (650) 734-6611 FAX  
CDG#: 08-3009

CONSULTING GROUP:

**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122



**EQUIPMENT ENCLOSURE PLAN / SECTION**

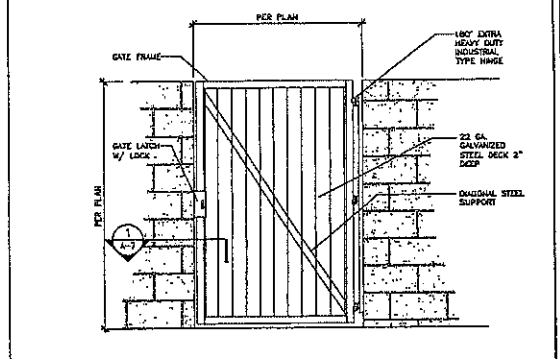
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**ACCESS GATE**

SCALE: N.T.S.	3
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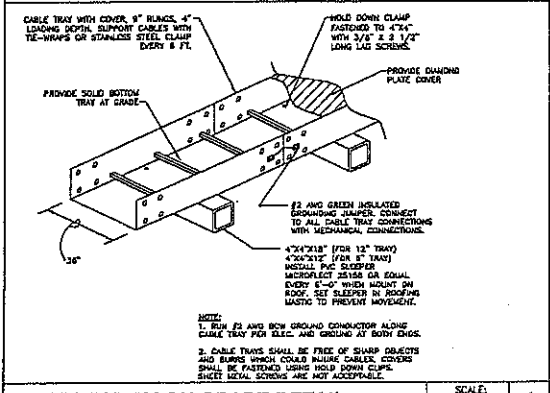
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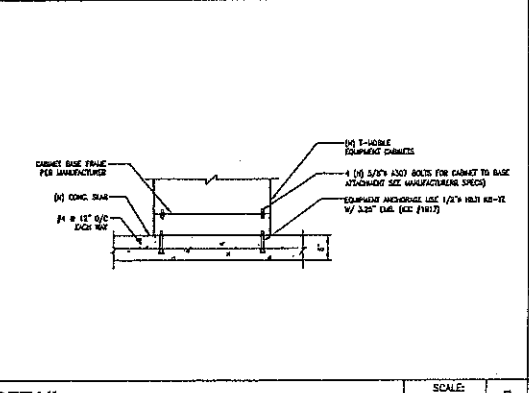
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**SITE INFORMATION:**  
**LINDERO MIDDLE SCHOOL SV01895C**  
8844 LARGOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08



SCALE: N.T.S.	4
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**DETAIL**



SCALE: N.T.S.	5
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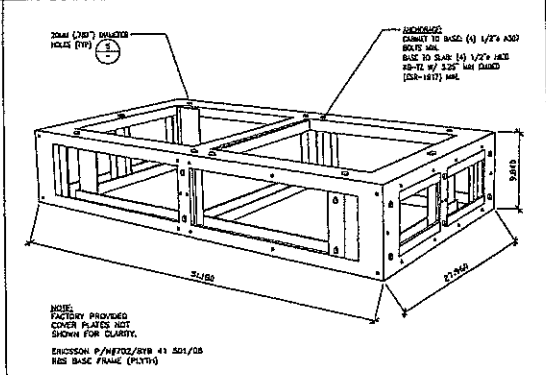
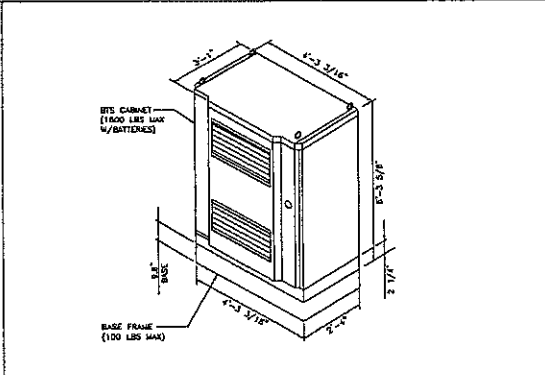
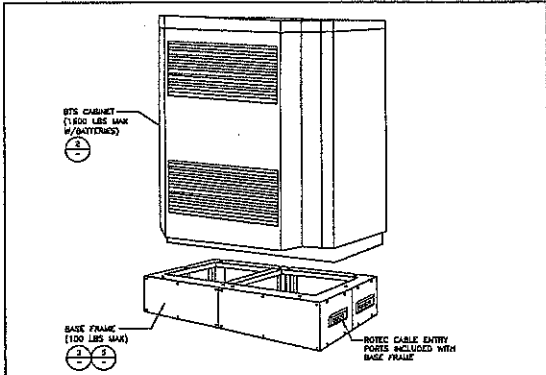
**PPC, EGR, GPS ANTENNA & CABINETS**

SCALE: N.T.S.	6
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**ARCHITECTURAL DETAILS**

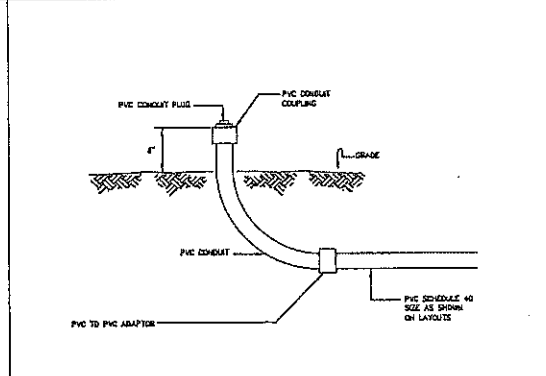
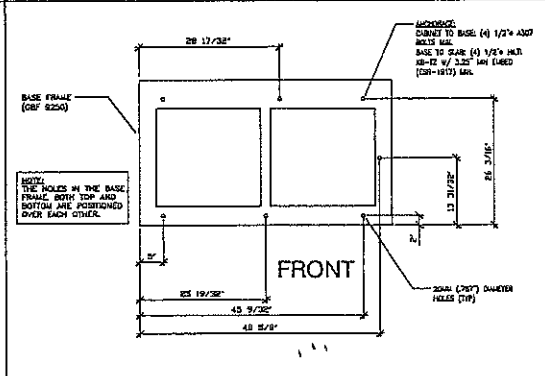
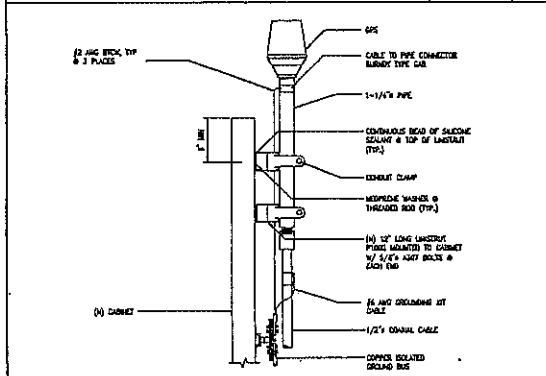
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**A-4**



ERICSSON CABINET W/ BASE FRAME SCALE: N.T.S. 1

CABINET SPECS SCALE: N.T.S. 2

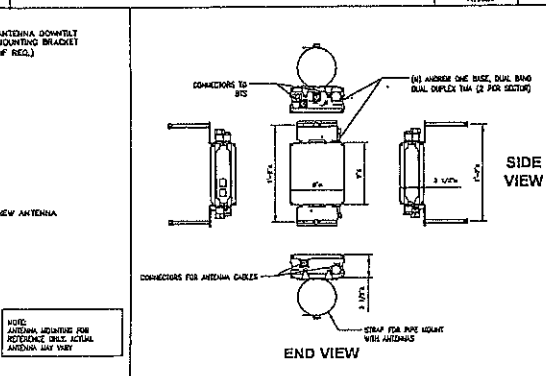
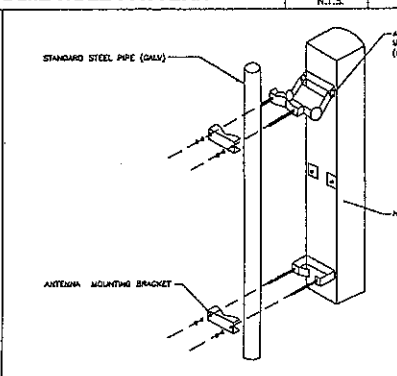
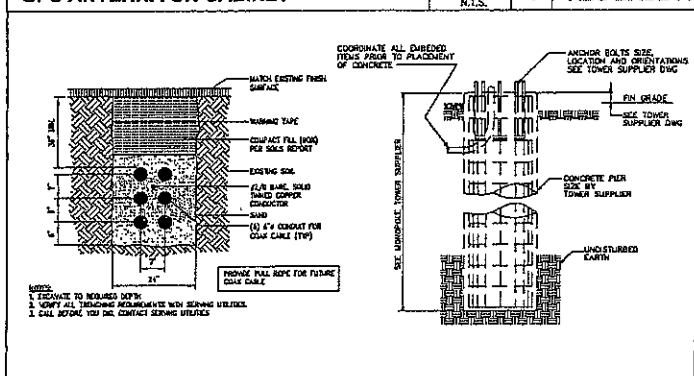
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GPS ANTENNA ON CABINET SCALE: N.T.S. 4

RBS BASE FRAME HOLE PATTERN SCALE: N.T.S. 5

CONDUIT STUB UP AT GRADE SCALE: N.T.S. 6



COAX TRENCH DETAIL SCALE: N.T.S. 7

ANTENNA MOUNTING BRACKET SCALE: N.T.S. 8

TMA DETAIL SCALE: N.T.S. 9

**T-Mobile**  
Stick Together<sup>SM</sup>

4100 GUARDIAN  
384 VALLEY, CA 90263

PLANS PREPARED BY:  
**EDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
242 WASHINGTON SQUARE, SUITE 400 WASHINGTON HEIGHTS, OHIO 44110  
PH: 216-481-0200 FAX: 216-251-1444  
CDG#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

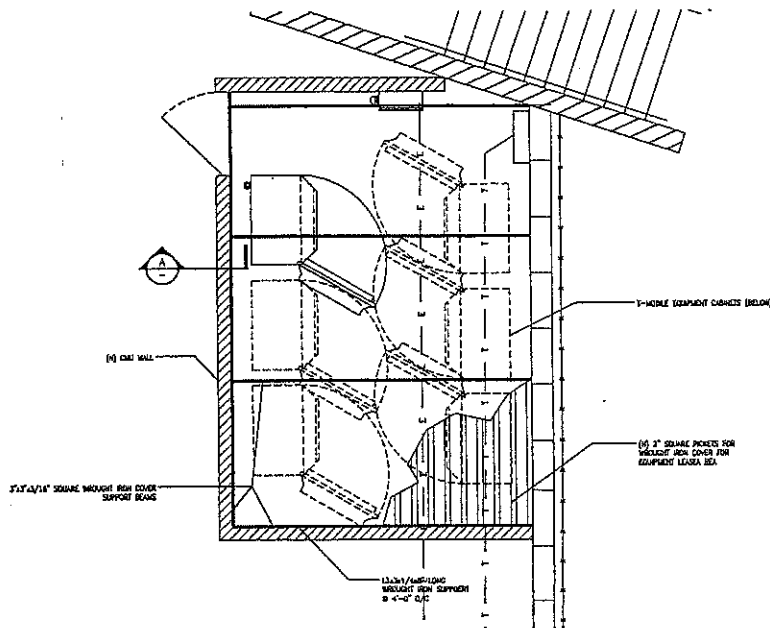
NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
844 LAIRD ROAD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

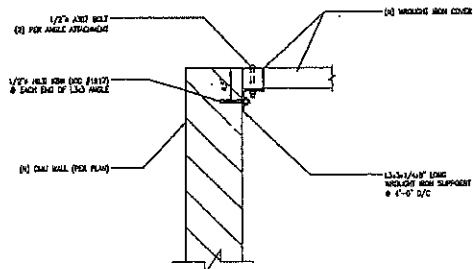
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DATE: \_\_\_\_\_

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**ARCHITECTURAL DETAILS**

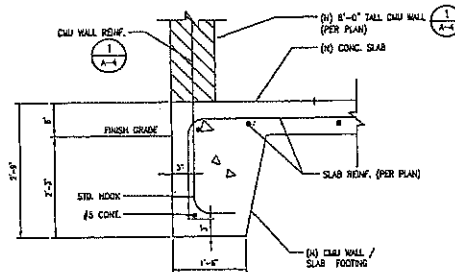
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**A-5**



