

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF
SIGN PERMIT CASE NO. 07-SP-036 & VARIANCE CASE NO. 08-VAR-006(B)

Section I. An application was duly filed by Agoura Business Center West, LLC, with respect to the real property located at 5301 Derry Avenue, (Assessor's Parcel Nos. 2048-012-022 & 027) requesting a recommendation of approval of a Sign Program Case No. 07-SP-036 and a Variance Case No. 08-VAR-006(B) to allow non-primary frontage signs based on a maximum of one square-foot per one linear foot of building elevation. A public hearing was duly held on May 21, 2009 and June 4, 2009, at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California on the appeal. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearings.

Section III. Pursuant to Section 9655.2.N., of the Agoura Hills Zoning Ordinance, the Planning Commission in reviewing the requested Sign Program, determined that the Canwood Street building elevation is the primary frontage.

Section IV. Pursuant to Section 9655 of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

1. The proposed sign program, as conditioned, is consistent with the objectives of the Zoning Ordinance regarding the Sign Ordinance and the purposes of the land use district in which the use is located. The sign program preserves and enhances the visual appearance of the City by its inclusion of low-profile signs that serve both motorists and pedestrians within the project site. The proposed sign program lighting and materials are compatible with the design of the building on the project site.

2. The proposed sign program, as conditioned, is consistent with the development standards of the Freeway Corridor Overlay zone in that the materials and size of the signs, and proposed subdued lighting are compatible with the city's semi-rural character.

3. The proposed sign program, as conditioned, will not be detrimental to the public health, safety, or welfare. All signs will be located entirely within private property and will allow for visual clearance for motorists and pedestrians. The project is required to comply with all requirements of the Uniform Building Code and the Agoura Hills Building and Safety Department. The building design and materials, as conditioned, will be compatible with the low profile theme of the Freeway Corridor Overlay District and will upgrade the surrounding neighborhood.

4. The proposed sign program, as conditioned, will comply with each of the applicable provisions of this Zoning Ordinance. The proposed signs comply with the provisions of the Commercial and Freeway Corridor Overlay District zones in regard to placement, height and size and will be compatible with the semi-rural character of the city.

5. That the proposed uses, as conditioned, are consistent with the goals, objectives and policies of the General Plan in that signs are low-profile in design and lighting that assist in creating an efficiently organized and aesthetically pleasing city as called for in Goal No. 1 of the General Plan Community Design Element. The Sign Program is designed to add identity to the building and not distract from its design. The monument signs will direct traffic to either driveway. The number of signs was intended to facilitate access to the tenant's main entrance. The proposed square footage is in keeping with the building design.

Section V. Pursuant to Section 9676.2.E. of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

1. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The entrance to the tenant spaces is on the north side of the building which is restricted to ten square feet in size and does not adequately identify the businesses.

2. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. Adjacent retail stores have signage over their entrance are greater than ten square feet in size.

3. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in impractical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. One of the purposes of the City Sign Ordinance is to support and promote viable businesses by allowing signage that provides adequate identification while also promoting and enhancing the quality of the visual environment of the City. Signage of the size of a secondary sign does not adequately identify the tenants within the building as viewed from the on-site parking lot.

4. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The signage will be integrated in the architecture of the building and would be in proportion with the building elevations it is attached to, and would not cause a distraction to vehicular traffic.

5. The granting of the Variance will be consistent with the character of the surrounding area. The proposed 18 square feet in size sign on the north building elevation will be architecturally compatible and proportioned with the building.

Section V. In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt a Mitigated Negative Declaration for the retail project for which the Sign Permit and Variance serve. The Mitigated Negative Declaration was the appropriate document based on the fact that the project will not cause significant impacts to citywide traffic, aesthetics and sensitive receptors including the closest residential neighborhoods. Based upon the initial study, public comments and the record before the Planning Commission, the Planning Commission finds that the Mitigated Negative Declaration identifies potentially significant environmental effects for which feasible mitigation measures have been identified which will avoid or substantially lessen such effects. The Planning Commission has reviewed the information contained in the Mitigated Negative Declaration in considering the application and finds that the Mitigated Negative Declaration was

prepared pursuant to the California Environmental Quality Act. The Planning Commission recommended the City Council adopt the Mitigated Negative Declaration and the attached Mitigation Monitoring Program for this project on May 21, 2009.

Section VI. Based on the aforementioned findings, the Planning Commission hereby recommends the approval of Sign Permit Case No. 07-SP-036 and Variance Case No. 08-VAR-006(B), subject to the attached conditions, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 4th day of June, 2009, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

John O'Meara, Chairperson

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case Nos. 07-SP-036 & 08-VAR-006(B))

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the Special Conditions stated below.
4. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case Nos. 07-SP-036 and 08-VAR-006(B) will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Sign Permit Case No. 07-SP-036 and the Variance Case No. 08-VAR-006 (B) are valid only in conjunction with 07-GPA-001, 07-ZC-001, 07-CUP-010, and VTPM 69426, and the approved Conditions of approval therein.

SPECIAL CONDITIONS

The Sign Program shall be designed according to the following criteria:

South Elevation Signage
a. The signs located on the primary frontage (facing Canwood Street) shall have a maximum square footage equal to half the width of the store front.
b. The signs located on the primary frontage shall remain in proportion with the surrounding space allocated to each one and equidistant from at least three closest points above, below and on the sides of the sign.
c. The signs shall be reverse-lit only at the exception of the monument sign which shall be externally lit.

North Elevation Signage
a. The secondary signs shall not exceed 18 square feet in size.
b. The secondary signs shall be reverse-lit.
c. The secondary signs shall be in proportion with the space allocated to each one and equidistant from at least three closest points that define the tenant frontage.
West Elevation Signage
a. One sign shall be allowed and the sign shall be less or equal to 10 square feet. Note: In the event that the applicant request a sign on that elevation, 10 square feet shall be deducted from the total square footage of the sign located on the south facing elevation for Tenant 1.
b. The sign shall be reverse-lit.
c. The sign shall be shall be in proportion with the space allocated to each one and equidistant from at least three closest points that define the tenant frontage.

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DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
May 21, 2009**

CALL TO ORDER:

Chair O'Meara called the meeting to order at 6:31 p.m.

FLAG SALUTE:

Commissioner Rishoff

ROLL CALL:

Chair John O'Meara, Commissioners Steve Rishoff and Cyrena Nouzille. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

Also, present were Assistant Community Development Director Doug Hooper, Principal Planner Allison Cook, Associate Planner Valerie Darbouze, Senior Civil Engineer Jay Patel, City Oak Tree and Landscape Consultant Ann Burroughs, Rincon Consultants, Inc., Sean Wazlaw, PBS&J Consultant Carrie Garlett, and Recording Secretary Sheila Keckhut.

Chair O'Meara stated that the Commissioners had received notification of Vice Chair Zacuto's and Commissioner Buckley Weber's requests for excused absences from the meeting due to scheduling conflicts. There were no objections to excusing the absences.

APPROVAL OF MINUTES

1. Minutes – April 16, 2009 Planning Commission Meeting

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to approve the Minutes of the April 16, 2009 Planning Commission Meeting. Motion carried 2-0-1. Chair O'Meara abstained. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

2. Minutes – May 7, 2009 Planning Commission Meeting

On a motion by Commissioner Nouzille, seconded by Chair O’Meara, the Planning Commission moved to approve the Minutes of the May 7, 2009 Planning Commission Meeting. Motion carried 2-0-1. Commissioner Rishoff abstained. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

PUBLIC COMMENTS

(This section is reserved for persons wishing to speak on items not listed on the Agenda. Please submit a “Speaker’s Card” to the Recording Secretary and limit testimony to 3 minutes.)

PUBLIC HEARING

3. REQUEST:

Request for the Planning Commission to approve and provide a recommendation to the City Council regarding a proposed Conditional Use Permit to construct a 22,617 square foot retail center; a Sign Permit for the centers’ sign program; a Variance from Zoning Ordinance Section 96.06.2.E. to construct a 17 foot high retaining wall, instead of a maximum 6 foot high wall, and a Variance from Sections 9655.8.B.1.a & j for the proposed Sign Permit to allow non-primary frontage signs based on a maximum of one square-foot per one linear foot of building elevation; a Vesting Tentative Parcel Map to reconfigure two parcel boundaries; a General Plan Amendment to change the land use designation of approximately 1.82 acres of the property from Business Park-Manufacturing (BP-M) to Commercial-Retail/Service (CG); a Zone Change to change the zoning designation of approximately 1.82 acres of the property from Business Park-Manufacturing-Freeway Corridor Overlay (BP-M-FC) to Commercial Retail Service-Freeway Corridor Overlay (CRS-FC); and the adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program.

