



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

ACTION DATE: June 18, 2009

TO: Planning Commission

APPLICANTS: Thomas Brewer/Ana Cullen
107 Rosehedge Lane
Oak Park, CA 91377

CASE NO.: 08-CUP-005

LOCATION: 4833 Canyon Way (A.P.N. 2061-018-061, 062)

REQUEST: Request for approval of a Conditional Use Permit to construct a 3,033 square foot, two-story, single-family residence and an attached 2,726 square foot attached garage on a 16,360 square foot lot.

ENVIRONMENTAL ANALYSIS: Categorically Exempt from CEQA, per Section 15303

RECOMMENDATION: Staff recommends approval of Conditional Use Permit Case No. 08-CUP-005.

ZONING DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay)

GENERAL PLAN DESIGNATION: RS – Single-Family Residential

I. BACKGROUND AND PROJECT DESCRIPTION

The applicants, Thomas Brewer and Ana Cullen, are requesting approval of a Conditional Use Permit to develop a 3,033 square foot, single-family residence with an attached 2,726 square foot, four-car garage. Balconies are also proposed at the rear (west) and front (east) sides of the house. The vacant hillside lot is located on the west side of Canyon Way, south of Laura La Plante Drive, at 4833 Canyon Way. The irregular shaped lot is 16,360 square feet (0.37 acres) in size and is in the Residential Single-Family (RS) and the Indian Hills Design Overlay (IH) zones. Existing single-family residences are located directly north,

and across the street to the east, from the applicant's lot, and vacant parcels are located to the south and west.

The subject site consists of two contiguous lots, which will be required to be merged into one lot by an administrative Lot Line Adjustment. The topography of the lots consist of a slope that descends toward the northeast and Canyon Way. The proposed development includes a two-story residence over a garage, and a variety of retaining walls to provide a level front yard.

New single-family homes are subject to review by the Planning Commission. Since the parcel has an average topographic slope that exceeds 10% (31%), the project is subject to the City Hillside Ordinance and therefore, requires approval of a Conditional Use Permit application.

The proposed single-family residence is a permitted use in the RS-20,000-IH zone and would meet the minimum required development standards relative to building coverage, yard setbacks, and height. Listed below are the proposed development data pertaining to the project:

<u>Pertinent Data</u>		<u>Proposed</u>	<u>Allowed/ Required</u>
1.	Lot Size:	16,360 sq. ft.	20,000 sq. ft.
2.	Building Size:		
	First Story	1,625 sq. ft.	N/A
	Second Story	1,408 sq. ft.	N/A
	<u>Garage</u>	<u>2,726 sq. ft.</u>	<u>N/A</u>
	Total	5,759 sq. ft.	N/A
3.	Bldg. Height:	35 feet	35 feet max.
4.	Building Setbacks:		
	Front (east)	25 feet	25 ft. min.
	Rear (west)	29 feet	25 ft. min.
	Right Side (north)	20 feet	10 ft. min. 22 ft. combined)
	Left Side (south)	25 feet	10 ft. min. (22 ft.combined)
5.	Lot Coverage:	3,255 sq. ft. (20%)	5,726 sq. ft. (35% max.)
6.	Undisturbed Open Space	56.1%	92.5% min.

7.	No. of Oak Trees:	1 (off-site)	N/A
8.	Average Topographic Slope:	31%	N/A

II. STAFF ANALYSIS

Site Plan

The two-story residence is proposed to be located within the center, lower portion of the lot. The first-floor pad elevation is proposed at 979 feet, which is 9 feet above the 970-foot average street elevation of Canyon Way at the front entrance of the residence. The roof line of the home would not be situated more than the maximum height of 15 feet above the rear (west) setback line, as required per the Hillside Ordinance. To maximize the use of the natural terrain and minimize grading, the four-car garage and mechanical room are proposed to be located in the natural swale within the mid-portion of the lot, with the structure above. The 20-foot wide driveway is proposed on the northerly side of the property, sloping down from the garage to Canyon Way.

The Zoning Ordinance requires a minimum front and rear yard of 25 feet within the RS-20,000 zone. A 25-foot, front yard setback is proposed on the front (east) side of the property, and a 29 foot, rear yard setback is proposed on the rear (west) side of the property. The required combined minimum setback of 22 feet is being met by the applicant proposing 25 feet for the left (south) side yard and 20 feet for the right (north) side yard.

The lot coverage of the project, which includes the footprint of the proposed residence, garage, covered patios, and balconies, total 3,255 square feet, or 20% of the parcel, which is less than the maximum 35% lot coverage allowed within the RS-20,000 zone.

The Hillside Ordinance open space standards are at the discretion of the Planning Commission. The square-footage of the open space that should remain undisturbed is a function of the steepness of the lot. In this case, the lot has an average slope of 31% and the Hillside Ordinance calls for 92.5% of the lot to remain undeveloped in order to effectively preserve the natural topography and biological resources. The project is preserving 56.14% of the open space. While the minimum required amount of open space is at the discretion of the Planning Commission without a variance for infill lots, staff finds the required 92.5% open space to render the property un-developable. The findings in favor of the proposal are based on the fact that the lot was lawfully created prior to the adoption of the requirement, the lot is non-conforming in size, the change in ownership is not a result of the parcel no longer being considered part of a larger parcel, that a septic system will not be installed on a parcel less than one acre, and that a Conditional Use Permit can permit the use and specify the minimum percent of required open space on the parcel.

Architectural Review

Proposed exterior building materials include tan "Saddleback" colored smooth stucco and a sand "Viejo" colored stucco on the front façade/entrance, with brown "Pine Cone" color exposed wood trim. Brown colored mix stone veneer is proposed on the building frontage and columns. All windows will include colored frames for fiberglass energy efficient windows. The roof will be a two-piece Mission style tile roof of brown color tones "Newport and Palermo". The height of the proposed two-story residence is 35 feet, and complies with the building height limitation in hillside areas.

The Architectural Review Panel (ARP) reviewed the proposed residential development and made recommendations that they felt would enhance the overall character of the project for increased compatibility with the Indian Hills Overlay zone. The Panel stated the project was well designed given the constraints of the site and had only a few recommendations, including that the applicant apply the stone veneer on the front of the building, the stairs, and columns. The Panel also recommended the stairway be simplified by changing one of the staircases to a series of raised planters with stone veneer to soften the appearance of the front at the front entry area. The applicants were also asked to change the second-story, front entry roof design to match the roof design of the rest of the house. These recommendations have been incorporated into the project plans and the Panel found the house design to comply with the City Architectural Design Standards and Guidelines. A materials and color sample board will be available for review at the hearing.

A survey of 40 developed parcels in the immediate vicinity of the applicant's lot was conducted to determine the average size of the residential units and parcels. The findings indicate an average lot size of 7,452 square feet and an average dwelling unit size of 2,011 square feet (excluding the garage), resulting in an average floor/area ratio of 0.27 for the neighborhood. There are currently only two developed residences on Canyon Way, located directly across the street, and they are similar in size to the proposed project. The first lot directly across the street to the north is a 2,735 square foot, two-story residence on a 6,226 square foot parcel (0.44% floor/area ratio), built in 1988. The other residence across the street to the south is a 2,429 square foot, two-story residence on a 6,226 square foot parcel (0.39% floor/area ratio), built in 2008. The applicant is proposing a house size of 3,033 square feet on a 16,360 square foot lot, which results in a floor/area ratio of 0.19. Although the proposal is 1,022 square feet above the neighborhood average, the parcel size is more than twice the size of the average lot size. In evaluating the compatibility of the design and the size of the residence with other Indian Hills properties, staff finds the proposed project design is similar with other two-story homes in the surrounding area.

Engineering/Public Works Department Review

The Engineering/Public Works Department has reviewed the proposed Grading Plans and will require Canyon Way, which is a private street, to be improved along the applicants' east property line frontage to include 20-feet of pavement along with curb and gutter. All street

improvements will be reviewed and approved by the Fire Department and the City Engineer prior to occupancy of the residence.

Due to the topography of the property, grading required for the proposed project will include 1,473 cubic yards of cut (export) soil. and 1,473 cubic yards of exported soil. The pad for the residence, garage, and the yards will be created by excavating into the hillside and supporting the cut using a series of stacked retaining walls, not to exceed 6 feet in height, at the rear (west) and side (south) portions of the residence. The grading plans indicate that the proposed development for the two-story residence and garage includes a driveway on the northerly side sloping down from the garage to Canyon Way and which will involve both cut on the inside edge and filling on the outside edge. The grading plans also propose the installation of a gravel pit, located at the front property line, to direct drainage from the property in a non-corrosive manner to an existing storm drain. The residence will be served by the public sewer system.

The City Geotechnical Consultant has reviewed the geotechnical reports prepared for this project and recommends that the project be approved from a geotechnical perspective at the planning stage. The City's Geotechnical Consultant's comments are attached for reference.

Oak Tree/Landscape Review

The City Oak Tree Consultant has reviewed the proposal and concluded that the one (1) on-site Coastal Live Oak, located approximately fifteen to twenty feet south of the flat area at the northwest corner of the site, would not be impacted by the proposed construction of the project. The City Oak Tree/Landscape Consultant has waived the requirement of an Oak Tree Report and Oak Tree Permit provided the applicant fence the tree prior to the start of any grading.

Since the topographic slope of the property exceeds 10%, the applicant is required to prepare a landscape plan for the City's review. The preliminary landscape plan was reviewed and approved in concept by the City Landscape Consultant, who recommends that the applicant submit final, detailed landscape and irrigation plans for review by the City Landscape Consultant and the Director of Planning and Community Development prior to building permit issuance. The final plans will be reviewed for slope stabilization, screening, and the incorporation of native plant species. The applicant is proposing to plant trees and shrubs at the south side and rear of the property. There are no on-site Oak trees, nor Oak trees within the vicinity of the property that can be impacted by the proposed construction.

Environmental Review

Based upon review of this project by the City Environmental Analyst, no environmental impacts have been identified for construction of the project. The project has been determined to be Categorically Exempt from the California Environmental Quality Act per Section 15303. This exemption includes, but is not limited to, the construction of a single-family residence.

III. RECOMMENDATION

Based on the above analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Review Case No. 08-CUP-005, subject to the Conditions, based on the findings of the attached draft Resolution.

IV. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Vicinity Map
- Exhibit B: GeoDynamics Letter of Recommendation
- Exhibit C: Environmental Determination
- Exhibit D: Reduced Photocopies of Plans
- Exhibit E: Rendering of Residence

CASE PLANNER: Renee Madrigal, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 08-CUP-005

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Thomas Brewer and Ana Cullen with respect to the real property located at 4833 Canyon Way, Assessor's Parcel Number 2061-018-061, 062, requesting approval of a Conditional Use Permit to allow the development of a 3,033 square-foot, two-story, single family residence and a 2,726 square-foot attached garage on a 16,360 square foot lot. A public hearing was duly held on June 18, 2009, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid public hearing.

Section 3. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family zone and the Indian Hills Design Overlay District, which provides general design standards for residential developments. All minimum development standards have been met with regard to lot coverage, yard setbacks, and building height.

B. The proposed use, as conditioned, is compatible with the surrounding properties. The project will contribute to the aesthetic value of the neighborhood as a whole. The proposed building style of architecture and building materials, including stone veneer, stucco, and a tile roof, are compatible with the neighborhood and meet the requirements of the Indian Hills Design Overlay District. The project was reviewed by the City's Architectural Review Panel and was found to be in compliance with the City's Architectural Design Standards and Guidelines. The size of the proposed house is compatible with the size of the developed residences in the Indian Hills neighborhood.

C. The proposed use, as conditioned, and the conditions under which the project will be operated or maintained, will not be detrimental to the public health, safety or welfare in that the design of the residence will ensure adequate light, air, privacy and open space to surrounding properties. The project exceeds the required side and rear yard setbacks. The proposed two-story residence is situated in the lower portion of the on-site hillside slope, which will preserve views and privacy of the surrounding properties. The

project complies with the maximum allowable building height limitations of hillside properties. Vehicular access to the property will be provided via Canyon Way and the residence will be constructed per City Building Standards. The property will be served by the public sewer system. Preliminary geotechnical, drainage studies and landscape plans have been provided for the proposed construction on the property.

D. The proposed use as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance in that the project is consistent with the development standards of the RS-20,000 zone and Indian Hills Overlay District. The proposed project meets all required setbacks, height limitation requirements, and lot coverage for the zone. The applicant is proposing 20% lot coverage, which is less than 35% lot coverage allowed for the zone. The Planning Commission finds that although the City Hillside Ordinance requires that at least 92.5% of the parcel remain in undisturbed open space given the property's 31% average slope, this requirement would preclude reasonably residential use on the property. The proposed lot coverage for the project is found to be appropriate for the site given the requirement for driveway access, a reasonable building size that is compatible with the neighborhood, and the desire for a usable yard area. The proposed lot coverage will not significantly impact biological or cultural resources and would be less than the 35% maximum allowable lot coverage for non-hillside development within the RS-20,000 (Single-Family Residential-20,000) zone. The parcel was lawfully created prior to adoption of the City Hillside Ordinance, and the change in ownership of the parcel is not a result of the parcel no longer being considered part of a larger parcel. A private septic system will serve this 0.37 acre parcel. Thus, the proposed lot coverage of this project meets the intent of the Hillside Ordinance.

E. The proposed use, as conditioned, will maintain the diversity of the community by its in that the project will meet the minimum yard setback requirements for the RS-20,000 zone. The residence will be placed an appropriate distance from the street serving the property to preserve public views. The RS-20,000 zone allows for the development of single-family residences.

F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan. The proposed project is designed to incorporate the existing terrain into the site plan to the maximum extent possible to minimize grading and to preserve view sheds, as called for in the Land Use Element of the General Plan.

Section 4. The project is a request for one, single-family residence and is exempt from the California Environmental Quality Act (CEQA), per Section 15303 and does not require adoption of an environmental impact report or negative declaration.

Section 5. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 08-CUP-005, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

Draft Resolution No. ____

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PASSED, APPROVED and ADOPTED this 18th day of June, 2009, by the following vote to wit:

AYES: (0)

NOES: (0)

ABSTAIN: (0)

ABSENT: (0)

John O'Meara, Chairperson

ATTEST:

Doug Hooper, Secretary

CONDITIONS OF APPROVAL (Case Nos. 08-CUP-005)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plans, Roof Plans, Grading Plans and Landscape Plans.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. Unless waived by the Director of Planning and Community Development, all utilities existing and proposed shall be placed underground. If overhead utilities of 66 KV or greater exist on or about the subject property, the applicant shall file an agreement to join any Assessment District subsequently created to underground said lines.

10. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
11. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.
12. All structures shall conform with the requirements of the Division of Building and Safety of the City of Agoura Hills.
13. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
14. Unless Conditional Use Permit Case No. 08-CUP-005 are used within two (2) years from the date of City approval, these permits will expire. A written request for a one-year extension may be considered prior to the expiration date.
15. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$2.97 per square foot.
16. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
17. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
18. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
19. The City Building Code requires all new residences to be protected by a residential fire sprinkler system.
20. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

General

21. This project requires a Certificate of Compliance with Record of Lot Line Adjustment prior to permit issuance.
22. All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval prior to permit issuance.
23. For all work within public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
24. Applicant shall pay a Transportation Impact Fees (TIF) to the Building and Safety Department in the amount of \$2,440 prior to the issuance of the Certificate of Occupancy.
25. All existing street and property monuments within or abutting this project site shall be preserved. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
26. Prior to issuance of a grading permit detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
27. Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval.
28. The applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.

29. Prior to issuance of permits from the Engineering Department, this project will require a permit from the Las Virgenes Municipal Water District.
30. Building Permits shall not be issued until all graded areas (including building pad) have been certified for compaction and elevation, to the City's satisfaction.
31. Provide a preliminary title report not older than 30 days prior to permit issuance.
32. All grading shall conform to City's Grading Ordinance, Chapter 33 of the Uniform Building Code.
33. Any/all work affecting existing easements (ie: LVMWD, SCE, etc.) shall require written documentation confirming the respective utility purveyor's approval. This requirement shall be completed prior to constructing any work that affects said easements.

Public Improvements

34. The applicant shall design full public improvements in accordance with City Code, Specifications, and/or approved Conditions of Approval for the area. Such public improvements may include, but not be limited to, improving Canyon Way along property line to provide for a minimum of 20-foot paved width, along with curb and gutter, as recommended by a State-licensed Civil Engineer to ensure runoff is maintained within the roadway. The roadway sections shall be 4" asphalt concrete minimum on top of 6" crushed aggregate base, unless otherwise recommended by the geotechnical and/or civil engineer. Improvements shall be reviewed and approved by the Fire Department, and then the City Engineer prior to grading permit issuance.
35. This property is within the Las Virgenes Municipal Water District (LVMWD) service area. Applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid prior to grading permit issuance.
36. Prior to removal of certain improvements that encroach onto the developer's property, applicant shall submit written evidence that they have contacted the adjacent property owner to the north, prior to grading permit issuance.

Sewer

37. The applicant shall connect to an 8-inch sewer line that is available in Canyon Way. [Ref. Sewer Plan Dwg # C02-314-01].

38. Applicant shall use existing laterals, whenever provided, for connection to the public sewer system.

Water

39. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City prior to permit issuance.

Drainage/Hydrology

40. The applicant shall submit a hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual is required prior to grading permit approval. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

Stormwater Quality (NPDES)

41. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
 1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
42. All remaining fees/ deposits required by the Engineering Department must be paid in full prior to certificate of occupancy..

43. All requirements including construction of improvements must be completed to the satisfaction of the City Engineer prior to certificate of occupancy.
44. The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
45. Upon the City receiving the applicants' Title Report, if conflicts/issues arise regarding recorded documents over property, applicants shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

GEOTECHNICAL CONDITIONS

46. The applicants shall comply with all of GeoDynamics, Inc.'s (The City's of Agoura Hills' Geotechnical Consultant) Conditions of Approval letter dated January 30, 2009.

OAK TREE AND LANDSCAPING CONDITIONS

Oak Tree

47. Prior to the start of any work or mobilization at the site, the existing Oak tree shall be fenced at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.

Landscaping

48. Prior to approval of building permits, the applicant shall submit three (3) sets of plans meeting the following requirements, subject to review by the City Landscape Consultant and approved by the Director of Planning and Community Development:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.

- c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant. Plans should show the current date.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants, if applicable
 - Natural features, including watercourses, rock outcroppings
 - h. The Planting Plan shall indicate the botanical name, common name, and size of each plant.
49. Plant symbols shall depict the size of the plants at maturity, and be drawn to scale. Spacing of trees and shrubs shall be adjusted to allow for optimum growth of each species.
 50. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
 51. The landscape plans show an area of existing vegetation to be preserved. The landscape plans shall indicate the protection measures to be taken such as chain link fencing, preventing parking and storage of materials in the area.
 52. The landscape plans shall prominently display the following notes:

- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
53. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
54. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over-spray on adjoining areas. Drip irrigation or low-flow bubblers are to be used in situations where tree trunks would be sprayed by conventional pop-up/riser irrigation heads.
55. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
- a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
56. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post-installation maintenance.
57. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
- Site Plan
 - Elevations
 - Grading Plan
 - Conditions of Approval

58. All plant material must be considered compatible with Sunset Zone 18. A native and naturalistic planting scheme is recommended to preserve and enhance the native environmental context in which the development will occur.
59. All plant material must meet the LA County Fire Department Fuel Modification Requirements, and the Landscape Plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.
60. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
61. Poor landscape practices such as topping, hedging and "lollipoping" shall not be permitted and may require that plant materials be replaced with like-size materials at the discretion of the City Landscape consultant.
62. All plant selections must be considered non-invasive in the Santa Monica Mountains to the satisfaction of the City Landscape Consultant.