WROUGHT IRON COVER PLAN

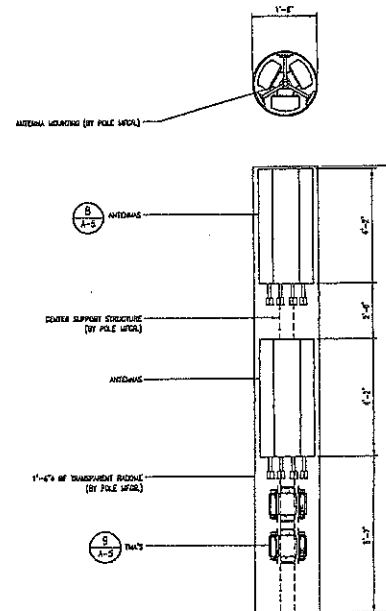


DETAIL 'A'



DETAIL

SCALE: N.T.S. 2



ANTENNA RADOME DETAIL

SCALE: 1/2\"/>

WROUGHT IRON COVER PLAN / DETAIL

SCALE: N.T.S. 1

**T-Mobile**  
Stick Together®

4100 QUADRAM  
SUN VALLEY, CA 92243

PLANS PREPARED BY:

**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSTRUCTION OPTIMIZATION  
4645 WOODLAND COURT, SUITE 400, WOODLAND PARK, CO  
(970) 734-9700 OFFICE - (970) 734-8333 FAX  
CDG#: 08-9009

CONSULTING GROUP:

**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

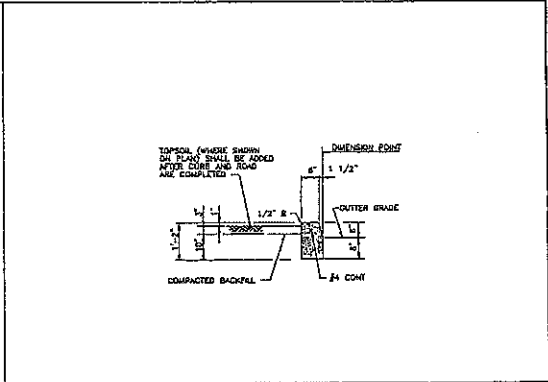
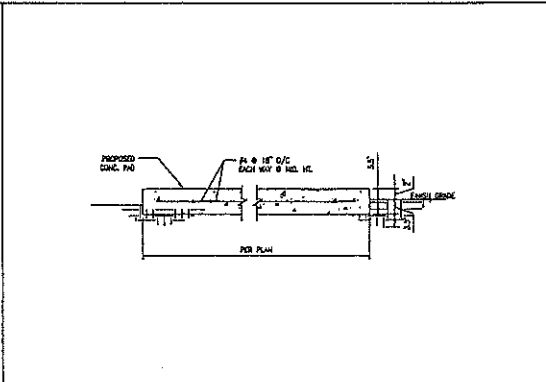
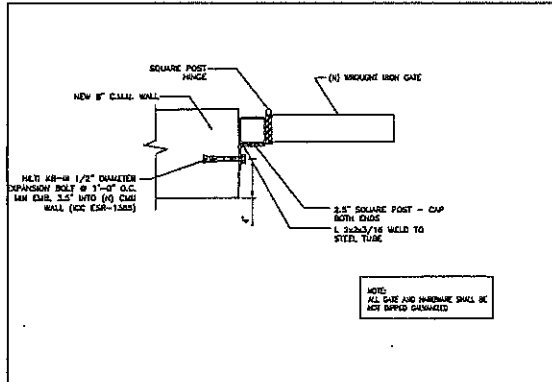
NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL SV01895C**  
5844 LARBORD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

SEAL:

SHEET TITLE:  
**GENERAL NOTES & DETAILS**

SHEET NUMBER:  
**A-6**



**T-Mobile**  
Stick Together<sup>®</sup>

4100 OLDSMAN  
254 VALLEY, CA 90243

PLANS PREPARED BY:  
**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
1481 WILKINSON ROAD, SUITE 400, WESTPORT BEACH, CA 90740  
PH: 714-963-0705 FAX: 714-963-1727  
CDG#: 08-9009

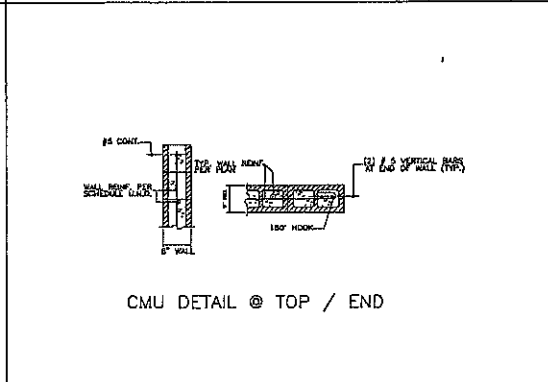
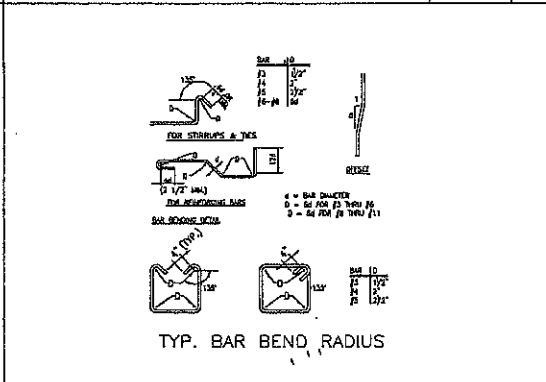
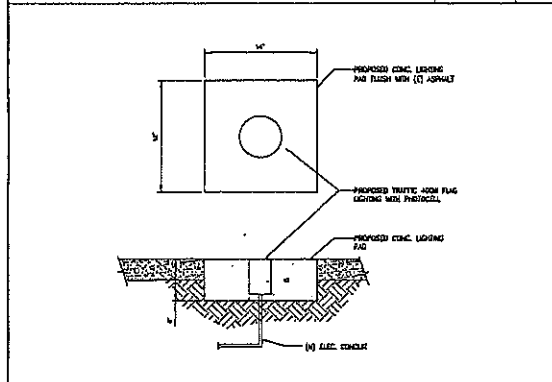
CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

GATE HARDWARE DETAIL / SECTION SCALE: N.T.S. 1

CONC. PAD DETAIL SCALE: N.T.S. 3

CONC. CURB DETAIL SCALE: N.T.S. 3

NO.	DATE	DESCRIPTION	BY:

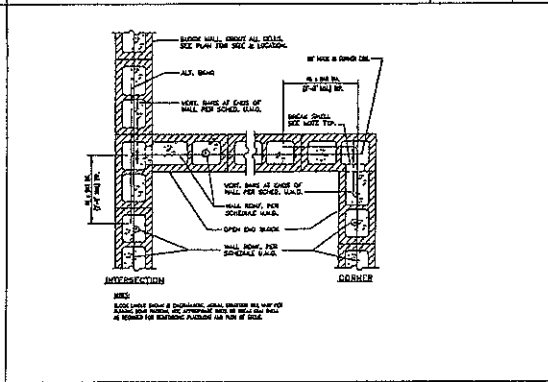
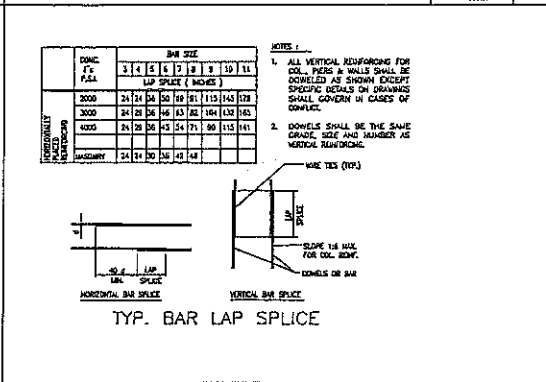
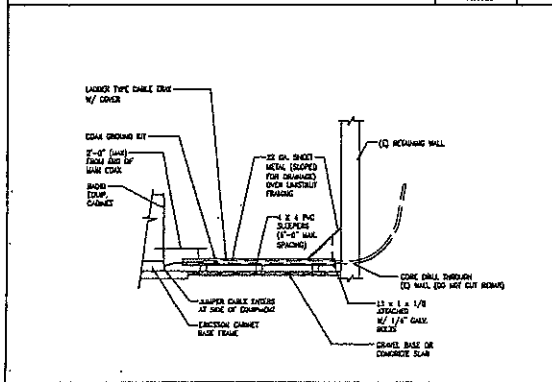


SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
3844 LARBOARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

FLAG UP-LIGHTING DETAIL SCALE: N.T.S. 4

CMU REBAR DETAILS SCALE: N.T.S. 5

CMU DETAILS SCALE: N.T.S. 6



SEAL:

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**A-7**

SHEET METAL DOGHOUSE DETAIL SCALE: N.T.S. 7

CMU REBAR DETAILS SCALE: N.T.S. 8

CMU DETAILS SCALE: N.T.S. 9

**GENERAL STRUCTURAL NOTES:**

- WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER OTHER NOTES.
- NO PAPER, TRACTE, SERVICES, CHANGES, ETC., SHALL BE PLACED IN BLANK SPACES OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOE SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY TO CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY AND THE AGENCY/DRAWNER BE RESPONSIBLE FOR ANY AND ALL SAFETY, ISAL OF ALLEGES, IN CONNECTION WITH THE PERFORMANCE OF WORK OF THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF A MEMBER OF THE AGENCY/DRAWER.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKING AND PROTECTING DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TOPGRAFT STRUCTURES AND IMPROVISED COMPLEXED WORK, ETC. OBSERVATION VISITS TO THE SITE BY THE AGENCY/DRAWER SHALL NOT INCLUDE INSPECTION OF SUCH WORK.
- JOIST SPACINGS/NOTES ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
- CONSTRUCTION MATERIALS SHALL BE SPECIES AND IF PLACED ON FRAMED FLOOR OR ROOF, LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE JOISTING SHORING/BRACING WHERE STRUCTURE HAS NOT ATTACHED REGION STRENGTH.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES SPECIFIC SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONNECTION WITH THE PROTECTION OF THE WORK.
- DRAWINGS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
- ALL FLOOR FINISHES DURING CONSTRUCTION WORK (E.G. TERRAZZO, PATHOS, CEMENT PANELS, ETC.) SHALL BE REPLACED TO MATCH EXISTING.
- THE FOLLOWING REQUIREMENTS SHALL BE MET FOR SPECIAL ASPECTIVE:
  - THE SPECIAL INSPECTOR SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
  - THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE ARCHITECT/ENGINEER AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION PRIOR TO THE PROCEEDING TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICE.
  - THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY HIM/HER AND THE SUPERVISOR DURING WHICH THE WORK INCLUDING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE INTERNATIONAL PROVISIONS OF THE UNIFORM BUILDING CODE.
  - COMPLY WITH ALL OSA SPECIAL INSPECTION REQUIREMENTS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION OR MATERIAL FABRICATION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, MATERIALS ETC. WITH ARCHITECTURAL BEFORE CONSTRUCTION/FABRICATION.

**REINFORCING STEEL:**

- DETAILS, FABRICATION AND ORIENTATION OF REINFORCING BARS (UNLESS OTHERWISE NOTED) MUST FOLLOW THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES AND 318, LATEST EDITION.
- REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A618 OR A706 (DEFORMED BARS), NO. 3 BARS - GRADE 40, ALL OTHERS - GRADE 60. REINFORCING TO BE WELDED SHALL CONFORM TO A305.
- ALL REINFORCING BAR BOUNDS SHALL BE MADE COLD.