APPLICANT: Agoura Business Center West
5301 Derry Avenue
Agoura Hills, CA 91301

CASE NOS.: 07-GPA-001, 07-ZC-001, 07-CUP-010, VTPM 69426, 07-SP-036 and 08-VAR-006

LOCATION: 30315 Canwood Street
(A.P.N. 2054-020-040)

ENVIRONMENTAL
DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: Staff recommended approval of General Plan Amendment – Case No. 07-GPA-001, Zone Change – Case No. 07-ZC-001, Conditional Use Permit – Case No. 07-CUP-010, Vesting Tentative Parcel Map No. 69496, Sign Permit Case No. 07-SP-036 and Variance Case No. 08-VAR-006, subject to conditions.

PUBLIC COMMENTS: Chair O'Meara opened the Public Hearing

The following persons spoke on this agenda item:

Bill Poe, Applicant

Rick Gunter – Architect representing the applicant

Brian Gelt, representing the applicant

Daniel Farkash, resident representing Robyn Britton, Old Agoura Homeowners Association

Chair O'Meara closed the Hearing

The following persons turned in speaker cards but did not speak

Carl Ballard, Kunzman & Associates, representing the applicant

Don Waite, Westland Civil, representing the applicant

REBUTTAL: Rick Gutner, Architect, representing the applicant, gave rebuttal regarding the project and answered additional questions of the Planning Commission.

Chair O'Meara closed the public hearing.

RECESS: Chair O'Meara called for a recess at 8:30 p.m.

RECONVENE: Chair O'Meara reconvened the meeting at 8:43 p.m.

ACTION: On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to approve Conditional Use Permit Case No. 07-CUP-010, subject to conditions, and the project Mitigated Negative Declaration and Mitigation Monitoring Program. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to approve Variance Case No. 08-VAR-006 for the proposed wall height, subject to conditions. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to approve Vesting Tentative Parcel Map 69426, subject to conditions. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to approve Zone Change Case No. 07-ZC-001, subject to conditions. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to recommend that the City Council approve General Plan Amendment Case No. 07-GPA-001, subject to conditions. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

On a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission moved to have staff return at the June 4, 2009 Planning Commission meeting with a resolution of approval for Sign Permit Case No. 07-SP-036, and a resolution of denial for Variance Case No. 08-VAR-006, for the proposed sign variance. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.

ENVIRONMENTAL IMPACT REPORT SCOPING MEETING:

4. REQUEST:

Request for the Planning Commission to hold a public scoping meeting, and receive comments from agencies regarding environmental issues that should be addressed in the General Plan Update Environmental Impact Report.

APPLICANT: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

LOCATION: Citywide

RECOMMENDATION: Staff recommended the Planning Commission hold a scoping meeting to receive agency comments on the environmental issues to be addressed in the General Plan Update Environmental Impact Report.

PUBLIC COMMENTS: Chair O'Meara opened the scoping meeting for public comments.

The following persons spoke on this agenda item:

Ruth Gerson – President of Santa Monica Mountains Trails Council

Colleen Homes, Cornell Preservation Organization (CPO)

Mandy Heller, CPO

Maureen Sowell, resident representing CPO

The following persons turned in speaker cards but did not speak

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ACTION: Staff received the public comments. No action was required of the Planning Commission.

ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDA
(Planning Commission and Staff)

Chair O'Meara announced his daughter Jillian was Mayor for the day and thanked staff for honoring her.

ADJOURNMENT

At 9:20 p.m., on a motion by Commissioner Rishoff, seconded by Commissioner Nouzille, the Planning Commission adjourned the meeting to the next scheduled Planning Commission meeting on Thursday, June 4, 2009, at 6:30 p.m. Motion carried 3-0. Vice Chair Zacuto and Commissioner Buckley Weber were absent.



DATE: JUNE 4, 2009

TO: PLANNING COMMISSION

FROM: PLANNING STAFF

SUBJECT: SIGN PERMIT CASE NO. 07-SP-036 AND VARIANCE CASE NO. 08-VAR-006(B) (AGOURA BUSINESS CENTER WEST, LLC)

BACKGROUND AND DISCUSSION

At the May 21, 2009 meeting, the Planning Commission recommended approval of a new retail center proposed at the northwest corner of the Derry Avenue and Canwood Street (Case Nos. 07-GPA-001, 07-ZC-001, 07-CUP-010, 08-VAR-008(A) and VTPM 69426). The Planning Commission also directed staff to return with a resolution of approval for the project's Sign Permit and a resolution of denial for a Sign Variance.

At that meeting, the applicant requested a Sign Program to install 13 on-building signs, (excluding the address number) and two directory monument signs. The signs were proposed to be installed on the north elevation (Signs C.1 on the Sign Program Plans) and south elevation (Signs B.1 and B.2) of the building, as well as on the west elevation (C.2) for one of the tenants. The applicant designed the Sign Program based on the premise that the south elevation of the building facing Canwood Street would be considered the primary frontage. Signs above the entrance of each tenant on the north elevation (the parking lot side) were proposed as secondary signs. The south elevation's signs would be installed in relation to the architectural features and the north elevation's signs would be installed at the same height and centered over the tenant space on the arcade wall. The signs on the parking lot side of the center were proposed to be 18 square feet and a 10 square-foot sign was proposed for the sign on the west elevation. Thus, the corner tenant, Tenant 1, would have two signs. With respect to the signs on the south, street-facing elevation, five of the six signs were proposed to be 28 square feet and the sixth one would be 18 square feet in size.

The Planning Commission made the determination that the primary frontage was the south elevation (street-facing) side of the building and the shopping center. The Planning Commission conditioned that the primary signs on that elevation be a maximum size of half of the width of the store front per tenant. As a result, the signs total square footage could vary between 18 and 23.5 square feet whereas the applicant's proposed square footage for these signs varied between and 18 and 28 square feet. The Planning Commission also considered the signs proposed on the north elevation (parking side) and determined that the signs were subject to the secondary signs requirements which established a maximum square footage of 10 square feet. The applicant had proposed 18 square feet. Thus, the Planning Commission did not support the Variance Request for additional secondary sign area beyond 10 square feet.

The applicant also proposed an additional sign on the west elevation facing the driveway closest to the west property line. Although, one sign can be permitted on the east elevation facing Derry Avenue and nowhere else, the applicant proposed to install it facing a private driveway along the west elevation.

Based on the direction given by the Planning Commission, staff has prepared the draft resolution marked "Exhibit A" denying the Variance. However, as a resolution of denial cannot include conditions, staff also prepared a resolution of approval for the Sign Permit, marked "Exhibit B" with findings based on the sign program being designed per the criteria discussed and recommend for approval by the Planning Commission at the meeting. Exhibit B contains conditions of approval which defined the specific sign criteria. Both the resolution of denial for the Variance and the resolution of approval for the Sign Permit must be adopted under separate motion.

Although direction was given by the Planning Commission to return with a resolution of denial for the Variance request, staff would like to respectfully mention that the Planning Commission may wish to consider an alternate resolution of approval for the Sign Permit and a Variance, when combined would allow flexibility in the design should a tenant be interested in having more options. Staff believes that the Sign Ordinance's intent of the 10 square-foot entitlement for the secondary sign is to provide identification of the secondary or accessory entrance to a tenant space. However, the parking lot elevation serves as the main tenant building entrances not secondary or accessory entrances. The 18 square-foot signs as proposed by the applicant appear to be well proportioned within the space above each tenant suite and provide identification of the tenant from the parking lot. If the Planning Commission would like to recommend approval of this alternative instead of denial of the Variance, staff has prepared a resolution (Exhibit C) of approval for the Variance to increase the size of the secondary sign from 10 square feet to 18 square feet and the Sign Permit with conditions of approval which are the criteria of the sign program.

Staff is requesting that the Planning Commission weigh the merits of the request and make a motion to recommend that the City Council approve one of the Variance options. The applicant's request for a sign program must be heard by the City Council along with all the other entitlements for the project.

RECOMMENDATION

Staff recommends that the Planning Commission review and approve one of the Variance resolutions recommending action on the Sign Permit.