FIRE DEPARTMENT CONDITIONS

63. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

SOLID WASTE MANAGEMENT STANDARD CONDITIONS

64. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
65. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards

disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

66. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

67. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.
68. All proposed retaining walls shall consist of split-faced block or other decorative materials, subject to review and approval by the Director of Planning and Community Development. No retaining wall or garden wall shall exceed 3.5 feet in height if located within a required front (south) yard.
69. Any new building or structures not shown on the approved Site Plan shall be subject to approval of a Conditional Use Permit from the Planning Commission.

END

CONDITIONAL USE PERMIT CASE NO. 08-CUP-005





Applied Earth Sciences
Geotechnical Engineering & Engineering Geology Consultants

Date: January 30, 2009
GDI #: 08.00103.0169

CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Renee Madrigal

Project Location: 4833 Canyon Way, Agoura Hills, California.

Planning Case #: 08-CUP-005 & 08-LLA-001(Brewer)

Building & Safety #: None

Geotechnical Report: Stratum Geotechnical Consultants (2009), "Geotechnical Investigation-Update Report for a Proposed Single-Family Residence at 4833 Canyon Way, Agoura Hills, California, 91301," Project Number 08032, January 14, 2009.
James R. Evans, CEG 974 (2008), "Engineering Geology Investigation, Lots 13 & 14 of Block 3, Tract 8793, 4833 Canyon Way, Agoura Hills, Los Angeles County, California", Dated January 24, 2008.
Terra Technology and Instrumentation (2008), "Preliminary Geotechnical Engineering Investigation for Proposed Single Family Residence and Garage, Lots 13 & 14 of Block 3, Tract 8793, 4833 Canyon Way, Agoura Hills, 91303", Project No.: 221229-1.2, Dated January 24, 2008.

Plans: BMI Associates, Inc. (2008), "Grading Plan and Erosion Control Plan, 4833 Canyon Way, City of Agoura Hills, CA, 91301" Sheets 1 through 5, Scale" 1"=8', dated April 10, 2008.
ASA Engineering Design Services (2006), "Architectural Plans, 4833 Canyon Way, Agoura Hills, California", Sheets A-1 through A-17," Project No. 06-096, dated June 12, 2006.
Leslie A Dievendorf, Landscape Architect (2008) "Landscape Plan., 4833 Canyon Way, Agoura Hills, California", Sheets 1 through 3, dated February 20, 2008.
TDR Engineering (2006) "Topographic Survey, Vacant Land, Agoura Hills, California, 91301", 1 Sheet, dated June 12, 2006

Previous Reviews: May 29, 2008

FINDINGS

Planning/Feasibility Issues

Acceptable as Presented

Response Required

Geotechnical Report

Acceptable as Presented

Response Required

REMARKS

Stratum Geotechnical Consultants (SGC; consultant) provided a "Geotechnical Update Report" and response to the geotechnical review letter by the City of Agoura Hills dated May 29, 2008 regarding the proposed single-family residence at the site located at 4833 Canyon Way in Agoura Hills, California. The proposed development includes a two-story residence over a partially subterranean garage level, and a

variety of retaining walls to provide a level yard area. The aforementioned review letter was prepared based upon a review of geotechnical and geologic reports by James R. Evans and Terra Technology and Instrumentation referenced above. SGC is the current consultant of record for this project.

Geodynamics, Inc. (GDI) reviewed the referenced reports from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GDI performed the geotechnical review on behalf of the City of Agoura Hills – Planning Department. Based upon our review, the referenced reports are acceptable as presented with regard to planning and feasibility issues and we recommend the Planning Commission consider approval of Case No. 08-CUP-005. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

Note to City: The proposed structure includes retaining walls that exceed six feet in height. The city should determine if this element of the proposed development complies with the intent of City regulations limiting retaining walls to heights of six feet.

Report Review Comments

1. The consultant indicates that final plans are not yet available. The consultant should review final development plans, including final grading plan, and provide additional geotechnical recommendations as necessary.
2. The consultant should provide recommendations for slope to structure/foundation setback requirements per the City of Agoura Hills Building Code. Please note that the City of Agoura Hills has more stringent setback requirements than the California Building Code (CBC).

Note: The consultant indicates in response to this comment that "*The building setback for toe of slope conditions shall conform to City of Agoura Hills revised 2007 CBC Section 1805.3.1 and figure 1808.3.1.*" As indicated in the above comment, the City of Agoura Hills requirements for foundation to slope setback are more stringent than the 2007 CBC requirements. **All** foundation to slope setbacks shall conform to the minimum requirements of the City of Agoura Hills.

Plan-Check Comments

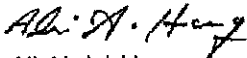
1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The following note must appear on the grading and foundation plans: "*All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer.*"
3. The grading plan should include the limits and depths of overexcavation for the swimming pool, the road and flatwork areas as recommended by the Consultant.
4. The following note must appear on the grading and foundation plans: "*Excavations shall be made in compliance with CAL/OSHA Regulations.*"
5. The following note must appear on the foundation plans: "*All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel.*"
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: "*An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all*"

subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."

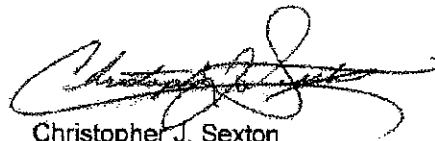
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, Inc.



Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/09)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/10)

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Brewer and Cullen New Single Family Residence (Case #08-CUP-005)

Project Location-Specific: 4833 Canyon Way (APN 2061-018-061, 062)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project involves the construction of a 3,033 square foot single-family home, with a 2,726 square foot attached garage. The project site is a 16,360 square foot hillside lot. The request is for a Conditional Use Permit.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Thomas Brewer and Ana Cullen

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a).
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of one single-family home. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state scenic highway area; 3) a hazardous waste site; or 4) a historical resource area.

Lead Agency Contact Person: Allison Cook, Principal Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7310

Signature: Allison Cook

Date: 6-12-09

Title: Principal Planner

BMI
 "Commitment to Quality and Service"
 Consulting Engineers, Planners, Surveyors
 8511 Hayden Avenue, Suite 100, Van Nuys, CA 91411
 818-708-1000 Fax (818) 708-1002
 5205 West Van Nuys Blvd, Van Nuys, CA 91411
 (818) 708-1000

AVERAGE SLOPE ANALYSIS

SITE: 4833 CANYON WAY, AGOURA HILLS, CA 91301

TOTAL AREA = 16360 SQ FT

L = 5089 FT

$$\text{AVERAGE SLOPE} = \frac{(HL)(100)}{A}$$

$$= \frac{(1)(5089)(100)}{16360} = 31\%$$

BASED ON S = 31%

OPEN SPACE AREA IS 92.5% (16360) = 15133 SQ FT

BUILDING FLOOR AREA IS 7.5% (16360) = 1227.3 SQ FT

MAXIMUM FLOOR AREA IS (.12)(16360) = 1963 SQ FT

≈ 2000 SQ FT

LOT COVERAGE

SITE ADDRESS: 4833 CANYON WAY AGOURA HILLS, CA 91301

TOTAL LOT AREA : 16360 SQ.FT

BLDG. COVERAGE : (2005/16360) × 100 = 12.26 %

NATURAL OPEN SPACE : (9185/16360) × 100 = 56.14 %

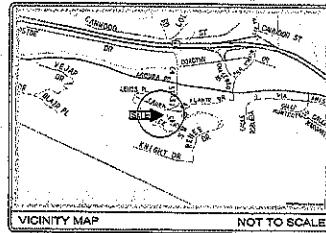
LANDSCAPE : (2220/16360) × 100 = 13.75 %

HARDSCAPE :

• DRWY COVERAGE : (1700/16360) × 100 = 10.39 %

• PATIO : (1250/16360) × 100 = 7.64 %

VICINITY MAP



LEGEND & SYMBOLS

	EARTH		MASONRY WALL
	DETAIL		2 HR WALL
	SECTION OR ELEVATION		PARTY WALL
	ILLUMINATED EXIT SIGN		STUD WALL
	WINDOW		
	DOOR		
	ROOM DESIGNATION		
	INTERIOR ELEVATION		

PROJECT DATA

EXISTING AREAS	
1ST FLOOR :	S.F.
2ND FLOOR :	S.F.
GARAGE :	S.F.
PROPOSED AREAS	
1ST FLOOR :	S.F.
2ND FLOOR :	S.F.
GARAGE :	S.F.
TOTAL AREAS	
1ST FLOOR :	S.F.
2ND FLOOR :	S.F.
1ST AND 2ND :	S.F.
GARAGE :	S.F.

PROPERTY INFORMATION

ZONE:
 LOT:
 TRACT: SEE SHEET # A3
 BLOCK:

SETBACKS

SIDE: FT.
 FRONT: SEE SITE PLAN FT.
 REAR: FT.

OCCUPANCY TYPE

RESIDENTIAL: R3
 GARAGE: U1

ABBREVIATIONS

A.S.	ANCHOR BOLT	L.M.	LAMINATE
A.C.	ASBESTOS	L.M.W.	LIQUID WEIGHT
A.C.C.	ASTM CONCRETE		
A.C.M.	ASBESTOS		
AB.	ALUMINUM	ML	MIL
ASB.	ASBESTOS	MLK	MILK
ML	MIL	MLC	MILK CEMENT
MLC	MILK CEMENT	MNS	MILK NUT
MLN	MILK NUT	MNS	MILK NUT
ML	MIL	MNS	MILK NUT
ML	MIL	MNS	MILK NUT
ML	MIL	MNS	MILK NUT

SHEET INDEX

A-1	TITLE SHEET, PROJECT DATA
A-2	GENERAL NOTES
A-3	GENERAL NOTES
A-4	DOOR, WINDOW & FINISH SCHEDULES
A-5	PLOT PLAN
A-6	BASMENT PARKING PLAN
A-7	FIRST FLOOR PLAN
A-8	SECOND FLOOR PLAN
A-9	ROOF PLAN
A-10	EAST ELEVATION
A-11	NORTH ELEVATION
A-12	WEST ELEVATION
A-13	SOUTH ELEVATION
A-14	BLDG SECTION "A-A"
A-15	BLDG SECTION "B-B"
A-16	PLAT PLAN

S-1	GENERAL NOTES
S-2	FOUNDATION PLAN
S-3	FIRST FLOOR FRAMING PLAN
S-4	SECOND FLOOR FRAMING PLAN
S-5	ROOF FRAMING PLAN
S-1	STRUCTURAL DETAILS
S-2	STRUCTURAL DETAILS
S-3	STRUCTURAL DETAILS

NOTE TO CONTRACTOR

CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS INCLUDING APPLICABLE BUILDING AND ZONING CODES PRIOR TO THE START OF THE CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCY.

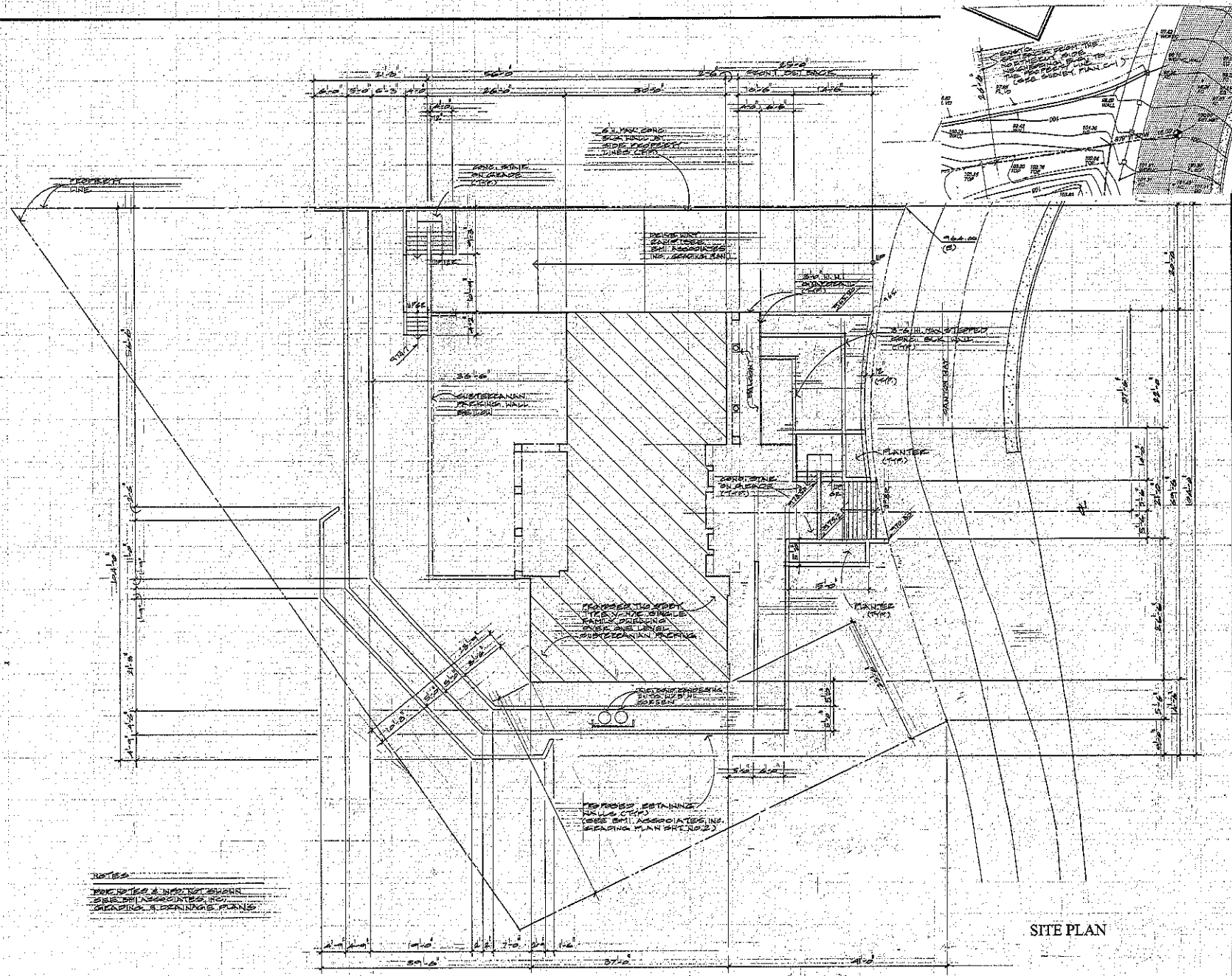
DISCLAIMER

THE PROJECT ARCHITECT OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCY, OMISSION, OR AMBIGUITY IN THE CALCULATIONS, OR SPECIFICATIONS, UNTIL THE PROJECT ARCHITECT OR ENGINEER HAS BEEN NOTIFIED, CORRECTED THE DISCREPANCY, MADE THE INCLUSION, OR MORE CLEARLY EXPLAINED THE INTENT OF THE CALCULATIONS, DRAWINGS, OR SPECIFICATIONS.

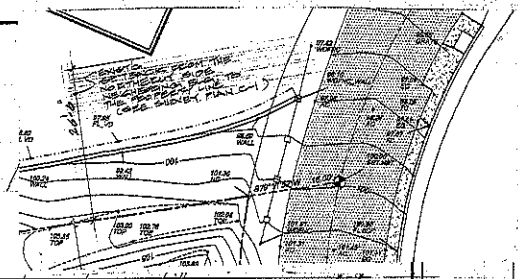
REVISIONS BY

AGA Engineering Design Services
 Architectural and Structural Engineering Division
 CLIENT: MR. & MRS. THOMAS BREWER
 ADDRESS: 2981-018-861 & 2981-018-862
 VAN NUYS, CA 91411
 TEL: (818) 708-1000
 FAX: (818) 708-1002

DATE: 08-09-08
 SCALE:
 DRAWN:
 CHECKED:
 TITLE: A-1
 SHEET: 1



NOTES
 1. DIMENSIONS & LOCATIONS SHOWN
 2. SEE PLAN AND ELEVATION FOR
 3. GRADING & DRAINAGE PLANS



SITE PLAN

DATE	1/14/12
SCALE	1/4" = 1'-0"
DRAWN	SS
NO.	06-006
SHEET	A-2
OF	SIX

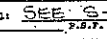
GENERAL

1. Contractor and/or sub-contractor shall inspect job site and study construction documents and specifications, and report any discrepancies to the Architect prior to start of construction.
2. Contractor and/or sub-contractor shall report to Architect any conflicts between the various elements of the construction documents prior to proceeding with that portion of work. Any detail which fails to be clear or is ambiguous must be referred to the Architect for interpretation or clarification.
3. All construction, workmanship and materials shall conform to all local city and state building codes or ordinances and the Uniform Building Code.
4. Provide construction barricades as required by local codes.
5. Provide temporary toilet facilities as required by local codes.
6. On site verification of all dimensions and conditions shall be the responsibility of the contractor.
7. Dimensions have precedence over scale.

FLOOR PLAN NOTES

1. Concrete contractor shall stake out building as shown on plot plan.
2. See landscape plan for all planter and paved areas.
3. All walkways to be 3-1/2" thick concrete. See landscape plan for type of surface finish and design.
4. Provide weed killer and termiticide deterrent under proposed structures and paving areas prior to construction.
5. Location of utilities, their meter services poles, etc., shall conform to local ordinances and utility company requirements.
6. All concentrated drainage including roof water shall be conducted to street in an approved device at 2' minimum.
7. Swimming pool (when shown) or entire property shall be enclosed by a 4' high fence with self-closing gates and latches.

FOUNDATION AND CONCRETE NOTES

1. Soil:  with a bearing value of _____ P.S.F. Refer to soil report prepared by _____.
2. Concrete shall be standard mix and shall attain a minimum ultimate compressive strength of 2500 psi. in 28 days.
3. All footings shall be founded into firm natural undisturbed soil. See foundation details.
4. See foundation plan and details for all footing sizes and spacing. Fill bolts to be maximum of 12" from each corner and end.
5. Non-bearing walls - provide 1/4" x 3" long shot pins @ 36" o.c. Endings tied back 24" into foundation.
6. All fill or backfill shall be compacted to a minimum of 95% relative compaction as determined by ASTM Method D-1557.

REINFORCING STEEL

1. All reinforcing steel shall be intermediate grade and conform to ASTM A-618 grade 40. Lap 40 diameter or 16" in concrete or 40 diameters in masonry.
2. Minimum clear distance of reinforcing from face of concrete:
 - A. Formed against earth - 3"
 - B. Wall poured against forms - 1"
3. Reinforcing mesh shall conform to ASTM A-185.
4. Lap all horizontal bars at corners and intersections.

MASONRY NOTES

1. Concrete block masonry units to be of lightweight concrete as per ASTM specification C-90 and manufactured in accordance with requirements of the Concrete Masonry Association specifications.
2. Refer to structural details for reinforcing, grouting requirements, sill and ledger blocking.
3. Mortar mix shall be 3-part cement, 3-1/2 parts sand, 1/4 part lime patty by volume or cement type "3" mortar conforming to ASTM C-270.
4. Grout mix shall be 3-part cement, 3-parts sand, 1/16 part lime patty and not more than 3-parts pea gravel.