**CONCRETE NOTES:**

- CONCRETE UNITS SHALL BE RECEIVED BY A QUALIFIED TESTING LABORATORY AND MOVED BY THE ENGINEER. MINIMUM COURSE HEIGHTS SHALL BE 1/2 INCH.
- CEMENT SHALL CONFORM TO ASTM C150.
- ADmixTURES MAY BE USED WITH PRIOR APPROVAL OF THE ENGINEER. ADmixTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MIN. CEMENT CONTENT. (CALCIUM CHLORIDE SHALL NOT BE USED.)
- ALL CONCRETE TO BE HARDENED WITH THE FOLLOWING 28 DAY MINIMUM COMPRESSIVE STRENGTH (F'c):
  - FORMS: 2500 PSI.
  - READY MIX CONCRETE SHALL CONFORM TO ASTM-C94.
- PLACEMENT OF CONCRETE SHALL CONFORM TO ACI STANDARD 308 AND PROJECT SPECIFICATIONS. ALL CONCRETE SURFACES AGAINST WHICH CONCRETE IS TO BE PLACED SHALL BE THOROUGHLY CLEANED, LUBRICATED AND STANDING WATER SHALL BE REMOVED.
- IF COLLAR AND WALL CONCRETE IS PLACED WITH FLOOR, THE HOURS MUST ELAPSE BETWEEN END OF COLLAR OR WALL PLACEMENT AND BEGINNING OF FLOOR PLACEMENT.
- ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL OILED IN POSITION PRIOR TO PLACING CONCRETE.
- REINFORCING STEEL SHALL HAVE A MINIMUM CONCRETE COVER AS FOLLOWS (UNLESS OTHERWISE NOTED):
  - CONCRETE AGAINST EXTERIOR (FORMED OR EXPOSED TO WEATHER):
 

BARS #4 & LARGER	3 IN.
BARS #3 & SMALLER	1-1/2 IN.
  - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH BARS:
 

SLABS & WALLS (#11 BARS & SMALLER)	3/4 IN.
BEAMS, COLUNNS (NO. 8, STEELBARS, SPALLS)	1-1/2 IN.
UNPROTECTED CEILING	3-1/2 IN.
- CONCRETE OR PIPE SIZE (O.D.) SHALL NOT EXCEED 10 PERCENT OF SLAB THICKNESS AND SHALL BE PLACED BETWEEN TOP AND BOTTOM REINFORCEMENT UNLESS SPECIFICALLY DETAILED OTHERWISE. CONCENTRATION OF CONCRETE OR PIPES SHALL BE AVOIDED EXCEPT WHERE DETAILED OTHERWISE ARE PROVIDED.
- PROTECTING CORNERS OF BEAMS, WALLS, COLUNNS, ETC., SHALL BE FORMED WITH A 3/8 IN. CHAMFER, UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.
- PROVIDE CLEARANCES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. FORMS IN CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN. NOTIFY THE STRUCTURAL ENGINEER IN ADVANCE OF CONSIDERING ANY CHANGES TO THE DRAWINGS.
- BRACING EQUIPMENT USED ON CONCRETE THAT IS TO RECEIVE A RESULCATED TILE FINISH SHALL BE APPROVED BY THE TILE MANUFACTURER BEFORE USE.
- CONTRACTOR SHALL SUBMIT JOINT LAYOUT FOR CONCRETE WORK FOR APPROVAL OF ENGINEER. IDENTIFIED FABRICATION SHALL NOT BE DONE PRIOR TO OBTAINING SUCH APPROVAL.
- CONTRACTOR SHALL SUBMIT A REINFORCING PLAN AND OBTAIN APPROVAL BY THE ENGINEER BEFORE RECEIVING FORMS.

**CONCRETE MASONRY DETAILS:**

- MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530) AND THE 2007 INTERNATIONAL BUILDING CODE.
- HOLLOW LUMP BRICKING MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE N-1 AND BE MADE WITH NORMAL WEIGHT AGGREGATE. THE MINIMUM COMPRESSIVE STRENGTH (F'c) SHALL BE 1500 PSI AT 28 DAYS, AS PERMITTED BY THE LATEST STRAIGHT METHOD OF ACI 530.1.
- FILL ALL CELLS SQUARE WITH GROUT. GROUT SHALL CONFORM TO ASTM C-778 AND SHALL BEHAVE A MIN. 28 DAY COMPRESSIVE STRENGTH OF 1500 PSI.
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A-618 GRADE 60. SHOP FABRICATED REINFORCING BARS WHICH ARE SHOWN TO BE WELDED OR BOLTED, PROVIDE MINIMUM LAP OF 48 X BAR DIAMETER AT ALL SPLICES UNLESS INDICATED OTHERWISE.
- MASONRY SHALL CONFORM TO ASTM C-90, TYPE S. ALL WORKERS SHALL MEET THE PROVISION SPECIFICATIONS OF ASTM A-375 AND BE MADE WITH PORTLAND CEMENT/FAKE (WHEN AIR ENTRAINED).
- PROVIDE BEAM BOLDS FROM FOUNDATIONS TO MATCH NORMAL REINFORCEMENT SIZE AND SPACING. BOLDS SHALL HAVE STANDARD 60° HOLES AND LAP WITH THE FIRST LAY OF REINFORCING.
- THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY BRACING DURING CONSTRUCTION.
- SPECIAL INSPECTOR REQUIRED FOR ALL CMU CONSTRUCTION.

NOTE:  
CONTRACTOR TO FIELD VERIFY ALL (E) CONSTRUCTION CONDITIONS BEFORE SUBMITTAL OF FINAL BIDS, START OF CONSTRUCTION AND OR FABRICATION

**GENERAL NOTES**

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PLANS PREPARED BY:

**CONNELL DESIGN GROUP, LLC**  
CONSULTING CIVIL ENGINEERS  
1065 WILKINSON COLLEGE DRIVE, SUITE 100, WILMINGTON, MA 01890  
(978) 734-6897 OFFICE • (978) 734-6831 FAX  
CDG#: 08-9009

CONSULTING GROUP:

**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:

**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
6844 LARBOARD LANE  
AGOURA HILLS, CA 91001  
ISSUE DATE: 09/23/08

SEAL:

SHEET TITLE:

**GENERAL NOTES**

SHEET NUMBER:

**GN-1**



NOTE:  
CONCEPTUAL POWER & TELED ROUTE ONLY.  
FINAL POWER & TELED ROUTE MUST BE  
APPROVED BY LDC PRIOR TO ANY CONSTRUCTION.

POWER UTILITY CONTACT INFO:  
COMPANY: SCE  
CONTACT PERSON: RYAN ROBBINS  
PHONE: 805-497-5222

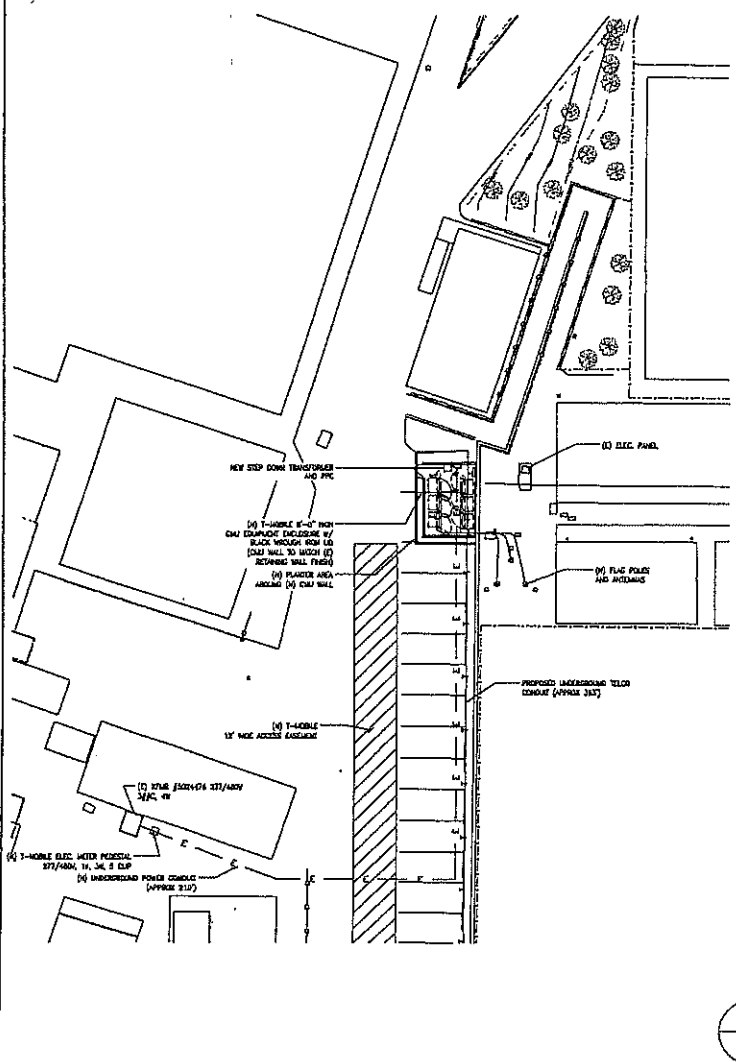
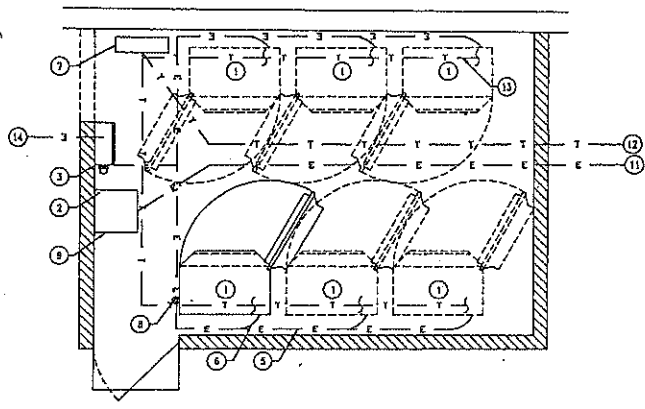
TELECO UTILITY CONTACT INFO:  
COMPANY: AT&T  
CONTACT PERSON: JACKIE FREEMAN  
PHONE: 832-303-4966

- G — GROUNDING WIRE, DASHED LINE INDICATES UNDERGROUND  
— E — POWER LINE, DASHED INDICATES UNDERGROUND, 3/4"Ø-21/128-1/212Ø, UNO  
— T — TELEPHONE LINE, DASHED LINE INDICATES UNDERGROUND  
— A — CENTRAL CABLE, DASHED LINE INDICATES UNDERGROUND
- (1) DETAIL REFERENCE DETAIL NO. 2 ON SHEET E3
- (2) GROUND ROD  
(3) GROUND ROD WITH ACCESS  
(4) FUSED DISCONNECT SWITCH, 240V, 2P, 20A, WEATHERPROOF, UNO  
(5) UTILITY METER  
(6) CIRCUIT BREAKER  
(7) FUSE  
(8) DUPLEX RECEPTACLE WITH GFCI IN WEATHERPROOF ENCLOSURE  
(9) SWITCH, 120VAC, 20A, 1P, SWITCH LEG, M — MANUAL MOTOR STARTER  
(10) CLAMP OR DOUBLE HOLE LUG TYPE GROUND CONNECTION  
(11) DIELECTRIC CONNECTION (SCHEDULED) TO GROUND RING AND COMPRESSION CONNECTION TO GROUND BOND

- AWG AMERICAN WIRE GAUGE  
AFIC AVAILABLE FLEXIBLE CURRENT  
BTW BASE TRANSFORMER  
ITS BASE TRANSFORMATION SYSTEM  
C CONSULT  
CB CIRCUIT BREAKER  
CD CONDUIT ONLY  
DND DRIVING  
EAT ELECTRICAL METALLIC TUBING  
(E) OR EX EXISTING  
(F) FUTURE EQUIPMENT  
(G) GENERATOR  
(H) GROUND FAULT CIRCUIT INTERRUPTER  
(I) INDOOR USE ONLY  
(J) JOINT NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION  
(K) NEW (PRELIMINARY AND INITIAL, UNLESS NOTED OTHERWISE)  
(L) PHASE  
(M) P.O.C. POINT OF CONNECTION  
(N) P.V.C. POLYVINYL CHLORIDE CONDUIT  
(O) REPLACE OR REPAIR WITH AS EXISTING  
(P) RISE GALVANIZED STEEL  
(Q) TELEPHONE  
(R) TYP. TYPICAL  
(S) U.C. UNDERGROUND  
(T) UNLESS NOTED OTHERWISE  
(V) WIRE  
(W) WEATHERPROOF EQUIPMENT