ATTACHMENTS

- Draft Resolution of Approval and Conditions of Approval for the Sign Program
- Draft Resolution of Denial for the Variance Request
- Draft Resolution of Approval for the Sign Permit and the Variance and Conditions of Approval
- Draft May 21, 2009 Planning Commission Meeting Minutes
- May 21, 2009, Planning Commission Meeting Staff Report



DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT

ACTION DATE: May 21, 2009

TO: Planning Commission

APPLICANT: Agoura Business Center West
5301 Derry Avenue
Agoura Hills, CA 91301

CASE NOS.: 07-GPA-001, 07-ZC-001, 07-CUP-010, VTPM 69426, 07-
SP-036 and 08-VAR-006

LOCATION: Northwest Corner of Derry Avenue and Canwood Drive
(A.P.Ns. 2048-012-022 & 027)

REQUEST: Request for the Planning Commission to provide a recommendation of approval to the City Council regarding a proposed Conditional Use Permit to construct a 22,617 square foot retail center; a Sign Permit for the centers' sign program; a Variance from Zoning Ordinance Section 96.06.2.E. to construct a 17 foot high retaining wall, instead of a maximum 6 foot high wall, and a Variance from Sections 9655.8.B.1.a & j for the proposed Sign Permit to allow non-primary frontage signs based on a maximum of one square-foot per one linear foot of building elevation; a Vesting Tentative Parcel Map to reconfigure two parcel boundaries; a General Plan Amendment to change the land use designation of approximately 1.82 acres of the property from Business Park-Manufacturing (BP-M) to Commercial-Retail/Service (CG); a Zone Change to change the zoning designation of approximately 1.82 acres of the property from Business Park-Manufacturing-Freeway Corridor Overlay (BP-M-FC) to Commercial Retail Service-Freeway Corridor Overlay (CRS-FC); and the adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program.

ENVIRONMENTAL DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: Staff recommends approval of the attached resolutions recommending that the Planning Commission approve General Plan Amendment – Case No. 07-GPA-001, Zone Change – Case No. 07-ZC-001, Conditional Use Permit –

Planning Commission

(Case Nos. 07-GPA-001, 07-ZC-001, 07-CUP-010,
VTPM 69426, 07-SP-036 & 08-VAR-006)

Case No. 07-CUP-010, Vesting Tentative Parcel Map No. 69496, Sign Permit Case No. 07-SP-036 and Variance Case No. 08-VAR-006 subject to Conditions.

ZONING DESIGNATION: BP-M-FC (Business Park –Manufacturing- Freeway Corridor Overlay District) and CRS-FC (Commercial Retail Services – Freeway Corridor Overlay District)

GENERAL PLAN DESIGNATION: BP-M (Business Park – Manufacturing) & CG (Commercial-Retail/Service)

I. BACKGROUND AND PROJECT DESCRIPTION

The applicant, Agoura Business Center West, is requesting a Conditional Use Permit to build a 22,617 square-foot retail center on two vacant parcels located on the northwest corner of Derry Avenue and Canwood Street. The southerly of the two parcels is zoned Commercial Retail Services (CRS-FC) and the northerly of the two parcels is zoned Business Park Manufacturing (BP-M-FC). Both parcels are within the Freeway Corridor Overlay zone. The northerly parcel was pre-graded when the northerly business park was developed. The southerly parcel was reduced in sized with extension of Canwood Street to the east of the project site. The applicant is also seeking a General Plan Amendment and Zone Change to apply the CRS land use designation to both parcels for consistency. The applicant is requesting approval of a Vesting Tentative Parcel Map (PM 69426) to adjust the parcel lines of the properties. The request will reduce the total square footage of the multi-tenant building industrial park from 31.21 acres to 29.2 acres, and the existing parcel on which the project is proposed will increase from a 0.19 to 2.01 acres.

The project will require the use of a 17-foot high retaining wall along the north of the property line, which necessitates a Variance application since its height exceeds the maximum 6-foot requirement. Finally, a Sign Permit is required for the review of all on-site signage. The proposed sign program was reviewed against current standards which allow for a determination by the Planning Commission regarding primary frontage. Variance findings were provided in this report based on staff's interpretation of the requirement so as to obtain a decision for all the entitlements.

The proposed project would be permitted in the CRS zone. The following is a summary of the proposed development relative to the applicable Zoning Ordinance development standards:

Pertinent Data for the Proposal:

	<u>Existing</u>	<u>Proposed</u>	<u>Requirement</u>
1. <u>Lot Area</u>	39,204 sqft. (0.90 acres)	87,555.6 sqft. (2.01 acres)	10,000 sq.ft.
2. <u>Building Size</u>	N/A	22,617 sqft.	N/A
3. <u>Building Height</u>	N/A	18-27 feet	35 feet max.
4. <u>Lot Coverage</u>	N/A	25.8%	60% max.
5. <u>Landscape Coverage</u>			
• Project	N/A	25.8%	10% max.
6. <u>Bldg. Setbacks</u>			
• Front (South)	N/A	18-27 ft	20 feet or height of bldg.
• Rear (North)	N/A	120 feet	10 feet or height of bldg.
• Side (East)	N/A	20 feet	0 feet
• Side (West)	N/A	47 feet	0 feet
7. <u>Parking</u>			
• Existing Business Park	N/A	89 spaces	@ 1/250 = 83 spaces
8. <u>Oak Trees to be provided</u>	None	2	1 per 15,000 sqft. of bldg.

II. STAFF ANALYSIS

The applicant proposes development on two parcels located at the northwest corner of Derry Avenue and Canwood Street. The vacant parcels are adjacent to a Business Park-Manufacturing zoned industrial park to the north, a retail building to the south and a retail center to the east of Derry Avenue and a vacant lot to the west. The project would accommodate a 22,617 square-foot, multi-tenant retail use building. In order to comply with the minimum development standards of the CRS zone, the applicant needs to enlarge the boundaries of the CRS-zoned parcel. The applicant, owner of both the CRS-zoned parcel and BP-M-zoned parcel to the north, is looking to adjust the property line to enlarge the CRS parcel by reducing the size of the BP-M parcel. The area that would be reduced from the larger parcel was a graded pad but never developed. The pad was intended for one more industrial building. This project would result in a pad elevation that would be 17 feet lower than the pad elevation of the northerly, pre-graded pad, to be generally consistent with the elevation of Canwood Street.

This proposed Site Plan configuration is a result of several discussions between staff and the applicant. Given the size and shape of the parcel, as well as the required distance of vehicle ingress and egress points from the intersection of Canwood Street and Derry Avenue the position and footprint of the retail building was critical to achieving a quality design. The concepts used for evaluating this project were based on maintaining a pedestrian scale, that the project's identity be based on its building design rather than its parking lot, as well as its relationship to the surrounding topography and developments, and impacts of the freeway.

Architectural Design

One of the stated purposes of the City Architectural Design Standards and Guidelines is to preserve the semi-rural character of the community. The Freeway Corridor Overlay standards are intended to promote the City's image and preserve the City's natural environment. The applicant has attempted to meet these standards through the use of appropriate building forms, colors, materials and detailing through the use of natural materials and natural color tones. Staff and the Architectural Review Panel worked with the applicant to design a building that would integrate itself to the mix of architectural style, including a tilt-up construction to the north and a Mediterranean style to the south and multiple Craftsman inspired showrooms to the east. A combination of stucco, glass and stone-veneered walls are used for this building. The style also includes trellis covers and green screens. The street side elevation is stepped back to follow the angle-shaped parcel and the interior elevation provides an arcade for pedestrian circulation. The Canwood elevation is well articulated to minimize the "back of the building" appearance. The applicant changed the project from three buildings to one with a frontage on two streets and with a single architectural theme instead of three. The applicant has chosen a combination of earthtone colors for the exterior walls and a clay tile for the roof. Other features of the retail center include a round tower at the corner of the parcel and square towers on each end of the building. With recommended changes, the Architectural Review Panel finds the project to comply with the City Architectural Design Standards and Guidelines.

The visibility of the project as viewed from the freeway was evaluated for potential aesthetics impacts to the community; staff finds that any type of development on a lower pad helps integrate the project with its surrounding. The center was designed with an interior access to the individual tenant spaces which dictated that the building be built closer to the front property line. Although the building has a more prominent streetscape, the visual prominence of the industrial park is reduced now that the new building is proposed to be built at a lower elevation rather than on the existing upper pad as originally proposed.

Furthermore, the site is surrounded by a variety of land uses. The CRS zoning allows for a greater variety of uses and generally requires the most parking. Moreover, the proposed CRS zoning provides the flexibility to potentially accommodate uses that would serve the existing surroundings. Retail centers also are generally more aesthetically pleasing architecturally; this particular project was designed with pedestrians in mind; the use does not provide loading docks that could be potentially visible from the right-of-way and the refuse area is located in the rear of the parcel and

screened by landscaping.