DOORS AND FRAMES

1. All lumber in contact with concrete or masonry or within 6" of earth shall be pressure treated Douglas Fir.
2. All lumber to be grade marked Douglas Fir.
3. All vertical framing (studs) shall be stud grade or better.
4. All horizontal framing lumber #2 or better unless otherwise noted. See plans.
5. All posts, beams and headers #1 or better unless otherwise noted.
6. All framing including nailing, let-in bracing, double plate splices, etc., shall conform to building code and shall be done in a workmanlike manner by skilled carpenter.
7. Wall framing shall be 2" x 4 studs @ 16" o.c. provide double 2" x 4 top plate with minimum 48" lap splices, unless otherwise noted.
8. Provide 1 x 6 let-in braces at each 25 linear feet of exterior wall at each corner and at all main cross stud partitions. Let-in to cross a minimum of four (4) stud spaces.
9. Block all floor joists maximum 8" x 8" o.c. and at all bearing points, and all roof joists 12" x 12" o.c.
10. Provide double joists under all parallel partitions.
11. Trimmer and header joints shall be doubled, or of timber of equivalent cross section, when the span of the header exceeds 4 feet. The ends of header joists more than 6 feet long shall be supported by framing anchors or bolted hangers unless bearing on a beam, partition or wall. All joists over 16 feet long shall be supported at header by framing anchors or ledger joists not less than 2 inches.
12. All exterior finish material shall be applied over one layer of asphalt saturated felt. Provide horizontal blocking at 24" o.c. for vertical siding.
13. Provide firstrapping in stud spaces at all floor and ceiling levels and stud spaces over 40 feet and as otherwise required.
14. All studs shall extend full height between points of lateral support.
15. All structural plywood sheathing shall be new Douglas Fir CD exterior grade conforming to product standard PS-1-83 and shall be bonded with exterior glue. Floor sheathing shall be underlayment grade.
16. Refer to structural drawings for plywood type and nailing schedule.
17. All plywood nailing to inspected prior to covering.
18. All nailing shall conform to Table 250.
19. City-Can beams shall be fabricated in a shop licensed by the local city building department.
20. City-Can beams shall be per combination 34-7.
21. Notches on the ends of joists shall not exceed one-fourth the joist depth. Notches bored in joists shall not be within 2 inches of the top or bottom of the joist. The diameter of any such hole shall not exceed one-third the depth of the joist. Notches in the top or bottom of joists shall not exceed one-sixth the depth and shall not be located in the middle third of the span.
22. Joists framing from opposite sides of a beam, girder or partition shall be lapped at least 4 inches or the opposing joists shall be tied together in an approved manner.
23. In exterior walls and bearing partitions, any wood stud may be cut or notched to a depth not exceeding 25 percent of the width of the stud.
24. In non-bearing partitions, any wood stud may be cut or notched to a depth not exceeding 40 percent of the width of the stud.
25. A hole not greater in diameter than 40 percent of the stud width may be bored in any wood stud.
26. Bored holes not greater than 60 percent of the width of the stud are permitted in non-bearing partitions or in any wall where each bored stud is doubled, provided not more than two such successive doubled studs are so bored.
27. In no case shall the edge of the bored hole be nearer than 5/8 inch to the edge of the stud. Bored holes shall not be located at the same section of stud as a cut or notch.

STRUCTURAL NOTES

1. Structural steel shapes and plates to conform to ASTM A-99.
2. Structural pipe shall conform to ASTM A-53 Grade A. tube sections per ASTM A-501.
3. All structural steel work shall conform to AISC MANUAL of steel construction, latest edition.
4. Structural steel fabrication shall be performed by a certified welder in the shop of licensed fabricator approved by the local building dept.
5. All welds to be made in conformity with the standard code for arc and gas welding of the American Welding Society and the requirements of the local city building department.
6. All structural welding shall be performed by a certified welder using the shielded electrode arc process with approved electrodes.
7. All field welding designed at half stress. No continuous inspection required.
8. Steel fabricator shall provide Architect with complete shop drawings for approval prior to fabrications.
9. Bolts shall conform to ASTM A-307.

SECURITY REQUIREMENTS

See window schedule for security openings and the following notes shall apply:

1. Swinging Doors
 - a. Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb.
 - b. All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable wings pins. In addition, they shall have minimum 1/4" diameter steel pins and with 1/4" minimum protection unless the hinges are shaped to prevent removal of the door if the hinge pins are removed.
 - c. The strike plate for latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 3-1/2" in length.
 - d. Deadbolts shall contain hardened inserts.
 - e. Straight deadbolts shall have a minimum throw of 1" and an adjustment of not less than 3/8".
 - f. A hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4".
 - g. Wood flush-type doors or doors less than 1-3/8" thick minimum with solid core construction.
 - h. Hollow core doors or doors less than 1-3/8" in thickness shall be covered on the inside face with 1/8" gauge sheet metal attached with screws at 4" on center around the perimeter or equivalent.
 - i. Glass doors shall have fully tempered glass complying with Section 5406 of the Uniform Building Code.
2. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to prying tools.
3. Sliding glass doors and windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and unopened when subjected to the tests specified in sections 6731, 6732.
4. Sliding doors and windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and lowering of the moving panel, in the closed or partially open position.
5. Lowered windows shall be protected by metal bars or grilles with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry.
6. Other operable windows shall be provided with substantial locking devices. In all occupancies, such devices shall be slide bars, bolts, cross-bars, and/or padlocks with minimum 1/2" hardened steel shackles and bolted, hardened steel hasps.
7. Screens, barricades, or fences made of material which preclude bomb climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8' of a utility pole or similar structure.
8. Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglar resistant material, or shall be protected by metal bars, screens or grilles having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2' in their greatest dimensions.
9. Full height sliding glass doors and adjoining full height fixed panels within the assembly shall be constructed of approved impact hazard glazing.

FLOOR PLAN NOTES

1. Provide a 12" x 12" access panel for all chases.
2. Typical clearance at water closet shall be 30" clear min. - 24" min. clear in front.
3. Provide 3" x 3" attic access to attic space with minimum 30" clear head room above access opening - no attic access required to attic with less than 30" clear height.
4. Windows adjacent to showers to be a minimum of 5'-0" from floor or provide shatterproof glass. Apply also to "tub showers".
5. Showers in all occupancies shall have floors and walls finished with smooth, hard, non-absorbent surfaces such as portland cement, concrete, ceramic tile or other approved material to a height of not less than 70 inches above the drain inlet. Materials other than structural elements used in such walls shall be of a type which is not adversely affected by moisture.
6. Doors and panels of shower and bathtub enclosures shall be substantially constructed from approved moisture-resistant materials. Hinged over doors shall open outward.
7. Glazing used in doors and panels of shower and bathtub enclosures shall be fully tempered, laminated safety glass or approved plastic. Tempered glass is used it shall have a minimum thickness of not less than 1/8" inch when fully tempered, or 1/4" inch when laminated, and shall pass the test requirements of U.C. Standard No. 54-1.
8. All glazing of openings shall conform to Chapter 54 U.B.C.
9. Windows: See window schedule for type and size.
10. All sliding glass door assemblies and all glass over 6 sq. ft. in area which are on floor shall be approved tempered glass minimum 3/16" thick.
11. Provide R-15 (3-1/2") min. foil faced fiberglass batt insulation in all exterior walls unless otherwise noted. Provide 2x6 in roof rafter areas noted otherwise. See energy calculations.
12. Stairway to have a maximum 7-3/8" rise and minimum 10" run, and 6" - 8" min. vertical headroom. Min. 36" clear width.
13. The top of handrails shall be placed not less than 34 inches nor more than 38 inches above the nosing of treads. They shall be continuous the full length of the stairs and except for private stairways at least one handrail shall extend no less than 6 inches beyond the top and bottom risers, and shall be returned or shall terminate in newel posts or safety balusters.
14. The handrail portion of handrails shall be not less than 1-1/2 inches nor more than 2 inches in cross-sectional dimension or the shape shall provide an equivalent gripping surface. The handrail portion of handrails shall have a smooth surface with no sharp corners. Handrails projecting from a wall shall have a space of not less than 1-1/2 inches between the wall and the handrail.

WALL AND CEILING DETAILS

1. Interior walls and ceilings - 5/8" drywall.
2. Common wall and ceiling between garage and house - 5/8" type X each.
3. Where ceiling joists exceed 16" or gypms wallboard shall be applied with the long dimension of the board at right angles to framing members with all joints covered with joint reinforcing tape and adhesive.
4. Nailing shall be per code and be approved prior to taping.
5. One hour plaster wall to be 3/4" approved gypsum lath and 1/2" plaster or 1" metal lath and 7/8" plaster both sides.
6. Exterior plastered walls to have integral corner as selected and to be applied in final plaster coat.
7. All exterior finish materials shall be applied over waterproof building paper or 2-15# asphalt saturated felt.

STEEL METAL AND GENERAL FLASHING

1. Weatherstrip all exterior swinging doors at house.
2. Flash all exterior openings with approved waterproof building paper. The flashing shall extend at least 3" under the building paper behind the wall covering and shall be of one piece for the full length of the top and side of the frame.
3. Sheet metal contractor to fabricate and install all flashing required for a watertight job: kitchen ducts; ducts from interior bathroom fans; cupboards, gutters, downspouts, eavestrough, gravel stops, sub-roofers and other details, alterations and roof plans for miscellaneous metal work as called for on the plan set.
4. Flashing at balconies to wall intersections to be 4" up on wall and 4" on floor.
5. Roof or balcony eavestroughs to be 2 x 3 minimum, see plan.
6. Downspouts to be 3" x 4" unless otherwise noted on plans.
7. Kitchen vent to be 48 sq. in. minimum and connected to a duct of a minimum of 26 sq. in. to roof or outside wall.
8. All metal flashing shall be minimum 26 gauge corrosion resistant metal.
9. The center line of all flashing for vent pipes, heater pipes, electrical connections, etc., shall be not less than 12" from the center of any valley.
10. Flashing vents shall go through roof at a minimum distance of 10' from any property line.
11. Metal flashing (drip screen) to be installed around the exterior of the building at the intersection of the wall with the common wall and exterior stone walls. Screen to be minimum of 26 gauge G.I. with 1/4" round wire holes at 3" o.c.
12. Provide minimum 26 gauge G.I. roof valley flashing to conform to Building Code.

REVISIONS BY

NO.	BY	DATE	DESCRIPTION

GENERAL NOTES

DATE

SCALE

OWNER

NO. 00-096

005

A-3

SHEET



Los Angeles Regional Uniform Code Program
Committee 1-3 Structural Observation



STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: _____ FIRM/APP# NO.: _____

Description of Work: _____

Owner: _____ Architect: _____ Engineer: _____

STRUCTURAL OBSERVATION (only checked items are required)			
Firm or individual to be responsible for the Structural Observations			
Name: _____	Phone: () _____	Calif. Registration _____	
FOUNDATION	WALL	FRAME	DIAPHRAGM
<input type="checkbox"/> Footing, Stem Walls, Piers	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Moment Frame	<input type="checkbox"/> Concrete
<input type="checkbox"/> Mat Foundation	<input type="checkbox"/> Masonry	<input type="checkbox"/> Steel Braced Frame	<input type="checkbox"/> Steel Deck
<input type="checkbox"/> Cast-in-Place, Grade Beams	<input type="checkbox"/> Wood	<input type="checkbox"/> Concrete Moment Frame	<input type="checkbox"/> Wood
<input type="checkbox"/> Slab/Beam/Column Foundation, Hillside Special Anchors	<input type="checkbox"/> Others:	<input type="checkbox"/> Masonry Wall Frame	<input type="checkbox"/> Others:
<input type="checkbox"/> Others:		<input type="checkbox"/> Others:	

DECLARATION BY OWNER
I, the Owner of the project, declare that the above listed firm or individual is hired by me to be the Structural Observer.

Signature _____ Date _____
DECLARATION BY ARCHITECT OR ENGINEER OF RECORD [required if the Structural Observer is chosen from the Architect or Engineer of Record]
I, the Architect or Engineer of Record, declare that the above listed firm or individual is designated by me to be responsible for the Structural Observations.

Signature _____ License No. _____ Date _____

MANUFACTURED WEATHERS INDICATED ON FORM 16-LR (MANUFACTURED WEATHERS DISCONTINUED). REFER TO THE APPLICABLE SECTIONS OF THE ENERGY STANDARDS FOR A COMPLETE DESCRIPTION OF THE REQUIREMENTS.

- 1.--- AVERAGE CEILING INSULATION MUST BE THE EQUIVALENT OF R-19 OR BETTER (SECTION 2-535-4).
- 2.--- WHEN LOOSE FILL INSULATION IS INSTALLED, THE METHOD INSTALLED BEHIND THE SQUARE FOOT MUST CONFORM TO THE INSULATION MANUFACTURER'S INSTALLED DESIGN DENSITY PER SQUARE FOOT AT THE MANUFACTURER'S LABELED R-VALUE. REFER TO SECTION 2-535-5 FOR LIMITATIONS ON USE OF LOOSE FILL INSULATION.
- 3.--- AVERAGE R-VALUE OF INSULATION IN FRAME WALLS SHALL BE R-11 OR BETTER. THIS REQUIREMENT DOES NOT APPLY TO SOLID MASONRY WALLS. (SECTION 2-535-5).
- 4.--- WHEN STAR BLOT INSULATION IS APPLIED, THE WATER ABSORPTION RATE SHALL NOT BE GREATER THAN 0.36% AND THE WATER VAPOUR TRANSMISSION RATE SHALL NOT EXCEED 1.0 PERVAPIER. INSULATION SHALL BE PROTECTED FROM MECHANICAL AND PHYSICAL DAMAGE (SECTION 2-535-6).
- 5.--- INSULATION ADDED TO EXISTING BUILDING, WHETHER INTERIOR AND/OR SOLAR STORAGE TANKS MUST MEET OR EXCEED THE R-VALUE AS STATED IN THE ENERGY COMPLIANCE DOCUMENTATION AND AS REQUIRED UNDER SECTION 2-531-1.
- 6.--- INSULATION INSTALLED IN THE RESIDENCE SHALL BE CERTIFIED BY THE MANUFACTURER TO MEET OR EXCEED ALL THE REQUIREMENTS OF THE CALIFORNIA ENERGY COMMISSION (CEC) QUALITY STANDARDS FOR INSULATION MATERIALS (JANUARY 1, 1992 EDITION).
- 7.--- IN SECTIONS 14 AND 16, A CONTINUOUS VAPOR BARRIER IS REQUIRED AS DESCRIBED IN SECTION 2-532-7.
- 8.--- INFLTRATION AND EXHAUSTION CONTROLS (SECTION 2-531-7)
 - (A) MANUFACTURED DOORS AND WINDOWS SHALL NOT EXCEED AN INFILTRATION RATE OF 0.31 CFM2/1.8 WIND SPEED INDEX, ASHRAE, 1981-70.
 - (B) DOORS AND WINDOWS SHALL BE WEATHERSTRIPPED AND ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE ACCORDANCE WITH THE REFERENCE SECTION.
- 9.--- WHERE THE ENERGY COMPLIANCE DOCUMENTATION REQUIRES A CONTINUOUS INFILTRATION BARRIER ON CEILING AND WALLS, THAT BARRIER SHALL MEET THE REQUIREMENTS OF SECTION 2-532-1.
- 10.--- INSTALLATION OF MASONRY BUILT AND MASONRY FIREPLACES (SECTION 2-532-2)
 - (A) SHALL INCLUDE CLOSABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREPLACE.
 - (B) A MINIMUM 4" SQUARE OPEN CONSTRUCTION AIR INTAKE OPENING IDENTIFIED WITH A DAMPER AS DESCRIBED IN THE APPLICABLE SECTION, OUTSIDE CONSTRUCTION AIR INTAKES ARE NOT REQUIRED IN ROOMS 6-6.7, 6-9, 10, 14 AND 15 IF THE FIREPLACE IS NOT LOCATED NEAR AN EXTERIOR WALL, NOR IN ANY ZONE IF THE FIREPLACE IS INSTALLED ON A FLOOR AREA NEAR AN EXTERIOR WALL.
 - (C) SHALL INCLUDE A FIRE DAMPER WITH READY ACCESSIBLE CONTROL.
 - (D) SHALL NOT BE INSTALLED WITH CONTINUOUS BURNING GAS FLUOIDS.

- 11.--- HEATING AND AIR CONDITIONING EQUIPMENT SHALL BE SIZED AND SELECTED IN ACCORDANCE WITH SECTION 2-531-6 AND SHALL BE LOCATED TO MAINTAIN ALL AREAS OF THE HABITABLE SPACE AT A MIN. OF 70 F THREE FEET ABOVE THE FLOOR AS PER THE VENDOR'S BUILDING CODE.
- 12.--- ALL HEATING SYSTEMS SHALL HAVE AN AUTOMATIC SPREAD THERMOSTAT WITH A SENSITIVE ELEMENT ABLE TO SET BACK TEMPERATURES NOT HIGHER AT LEAST THREE IN 24 HOURS. HEAT PUMPS SHALL HAVE CONTROLS WHICH PREVENT ELONGED RESISTANCE HEAT WITH THE HEATING LOAD CAN BE MET BY THE HEAT PUMP ALONE. (SECTION 2-531-5.)
- 13.--- UNITS SHALL BE INSTALLED AS SPECIFIED ON FORM CP-16 (PAGE 2) OF THE ENERGY COMPLIANCE DOCUMENTATION AND SHALL BE CONSTRUCTED AND INSTALLED IN STRICT ACCORDANCE WITH CHAPTER 10 OF THE CALIFORNIA STATE MECHANICAL CODE (SECTION 2-531-4).
- 14.--- DANGER SYSTEMS SHALL BE INSTALLED WITH BACKGROUND OR AUTOMATIC DANGER CONTROLS (SECTION 2-531-4-2).
- 15.--- ELECTRONIC INTERFERENTION CONTROL DEVICES SHALL BE USED ON ALL NATURAL GAS FUELED NEW SPACE HEATING EQUIPMENT (SECTION 2-531-4-3).
- 16.--- HEAT LOAD AND FINISHED SYSTEM EQUIPMENT CERTIFIED BY MANUFACTURERS AS CONFORMING WITH STATE "EFFICIENCY STANDARDS" AT THE TIME OF MANUFACTURE MAY BE INSTALLED (SECTION 2-531-4). A CERTIFICATE OF COMPLIANCE MUST BE POSTED AT THE BUILDING FILE WITH ANY EQUIPMENT SUBJECT TO THE STANDARDS IS INSTALLED. THE MINIMUM ALLOWABLE SEASONAL EFFICIENCY FOR CENTRAL GAS FURNACES IS 72% AND THE MINIMUM ALLOWABLE SEASONAL EFFICIENCY RATED THE CENTRAL AIR CONDITIONING EQUIPMENT IS 8.00.
- 17.--- STORAGE TYPE WATER HEATERS SHALL HAVE AN EXTERNAL INSULATING BLANKET INSTALLED WITH A MINIMUM R-VALUE OF AT LEAST 11. THIS EXTERNAL BLANKET MUST BE INSTALLED IN ADDITION TO THE INTERNAL MANUFACTURER'S INSULATION UNLESS THE MANUFACTURER'S INSULATION IS LESS THAN R-16 WITH BOTH INTERNAL AND EXTERNAL INSULATION ARE COMBINED. DATES WHICH CANNOT BE WAIVED DUE TO LIMITATIONS BY THE MANUFACTURER CANNOT BE USED (SECTION 2-532-3).
- 18.--- PIPING IN UNOCCUPIED SPACE LEADING TO ANY FROM THE WATER HEATER MUST BE INSULATED WITH AT LEAST R-3 INSULATION FOR THE FIRST FIVE FEET OF PIPE CLOSEST TO THE WATER HEATER (SECTION 2-531-6). HOSE TAPES EXCEPT FOR DISTANCE FROM HOT CONSTRUCTION GASES AND FOR PIPE WALLS.
- 19.--- SWIMMING POOL HEATING (SECTION 2-531-8)
 - (A) AN ON/OFF SWITCH CONTROLLING HEATER WITHOUT PILOT BELONGS OR THERMOSTAT REST.
 - (B) FURNISH WEATHERSTRIP INSTRUCTIONS FOR ENERGY EFFICIENT OPERATION OF THE POOL.
 - (C) FURNISHING TO ALLOW FOR THE FUTURE INSTALLATION OF SOLAR HEATING.
 - (D) A MINIMUM FIVE GPM EFFICIENT WATER HEATER.
 - (E) A MANUFACTURER SPECIFIED POOL COVER.
 - (F) A TIME CLOCK MEETING BANNED WATER CONDITIONS AND OFF-PEAK ELECTRIC CONSTRUCTION FROM OPERATING HOURS.
 - (G) DIRECTIONAL WATER INTAKES TO PROMOTE STRATIFICATION.
- 20.--- GENERAL PURPOSE LIGHTING FIXTURES IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICACY OF AT LEAST 25 LUMENS PER WATT. BATHROOMS WITH MEN

- THAT ONE LIGHTING FIXTURE MUST HAVE A EFFICACY OF AT LEAST 25 LUMENS PER WATT (SECTION 2-533-1).
- 21.--- ALL REPRESENTATIONS, REPRESENTATIONS-PRESENTERS, PRESENTERS, AND FLOORSCREED LAMP BALLASTS SHALL BE CERTIFIED BY THE MANUFACTURER AS CONFORMING WITH THE STATE "EFFICIENCY STANDARDS" AT THE TIME OF MANUFACTURE (SECTION 2-531-1).
 - 22.--- THE BUILDING DESIGN SHALL MEET THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53, RES 60-14 FOR OFFICES.
 - 23.--- THE INSULATION DETAILER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND BUILDING SURVEYOR THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2-53, AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2, SUBCHAPTER 9, ARTICLE 3.