SYMBOLS		SCALE:	ABBREVIATIONS		SCALE:
		N.T.S.	<b>2</b>		N.T.S.
					<b>3</b>

- CONSTRUCTION KEY NOTES:
- 1 NEW T-MOBILE (6) ERICSSON RBS 2108 EQUIPMENT CABINETS
  - 2 NEW T-MOBILE EMERGENCY GENERATOR RECEPTACLE
  - 3 NEW T-MOBILE POWER PROTECTION CABINET (PANEL "A")
  - 4 NOT USED
  - 5 3/4" RBS CONDUIT FOR POWER (TYP EACH CABINET)
  - 6 FROM RBS CONDUIT USE FLEX TO BACK OF PEDestal (NIPPLE), THEN CONTINUE FLEX TO EQUIPMENT (TYP)
  - 7 NEW AT&T TELECO CABINET
  - 8 NEW GPS ANTENNA
  - 9 NEW T-MOBILE STEP DOWN TRANSFORMER (277/480V-120/240V)
  - 10 NOT USED
  - 11 NEW T-MOBILE U.S. POWER RUN (SEE SITE PLAN)
  - 12 NEW T-MOBILE U.S. TELED RUN (SEE SITE PLAN)
  - 13 MULTIPLE TELED CABLES ROUTED THRU BASE PEDESTALS
  - 14 TO FLAG POLE UPLIGHTING



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CONNELL DESIGN GROUP, LLC  
CONSULTING GROUP, L.L.C.  
1461 WILSON ROAD SUITE 404 NEWPORT BEACH CA 92660  
(949) 741-4381 OFFICE • (949) 741-4441 FAX  
CDG#: 08-9009

CONSULTING GROUP:  
**SureSite Consulting Group, L.L.C.**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

NO.	DATE	DESCRIPTION	BY

SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
SV01895C  
5844 LAUREBOARD LANE  
ACQUINA HILLS, CA 91507  
ISSUE DATE: 09/23/08

SHEET TITLE:  
**ELECTRICAL SITE PLAN, POWER & RF CONFIGURATION**

SHEET NUMBER:  
**E-1**

ELECTRICAL SITE PLAN

SCALE: N.T.S. **1** POWER PLAN

SCALE: 3/8"=1'-0" **4**



**KEY NOTES**

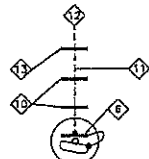
- ① (M) T-MOBILE EQUIPMENT CABINETS (6 TOTAL)
- ② (N) GROUND RING AWG #2 INSULATED COPPER GROUND WIRE BURIED 30" BELOW GRADE
- ③ (M) TELCO CABINET
- ④ (M) PPC CABINET
- ⑤ (M) GPS ANTENNA
- ⑥ ANTENNA GROUND BUS BAR @ EACH SECTOR
- ⑦ NEW STEP DOWN TRANSFORMER
- ⑧ GROUND ROD  $\left(\frac{3}{4} \times 1\right)$
- ⑨ EMERGENCY GENERATOR RECEPTACLE
- ⑩ ANTENNA GROUND BUS BAR AT BOTTOM OF (N) POLE
- ⑪ AWG 2 INSULATED COPPER GROUND WIRE TO ANTENNA GROUND BUS BAR AT LEASE AREA. (FOLLOW COAX ROUTING)
- ⑫ MASTER GROUND BUS @ EQUIPMENT  $\left(\frac{3}{4} \times 1\right)$
- ⑬ ANTENNA GROUND BUS BAR IN LEASE AREA
- ⑭ GATE GROUNDING  $\left(\frac{3}{4} \times 1\right)$

**LEGEND**

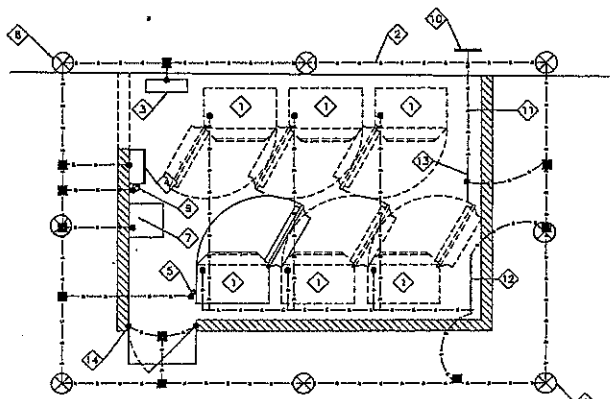
- MECHANICAL CONNECTION
- EXOTHERMIC WELD (COWELD/THERMOWELD) CONNECTION.
- ⊗ 5/8"  $\times$  10"-0" COPPER, OR COPPER CLAD STEEL GROUND ROD AT 10'-0" O.C. (MAX)
- #2 AWG INSULATED, COPPER WIRE (UNLESS OTHERWISE SPECIFIED).
- S.O.H. S.O.H. SECONDARY OVERHEAD

**GENERAL NOTES:**

1. PLAN DRAWINGS SHOWN HEREIN ARE DIAGNAMATIC AND DOES NOT NECESSARILY DEPICT THE EXACT EQUIPMENT QUANTITIES, LOCATION, LAYOUT AND CONFIGURATION. REFER TO ARCHITECTURAL PLANS FOR EXACT EQUIPMENT LOCATION, LAYOUT AND CONFIGURATION.
2. PLAN DRAWINGS SHOWN HEREIN DO SHOW THE NECESSARILY DEPICT ELECTRICAL REQUIREMENTS OF INDIVIDUAL EQUIPMENT AND DEVICES SUCH AS THE EQUIPMENT GROUNDING REQUIREMENTS, POWER REQUIREMENTS AND TELCO RACKWAY REQUIREMENTS.
3. REFER TO ARCHITECTURAL PLANS FOR THE LOCATION OF POWER AND TELCO POINT OF CONNECTIONS, THE DISTANCE OF THE RUN AND THE SUGGESTED CONDUIT ROUTINE. FIELD VERIFY EXISTING CONDITIONS SPECIFICALLY FOR CONDUIT ROUTING PRIOR TO BID.



TYP. ANTENNA GROUNDING



GROUNDING PLAN



SCALE: 3/8"=1'-0" 1

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MUST VARY DUE TO SITE SPECIFIC CONDITIONS.

2. GROUND ALL ANTENNA BASES, FRAMES, CABLE HEADS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND ITS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS USING MANUFACTURER'S PRACTICES. ALL UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDING MUST BE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.

3. ALL GROUND CONNECTIONS SHALL BE #2 AWG UNLESS ALL WIRES SHALL BE COPPER THIN/TINNED. ALL GROUND WIRE SHALL BE SOLID OR COATED OR STRANDED GREEN INSULATED WIRE.

4. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. 5 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING AIDS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READINGS. GROUNDING AND OTHER SPECIAL TESTING WILL BE WITNESSED BY THE T-MOBILE REPRESENTATIVE.

5. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.

6. BASE GROUNDING CONDUCTOR SHALL BE HARD DRAWN TINNED COPPER SEALS AS NOTED ON PLAN.

7. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 12" BELOW GRADE/FROST-LINE IN TRENCH, H.U.D., AND BACK FILL SHALL BE COMPLETED AS REQUIRED BY ARCHITECT.

8. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREE.

9. ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE CURVES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "WIRE" (OR DIRECTLY TO GROUND-ROD).

10. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:  
a. RIVETED, WIRE-BRAZE ALL LISTED CONNECTIONS FOR WIRE USE OR AS APPROVED BY T-MOBILE PROJECT MANAGER.  
b. COWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).  
c. TWO (2) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS (PWS BAR CONNECTIONS).

11. ALL CRIMPED CONNECTIONS SHALL HAVE EXPOSED MANUFACTURER'S DISBURG VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES).

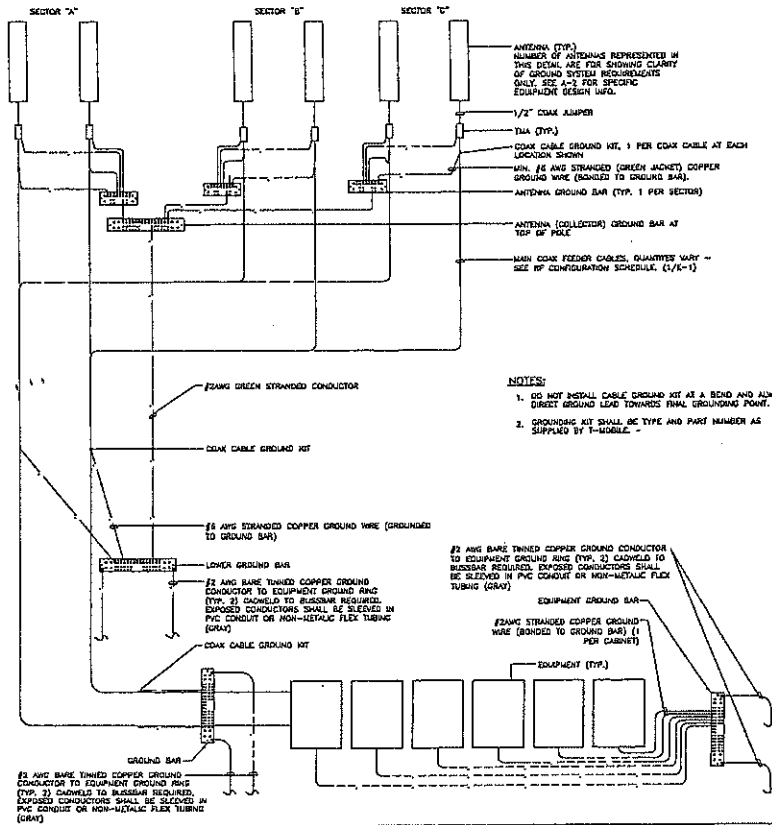
12. PRIOR TO ANY LUG-BUSSBAR CONNECTIONS, THE BUSSBAR SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR PLAIN STEEL WOOL AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "70-30-ZN" SHALL BE APPLIED TO THE CONNECTION SURFACES.

13. ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACTED TO MAGNETS).

14. THE GROUND RING SHALL BE INSTALLED 34" MINIMUM BEYOND ANY BUILDING DRP LINE.

15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-52 AND SHALL SHOW ALL EXISTING AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, GROUND RING IF SERVICE IS WITHIN THE RADIUS EQUIPMENT LOCATION, BUILDING STEEL, IF APPLICABLE. COLD WATER CONNECTIONS MUST BE MADE ON THE STREET SIDE OF MAIN SHUT-OFF VALVE.

**GROUNDING NOTES**



- NOTES:**
1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND LEAD TOWARDS FINAL GROUNDING POINT.
  2. GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED BY T-MOBILE.

COAX CABLE GROUNDING SCHEMATIC DIAGRAM

SCALE: 2  
N.T.S.

SCALE: 3  
N.T.S.

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PLANS PREPARED BY:

**CDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEER  
4425 WILSON ROAD, SUITE 100, WEST RICHMOND, OHIO 45412  
(614) 733-8877 OFFICE • (614) 733-8811 FAX  
CDG#: 08-9009

CONSULTING GROUP:

**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

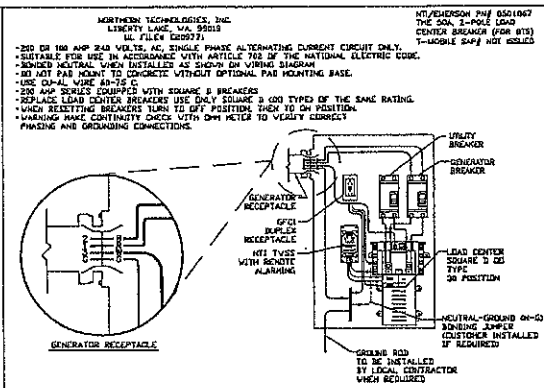
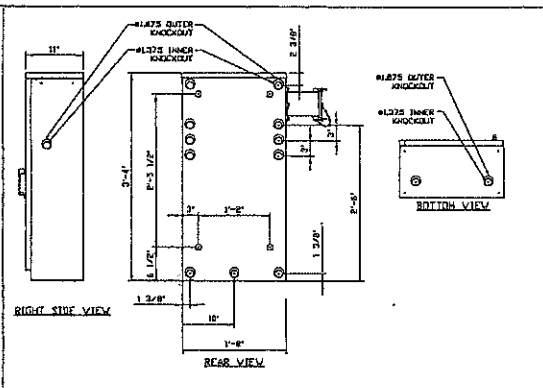
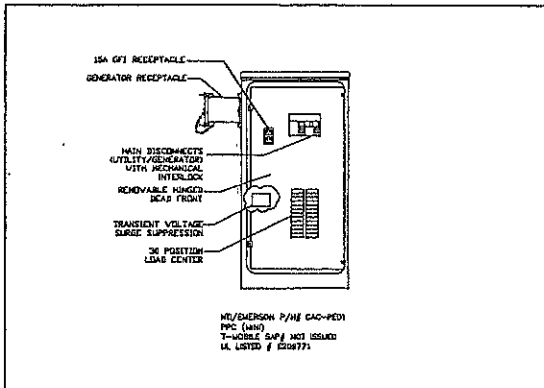
NO.	DATE	DESCRIPTION	BY:

**SITE INFORMATION:**  
LINDERO MIDDLE  
SCHOOL  
**SV01895C**  
8944 LARBARD LANE  
AGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

**SEAL:**

**SHEET TITLE:**  
GROUNDING PLAN,  
GROUNDING NOTES, AND  
COAX CABLE GROUNDING  
SCHEMATIC DIAGRAM

**SHEET NUMBER:**  
**E-3**



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**EDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING CIVIL ENGINEERS  
4445 WILLOW CREEK COURT, SUITE 300, WESTPORT, OHIO 44157  
(440) 774-4011 FAX  
CDG#: 08-9009

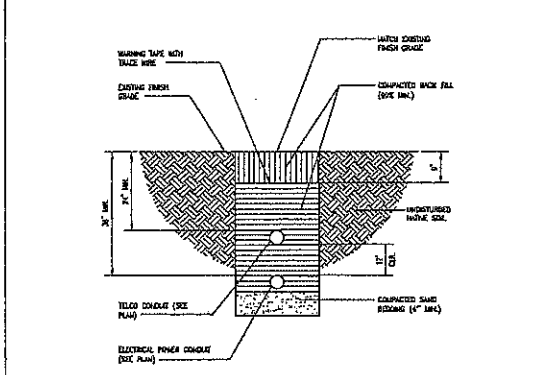
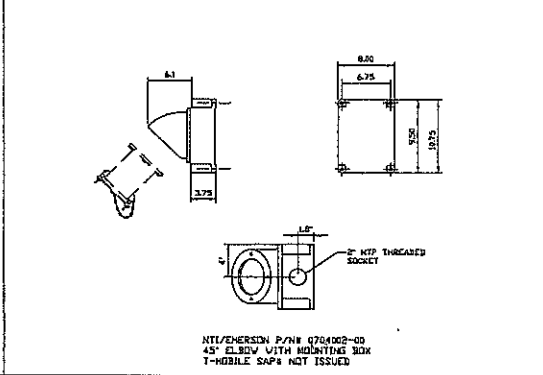
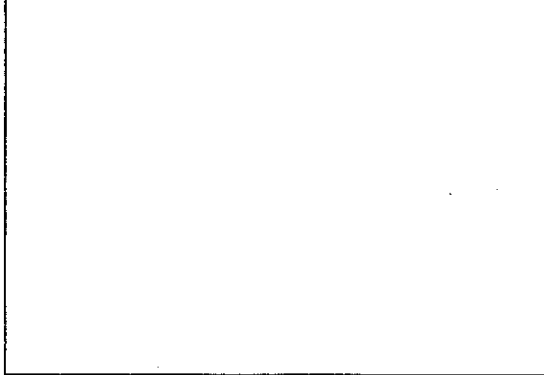
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SureSite Consulting Group, LLC  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

**PPC CABINET (PANEL 'BTS')** SCALE: 1 N.T.S.

**PPC CABINET (HOLE LAYOUT)** SCALE: 2 N.T.S.

**PPC CABINET (WIRING DIAGRAM)** SCALE: 3 N.T.S.

NO.	DATE	DESCRIPTION	BY:



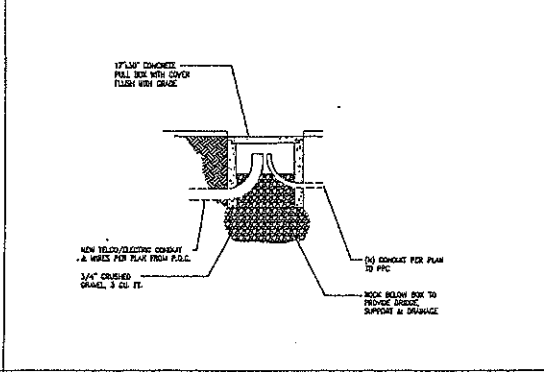
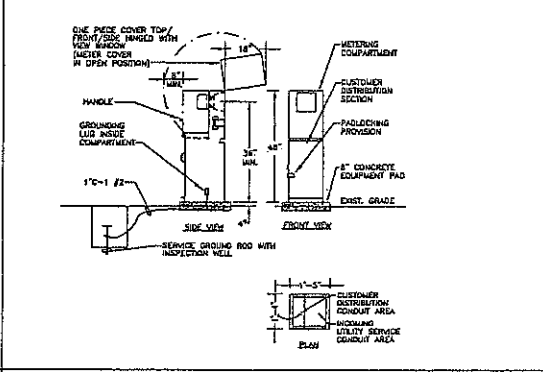
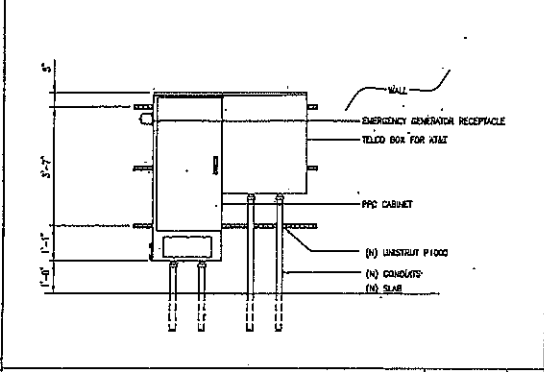
SITE INFORMATION:  
**LINDERO MIDDLE SCHOOL**  
SV01895C  
5844 LANBARD LANE  
AGGOURA HILLS, CA 91301  
ISSUE DATE: 09/23/08

**NOT USED** SCALE: 4 N.T.S.

**RECEPTACLE REMOTE MOUNTING BOX** SCALE: 5 N.T.S.

**UTILITY CONDUIT TRENCH DETAIL** SCALE: 6 N.T.S.

SCALE: SEAL:



SHEET TITLE:  
**ELECTRICAL DETAILS**

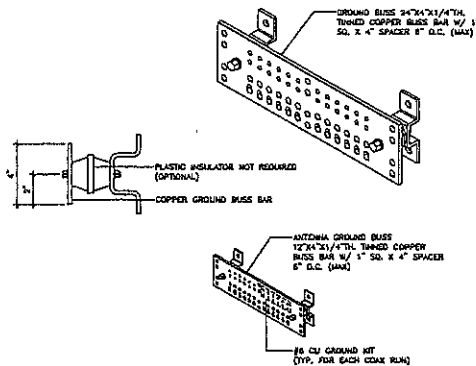
SHEET NUMBER:  
**E-4**

**PPC, EGR & TELCO CABINET DETAIL** SCALE: 7 N.T.S.

**METER PEDESTAL** SCALE: 8 N.T.S.

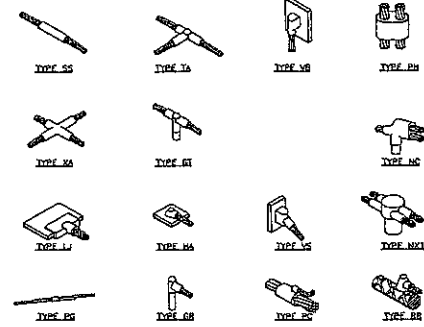
**PULL BOX DETAIL** SCALE: 9 N.T.S.

SCALE: N.T.S.

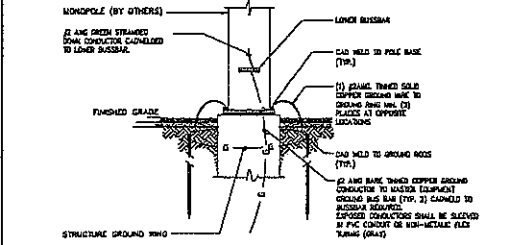


**GROUND BAR** SCALE: 1 N.T.S.

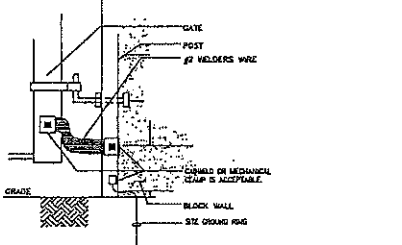
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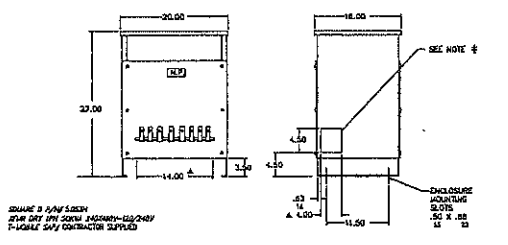
**CADWELD CONNECTIONS** SCALE: 3 N.T.S.



**POLE BASE GROUNDING** SCALE: 4 N.T.S.

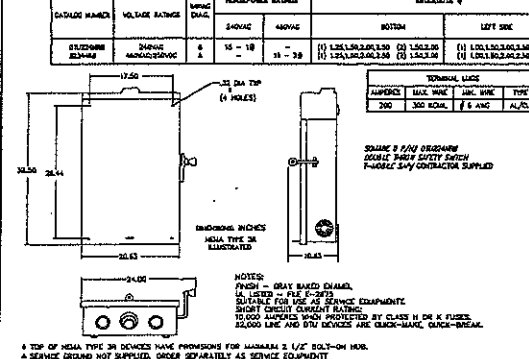


**ACCESS GATE GROUNDING** SCALE: 5 N.T.S.

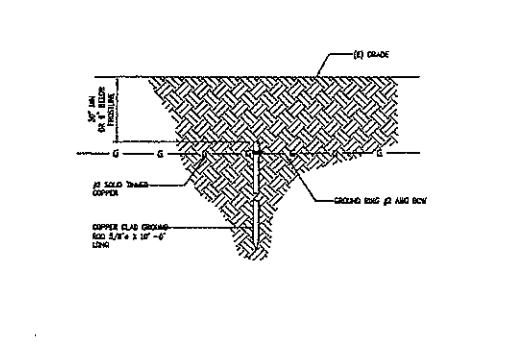


SCHEDULE 40 CHANNELS						480 VOLT CONNECTIONS		240 VOLT CONNECTIONS	
BYA	THR #	FRY	ROD	BLK	WT	AV. H	PRIMARY VOLTS	SECONDARY VOLTS	CONNECTION TO
15	125H	125AH	150SH	45	200	2.4	480	1 AND 4	PRIMARY VOLTS
20	200SH	-	200SH	45	280	2.5	480	1 AND 2	CONNECTION TO
							240	1 AND 3	CONNECTION TO
							240	1 AND 5	CONNECTION TO
							240	2 AND 5	CONNECTION TO

NOTES: 1. ALL WIRING SHALL BE PER 480V CIRCUIT. 2. ALL WIRING SHALL BE PER 480V CIRCUIT. 3. ALL WIRING SHALL BE PER 480V CIRCUIT. 4. ALL WIRING SHALL BE PER 480V CIRCUIT. 5. ALL WIRING SHALL BE PER 480V CIRCUIT.