Lighting

The applicant has selected a rectangular box-like type of light fixture. The lighting and photometric plan must meet the City lighting guidelines including no more than one foot candle of illumination at the property lines and the intent of the recently adopted lighting standard guidelines. The proposed Lighting Plan shows eight (8) single-fixture light poles to be installed on the perimeter of the parking lots and drive aisles two out of the eight would be shielded, and three (3) light poles in the area of the parking lot where the spaces are head-to-head. These light poles will not exceed 16 feet in height, including the base. The fixture specifications are attached to the plans for the Commission's review.

Sign Program

The applicant is requesting a Sign Program to install 13 on-building signs, excluding the address number and two directory signs. The signs are proposed to be installed on the north elevation (Signs C.1 on the Sign Program Plans) and south elevation (Signs B.1 and B.2) of the building, as well as on the west elevation (C.2) for one of the tenants. The applicant has designed the Sign Program based on the premise that the south elevation of the building facing Canwood Street is considered the primary frontage. Signs above the entrance of each tenant on the north elevation (the parking lot side) are proposed as secondary signs. The south elevation's signs would be installed in relation to the architectural features and the north elevation's signs would be installed at the same height and centered over the tenant space on the arcade wall. The spacing between each sign would vary depending on the length of the tenant's name.

The signs are proposed to be built with individually mounted, aluminum channel letters which would occupy a pre-determined square footage but without restrictions on the length and height measurement, as long as they comply with the maximum square footage allowed for the tenant spaces. The letters would be back-lit as well as through the face of the letter. With respect to the color of the letters, font style, logo and business descriptive, the applicant has not established a requirement. The signs on the parking lot side of the center are 18 square feet and 10 square feet for the one proposed on the west elevation as a result, the corner tenant, Tenant 1, would have two signs. With respect to the signs on the south, street-facing elevation, five of the six signs would be 28 square feet and the sixth one would be 18 square feet in size.

The monuments signs are proposed at the southwest corner of the parcel near the driveway and at the southeast corner of the parcel near the intersection; both are designed with a 48 square-foot area for the center and tenants' names. The southeast sign would be integrated into a retaining wall and the other one would be built free-standing. The structure would be built with the same colors and materials as applied to the building. The tenants' name would be with a uniform style of lettering, specifically "Gill Sans MT Regular". The monument sign would be externally illuminated. In addition, an address sign is proposed on the tower closest to the driveway, at the northeast corner of the parcel, and a tenant information sign is proposed on each window of each tenant,

approximately, 1 square-foot in size. The monument signs comply with the Zoning Ordinance. The address and window signs are not subject to a Sign Permit.

The proposed sign program for the building was reviewed for compliance with the Sign Ordinance Design Guidelines. Although the sign location, size and illumination are identified, the sign program is left open-ended with respect to font style and color, and logo style and location. The tenants would be required to obtain management and staff's approval before installing a sign. The style of the signs of nearby commercial properties varies from channel letters to cabinet signs. Some are internally lit and other externally lit. The proposed sign program allows for both internal and halo lighting.

According to the Code, in multiple tenant buildings such as this, it is up to the Planning Commission to determine primary frontage and the location of primary signage when reviewing requests for sign program approval. Moreover, the sign program must be designed to be integrated with the building design. As the proposed building orientation, storefronts, and pedestrian building entries face the parking lot, the Planning Commission may find it difficult to consider the Canwood Street elevation to be the primary frontage. The applicant, however requests the street facing elevation be considered the primary frontage. Consequently, the signs must comply with the primary signs requirements which limit the size of the sign based on the linear feet of frontage of the tenant space and how the primary signs predetermine signage on other sides of the building, i.e., secondary signs and corner tenants' signs. If the Planning Commission considers the street-facing south elevation to be the primary frontage then the parking lot elevation would be allowed secondary signage above an entry which can only be 10 square feet; in this case, the signs are proposed at 18 square feet. This request would require a Variance.

If the Planning Commission determines that the north elevation (parking lot side of the center) is the primary frontage, the primary signs, as proposed, comply with the Sign Ordinance. However, the signs proposed on the south and west sides of the building are in addition to what is currently permitted. Therefore, a Variance would be required to be approved for the sign program as proposed.

This would be the first development approved in the City in which the back of a multi-tenant retail center would have individual tenant signs. Staff acknowledges the applicant's desire for individual tenant identification signage visible from the street. From a design standpoint, the building is designed such that the Canwood Street elevation is well articulated to minimize the "back of the building" appearance and in certain instances designed to resemble storefronts. For these reasons, staff can support limited signage on the Canwood side elevation. The applicant is proposing signs on the Canwood Street elevation that are either 18 or 28 square feet. Staff finds instead of a fixed sign size that it would be appropriate to base the allowable sign area in proportion with the width of the tenant space and recommends a ratio of one-half square ft. of sign area per one linear feet of tenant storefront. Thus, given that the tenant storefronts range from 36 to 47.5 linear feet, the signs on the Canwood elevation should range from 18 to 23.75 square feet. If the Planning Commission

finds the sign on the west elevation to be appropriate, staff recommends that the size of the sign on the Canwood street elevation for that tenant be reduced accordingly. The sign program proposes that the signs be either halo-lit or internally-lit channel letters. The Planning Commission may wish to consider other options for the non-parking lot facing (Canwood and west elevation) signs such as externally spot-lit, under-canopy lit, or flood-lit signs and possibly no descriptive text to reduce the visual prominence of secondary signs.

Findings for a Variance are provided later in this report. In order to finalize the sign program for this project, staff is seeking direction from the Planning Commission on which elevation is the primary frontage and the maximum allowable sign area of the secondary signs.

Landscaping Review

The project is required to include at least 10% landscape coverage for the total site, and at least 15% landscape coverage for the parking area, with 50% tree canopy coverage. These measures are intended to enhance the visual appearance of the project, promote public safety, moderate the temperature and reduce noise and glare. The applicant is providing 23% landscape coverage for the whole site but is unable to meet the 50% parking lot tree canopy coverage due to the policies of the Los Angeles County Fire District for tree canopy clearance. However, staff will be meeting with the Fire District to discuss options that may be available to satisfy the City's landscape goals and maintain public safety. Staff is asking the Planning Commission to allow the Planning Director to continue working with the Fire District during the post entitlement phase of development with respect to landscaping coverage in the parking areas. With respect to screening the soil nail wall, a planter is provided at the base of the retaining wall to allow for the vertical growth of shrubs and trees. The applicant will continue to work with staff during the plan check phase to achieve a native and naturalistic landscaping required by the Freeway Corridor Overlay zone.

Grading

The site has been pre-graded. The project will generate an estimated cut of 9,000 cubic yards of soil, 1,500 cubic yards of fill, and an estimated 7,500 cubic yards of export soil from the site as a result of lowering the northerly pad. The proposed building pad elevation will be equal to the retail center to the east approximately 10 feet above Canwood Street. The existing pre-graded pad elevation varies from 876 feet to 903 feet, where the northerly industrial buildings are located. The applicant has provided staff with photo simulations of the project to illustrate the pad and building height.

The building pad would require a 17-foot high retaining wall along the rear of the parcel, and a 4-foot high retaining wall near the driveway on Canwood Street. Staff worked with the applicant to find an aesthetically pleasing option for a retaining wall. The applicant chose a soil-nail retaining wall design that is patterned to resemble a rock formation. The construction requires a restricted access easement be defined along the length of the wall on the adjacent northerly parcel, in order to protect the wall's structural components. The alternative to constructing the soil-nail wall is to

construct a series of terraced, six-foot high walls to retain the upper parcel. That approach, however, would reduce the developable area of the project site.

Extensive relocation of work water, sewer, storm drain and fire hydrant facilities will be required. The utilities were originally installed where the alignment of Canwood Street was originally planned. Canwood Street was since re-aligned and built closer to the freeway, but the underground utilities were never relocated. The applicant is responsible for relocating the lines with the development of this project.

The City Geotechnical Consultant has reviewed the geotechnical report, prepared by Gorian and Associates, and all subsequent supplemental information, for this project and recommends the project be approved from a Planning/Feasibility as well as from a geotechnical perspective. Conditions of Approval are included to ensure that recommendations contained in the report are incorporated into the Grading Plan are adhered to during construction. A letter of recommendation from the consultant is attached to the report.

Traffic/Circulation/Street Improvements

The City's Traffic Engineer reviewed the proposed project with respect to on-site circulation and access to and from the site. These are two points of ingress and egress onto the site. A two-way driveway is proposed at the westerly end of the site fronting Canwood Street and a two-way driveway is proposed at the southerly end of the site fronting Derry Avenue. The driveways are located as far away from the intersection for traffic safety reasons.