DISCLAIMER
THE PROJECT ARCHITECT OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ACTION TAKEN BY ANYONE OF THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCY, OMISSION, OR AMBIGUITY IN THE CALCULATIONS, DRAWINGS, OR SPECIFICATIONS, UNLESS THE PROJECT ARCHITECT OR ENGINEER HAS BEEN NOTIFIED, CORRECTED THE DISCREPANCY, MADE THE INCLUDES, OR MADE CLEARLY EXPLAINED THE INTENT OF THE CALCULATIONS, DRAWINGS, OR SPECIFICATIONS.

REVISIONS	DATE	BY

SCALE	
DRAWN	
CHECK	
DATE	06-09-06
A-4	
OF SHEETS	

DOOR SCHEDULE

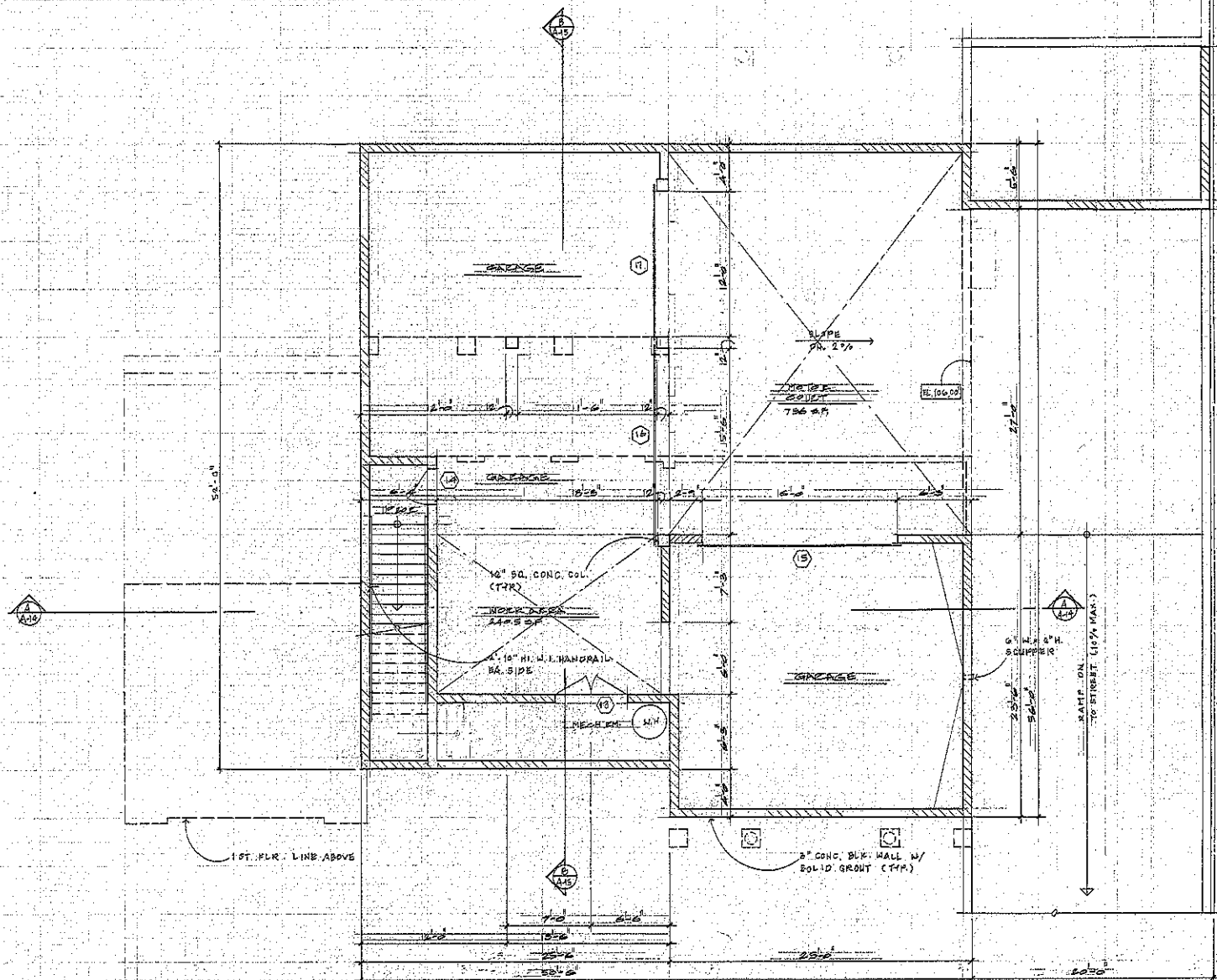
FINISH SCHEDULE

Table with columns: MARK, SECURITY OPENING, OPENING SIZE (WIDTH, HEIGHT, THK.), TYPE, MATERIALS (DOOR, FRAME), REMARKS, DETAILS (HEAD, JAMB, SILL), ROOM NAME, FLOOR, BASE, WALLS, CEILING, COUNTER, FINISH, REMARKS.

WINDOW SCHEDULE

Table with columns: MARK, SECURITY OPENING, OPENING SIZE (WIDTH, HEIGHT, GLZG), TYPE, MATERIALS, REMARKS, DETAILS (HEAD, JAMB, SILL).

REVISIONS, DATE, BY, CHECKED, APPR., A-5

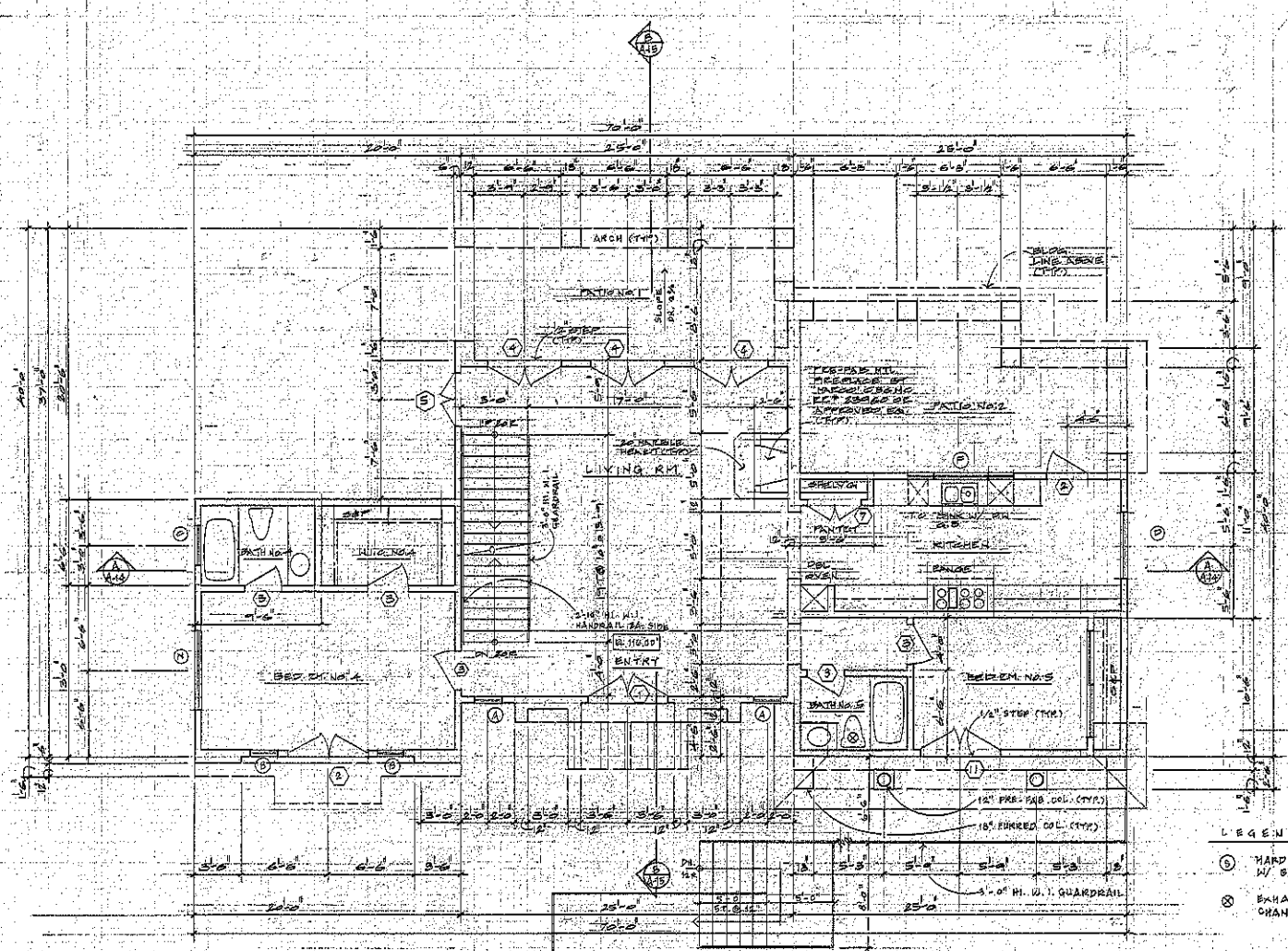


GARAGE PLAN



DATE
 SCALE 1/4" = 1'-0"
 DRAWN
 FOR 06-046
 SHEET

REVISIONS	BY

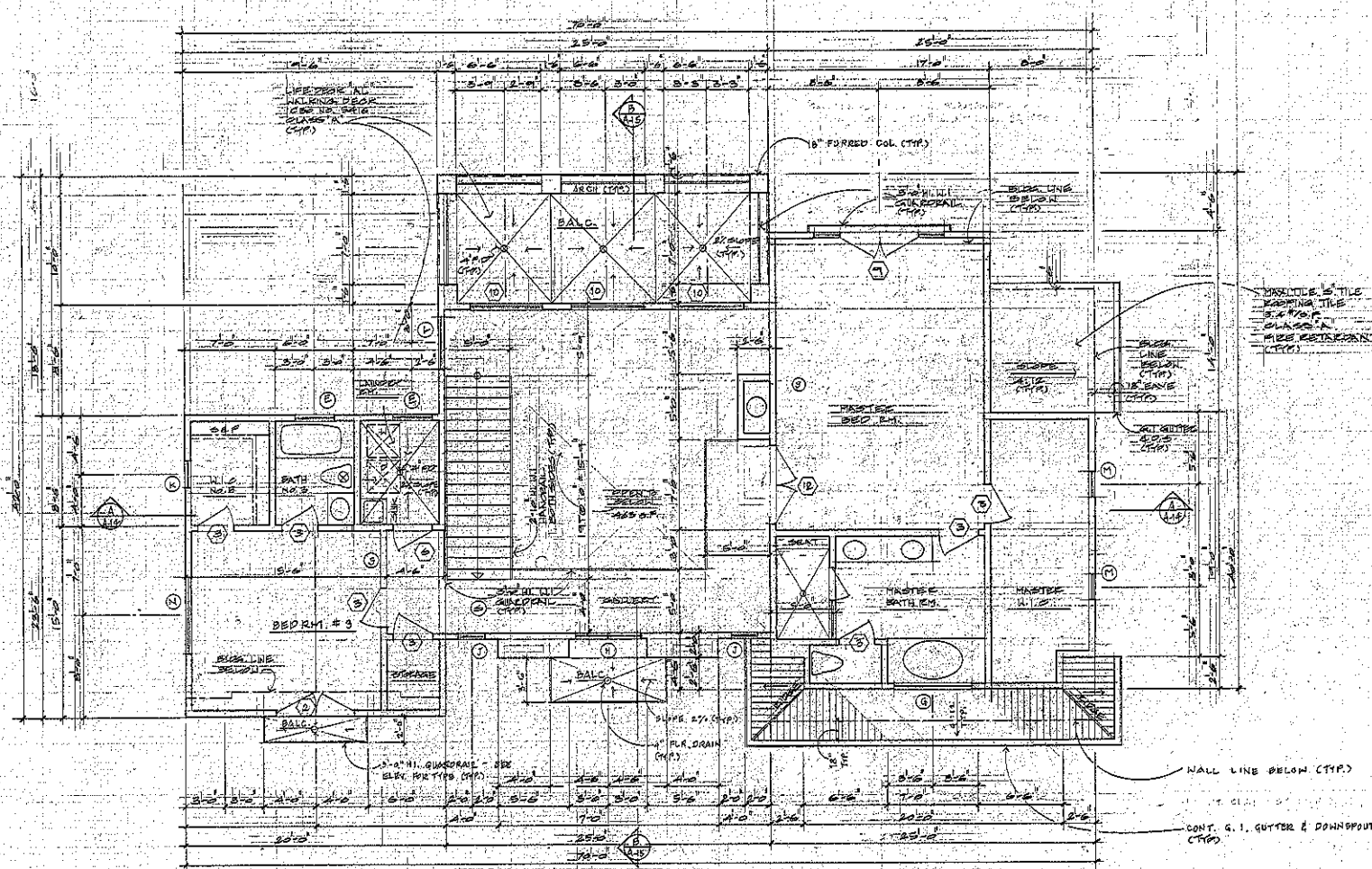


- LEGEND
- ⑤ HARDWIRED SMOKE DETECTOR W/ BATTERY BACK UP
 - ⊗ EXHAUST FAN W/ FIVE AIR CHANGE PER HR. MIN.



FIRST FLOOR FRAMING PLAN

REVISIONS	BY



SECOND FLOOR PLAN

SEE FIRST PLW. PLAN FOR TYP. NOTES & INFO. NOT SHOWN

DISSEMINATE TO TILE
 EXAMINE TILE
 CLASSICAL
 MASS RESTAURANT
 (TYP.)

NAIL LINE BELOW (TYP.)

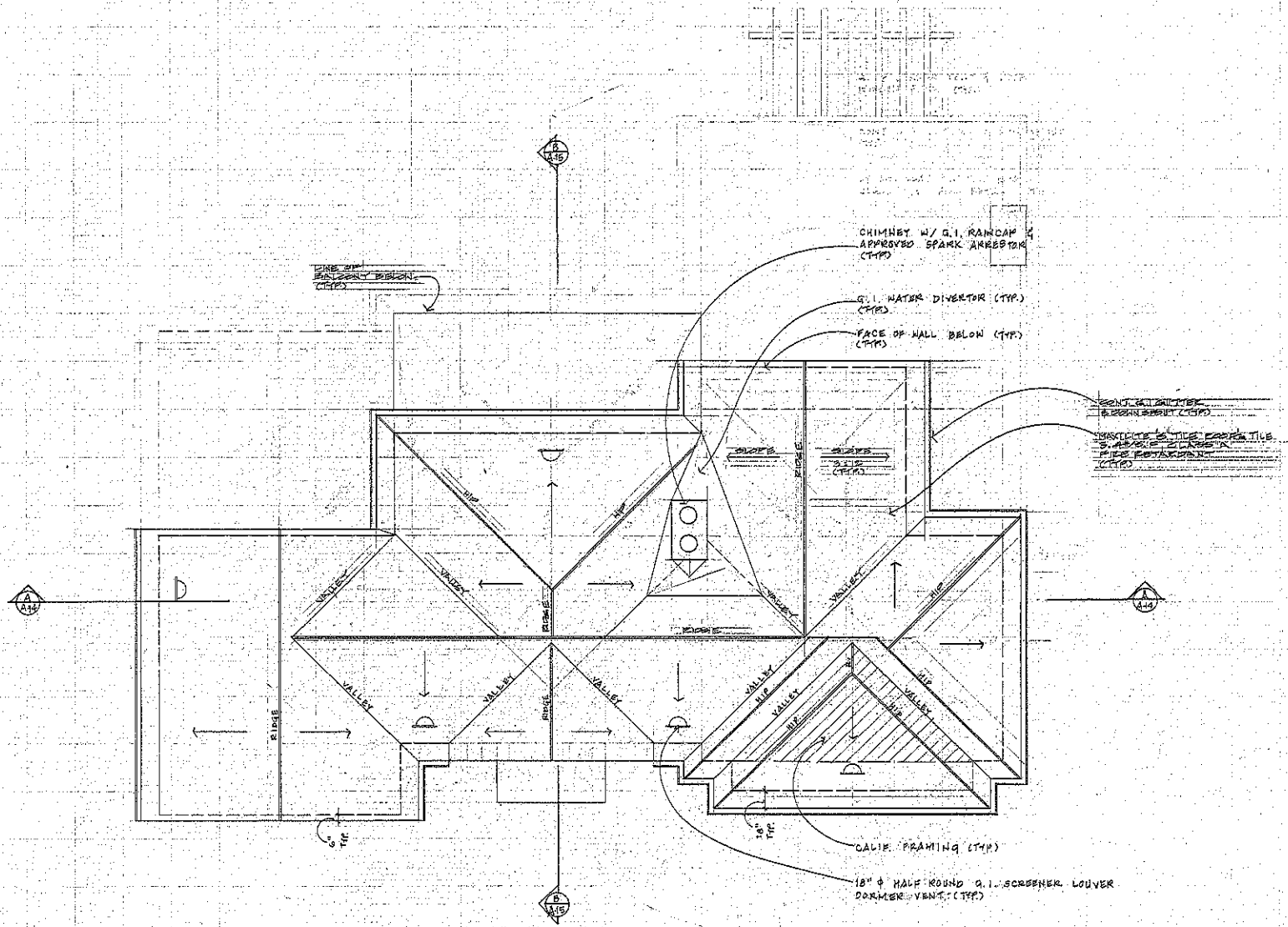
CONT. G.I. GUTTER & DOWNSPOUT
 (TYP.)