**DOUBLE THROW SAFETY SWITCH** SCALE: 7 N.T.S.



**GROUND ROD DETAILS** SCALE: 8 N.T.S.



**NOT USED** SCALE: 9 N.T.S.

**T-Mobile**  
Stick Together<sup>SM</sup>  
4150 CLAYDON  
SUN VALLEY, CA 90223

PLANS PREPARED BY:  
**EDG**  
CONNELL DESIGN GROUP, LLC  
CONSULTING GROUP, INC. DBA EDG  
4455 MCGRAW HILL SQUARE, SUITE 100, BOSTON, MASSACHUSETTS 02124  
(617) 752-6800  
CDG#: 08-9008

CONSULTING GROUP:  
**SureSite Consulting Group, LLC**  
3659 Green Road, Suite 317  
Cleveland, Ohio 44122

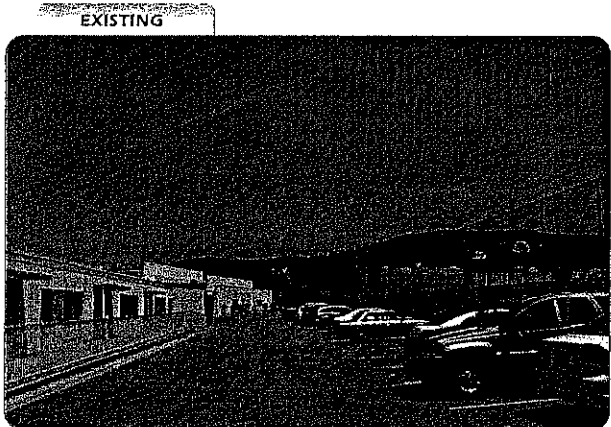
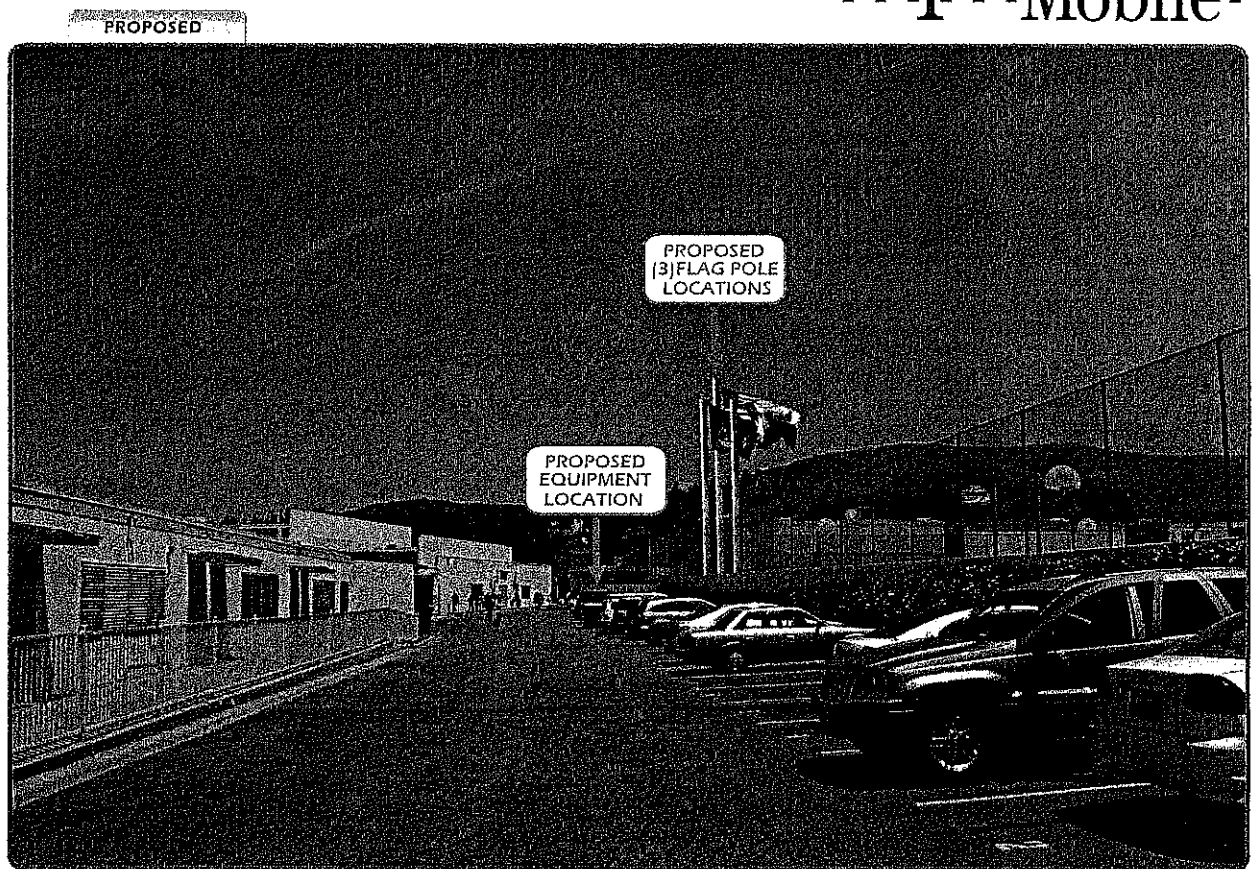
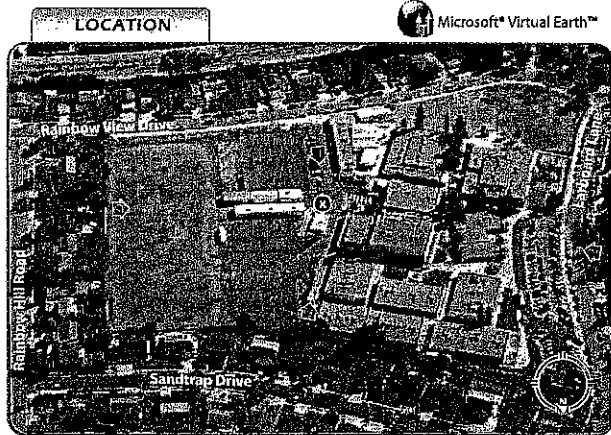
NO.	DATE	DESCRIPTION	BY

**LINDERO MIDDLE SCHOOL**  
**SV01895C**  
8844 LANSHOARD LANE  
ADOURA HILLS, CA 91031  
ISSUE DATE: 09/23/08

SHEET TITLE:  
**ELECTRICAL DETAILS**

SHEET NUMBER:  
**E-5**

.. T .. Mobile ..



**SV01895C**  
**Lindero Canyon Middle School**  
5844 Larboard Lane  
Agoura Hills, CA 91301

**VIEW 1**

**APPLICANT**

T-Mobile  
Barbara Saïto  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

**CONTACT**

SureSite Consulting Group, LLC  
Courtney Schmidt  
3659 Green Road, Suite 317  
Cleveland, OH 44122  
p 310.645.5687



**BLUE WATER DESIGN**

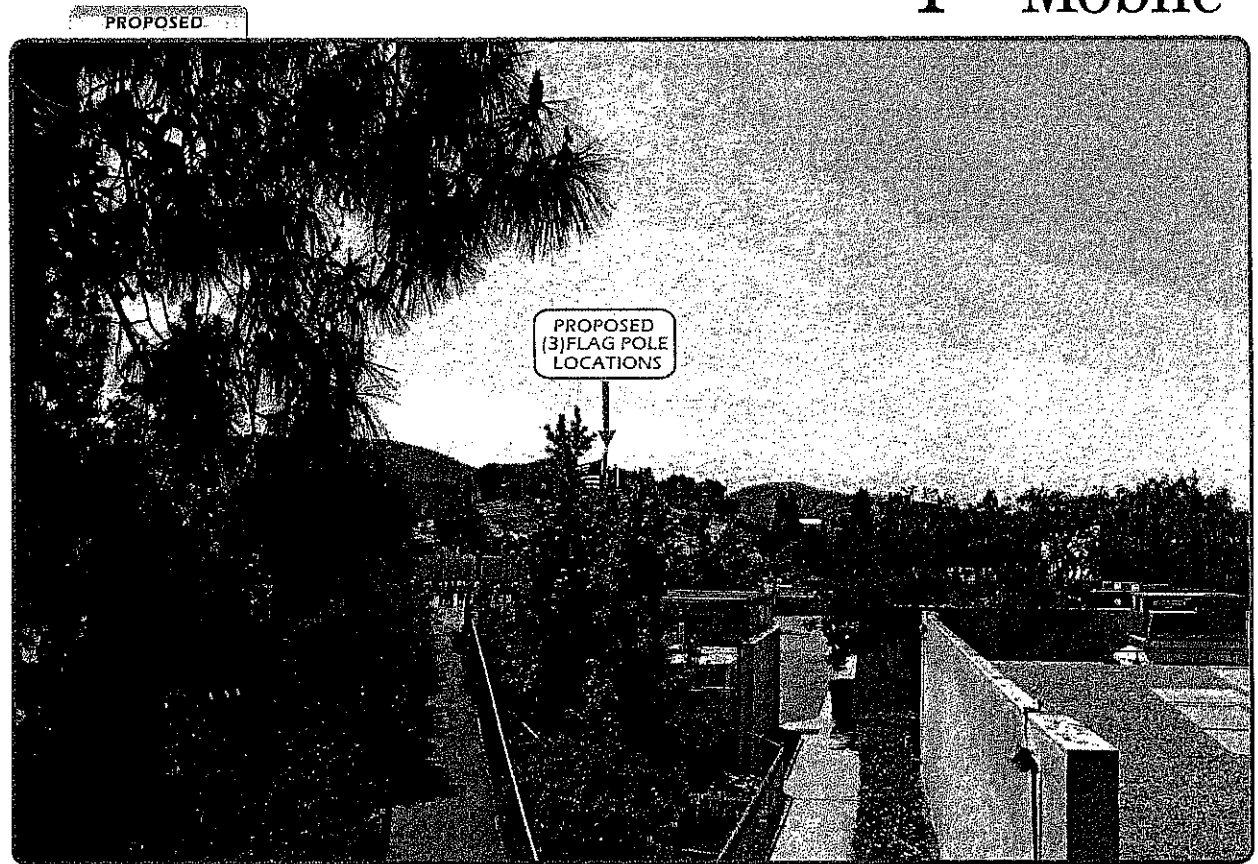
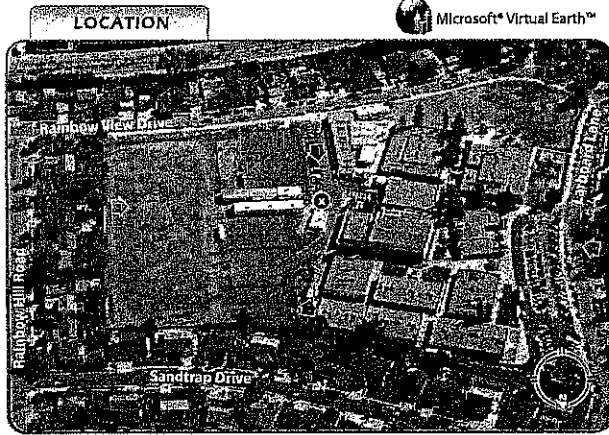
1741 Tustin Ave. 19A  
Costa Mesa, CA 92627

[bluewater-design.net](http://bluewater-design.net)  
[michelle@bluewater-design.net](mailto:michelle@bluewater-design.net)

p 714.473.2942  
f 949.631.2316

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

...T-Mobile...



**SV01895C**  
**Lindero Canyon Middle School**  
 5844 Larboard Lane  
 Agoura Hills, CA 91301

**VIEW 2**

**APPLICANT**

T-Mobile  
 Barbara Saito  
 4100 Guardian Street Suite 101  
 Simi Valley, CA 93063

**CONTACT**

SureSite Consulting Group, LLC  
 Courtney Schmidt  
 3659 Green Road, Suite 317  
 Cleveland, OH 44122  
 p 310.645.5687



**BLUE WATER DESIGN**

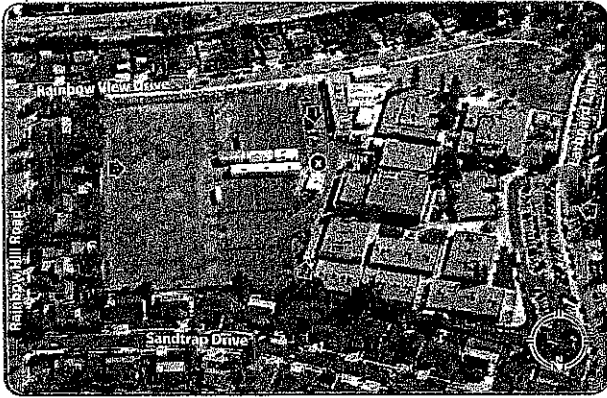
1741 Tustin Ave. 19A  
 Costa Mesa, CA 92627  
 bluewater-design.net  
 michelle@bluewater-design.net  
 p 714.473.2942  
 f 949.631.2316