The required street improvements include, in addition to relocating all the utilities in the street, striping of Derry Avenue to accommodate a left pocket, and striping Canwood Street to accommodate a potential of 3 left pockets. The project required that a Traffic Impact analysis be submitted. The report, prepared by Kunzman and Associates, indicated that the project will generate 28 additional vehicular trips during the AM peak hour, and 56 vehicular trips during the PM peak hour. The increase is not significant enough to require additional off-site improvements to the City's transportation system. The Municipal Code requires that a Transportation Improvement Funds (TIF) fee be paid as apart of any commercial development. The fee is based on the square footage of the project and type of use; the funds will be used by the City to improve the circulation system within City boundaries. All recommended conditions of the City Engineer for this project are included in the attached Draft Conditions of Approval and the Mitigated Negative Declaration.

Parking

The proposed project includes 89 parking spaces, 4 of which are required to be designated as handicap spaces. A minimum of 83 parking spaces are required by the Zoning Ordinance for the proposed retail use of the center. Thus, a surplus of 6 parking spaces is provided on-site.

Vesting Tentative Parcel Map

The applicant is requesting a Vesting Tentative Parcel Map for the reconfiguration of the property lines. A Vesting Tentative Parcel Map is allowed by the Subdivision Map Act and is identical to a Tentative Parcel Map, except that when a local jurisdiction approves a Vesting Map, the developer receives the vested right to build the project laid out in the Tentative Map. The Vesting Map protects against possible future growth restrictions or other regulatory reversals, only after a Building Permit is issued and the developer has made a "substantial investment" in the project. In this case, the Tentative Parcel Map will section off a portion (2 acres) from the parcel to the north and add it to the remainder parcel adjacent to Canwood Street which becomes a 2.01 -acre parcel. The parcel will be adjusted from a triangular shape to a parallelogram shape to make it practical for development. The applicant is also undertaking relocating all underground utilities and has provided staff with a Utilities Relocation Plan and the infrastructure work will be shown on the Final Map. The City Engineer has reviewed the Vesting Tentative Parcel Map and supports the request, with conditions. The final map requires City Council approval.

General Plan Amendment/Zone Change

In order for this project to be approved, a change in the property land use designations would be required. This process requires a Zone Change and a General Plan Amendment. The southerly parcel is already partially zoned CRS and CG in the General Plan and the northerly parcel is zoned BP-M and also designated as BP-M in the General Plan; the applicant is requesting that the new 2.01-acre parcel be zoned entirely CRS and CG in the General Plan. Properties to the east and south of the project site are zoned CRS. The site has an FC (Freeway Corridor) overlay zone and is highly visible from the freeway. The image of the City depends strongly on its image in the freeway corridor. Commercial rather than industrial development would be more appropriate as viewed from the freeway. Over time, the segment of Canwood Street west of Kanan Road has developed into an area for specialty retail stores. This site would potentially continue the trend and/or provide support services to the existing business, i.e., coffee shops, printing, and mailing businesses. This project would serve as a transition area between the freeway corridor and the industrial zone and thus a transitional commercial development would be a more suitable use. The building pad elevation is currently almost level with the street elevation which lends itself to a development design that is compatible with the ones on adjacent parcels. The proposed retaining wall would ultimately be screened by the proposed building. The cut into the slope would open up the Canwood Corridor and give the illusion of the existing industrial park to be further away from the freeway right-of-way.

The loss of BP-M industrial space would be negligible and would minimally affect the City's total industrial land use base. A viable commercial development would generate sale tax revenue while sustaining employment opportunities and would serve as a gateway to the industrial park.

The Planning Commission is requested to provide a recommendation to the City Council for final action on the General Plan Amendment and Zone Change. If this legislative action is not approved, all other entitlements associated with this project would not be valid.

Variance

In order for the Planning Commission to grant the Variance for the applicant to build a 17-foot high retaining wall instead of the maximum allowed height of 6 feet, and allow additional signage the Zoning Ordinance requires that the following five (5) findings be made for each request. Staff has analyzed the applicant's requests for the retaining wall height Variance and the sign Variance per the required findings and recommends that the Variance be approved.

A. Variance – Retaining Wall Height

1. Required Finding That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Staff Analysis: The grade differential between the upper and the lower pad is substantial and would require stacking of several retaining walls for the proposed parking lot grade. The soil-nail option provides a solution that resembles a natural rock formation, instead of a typical manufactured slope with a tiered wall system. The soil nail wall allows the lower parcel to be developable without impacting the upper parcel size and other development standards requirements.

2. Required Finding. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated.

Staff Analysis: Two pads currently exist on the property with significant grade differential. The retaining wall is required for slope stability and development of the site.

3. Required Findings. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of this the Zoning Ordinance.

Staff Analysis: A typical retaining wall system of multiple walls all under 6 feet would have reduced the useable pad and could not have allowed development of the lot.

4. Required Finding. That the granting of the Variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

Staff Analysis: A soil nail wall would have a natural appearance and will be screened with landscaping and engineered to comply with the Building Code standards.

5. Required Finding. That the granting of the Variance will be consistent with the character of the surrounding area.

Staff Analysis: The wall will maintain a similar pattern of development along Canwood Street and provide a transition between the low elevation of the intersection of Canwood and Derry Street in the upper pad of the business park. A similar wall was built east of Kanan Road. The wall was designed to resemble a rock formation and will be screened from the road by the new building.

B. Variance – Sign Program

1. Required Finding. That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Staff Analysis: The building orientation restricts the tenant identification as viewed from the street. Thus, street-facing signage is needed for identification.

2. Required Finding. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated.

Staff Analysis: Adjacent retail stores have signage that is visible from Canwood Street and the signage serves to identify the tenants and the entry to the tenant spaces since no other entry exists.

3. Required Findings. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of this the Zoning Ordinance.

Staff Analysis: One of the purposes of the City Sign Ordinance is to support and promote viable businesses by allowing signage that provides adequate identification while also promoting and enhancing the quality of the visual environment of the City. Street facing signage would provide the street identification desired by the tenants, and interior facing signs would provide identification of tenant entries.

4. Required Finding. That the granting of the Variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

Staff Analysis: The signage will be integrated in the architecture of the building and not out of proportion with the building elevations walls it is attached to, and would not cause a distraction to vehicular traffic.

5. Required Finding. That the granting of the Variance will be consistent with the character of the surrounding area.

Staff Analysis: The additional signage will help establish the identity of the building as a retail center and promote a local economic base. Visually, the request to provide signage on the Canwood Street side would be in keeping with the nearby stores.

Environmental Review/Mitigated Negative Declaration

An Initial Study was prepared in accordance with the requirements of the California Environmental Quality Act (CEQA) to analyze the potential environmental consequences of the proposed project. The purposes of an Initial Study are:

- A. To provide the Lead Agency (City of Agoura Hills) with the necessary information to decide whether to prepare an Environmental Impact or a Mitigated Negative Declaration;
- B. To enable the Lead Agency to modify a project, mitigating adverse impacts thus avoiding the need to prepare an EIR;
- C. To provide sufficient technical analysis of the environmental effects of a project to permit a judgment based on the record as a whole, that the environmental effects of a project have been adequately mitigated.

In the case of the proposed project, staff found that although the proposed project could have a significant effect on the environment, there would not be a significant effect in this case because revisions to the project have been made by or agreed to by the applicant and, therefore, a Draft Mitigated Negative Declaration (MND) was prepared for review and adoption by the Planning Commission.

The following matrix briefly identifies the environmental issue areas addressed in the MND that were found to have potentially significant impacts, and identifies the recommended mitigation measures. All impacts were found to be mitigable to a less than significant level upon implementation of the measures.

Issue Area	Impact	Mitigation
<i>Biological Resources</i>	Potential nesting birds within a regulated distance	Survey for nests prior to construction and avoid work until nests have been vacated.
Issue Area	Impact	Mitigation
<i>Cultural Resources</i>	Unexpected discovery of archaeological or paleontological resources or human remains	Monitor construction if discovery of a resource. Work to cease and the appropriate officials contacted and find assessed; mitigation work as necessary.

Issue Area	Impact	Mitigations
<i>Geology and Soils</i>	Soil expansion	Comply with all measures in the geotechnical report
	During construction soil erosion	AQMD Rule 403 and SPPP implementation required
	Post Construction soil erosion	Additional paving and strategically placed landscaping

The Draft MND was circulated for a 30-day review period, ending on April 30, 2009. The applicant has accepted the proposed mitigation measures which staff finds would reduce the environmental impacts associated with the project to less than significant levels. For these reasons, staff finds the use of a Mitigated Negative Declaration for CEQA processing of this application to be appropriate.