DATE	
SCALE	1/8" = 1'-0"
DRAWN	
JOB	06-096
SHEET	A-8
OF	8 SHEETS

ARCHITECTURE, INC. 1000 W. UNIVERSITY BLVD., SUITE 100, UNIVERSITY MICROFILMS INTERNATIONAL, ANN ARBOR, MI 48106-1500

REVISIONS	BY

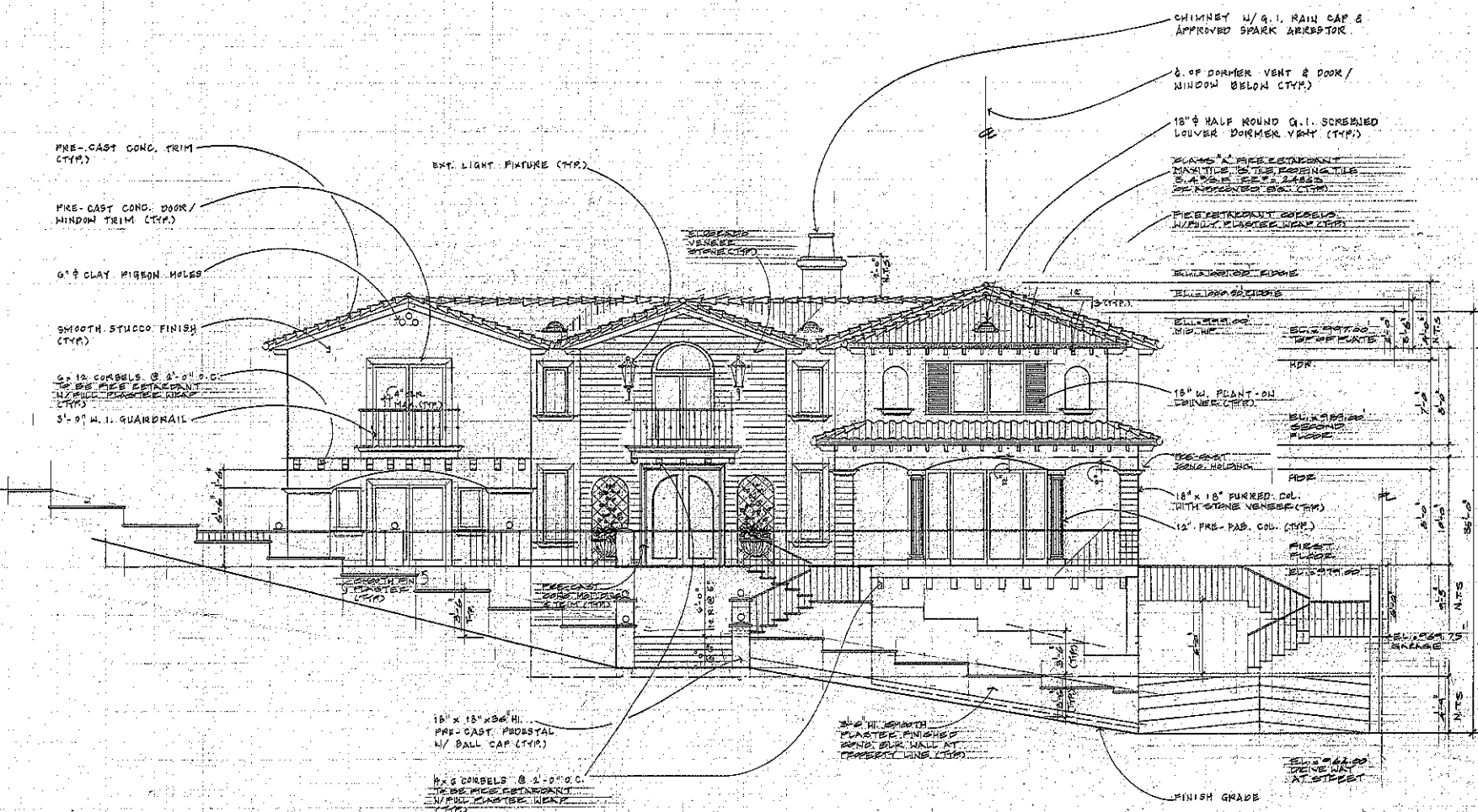


ROOF PLAN

DATE: 11/10/10
 SCALE: 1/4" = 1'-0"
 DRAWN: [Signature]
 JOB: 06-076
 SHEET: A-9
 OF: 10 SHEETS

North arrow pointing up.

REVISIONS	BY



PRE-CAST CONG. TRIM (TYM.)

PRE-CAST CONG. DOOR / WINDOW TRIM (TYM.)

6" CLAY RIBBON HOLES

SMOOTH STUCCO FINISH (TYM.)

6" CORBELS @ 2'-0" O.C. TO BE PRE-CAST IN PLACE WITH STUCCO FINISH (TYM.)

3'-0" W.I. GUARDRAIL

EXT. LIGHT FIXTURE (TYM.)

SCREENED VENEER STONE (TYM.)

CHIMNEY W/ G.I. RAIN CAP & APPROVED SPARK ARRESTOR.

6" OF DORMER VENT & DOOR / WINDOW BELOW (TYM.)

18" x 18" HALF ROUND G.I. SCREENED LOUVER DORMER VENT (TYM.)

CLAY TILE ROOF WITH 2" AIR SPACE ABOVE CLAY TILE ROOF (TYM.)

PRE-CAST CONG. CORBELS WITH STUCCO FINISH (TYM.)

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

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ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

ELONGATED CORBELS

18" x 18" x 6" HI. PRE-CAST PROUSTAL W/ BALL CAP (TYM.)

6" CORBELS @ 2'-0" O.C. TO BE PRE-CAST IN PLACE WITH STUCCO FINISH (TYM.)

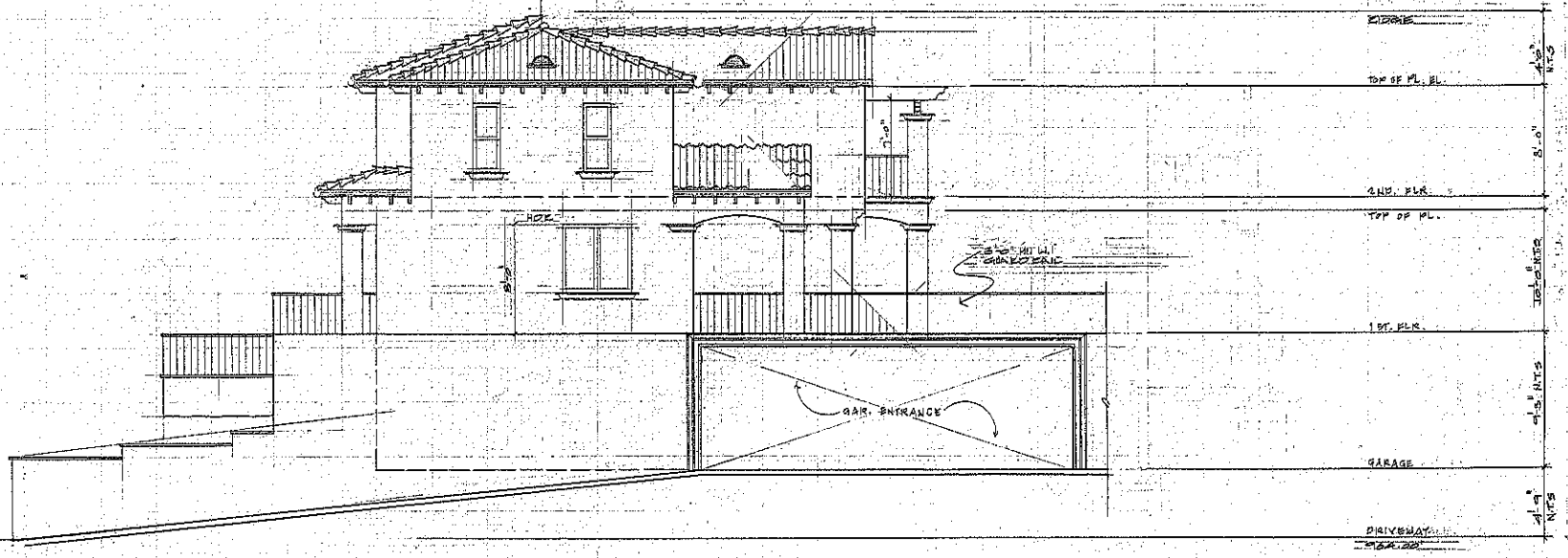
3/4" W. SMOOTH PLASTER FINISH OVER 5/8" G.I. WALL AT CHIMNEY LINE (TYM.)

FINISH GRADE

EAST ELEVATION

DATE	02-01-2010
SCALE	1/8" = 1'-0"
DRAWN	
CHK	06-07-06
PRINT	
A-10	SHEET

REVISIONS	BY



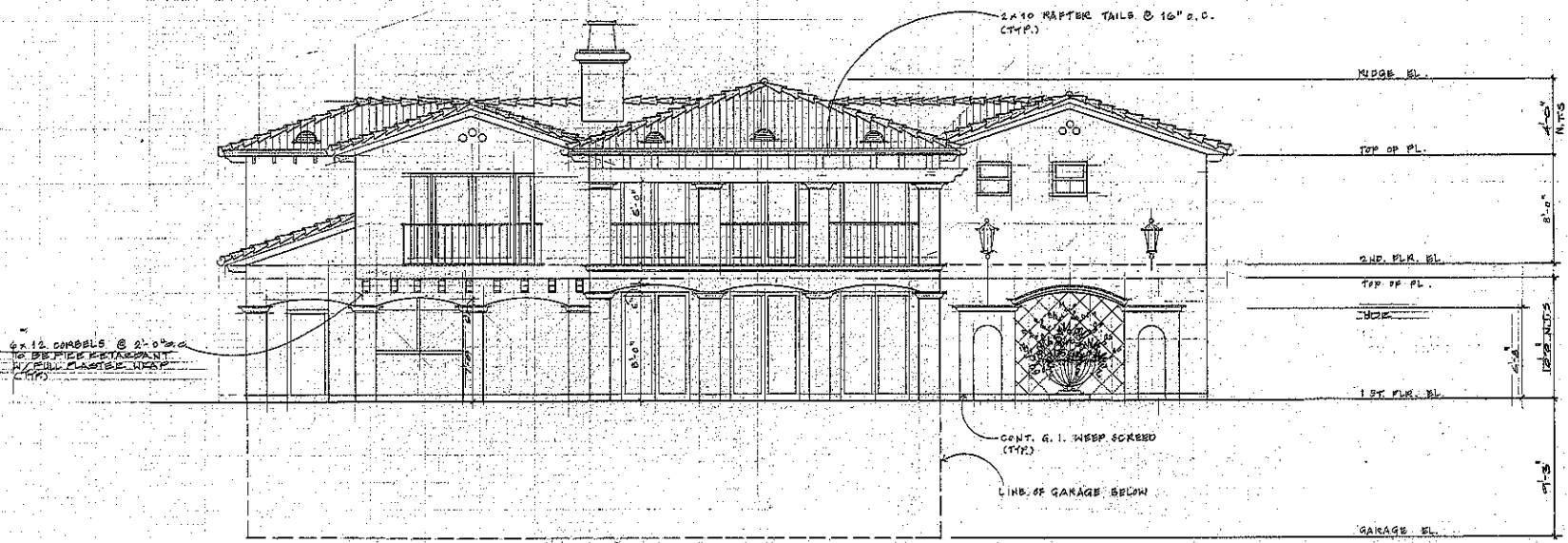
NORTH ELEVATION

SEE EAST ELEV. FOR TYP. NOTES & INFO.

FOR NOTES & INFO. NOT SHOWN SEE EAST ELEV. SHIT. A-10

DATE	1/10/10
SCALE	1/4" = 1'-0"
DRAWN BY	JOB
CHECKED BY	DATE
SHEET	A-11
OF	SHEETS

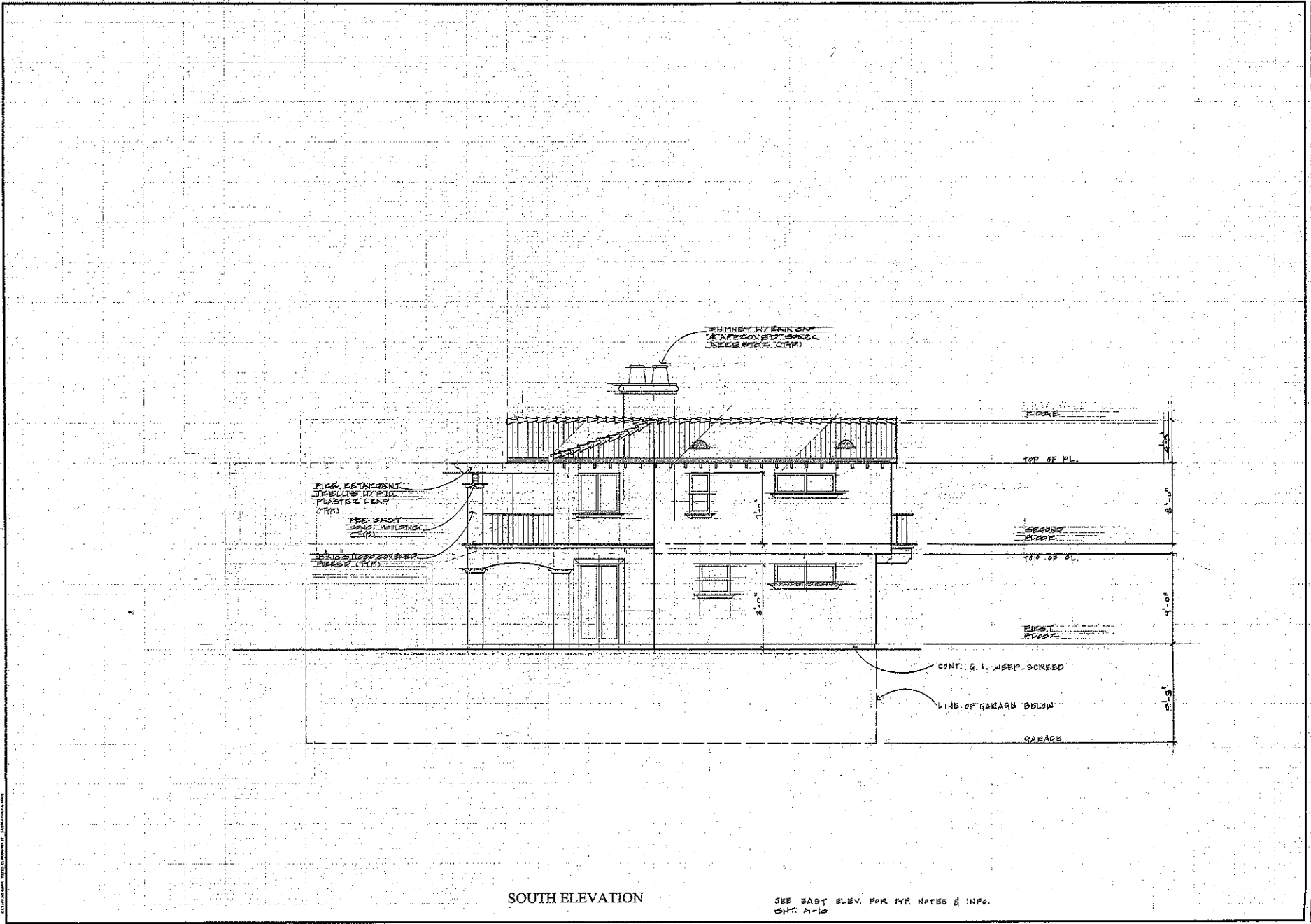
REVISIONS	BY



WEST ELEVATION

SEE EAST ELEV. FOR TYP. NOTES & INFO.

DATE	1/11/00
SCALE	1/4" = 1'-0"
DRAWN	
APP'D	06-09-00
SHEET	
A-12	
OF	SHEETS



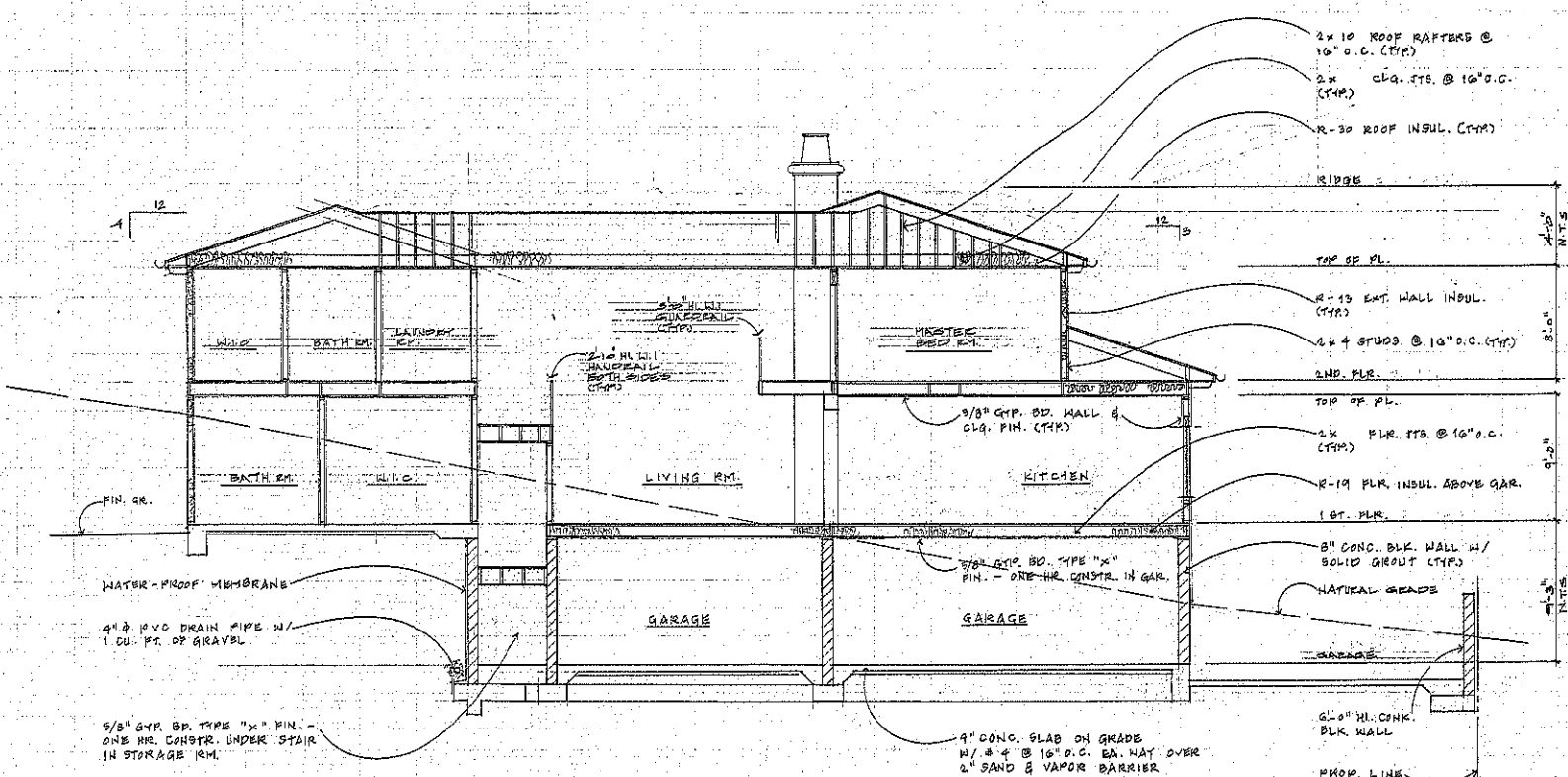
REVISIONS	BY

SOUTH ELEVATION

SEE S&PT ELEV. FOR TYP. NOTES & INFO.
SNT A-10

DATE	
SCALE	1/4"=1'-0"
DESIGN	
JOB	08-096
SHEET	
OF	A-13

REVISIONS	BY



2x10 ROOF RAFTERS @
16" O.C. (TYP)
2x CLG. JTS. @ 16" O.C.
(TYP)
R-30 ROOF INSUL. (TYP)

RIDGE

TOP OF PL.
R-13 EXT. WALL INSUL.
(TYP)
2x4 STUOS @ 16" O.C. (TYP)

2ND FLR.
TOP OF PL.
2x FLR. JTS. @ 16" O.C.
(TYP)
R-19 FLR. INSUL. ABOVE GAR.