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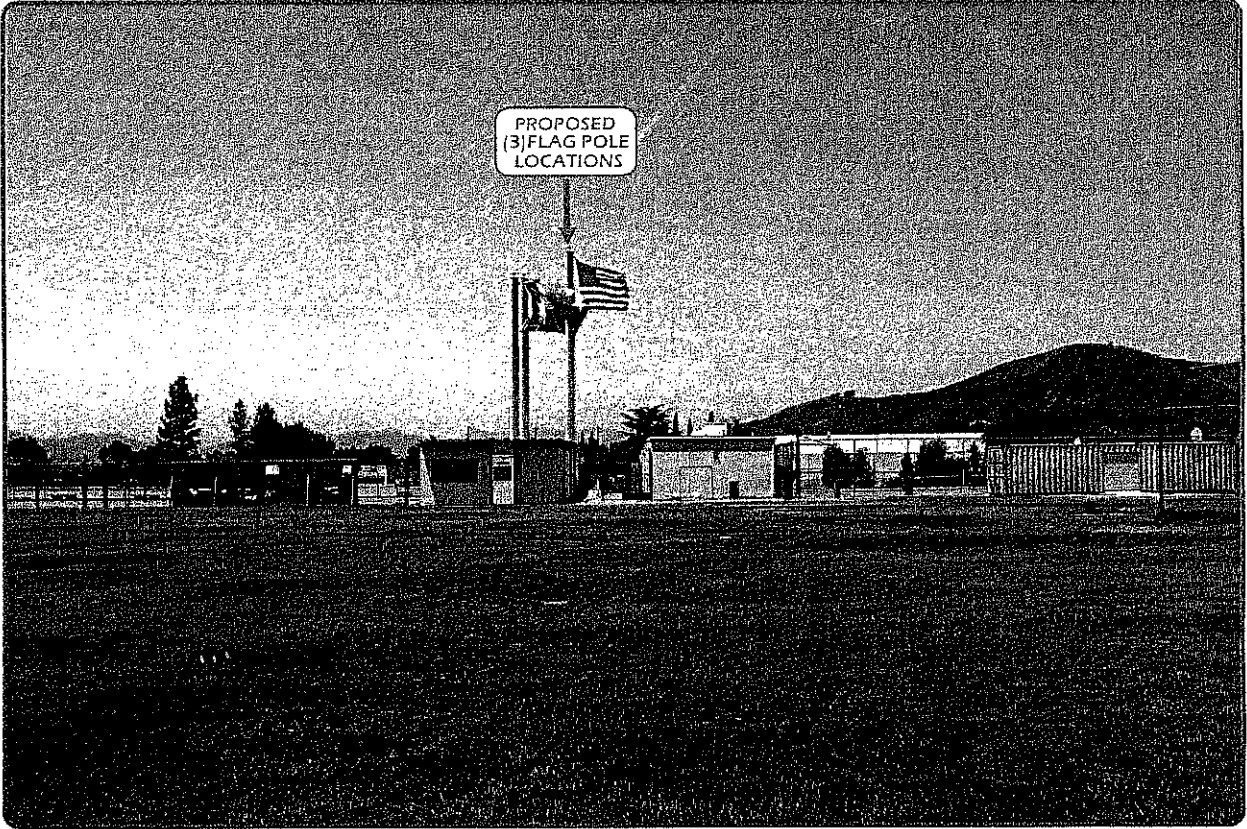
... T-Mobile ...

Microsoft® Virtual Earth™

LOCATION



PROPOSED



EXISTING



**SV01895C**  
**Lindero Canyon Middle School**  
5844 Larboard Lane  
Agoura Hills, CA 91301

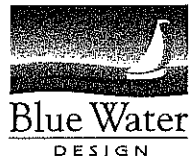
**VIEW 3**

**APPLICANT**

T-Mobile  
Barbara Saito  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

**CONTACT**

SureSite Consulting Group, LLC  
Courtney Schmidt  
3659 Green Road, Suite 317  
Cleveland, OH 44122  
p 310.645.5687



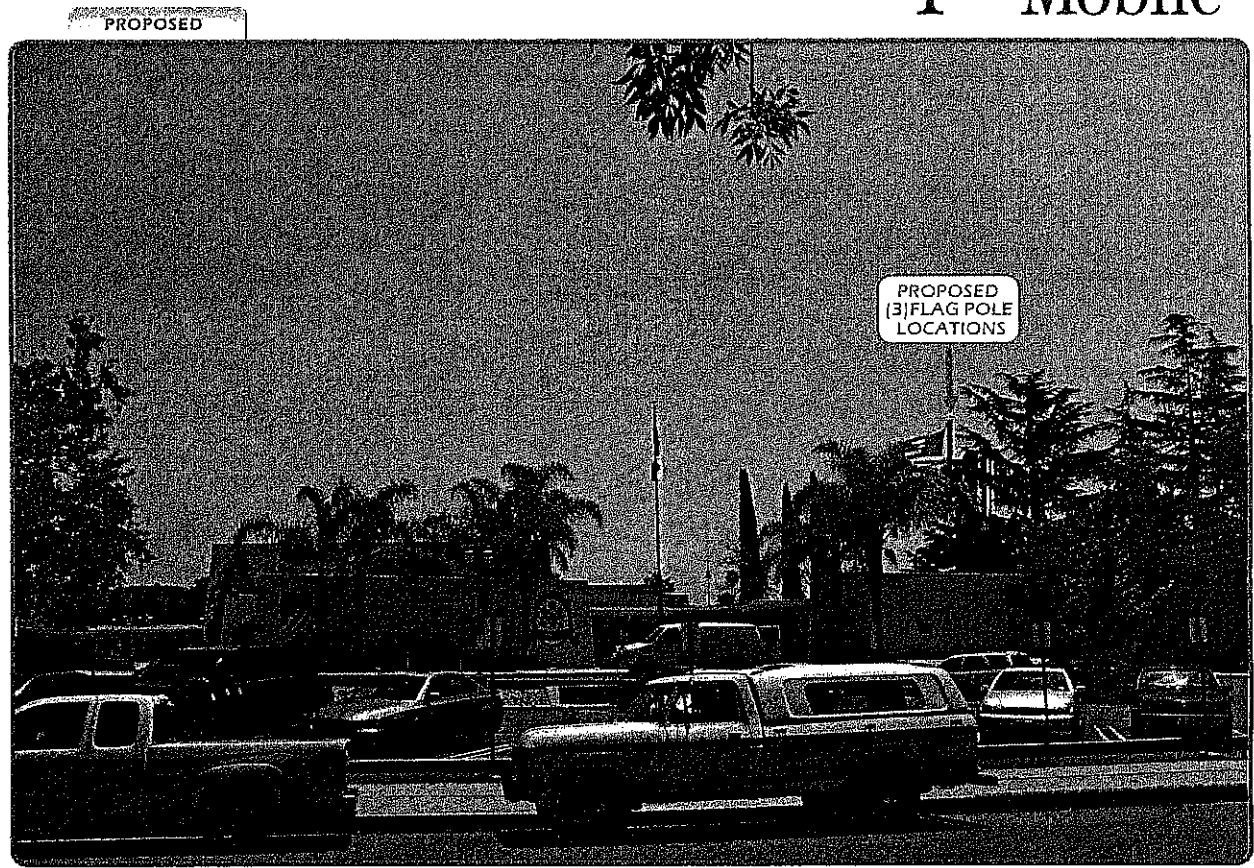
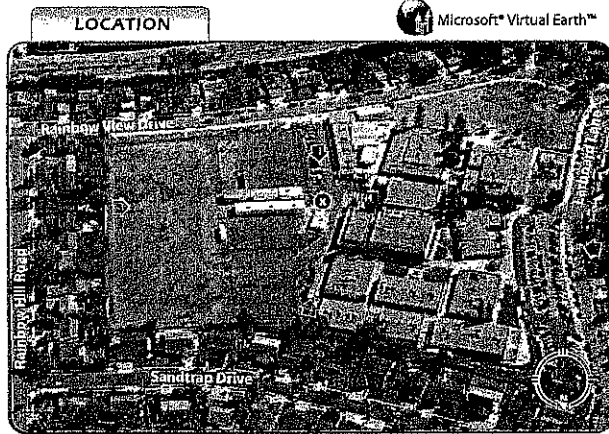
**BLUE WATER DESIGN**

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bluewater-design.net  
michelle@bluewater-design.net  
p 714.473.2942  
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Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.



..T..Mobile..



**SV01895C**  
**Lindero Canyon Middle School**  
5844 Larboard Lane  
Agoura Hills, CA 91301

**VIEW 4**

**APPLICANT**

T-Mobile  
Barbara Salto  
4100 Guardian Street Suite 101  
Simi Valley, CA 93063

**CONTACT**

SureSite Consulting Group, LLC  
Courtney Schmidt  
3659 Green Road, Suite 317  
Cleveland, OH 44122  
p 310.645.5687

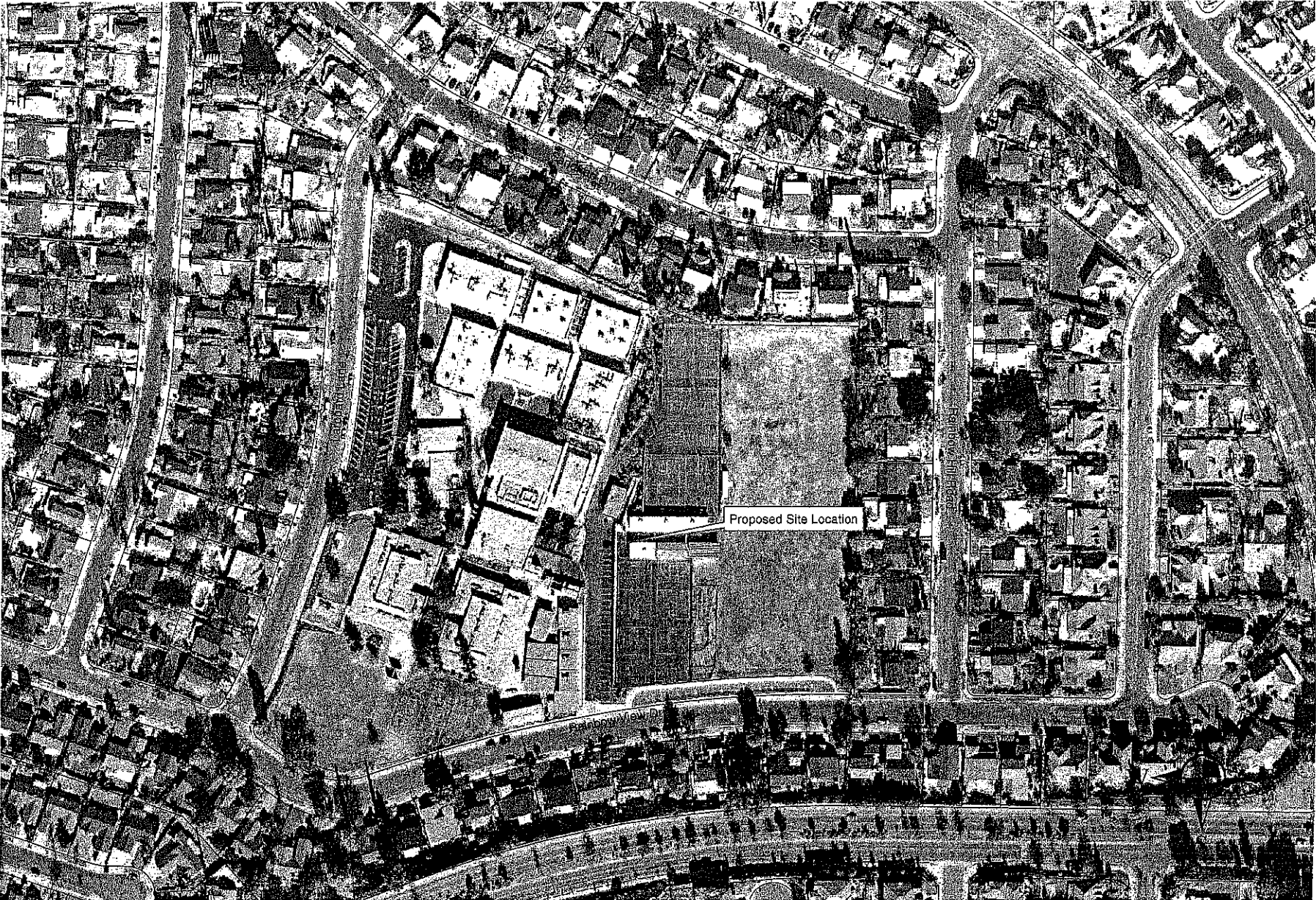


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Costa Mesa, CA 92627  
bluewater-design.net  
michelle@bluewater-design.net  
p 714.473.2942  
f 949.631.2316

Photo simulation accuracy is based on information provided to Blue Water Design by the applicant.