If the Planning Commission votes to deny the project, no action on the Final MND is required. If the Planning Commission's desire is to approve the application, CEQA requires that the Planning Commission also adopt a "mitigation monitoring program" (MMP) to ensure compliance during project construction and operation.

V. RECOMMENDATION

As there are two legislative actions (the General Plan Amendment and Zone Change) associated with the project. The entitlements associated with the project including the Conditional Use Permit, the Variance, the Sign Permit, and the Vesting Tentative Parcel Map will be forwarded to the Council for final action concurrent with the General Plan Amendment and Zone Change.

It is recommended that the Planning Commission recommend approval of Conditional Use Permit Case No. 07-CUP-010, Vesting Tentative Tract Map No. 69426, Sign Permit Case No. 07-SP-036 and Variance Case No. 08-VAR-006, subject to conditions as well as the General Plan Amendment Case No. 07-GPA-001, and Zone Change Case No. 07-ZC-001 for the proposed development.

Staff also recommends the Planning Commission approve the Final Mitigated Negative Declaration and Mitigation Monitoring Program.

VI. ATTACHMENTS

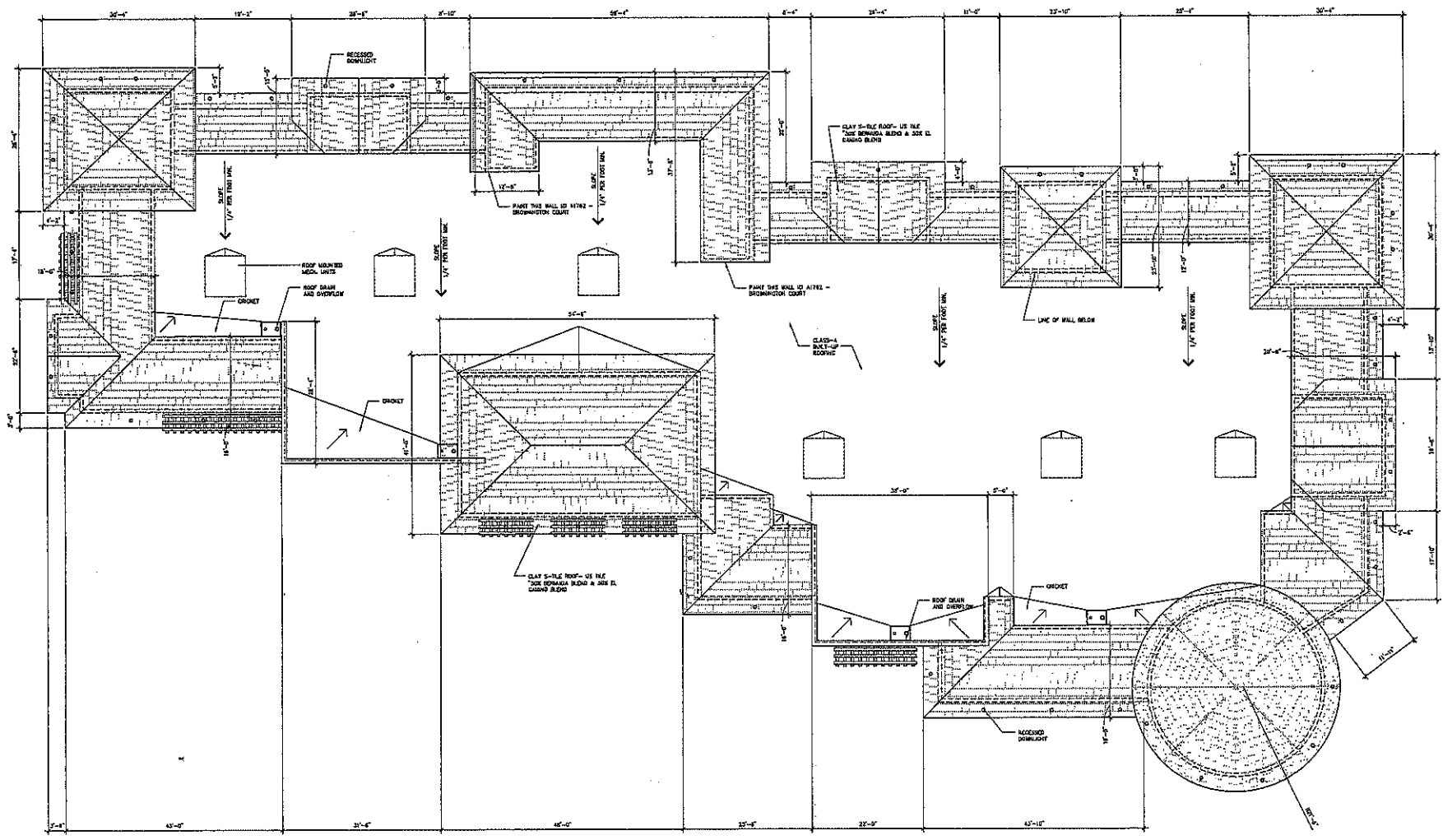
- Draft Resolution and Conditions of Approval for the Conditional Use Permit and Sign Permit
- Draft Resolution and Conditions of Approval for the Variance Request

VI. ATTACHMENTS (Continued)

- Draft Resolution and Conditions of Approval for the Vesting Tentative Parcel Map
- Draft Resolution for the General Plan Amendment
- Draft Resolution for the Zone Change
- Draft Ordinance with Exhibit Page
- Exhibit A: Applicant's Burden of Proof for the Wall and Signage
- Exhibit B: Applicant's Letter
- Exhibit C: Vicinity/Zoning Map
- Exhibit D: Reduced Photocopies of the Plans
- Exhibit E: Renderings and Photo-simulations
- Exhibit F: Photographs of the Site and Color Copy of the Color and Material Board

CASE PLANNER: Valerie Darbouze, Associate Planner

V:\Projects\10-28-08 - Agoura Business Center West\CAD\10-28-08.dwg



ROOF PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	
NO.	DATE

DRAWN BY: []
 CHECKED BY: []
 DATE: 10-28-08
 PROJECT: AGOURA BUSINESS CENTER WEST, LLC
 SHEET: 10-28-08-00

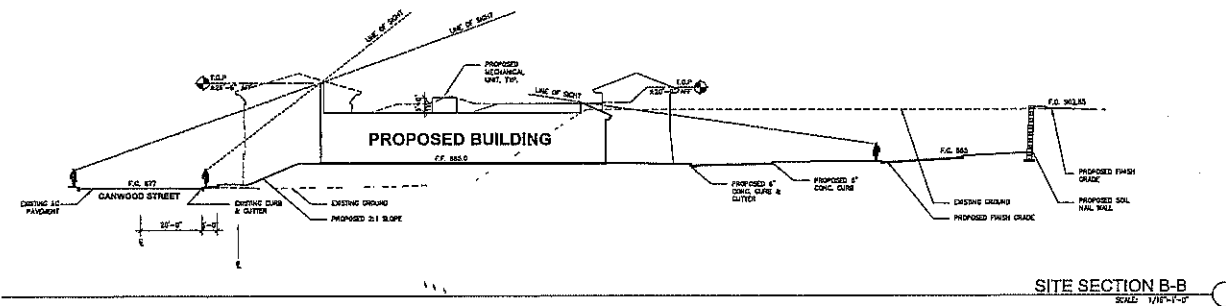
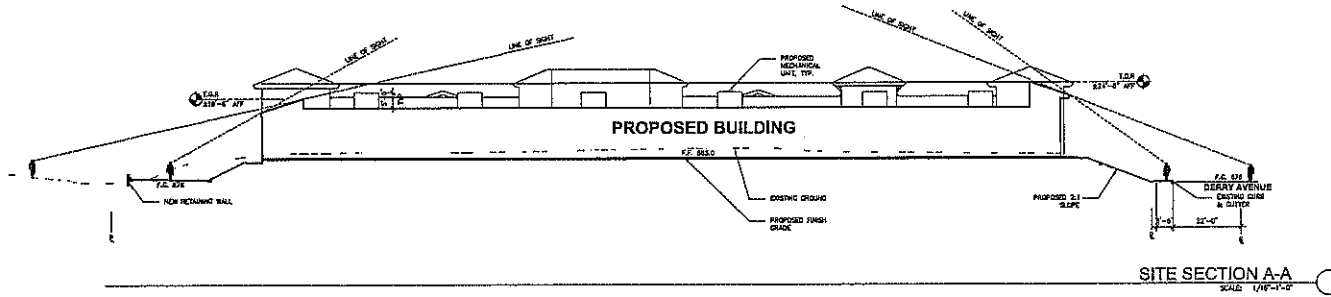
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PLANNING RESUBMITTAL 10-28-08