1ST FLR.
8" CONC. BLK. WALL W/
SOLID GROUT (TYP)
NATURAL GRADE

12

10

FIN. GR.

WATER-PROOF MEMBRANE
4" Ø 1000 DRAIN PIPE W/
1.00' FT. OF GRAVEL

5/8" GYP. BD. TYPE "X" FIN. -
ONE HR. CONSTR. UNDER STAIR
IN STORAGE RM.

5/8" GYP. BD. TYPE "X" FIN.
- ONE HR. CONSTR. BOTH SIDES
(TYP)

5/8" GYP. BD. WALL &
CLG. PIN. (TYP)

5/8" GYP. BD. TYPE "X"
FIN. - ONE HR. CONSTR. IN GAR.

4" CONC. SLAB ON GRADE
W/ 2x4 @ 16" O.C. EX. MAT OVER
2" SAND & VAPOR BARRIER

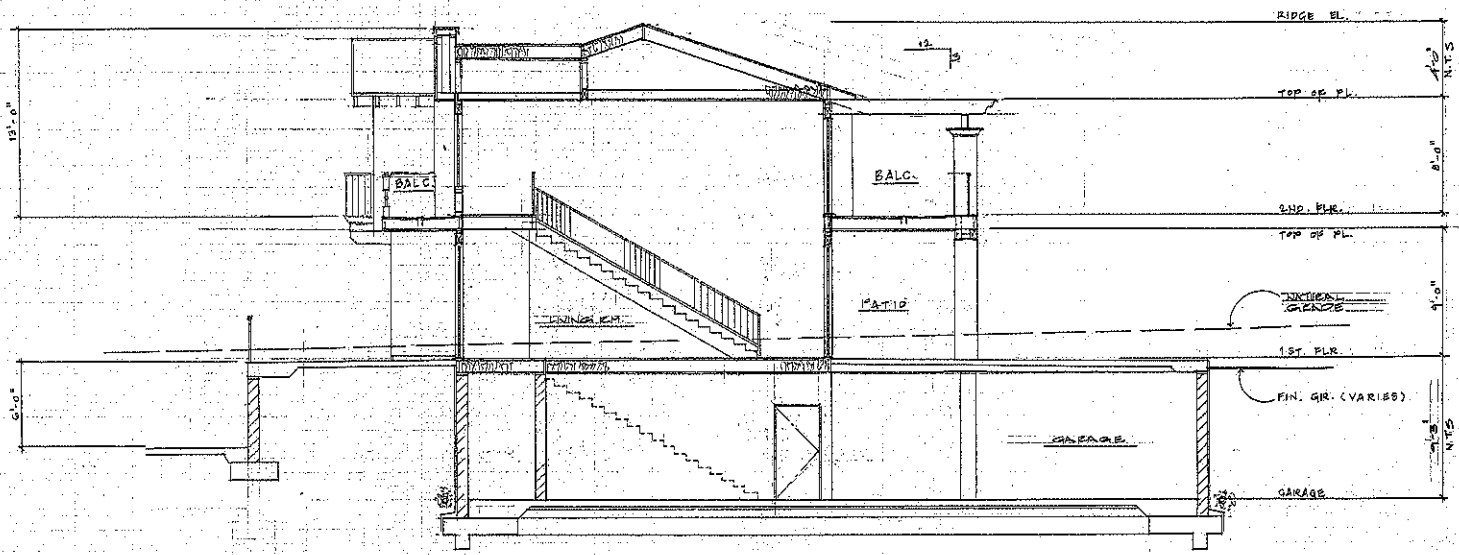
6" Ø HI. CONC.
BLK. WALL

PROP. LINE

SECTION "A-A"

1" = 8'-0" SCALE
NOT ORIGINAL SCALE
EAST ELEV.

DATE	
SCALE	1/4" = 1'-0"
DRAWN	
CHECKED	
JOB	02-096
SHEET	
OF	A-14
SHEETS	



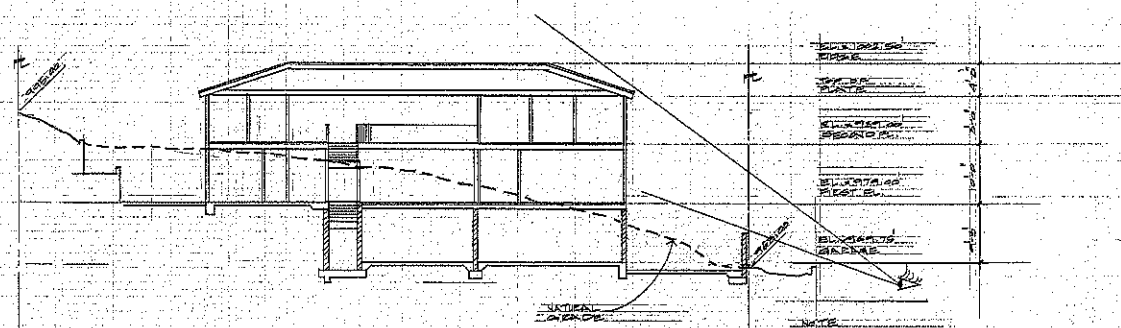
SECTION "B-B"

SEE SECTION "A-A" FOR TYP. NOTES & INFO.
 1/4" EAST ELEV. "B" - "B"

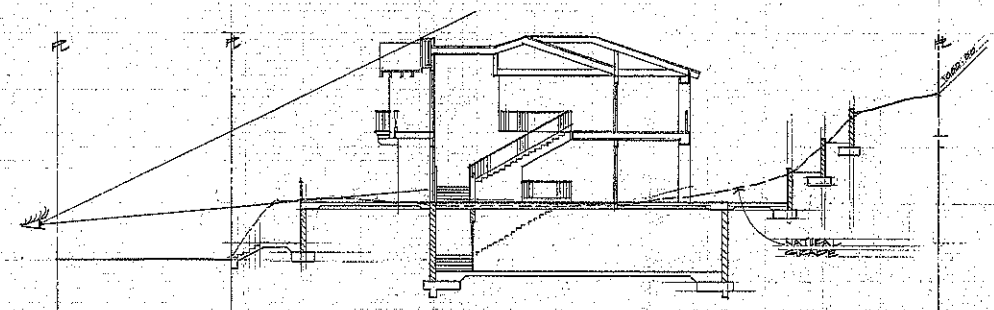
REVISIONS	BY

DATE	
SCALE	1/4" = 1'-0"
DRAWN	
NO.	00-010
SHEET	
A-15	
OF	SIXTEEN

REVISIONS	BY



LINE OF SIGHT FROM NORTHERLY
NEIGHBOUR

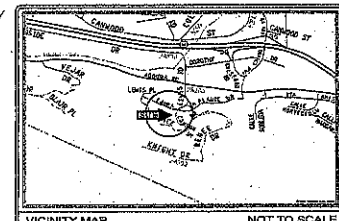


LINE OF SIGHT FROM EASTERLY
NEIGHBOUR

DATE	
SCALE	1/4" = 1'-0"
DRAWN	
JOB	06-098
SHEET	
OF	A-16
SHEETS	

ARCHITECTURAL DESIGN ASSOCIATES, INC.

TRACT NO 8793
M.B. 148-88/94
BLK. 3



LEGAL DESCRIPTION
 LOTS 13 & 14 IN BLK. 3 OF TRACT NO. 8793 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

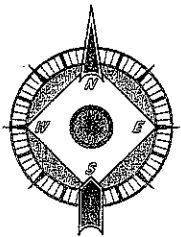
BENCHMARK
 NAIL & TAG RCE 19383 SET IN CANYON WAY AS SHOWN HEREON.
 ASSUMED ELEVATION - 100.09 FEET

BASIS OF BEARING
 THE BEARINGS HEREON ARE BASED ON THE BEARING NORTH 07°10'00" EAST OF A COURSE IN THE SOUTHEASTERLY LINE OF LOT 14 IN BLOCK 3 OF TRACT MAP NO. 8793 AS PER MAP RECORDED IN BOOK 148 PAGES 88 TO 94 INCLUSIVE OF MAPS, RECORDS OF LOS ANGELES COUNTY.

NOTES
 1. THIS MAP WAS CREATED WITHOUT THE BENEFIT OF A TITLE REPORT.
 2. BOUNDARIES SHOWN ARE PER RECORD DATA ACCEPT FOR COMMON LINE BETWEEN LOTS 13 & 14, EXCEPT PER FOUND MONUMENTS.
 3. TOR IS NOT RESPONSIBLE FOR ANY ITEMS THAT MAY BE OMITTED FROM THIS MAP DUE TO DENSE BRUSH, PARKED AUTOMOBILES, OR OTHER OBSTRUCTIONS AT TIME OF SURVEY. HARDSCAPE W/O SURVEY DATA IS APPROX.

LEGEND (STANDARD)

---	CENTERLINE
- - -	PROPERTY LINE
+	CHAIN LINK FENCE
o	WROUGHT IRON FENCE
o	WOOD FENCE
	RETAINING WALL
	NON-STRUCTURAL WALL
AC	ASPHALT CONCRETE
BLDG	BUILDING
BW	BACK OF WALK
CL	CENTERLINE
CLT	CHAIN LINK FENCE
CONC	CONCRETE
DRN	DRAIN
EX	EDGE OF GUTTER
FD	FOUND
FF	FURNISHED FLOOR
PH	FIRE HYDRANT
FLW	FLOW LINE
FNC	FENCE
FM	FIRE PLACE
GM	GRASS
LAT	LEAD AND TACK
NG	NATURAL GROUND
OH	OVERHEAD / OVERHANG
PL	PLASTER
PL	PROPERTY LINE
PP	POWER POLE
SMH	SEWER MANHOLE
TC	TOP OF CURB
TV	TOP OF WALL
TK	TOP OF DRIVEWAY
WIP	WROUGHT IRON FENCE
WM	WATER METER
[Pattern]	ASPHALT CONCRETE
[Pattern]	BRICK
[Pattern]	CONCRETE



LAND SURVEYING

EDDOR ENGINEERING
 1500 GLENDALE CALIFORNIA 91205
 T. 818.761.5295

TOPOGRAPHIC SURVEY

DATE: 06.12.08
 SCALE: 1" = 10'
 DRAWN BY: N.H.
 CHECKED BY: K.S.

PROJECT NO: BREW-002
 DRAWING NO: 1

PROJECT: VACANT LAND ACQUISITION
 2620 MAGIC MOUNTAIN PARKWAY #74
 VALENCIA, CA 91355
 TEL: 861.645.1885

PROJECT NO: BREW-002
 DRAWING NO: 1

SHEET 1 OF 1

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFFS.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT, PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT, PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 10%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONTINUED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

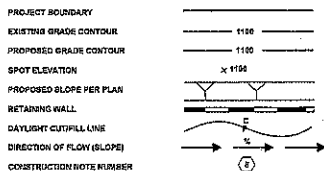
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTION.

ABBREVIATIONS

- | | |
|-------------------------|----------------------------|
| AC - ASPHALTIC CONCRETE | NG - NATURAL GROUND |
| BF - BOTTOM OF FOOTING | NTS - NOT TO SCALE |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CF - CURB FACE | PBS - POINT OF BEGINNING |
| E - CENTERLINE | SDMH - STORM DRAIN MANHOLE |
| CLF - CURB LINE FENCE | SMH - SEWER MANHOLE |
| CO - CLEAN OUT | SS - SANITARY SEWER |
| DB - DEBRIS BASIN | TB - TOP OF BERM |
| DL - DRAUGHT | TC - TOP OF CURB |
| EG - EDGE OF GUTTER | TF - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TO - TOP OF CURB |
| FF - FINISHED FLOOR | TV - TOP OF WALL |
| FG - FINISHED GRADE | TY - TYPICAL |
| FH - FIRE HYDRANT | WV - WATER VALVE |
| FL - FLOWLINE | WV - WATER METER |
| FS - FINISH SURFACE | WV - WATER VALVE |
| HC RMP - HANDICAP RAMP | |
| HP - HIGH POINT | |
| INV - INVERT | |

LEGEND AND SYMBOLS



PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
4323 LAS VIRGENES ROAD
GALABASAS, CA 91302
(916) 386-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA EDISON
3388 FORTMILL DRIVE
TUCULSAND GARD, CA 91301
(916) 454-7015
- TELEPHONE:** SBC (PAC BELL)
15291 RAYNER STREET, #114
VAN NUYS, CA 91406
(916) 373-0889
- GAS:** SOUTHERN CALIFORNIA GAS
3400 OAKDALE AVENUE
GASBORTHY, CA 91312
(916) 701-3324
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1500 E. FREEDOM AVENUE, BLDG AS EAST
ALHAMBRA, CA 91803
(818) 300-5009
- CABLE:** ADELPHI
2322 TELLES ROAD
NEWBURY PARK, CA 91320
(805) 378-2513
- CABLE:** CHARTER COMMUNICATIONS
3006 CROSSCREEK ROAD
MILLIS, CA 91555
(916) 456-0019
- CALTRANS:** CALTRANS
858 BERSERDA BOULEVARD
TARLONA, CA 91356
(818) 364-1426



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE REVIEWED AND APPROVED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF DISPERSE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF THREE PER YEAR, ONCE DURING THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (916) 987-7336, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."

LEGAL DESCRIPTION

LOTS 19 & 18A BLK. 3 OF TRACT NO. 8783 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 149 PAGES 36 TO 34 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GRADING PLAN
3	SECTIONS AND DETAILS
4	ELOPE ANALYSIS

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	1472_CY	ESTIMATED EXPORT:	1472_CY
ESTIMATED FILL:	2_CY	ESTIMATED IMPORT:	0_CY
ESTIMATED OVER-EXCAVATION:	0_CY		

BENCHMARK			
DESCRIPTION; BM NO.	1000	ELEVATION;	694.184 FEET
		SURVEY DATE:	1972

RECORD DRAWING STATEMENT			
I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCES, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER	DATE	REC NO.	EXP. DATE

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____			
REGISTERED GEOLOGIST	DATE	REC NO.	EXP. DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	REC NO.	EXP. DATE

OWNER

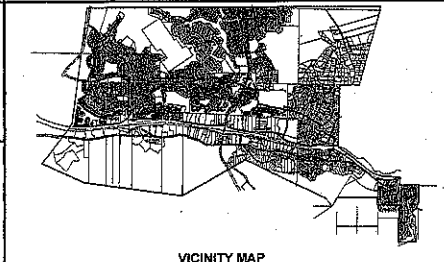
NAME: STONY POINT CONSTRUCTION
ADDRESS: 24207 MAGIC MTL. PARKWAY #74, VALENCIA, CA 91356
REPRESENTATIVE: THOMAS BREWER
TELEPHONE: (818) 644-1458

CIVIL ENGINEER

NAME: BMM ENGINEERING
ADDRESS: 6811 MAYVENBURY AVE, 2ND FLOOR VAN NUYS, CA 91410
REPRESENTATIVE: BEN MAJORS
TELEPHONE: (818) 921-8009

GEOTECHNICAL ENGINEER

NAME: STRATUM GEOTECHNICAL CONSULTANTS
ADDRESS: 24815 MULHOLLAND HIGHWAY, GALABASAS, CA 91302
REPRESENTATIVE: RORY A. ROBINSON
TELEPHONE: (818) 322-4668

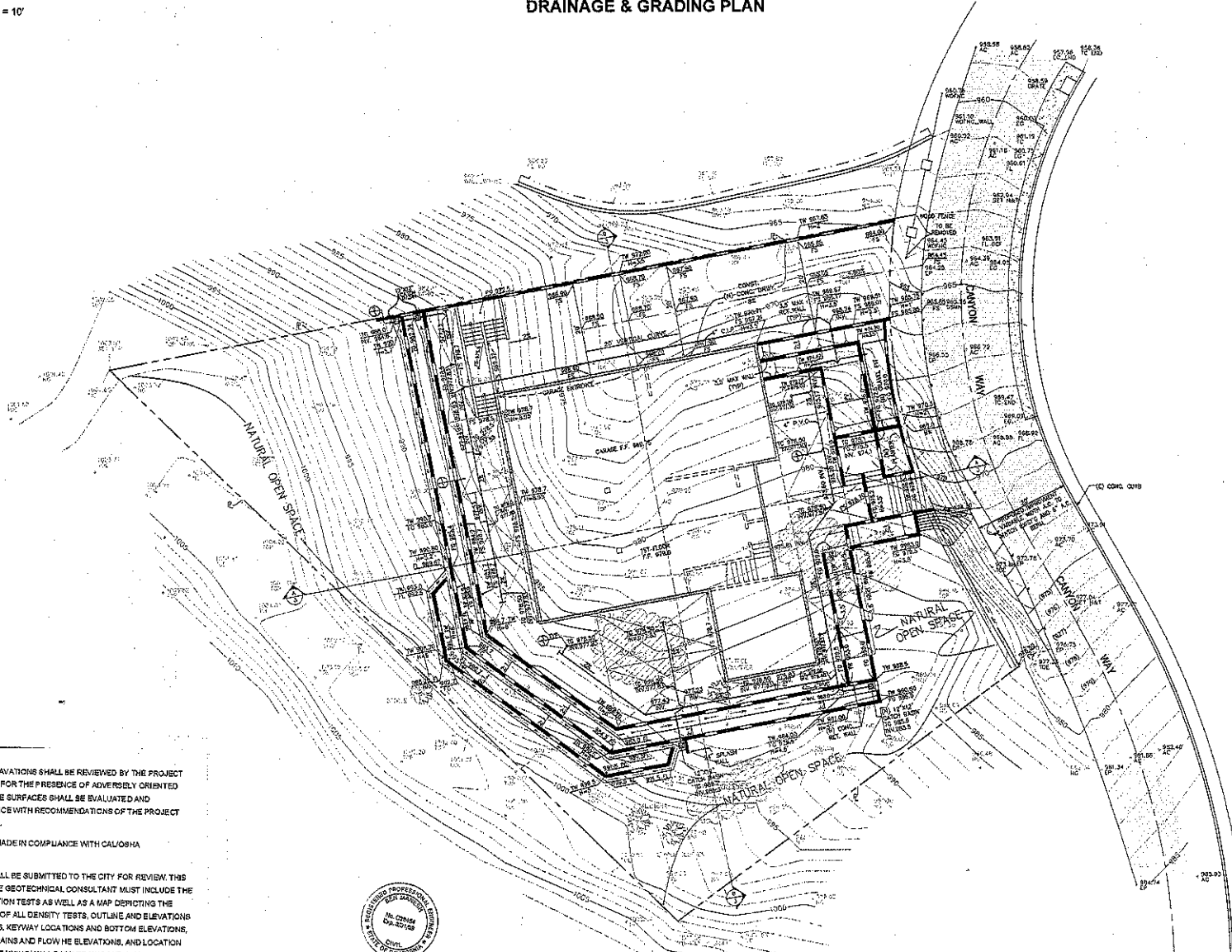


REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: BMM ASSOCIATES, INC. BEN NARESHT NO. CS2454 EXP. 03.31.09	CITY OF AGOURA HILLS APPROVAL	REVIEWED BY: RAHMO ADEVA CITY ENGINEER	DATE	REC NO.	EXP. DATE	GRADING PLAN 4833 CANYON WAY, AGOURA HILLS, CA 91301	SHEET 1 OF 4
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SCALE: 1" = 10'

DRAINAGE & GRADING PLAN

DATE: 03.18.09



NOTE:

- ALL RETAINING WALL EXCAVATIONS SHALL BE REVIEWED BY THE PROJECT ENGINEERING GEOLOGIST FOR THE PRESENCE OF ADVERSELY ORIENTED JOINT SURFACES. ADVERSE SURFACES SHALL BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
- AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUB DRAINS AND FLOOR ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACK DRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.