CONDITIONAL USE PERMIT CASE NO. 07-CUP-007 (T-MOBILE)



**LAS VIRGENES UNIFIED SCHOOL DISTRICT**

4111 N. LAS VIRGENES ROAD  
DALABASAS, CALIFORNIA 91302  
Telephone: (818) 880-4000  
Fax: (818) 880-4200  
www.lvusd.org



**BOARD OF EDUCATION**

TERILYN FINDERS

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DONALD M. ZIMRING, Ph.D.  
SUPERINTENDENT

February 3, 2009

Chair Member John O'Meara  
Planning Commission  
City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, CA 91301

Subj: Request to construct an unmanned wireless telecommunication facility at Lindero Canyon Middle School

Dear Chair Member O'Meara:

By this letter, please be advised that the Las Virgenes Unified School District supports the applicant (Omnipoint Communication, Inc. for T-Mobile) in their installation of an unmanned wireless telecommunication facility at Lindero Canyon Middle School. Our support of this project is predicated on the following:

1. The project is in compliance with city and state codes.
2. The City of Agoura Hills has supported prior approved installations at other school sites within their city boundaries.
3. We currently have multiple installations within the Cities of Agoura Hills and Calabasas with no problems to date.
4. It would provide greater service to our community, offering increased safety and communication.
5. Installations such as these assist the District with increased, ongoing revenue in a time of declining resources.
6. None of our cell sites are installed on or near any classroom buildings. This proposed installation will be placed on the athletic field.

If we can provide further assistance, please do not hesitate to contact my office.

Sincerely,

Karen Kimmel, CPA  
Chief Business Official

KK:kp

February 3, 2009

CITY OF AGOURA HILLS

2009 FEB -4 PM 2: 28

Subject: Wireless Telecommunications antennas and equipment to be located at Lindero Canyon Middle School in Agoura Hills. CITY CLERK

There are many studies that have been done regarding the health effects of wireless antennas, cell sites and cell phones and their affect on human health. There has been no firm data as to whether they are safe or whether they can be linked to increased cancer concerns. Studies in Europe seem to be more slanted toward increased cancer link.

Many cities in California have concerns about health and safety regarding wireless equipment and they have implemented restrictions that do not allow wireless communication equipment closer than 500 feet from any school, park or residential zone.

Based on these issues I do not feel that it is in the best interest of the students and local residents to have the antennas and equipment installed at Lindero Canyon Middle School.

Sincerely,



Joseph Dulansky  
Sand Trap Drive, Agoura Hills

CITY OF AGOURA HILLS  
2009 FEB -2 PM 4: 58  
CITY CLERK

January 29, 2009

City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, Ca. 91301

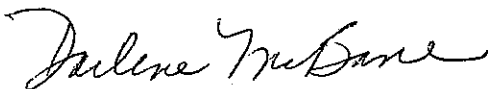
Dear Planning Commissioners,

RE: Case No. 07-CUP-007  
Location: 5844 Larboard Lane

I have concerns regarding the landscape and tower maintenance on this site. Please ask the applicant to guarantee the landscaping will be watered and maintained. And please ask the applicant to perform regular measurements of the RF to assure exposure doesn't exceed the recommended limits and to provide copies of the RF report to the Agoura Hills City staff.

Thank you.

Sincerely,



Darlene McBane  
30552 Mainmast Drive  
Agoura Hills, Ca. 9130  
(818) 991-7324



---

**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**

---

DATE: February 5, 2009

APPLICANT: Omnipoint Communications, Inc. for T-Mobile  
3659 Green Road, Suite 317 (Sure Site)  
Beachwood, OH 44122

TO: Planning Commission

CASE NO.: 07-CUP-007

LOCATION: 5844 Larboard Lane (Lindero Middle School)  
(A.P.N. 2056-015-900)

REQUEST: Request for approval of a Conditional Use Permit to construct an unmanned wireless telecommunication facility consisting of three (3) new T-Mobile antenna flag poles with two (2) antennas inside each pole, and six (6) associated ground-mounted equipment cabinets surrounded by an eight (8) foot high masonry equipment enclosure.

ENVIRONMENTAL DETERMINATION: Categorically Exempt from CEQA (Class 3)

RECOMMENDATION: Staff recommends approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions, based on the findings of the attached resolution.

ZONING DESIGNATION: SH (School District)

GENERAL PLAN DESIGNATION: PF (Public Facility)

**I. PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Omnipoint Communication, Inc., an authorized agent for T-Mobile, is proposing to install an unmanned wireless telecommunication facility on the Lindero

Middle School property, located at 5844 Larboard Lane, owned by the Las Virgenes School District. As a State agency, the school district can exempt itself from City regulations. However, since this cellular site is considered a commercial use that will serve the T-Mobile customers and not solely serve the school and/or school district, although located on school district land, it is subject to a Conditional Use Permit from the City prior to installation as required by the Zoning Ordinance.

T-Mobile has applied for a Conditional Use Permit to construct an unmanned wireless telecommunication facility on the center portion of the Lindero Middle School campus. Road access to the facility would be via Larboard Lane. The school site is surrounded by single-family residences. The closest distance from the telecommunication facility is approximately 300 feet.

The applicant is proposing to install a new wireless telecommunication facility on three (3) new 40 and 45-foot high T-Mobile flag poles that encase the antennas, 18 inches in diameter. Two (2) PCS panel antennas are proposed to be mounted in stacked pairs at effective heights of no more than 40 feet above ground within each pole. A GPS antenna is proposed to be mounted to one of the equipment cabinets. PCS antennas are used to transmit and receive the actual data to and from the handheld (cellular) phones.

In addition, six (6) associated ground-mounted equipment cabinets are proposed to be located at the parking lot level (off the Rainbow View Drive entrance), adjacent and ten feet below the proposed flag pole level. The three parking spaces at the north end of the parking lot are proposed to be removed to accommodate the equipment cabinets. The cabinets will be surrounded by an eight (8) foot high masonry equipment enclosure to match the existing retaining wall finish, with a black wrought iron lid and 4-foot wide corrugated steel gate. In addition, a new planter area will be installed on the north and west elevations of the new equipment enclosure. No off-site or public improvements will be needed for this proposed facility.

T-Mobile is considered a public utility and is regulated and licensed by the Federal Communications Commission (FCC). The FCC authorizes a utility's initial system and then delegates its authority to local agencies to regulate the location, construction and aesthetics of the wireless telecommunication facilities. In the event of a natural disaster, T-Mobile will assist in providing emergency communication for the community. Therefore, while the intent of the wireless telecommunication facility is for private commercial use, the service provided will benefit the public at large.

Furthermore, the Telecommunication Act of 1996 states that: "No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission regulations concerning such emission."

The applicant has provided staff with specifications of the equipment to be installed and certifies that the proposed facility meets FCC standards. The FCC relies on standards

developed by a non-profit privately funded organization known as the American National Standards Institute (ANSI). Standards are continually reviewed to account for new research findings and modified when appropriate. In addition, the State Public Utilities Commission (PUC) requires the applicant to submit notification to the PUC when local approval of a facility is obtained. It also requires quarterly updates of new cellular sites approved by local governmental agencies and built as a result of the approval.

## **II. STAFF ANALYSIS**

### Potential Visual Impacts

T-Mobile will install its antennas within an 18 inch new galvanized steel pole, with a flag attached. The antennas will not be constructed higher than 45 feet above ground. The maximum allowable height in the School zone is 35 feet. The code allows towers and antennas to be 10 feet above the maximum allowable height for the zone. Thus, the proposed 45 foot antenna is within the limits of the code. In order to prevent access to the cabinets, the equipment will be enclosed in a free-standing masonry structure, with both a protective and decorative wrought iron cover. Additional landscaping will be placed on the west and south sides of the equipment enclosure for additional screening.

### Design Requirements

The new flag poles will be painted gray. The material finish is non-reflective. In addition, the new concrete masonry wall around the equipment cabinets will match the existing retaining wall finish. Signage is proposed to be placed on the gates to the equipment according to federal standards.

## **III. FINDINGS**

In order for a Conditional Use Permit to be approved, the proposed project must show substantial evidence to demonstrate that the use will satisfy the five findings listed below.

The Planning Commission must find that the proposed use is consistent with the objectives of the Zoning Ordinance and the purposes of the School District (SH) zone in which the use is located. Wireless telecommunication facilities are allowed in the School District (SH) zone, subject to the issuance of a Conditional Use Permit. Although the City's jurisdiction is limited on school properties, the development standards defined in the Zoning Ordinance apply to any commercial activity. As such, applicants are encouraged to camouflage telecommunication antennas by incorporating the apparatus in an architectural feature of an existing building. The use of monopoles for wireless telecommunication antennas is typically discouraged by policy unless sufficiently screened from view. In this case, the applicant has designed the proposed antennas to be



hidden within a pole design, which appears as a flag pole and does not have the visual mass of the typical monopole array antennas.

Another finding that the Planning Commission must make is that the proposed use is compatible with the surrounding properties. The proposed antennas will be concealed within the top of an 18 inch wide galvanized steel flag pole "radome". Consequently, the project would not visually impact the surrounding residential community in that the antennas appear as only a flag pole, typically found on a school campus. The visibility of the equipment will be limited as it is located more than 200 feet from the closest public right-of-way (Rainbow View Drive), bordering the school on the south. The overall project is obstructed from views at surrounding streets (Larboard Lane, Sandtrap Drive, Rainbow Hill Road, and Rainbow View Drive) by mature landscaping and surrounding residential developments.

The Planning Commission must also find that the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare. Wireless telecommunication facilities are regulated through the State Public Utilities Commission as a public utility, which has addressed health and safety issues. The antenna installation will comply with FCC regulations, the National Electric Code, ANSI, and any applicable published federal standards that pertain to electromagnetic field exposure limits and the safe installation and maintenance of electric and radio frequency equipment. The proposed antenna and equipment will be installed such that they are incorporated into existing school facilities and no additional traffic or parking demand for this use is anticipated.

Another finding must demonstrate that the proposed use will comply with each of the applicable provisions of the Zoning Ordinance. Telecommunication facilities are allowed in the SH zone, subject to the issuance of a Conditional Use Permit. The location of the antennas and ancillary equipment will comply with State and Federal requirements.

A finding must also be made that the distance from other similar and like uses is sufficient to maintain the diversity of the community. T-Mobile has informed the City that the nearest wireless telecommunication facility is located at Kanan Road and Thousand Oak Boulevard, as such, the new facility would not contribute to the over-concentration of similar uses.

Finally, a finding must be made that the proposed use is consistent with the goals, objectives and policies of the General Plan. The General Plan Community Design Element calls for an efficiently organized and aesthetically pleasing City. The project meets this goal by locating the new antennas on new antenna flag poles and screening the required ancillary equipment from public view.

#### **IV. RECOMMENDATION**

Based on the above analysis, staff recommends approval of Conditional Use Permit Case No. 07-CUP-007, subject to conditions of the attached draft resolution.

**V. ATTACHMENTS**

- Draft Resolution and Conditions of Approval
- Reduced Photocopies of Plans
- Photo Simulations
- Vicinity Map

CASE PLANNER: Renee Madrigal, Assistant Planner



**CONDITIONAL USE PERMIT CASE NO. 07-CUP-007**

**FOR THE PROPERTY LOCATED AT  
5844 LARBOARD LANE, AGOURA HILLS**

**WRITTEN CORRESPONDENCE  
RECEIVED BY THE PUBLIC**

*Linda M. Perret*  
*5827 Carboard Lane*  
*Agoura Hills, CA 91301*  
*(818) 865-2084*

CITY OF AGOURA HILLS

2009 JUN -2 PM 2: 22

CITY CLERK

Department of Planning and Community Development  
30001 Ladyface Court  
Agoura Hills, CA 91301

RE: Cell Tower at Lindero Middle School

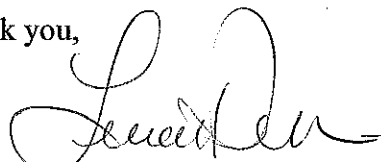
Dear City of Agoura Hills:

I would like to express my opposition to the proposed installation of a wireless telecommunication facility at Lindero Middle School. I am opposed to this project for a number of reasons:

- I understand that the School District is looking for opportunities to generate revenue, but they have to understand that the Lindero Middle School is in a unique position of being completely surrounded by residential properties. I feel it is unfair to the homeowners on my street and the other surrounding streets to have to look at this facility 24/7. We, the homeowners, will be incurring the burden without any gain.
- I'm concerned of what will happen to the upkeep of the facility should this wireless provider go out of business. With the economic instability I'm worried about the school district entering into a long-term contract and what affects this will have if the facility is allowed to deteriorate.
- As a resident of Larboard for 15 years, I have never had a problem with cell phone reception and therefore believe this facility is not warranted.

I wanted to make you aware of my opinions regarding this project as I feel the benefits to the school district don't justify the long-term burdens this places on me and the other residents in the area.

Thank you,



Linda Perret

CC: City Council Members via email