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 DRAWING NO: 03-103-00-01
 SHEET NO: 10-28-08

AGOURA BUSINESS CENTER WEST, LLC
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CENTER WEST
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SITE SECTIONS - LINE OF SIGHT

NO.	DESCRIPTION	DATE	BY	CHECKED
01	ISSUED FOR PERMITS			
02	ISSUED FOR PERMITS			
03	ISSUED FOR PERMITS			
04	ISSUED FOR PERMITS			
05	ISSUED FOR PERMITS			
06	ISSUED FOR PERMITS			
07	ISSUED FOR PERMITS			
08	ISSUED FOR PERMITS			
09	ISSUED FOR PERMITS			
10	ISSUED FOR PERMITS			

PREPARED BY: [Name]
 CHECKED BY: [Name]
 DATE: 03-10-08

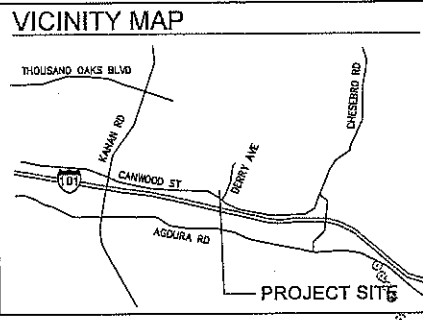
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Fixture	Label	Qty	Manufacturer	Description	Lot Area	Fix	Lot Area	Lot Area	Lot Area
SHS	1	1	VERBAARE	AGOURA BUSINESS CENTER WEST	1200' x 100' x 100'	1200'	100'	100'	100'
A	3	3	VERBAARE	AGOURA BUSINESS CENTER WEST	1200' x 100' x 100'	1200'	100'	100'	100'
B	1	1	VERBAARE	AGOURA BUSINESS CENTER WEST	1200' x 100' x 100'	1200'	100'	100'	100'

Direction	Summit	July	Jan	10k	10k	10k	10k
East	+	14.0	10.0	10.0	10.0	10.0	10.0
West	+	10.0	10.0	10.0	10.0	10.0	10.0



SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



American

Dimensional Drawings

Model	1/2" = 1'	3/4" = 1'	1" = 1'	1 1/2" = 1'	2" = 1'
AMR-1	12"	12"	12"	12"	12"
AMR-2	12"	12"	12"	12"	12"
AMR-3	12"	12"	12"	12"	12"
AMR-4	12"	12"	12"	12"	12"

The American series fixtures are designed to provide uniform, glare-free illumination for a wide range of applications. They are available in a variety of sizes and finishes to meet your specific needs.

For more information, please contact your local distributor or visit our website at www.americanlighting.com.

Model	Dimensions	Weight	Material	Finish	Color	Notes
AMR-1	12" x 12" x 12"	1.5 lbs	Aluminum	White	White	Standard fixture
AMR-2	12" x 12" x 12"	1.5 lbs	Aluminum	White	White	Standard fixture
AMR-3	12" x 12" x 12"	1.5 lbs	Aluminum	White	White	Standard fixture
AMR-4	12" x 12" x 12"	1.5 lbs	Aluminum	White	White	Standard fixture

AMERICAN LIGHTING

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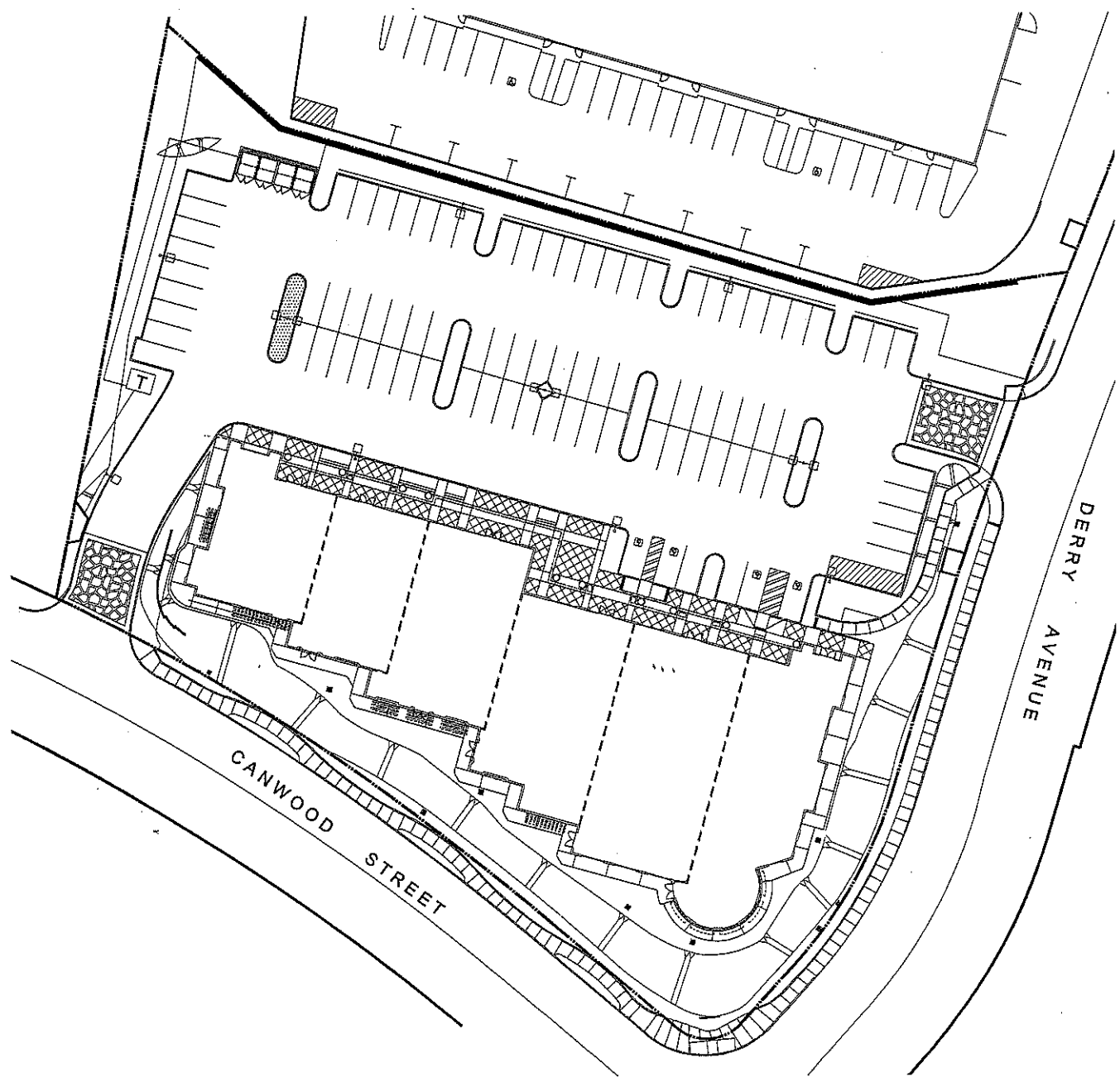
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DATE	REVISION

P.L.P. No. 02
DRAWN BY: K.A.
JOB NO: 03-030-01

SP.1

© Project/Draw/Sheet/Title: 2048-012-027



LANDSCAPE TABULATIONS

-TOTAL PARKING LOT AREA	: 34,587 SQ.FT.
-15% OF PARKING AREA TO BE LANDSCAPE	: 5,185 SQ.FT.
-TOTAL LANDSCAPE IN PARKING AREA PROVIDED	: 7,710 SQ.FT.
-% PARKING AREA LANDSCAPED	: 22%

SCALE: 1/16" = 1'-0"



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 APN# - 2048-012-022
 - 2048-012-027



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PARKING AREA LANDSCAPE CALCULATION PLAN