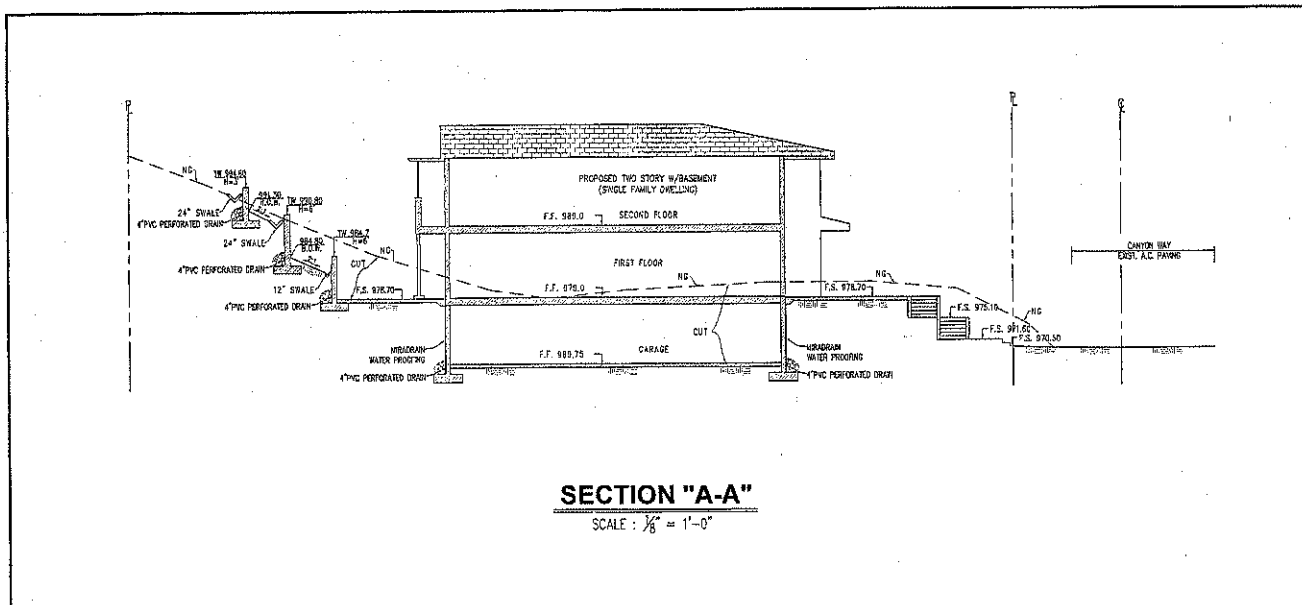


PREPARED BY: **BMI ASSOCIATES, INC.**
 491 WOODBURY AVE, PMB 100
 SAN ANTONIO, TEXAS 78204
 TEL: 214-343-8888
 FAX: 214-343-8889
 EMAIL: info@bmiassoc.com
 BEN IVANISH NO. 44364
 EXP. 03.31.09

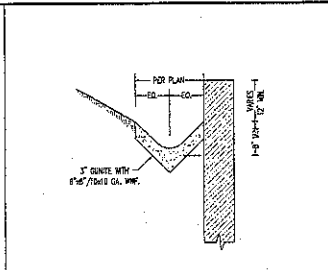
CITY OF AGOURA HILLS APPROVAL
 REVIEWED BY: _____ DATE: _____
 RAMIRO ADEVA
 CITY ENGINEER



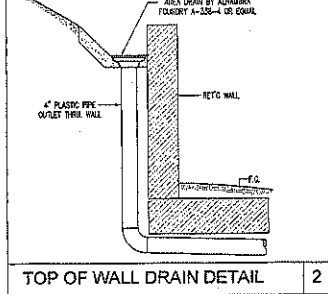
GRADING PLAN
 4833 CANYON WAY
 AGOURA HILLS, CA 91301



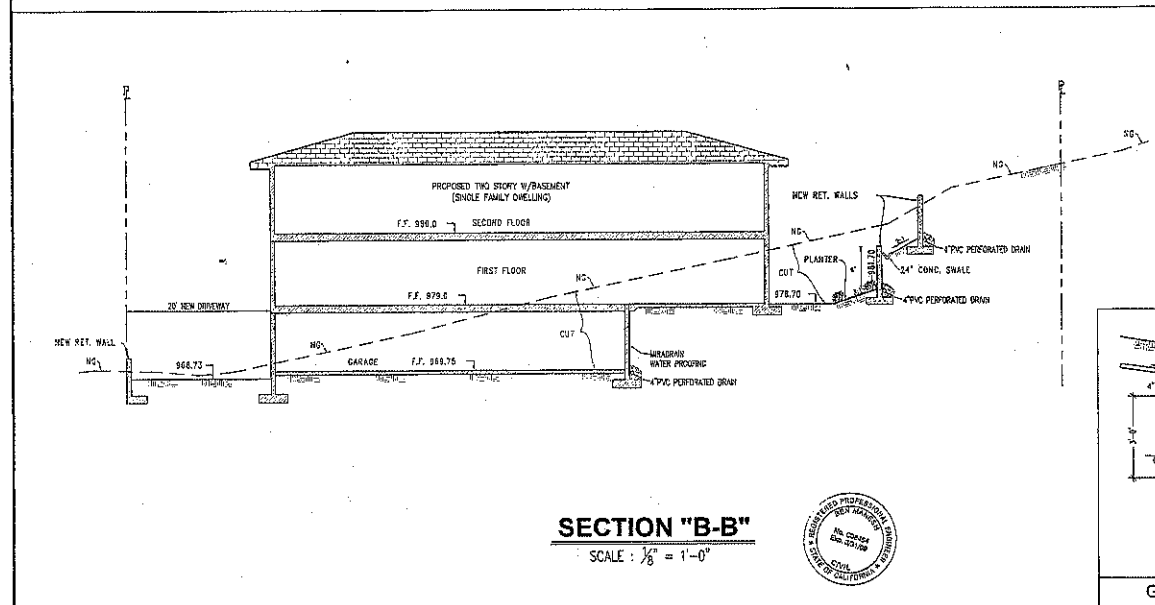
SECTION "A-A"
SCALE: $\frac{1}{8}'' = 1'-0''$



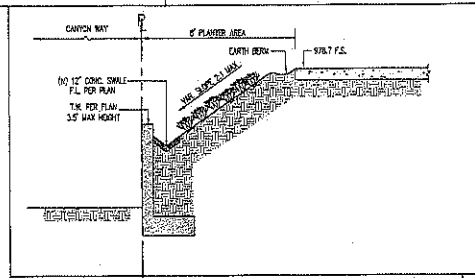
CONC. SWALE DETAIL 1



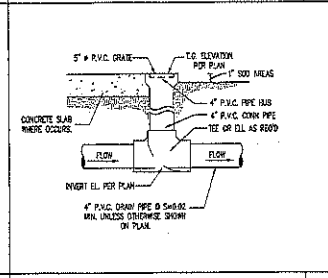
TOP OF WALL DRAIN DETAIL 2



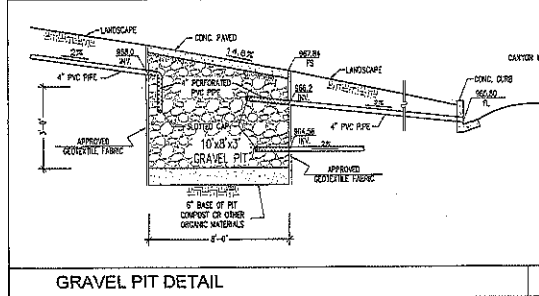
SECTION "B-B"
SCALE: $\frac{1}{8}'' = 1'-0''$



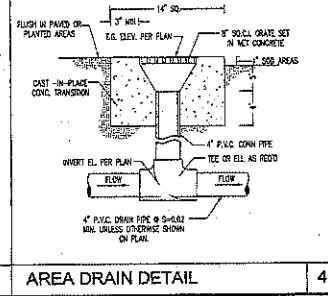
FRONT PROPERTY PLANTER SECTION 6



PATIO & DECK DRAINS 3

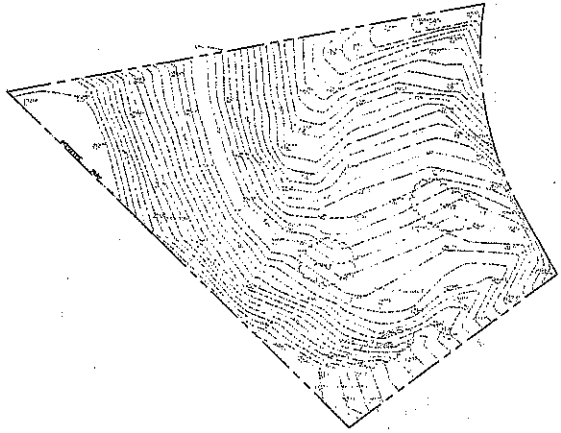


GRAVEL PIT DETAIL 5



AREA DRAIN DETAIL 4

PREPARED BY: BMI ASSOCIATES, INC. 8811 SANDHURST AVE. #204 SAN DIEGO, CA 92128 TEL: (619) 591-1100 FAX: (619) 591-1101 WWW.BMI-ASSOCIATES.COM				CITY OF AGOURA HILLS APPROVAL REVIEWED BY: _____ DATE: _____ NEW BERKMAN CITY ENGINEER				63040 TRCE NO.		12/01/07 EXP DATE		SECTION AND DETAILS 4833 CANYON WAY, AGOURA HILLS, CA 91301 SHEET 3 OF 4	
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	BER MORSHESH	NO. 028824	EXP. 03.31.09	DATE	DATE	DATE	DATE		



KEY MAP

SCALE: 1"=20'

AVERAGE SLOPE ANALYSIS

TOTAL AREA = 16360 SQ FT

L = 5069 FT

$$\text{AVERAGE SLOPE} = \frac{(DL)(100)}{A}$$

$$= \frac{(15089 \times 100)}{16360} = 31\%$$

BASED ON S = 31%

OPEN SPACE AREA IS 92.5% (16360) = 15133 SQ FT

BUILDING FLOOR AREA IS 7.5% (16360) = 1227 SQ FT

MAXIMUM FLOOR AREA IS (.12)(16360) = 1963 SQ FT

≈ 2000 SQ FT

CONTOUR	LENGTH
965	9
966	31
967	62
968	92
969	122
970	152
971	182
972	212
973	242
974	272
975	302
976	332
977	362
978	392
979	422
980	452
981	482
982	512
983	542
984	572
985	602
986	632
987	662
988	692
989	722
990	752
991	782
992	812
993	842
994	872
995	902
996	932
997	962
998	992
999	1022
1000	1052
1001	1082
1002	1112
1003	1142
1003.32	1172



LOT COVERAGE

TOTAL LOT AREA: 16360 SQ FT

BLDG. COVERAGE: (2005/16360) × 100 = 12.26 %

NATURAL OPEN SPACE: (9155/16360) × 100 = 56.14 %

LANDSCAPE: (2220/16360) × 100 = 13.75 %

HARDSCAPE:

• DRWY COVERAGE: (1700/16360) × 100 = 10.39 %

• PATIO: (1250/16360) × 100 = 7.64 %

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: **EMI ASSOCIATES, INC.**
2011 ANCHORAGE AVE. STE. 200
 900 W. 10TH ST. SUITE 200
 TULSA, OK 74103
 TEL: 918-439-9200
 FAX: 918-439-9201
 WWW.EMIASSOCIATES.COM

BEN MADRESH NO. 22854
 CIVIL ENGINEER
 EXP. 02.31.09

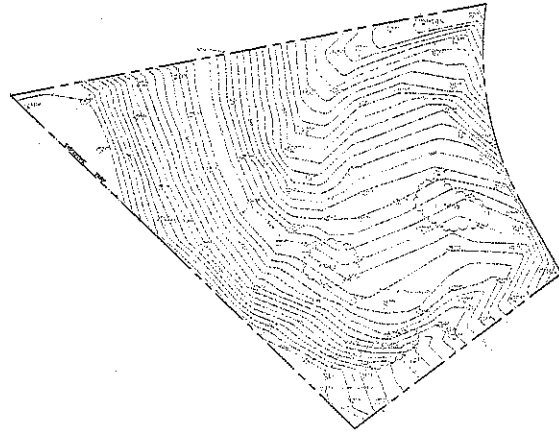
REVIEWED BY: _____ DATE: _____

CITY OF AGOURA HILLS APPROVAL

RAMIRO ADEVA DATE: _____ "ACE" NO.: _____ EXP. DATE: _____
 CITY ENGINEER



SLOPE ANALYSIS
 4833 CANYON WAY.
 AGOURA HILLS, CA 91301



KEY MAP

SCALE: 1"=20'

AVERAGE SLOPE ANALYSIS

TOTAL AREA = 16360 SQ FT

L = 5089 FT

$$\text{AVERAGE SLOPE} = \frac{(L)(100)}{A}$$

$$= \frac{(1)5089 \times 100}{16360} = 31\%$$

BASED ON S = 31%

OPEN SPACE AREA IS 92.5% (16360) = 15133 SQ FT

BUILDING FLOOR AREA IS 7.5% (16360) = 1227 SQ FT

MAXIMUM FLOOR AREA IS (.12)(16360) = 1963 SQ FT

≈ 2000 SQ FT

CONTOUR	LENGTH
965	8
966	20
967	32
968	40
969	48
970	56
971	64
972	72
973	80
974	88
975	96
976	104
977	112
978	120
979	128
980	136
981	144
982	152
983	160
984	168
985	176
986	184
987	192
988	200
989	208
990	216
991	224
992	232
993	240
994	248
995	256
996	264
997	272
998	280
999	288
1000	296
1001	304
1002	312
1003	320



LOT COVERAGE

TOTAL LOT AREA : 16360 SQ.FT

BLDG. COVERAGE : (2005/16360) × 100 = 12.26 %

NATURAL OPEN SPACE : (9185/16360) × 100 = 56.14 %

LANDSCAPE : (2220/16360) × 100 = 13.75 %

HARDSCAPE:

• DRWY COVERAGE : (1700/16360) × 100 = 10.39 %

• PATIO : (1250/16360) × 100 = 7.64 %

CITY OF AGOURA HILLS APPROVAL

PREPARED BY: BMI ASSOCIATES, INC.

BEN MADHESH NO. CS8654
EXP. 03.31.09

REVIEWED BY: DATE

RAMIRO ADEVA
CITY ENGINEER

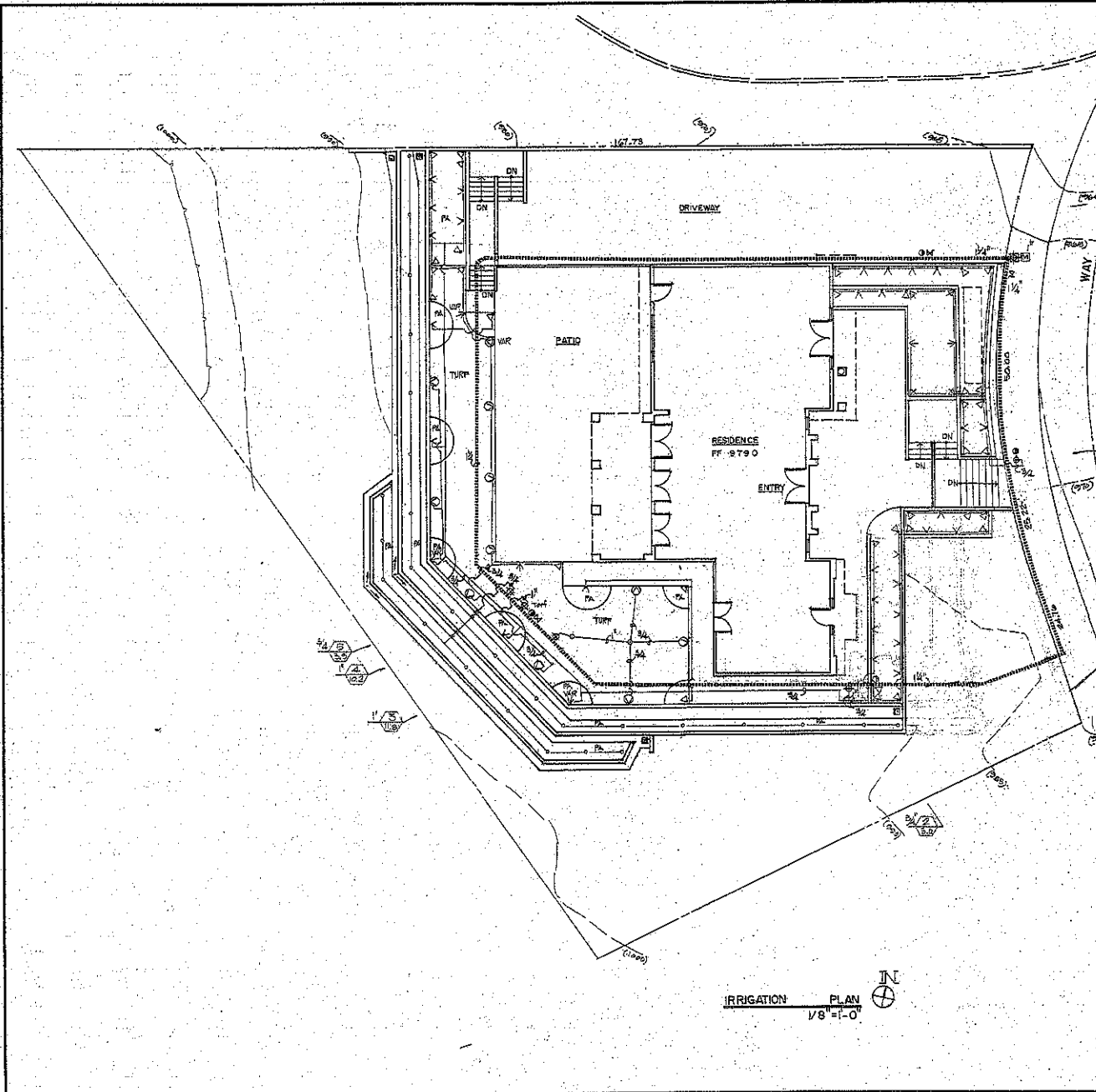
DATE



SLOPE ANALYSIS

4833 CANYON WAY,
AGOURA HILLS, CA 91301

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE



IRRIGATION PLAN
1/8" = 1'-0"

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/DESCRIPTION	NOZZLE	BOSS	PSI	GPM	SAD
○	ANY 1/2" SPRAY	8-PC	1002-60-PRK	30	0.18	1'
○	ANY 1/4"	8-PC			0.09	5'
○	ANY 1/2"	8-PC			1.09	8'
○	ANY 1/2"	8-PC			1.50	8'
○	ANY 1/2"	8-PC			0.24	5'
○	ANY 1/2"	8-PC			2.19	12'
○	ANY 1/2"	12-PC			1.09	12'
○	ANY 1/2"	12-PC			0.58	12'
○	ANY 1/2"	12-PC			3.80	15'
○	ANY 1/2"	15-PC			1.88	15'
○	ANY 1/2"	15-PC			0.85	15'
○	ANY 1/2"	0-TYH			2.20	8'
○	ANY 1/2"	12-TYH			1.40	12'

○	NETAPIN TECHLITE 1700	T1710-12025			1.07 (COP)	
○			AN/JARDON RELIEF VALVE	15"		
○			TECH FILTER		1000	
○			PRESSURE REGULATOR		1/2" 075 9 12-200	
○			LINE FLUSH VALVE		1" ISO 07-1	
○	IRRIROL	"TOTAL CONTROL" 9 STATIONS EXTERIOR POINT ON WALL			10-06X-9	
○	IRRIROL	RAIN FREEZE SENSOR			15 1000	
○	IRRIROL	SUPERIOR BRASS ELECTRIC GLOBE VALVE			5000/20/950	
○	IRRIROL	BRASS REDUCED PRESSURE ASSY. 1"			0877	
○	ANY	BRASS GATE VALVE 2 1/2" WITH BENT HOSE				
○	ANY	BRASS GATE OR BALL VALVE				
○	ANY	WATER METER	SCHEDULE 40	BURY 12" COVER		
○	ANY	LAYOUT LINE	SCHEDULE 40	BURY 18" COVER		
○	ANY	MAIN LINE	SCHEDULE 40			
○	ANY	GRABBER				

STATION	VALVE SIZE	DWG. SIZE	DWG. SCH. 40	DWG. SCH. 40	TYPE X COPPER
1/2"	1"	1"	1"	1"	0-3
3/4"	1 1/2"	1 1/2"	1 1/2"	1 1/2"	0-3
1"	2"	2"	2"	2"	7-12
1 1/4"	3"	3"	3"	3"	13-18
1 1/2"	4"	4"	4"	4"	19-24
2"	6"	6"	6"	6"	27-45



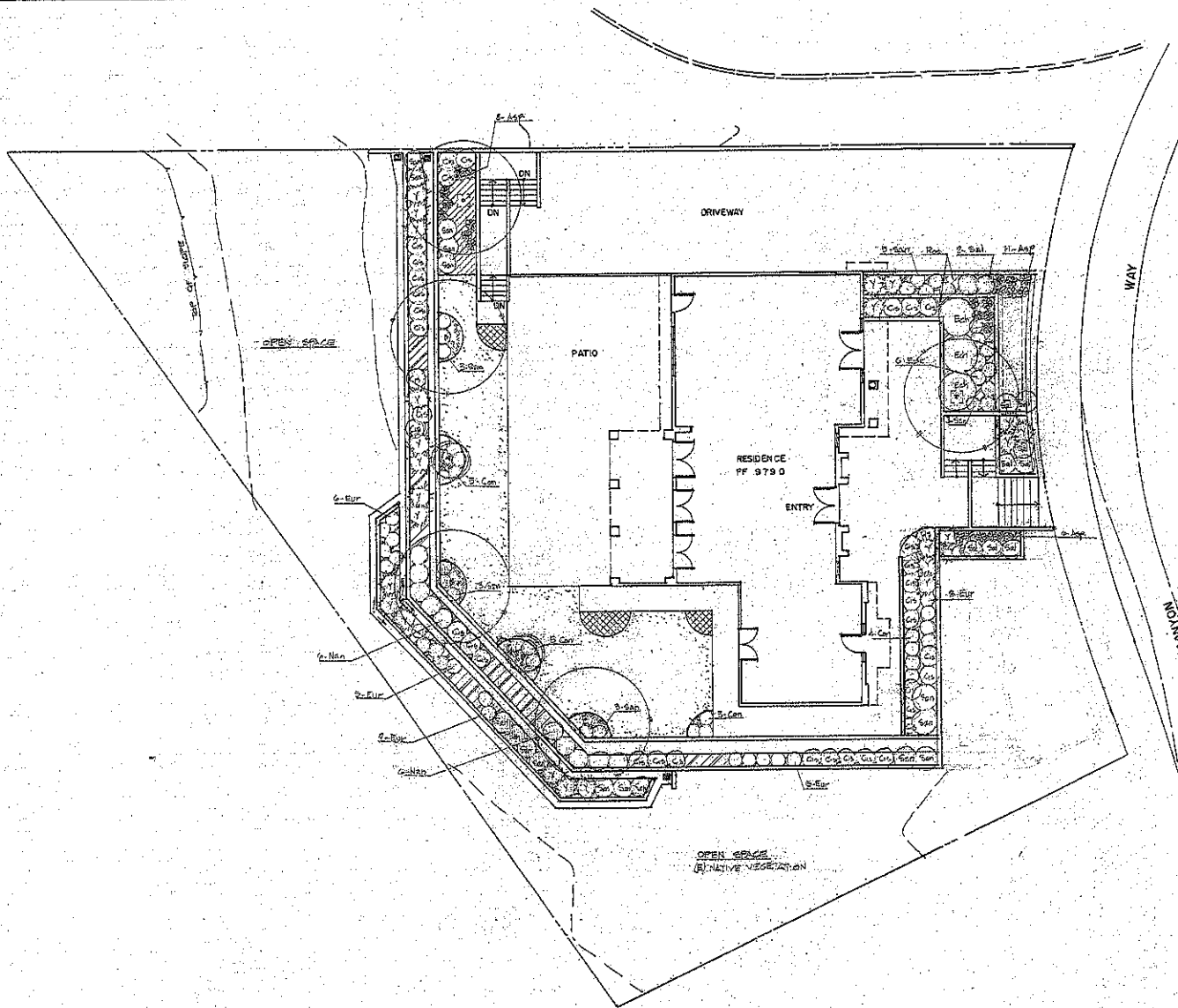
REVISIONS	BY

LESLIE A. DIEVENDORF
Landscape architect
(818) 883-6649

THOMAS BREWER
4835 CANYON WAY
AGOURA HILLS, CA. 91301
PHONE: 818.314.1018

IRRIGATION PLAN

Date: 03-10-09
Scale: NOTED
Drawn:
Job:
Sheet:
of 3



PLANT LIST

SYMBOL	QTY/SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
TREES				
Aca	4 24" box	Acacia baileyana	Bailey Acacia	(C) multi trunk 3-5
Der	1 24" box	Condalia 'Bosch Museum'	Ruby Yucca	(C) Standard
Pec	1 24" box	Microseris arborescens	Tuyen	(C) multi trunk 3-5
SHRUBS				
App	25 1 gal	Asparagus d. 'Moyses'	Hedges Asparagus	
Cis	27 5	Cistus 'Paris Ribberson'	Rockrose	
Con	17 5	Convolvulus cneorum	Spain Morning Glory	
Ech	7 1	Echium canescens	Wedge of Madness	
Eur	32 1	Euonymus pectinatus	Horizontally Spaced	
Ham	12 1	Hemlock domestica	Lavender Cotton	
San	32 1	Sarcocolla chimonophylla	Mexican Blue Sage	
Sal	15 1	Salvia leucantha		
Sal	3 1	Salvia 'Griffithsland'		
Sen	11 5	Senecio arborescens	Peashy Cassia	
Tuc	25 5	Yucca wislizeni	Our Lords Candle	
GROUND COVER PLANTS				
CHP	.100 sf	Bark chips 1/4" max		3" deep
FLR	500 flat	Rosmarinus officinalis 'Irene'	Rosmary	12" oc
THY	50 flat	Thymus serpyllium	Nether of Thyme	12" oc
HRN	.032 sf	Horsetail II		10d
ANL	100 6-pack	Annual color		12" oc

PLANTING PLAN
1/8" = 1'-0"



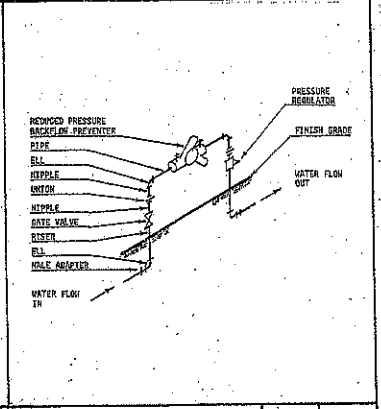
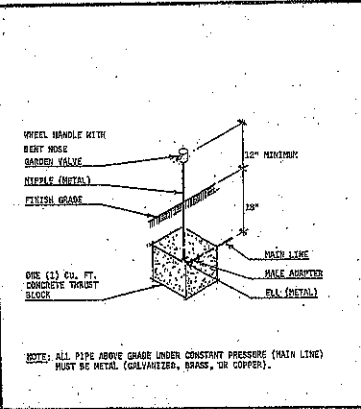
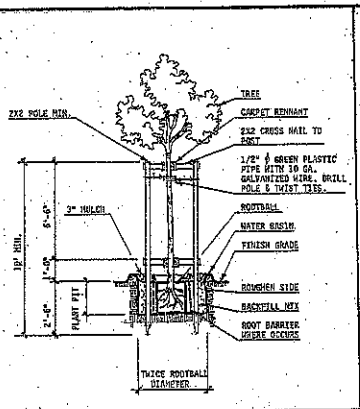
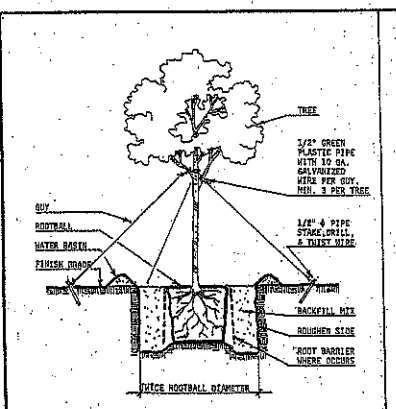
REVISIONS

LESLIE A. DIEVENDORF
landscape architect
(818) 883-6649

THOMAS BREWER
4833 CANYON WAY
AGOURA HILLS, CA. 91301
TRACT 8793 IN - LOTS 15 & 14

DATE: _____
SCALE: NOTED
DRAWN: _____
JOB: _____
SHEET: _____
OF 3 SHEETS

PLANTING PLAN

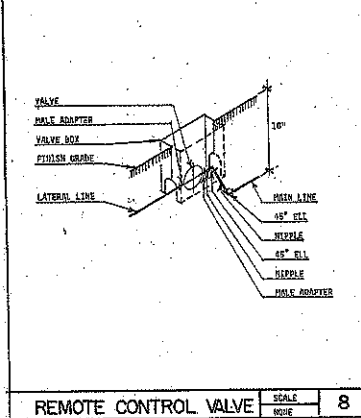
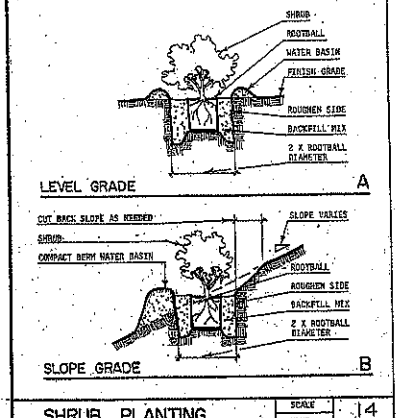


TREE GUYING SCALE NONE 13

TREE STAKING SCALE NONE 10

GARDEN VALVE SCALE NONE 7

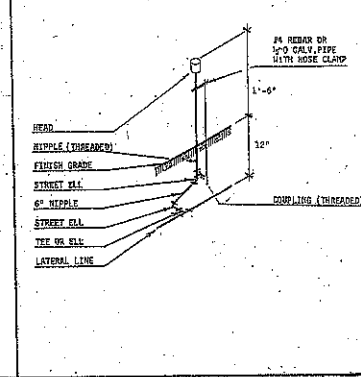
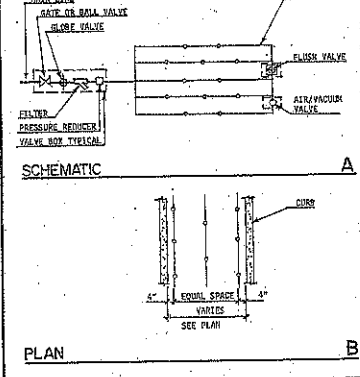
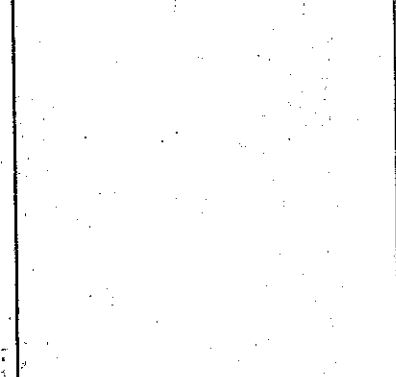
REDUCED PRESSURE BACKFLOW PREVENTER SCALE NONE 4



SHRUB PLANTING SCALE NONE 14

REMOTE CONTROL VALVE SCALE NONE 8

IRRIGATION CONTROLLER SCALE NONE 5



DRIP IRRIGATION SCALE NONE 12

SHRUB SPRAY HEAD SCALE NONE 9

POP-UP HEAD SCALE NONE 6

- 1.50 Wood attachment: Cut existing weeds to within 2" of surface. Spray with Roundup or equal.
- 1.61 After recommended time for wood kill, remove all foreign and building materials (e.g., nails, glass, paper, wire, concrete, and stones over 1" in diameter), etc. from the site.
- 1.62 Soil Preparation:
 - A. Invert and reduce compact soil 2 or 3 cy. / 1000 sq. ft.
 - B. Agricultural gypsum 20 lb. / 1000 sq. ft.
 - C. Fertilizer: see "Fert. Plan" or 6" deep minimum.
- 1.63 Fine grade with no abrupt changes in grade, settle, roll turf areas and erode prior to planting, seeding or sodding.
- 1.64 Install new irrigation system. All trenching within 10' or more over 2' in diameter.
- 1.65 Sand or siltation lanes: Pre-fabricate to a depth of 6" allow joints to penetrate, spray with "Round Up" or equal.
- 1.66 Back fill mix: 6 parts site soil, 4 parts nutrient wood compost, 15 lb. / cu. yd. of 3-2-1 "Green Power" or equal. 2.5 lb. / cu. ft. iron sulfide. Mix together thoroughly prior to backfilling.
- 1.67 Plant mix and detail for size. Pit should be square in shape with rough sides, dirt sides and bottom with agricultural system. Add 100 nitrogen reduced compost to backfill mix.
- 1.68 Install root barriers for "Deep Root" or equal as indicated on plans.
- 1.69 Add "Agrifol" tablets 20-10-5, or equal, 2 recommended rates to pits, pre-fabricate (turf plants), backfill, sweep and water.
- 1.60 Spruce pre-emergent to planting areas not to be seeded with "Roundup", "weed Stopper", or "Pro-Secder". If area is disturbed reseed pre-emergent.
- 1.61 Which all planting areas with a fine particle mulch/compost at 3 cy. / 1000 sq. ft. deep minimum.
- 1.62 Install 1" lawn: sod - stagger joints and roll seed and sod - spread evenly, roll and topdress with 1/4" sand and stake after irrigation by L.A.
- 1.63 Plants shall include: fescue, bromus, not roughneck and new seed form.
- 1.64 Contractor shall supply 200 annuals in season, in packs, in addition to those noted on the plan.
- 1.65 Fertilizer:
 - Fescue: 6 months
 - Shrub: 90 days
- 1.66 All dead and dying plants shall be removed and replaced at the contractor's expense.
- 1.67 Reservoir shall be 1" x 4" "Band-a-board" byptic plastics, Richmond Ca. 94801. Stakes shall be 12" long min. at 4 to 5' on center.

PLANTING NOTES

- 5.00 This plan is diagrammatic.
- 5.01 This system is designed for .75 psi operating pressure at the source.
- 5.02 A 1/2" male plug-in outlet shall be provided at the irrigation controller location.
- 5.03 Pressure lines or laterals above grade shall be schedule 40 galvanized steel, copper type L, brass, or UV resistant PVC pipe with end elbows.
- 5.04 Stakes at 10' o.c. all above ground horizontal pipe with a hooked steel stake 1/2" x 10" in wall.
- 5.05 Use PVC pipe glue and primer approved by local codes.
- 5.06 Above ground risers shall be schedule 40.
- 5.07 Stake all risers (greater than 12" above grade with 1/2" dia. pipe or 2" rubber. Tie with hose clamp.
- 5.08 Locate all valves to planting areas.
- 5.09 All electrical connectors shall be water resistant connectors.
- 5.10 Backfill in trenches shall contain no stones over 1/2" dia. or other debris.
- 5.11 All pipes in trenches shall have a minimum horizontal spacing of 4" .
- 5.12 Top control wires to note time at 8' o.c..
- 5.13 Flush and pressure test main line and laterals for 2 hours minimum before backfilling.
- 5.14 Sleeves under paving shall be schedule 40 twice the size of sleeve, having less than 2" wide gap not be sleeved. Control wires require a separate sleeve.



IRRIGATION NOTES

GENERAL NOTES

1. Landscape plan based on engineering plans by SMI ASSOCIATES, INC.
2. Any variations or corrections are to be brought to the attention of the landscape architect as soon as possible.
3. The plan is not an official or legal survey and is not intended to be used as such.
4. All trades are responsible for cleaning up and disposal of any refuse generated and caused by their work.
5. Final clean up shall leave the site free of refuse. Paving shall be swept and washed. Planting areas are to be left free of debris and trash.

REVISIONS	BY

LESLIE A. DEVENDORF landscape architect (618) 683-6649	DETAILS
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THOMAS BREWER 4833 CANYON WAY AGOURA HILLS, CA. 91001 TRACT 8783 IN LOTS 15 & 14	
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Date: Feb. 29, 2008
Scale: NOTED
Drawn:
Job:
Sheet:
3
of 3 Sheets

MAR 13 2009 3



ARCHITECT: THOMAS BREWER

CUSTOM RESIDENCE
4388 CANYON WAY
AGOURA HILLS, CALIFORNIA 91301