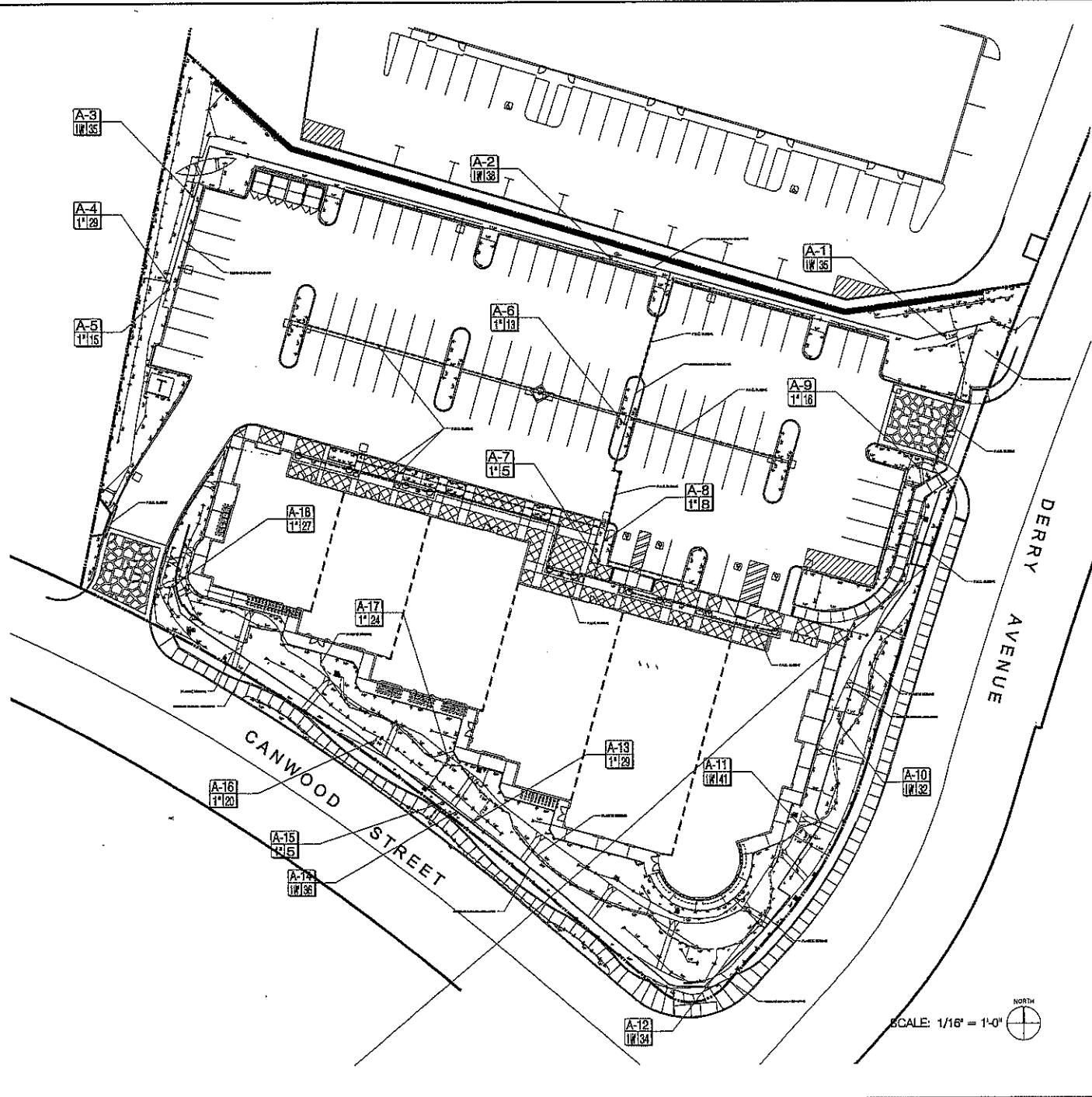
DATE	REVISION	DATE	REVISION

P.A. / P.L. PL
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 JOB NO.: 063-030-00

SHEET
LP-3

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IRRIGATION LEGEND

SYMBOL	DESCRIPTION	AMOUNT	UNIT	PRICE	TOTAL
1. 1/2\"/>					

- PROPOSED IRRIGATION SYSTEM
- EXISTING IRRIGATION SYSTEM
- FINAL AS-BUILT IRRIGATION SYSTEM
- EXISTING UTILITY
- PROPOSED UTILITY
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING GRAVEL
- EXISTING SAND
- EXISTING SOIL
- EXISTING VEGETATION
- EXISTING BUILDING
- EXISTING DRIVEWAY
- EXISTING SIDEWALK
- EXISTING CURB
- EXISTING STREET
- EXISTING LOT
- EXISTING TRAILER
- EXISTING SIGN
- EXISTING LIGHT
- EXISTING FENCE
- EXISTING WALL
- EXISTING DOOR
- EXISTING WINDOW
- EXISTING ROOF
- EXISTING FOUNDATION
- EXISTING STRUCTURE
- EXISTING EQUIPMENT
- EXISTING STORAGE
- EXISTING OFFICE
- EXISTING GARAGE
- EXISTING SHED
- EXISTING BARN
- EXISTING STABLE
- EXISTING RANCH
- EXISTING FARM
- EXISTING BUSINESS
- EXISTING RESIDENCE
- EXISTING COMMERCIAL
- EXISTING INDUSTRIAL
- EXISTING PUBLIC
- EXISTING PRIVATE
- EXISTING OPEN SPACE
- EXISTING LANDSCAPE
- EXISTING PLANTING
- EXISTING TREES
- EXISTING SHRUBS
- EXISTING FLOWERS
- EXISTING GRASS
- EXISTING SOIL
- EXISTING SAND
- EXISTING GRAVEL
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING UTILITY
- EXISTING PROPOSED UTILITY
- EXISTING PROPOSED CONCRETE
- EXISTING PROPOSED ASPHALT
- EXISTING PROPOSED SAND
- EXISTING PROPOSED GRAVEL
- EXISTING PROPOSED SOIL
- EXISTING PROPOSED VEGETATION
- EXISTING PROPOSED BUILDING
- EXISTING PROPOSED DRIVEWAY
- EXISTING PROPOSED SIDEWALK
- EXISTING PROPOSED CURB
- EXISTING PROPOSED STREET
- EXISTING PROPOSED LOT
- EXISTING PROPOSED TRAILER
- EXISTING PROPOSED SIGN
- EXISTING PROPOSED LIGHT
- EXISTING PROPOSED FENCE
- EXISTING PROPOSED WALL
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- EXISTING PROPOSED FLOWERS
- EXISTING PROPOSED GRASS
- EXISTING PROPOSED SOIL
- EXISTING PROPOSED SAND
- EXISTING PROPOSED GRAVEL
- EXISTING PROPOSED ASPHALT
- EXISTING PROPOSED CONCRETE
- EXISTING PROPOSED UTILITY

CONSTRUCTION NOTES

1. WATER METER AND SERVICE LINE SHALL BE INSTALLED AS SHOWN.
2. CONTRACTOR SHALL VERIFY WATER PRESSURE SHALL REQUEST PLAN CHANGE IF PRESSURE IS LOWER THAN THAT INDICATED.
3. MAIN PIPE, COPPER TYPE 'K' AND/OR BRASS SHALL BE INSTALLED AS SHOWN.
4. CONTRACTOR SHALL VERIFY WATER PRESSURE AND REQUEST CHANGE OF THE EXISTING SITE WATER SERVICE FOR THE IRRIGATION LAYOUT.
5. CONTRACTOR SHALL VERIFY VOLTAGE ELECTRICAL AT THE IRRIGATION CONTROLLER LOCATION AND SHALL VERIFY FINAL ELECTRICAL CONNECTION TO CONTROLLER.
6. CONTRACTOR SHALL VERIFY TO ALL GAS, OIL, AND SEWER LINES AND PROTECT THEM FROM ALL CONSTRUCTION ACTIVITIES.
7. ALL WORK SHALL OCCUR WITH THE LATEST PLUMBING CODES AS WELL AS LOCAL ORDINANCES.
8. CONTRACTOR SHALL PULL ALL WIRE THROUGH CONDUIT FROM STREET LEVEL TO FINAL LOCATION.
9. ALL WIRE SHALL BE CONDUITED WITH GENERAL CONTRACTOR.
10. ALL WIRE SHALL BE CONDUITED WITH GENERAL CONTRACTOR.
11. ALL WIRE SHALL BE CONDUITED WITH GENERAL CONTRACTOR.
12. ALL ELECTRICAL CONDUIT FOR CONTROLLER VALVE TO CONTROLLER SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
13. LANDSCAPE CONTRACTOR SHALL PULL WIRE THROUGH EXISTING CONDUIT FROM CONTROLLER LOCATION TO EACH REMOTE CONTROL VALVE ABOVE SLAB.
14. CONTRACTOR SHALL GUARANTEE ALL WORK AS SHOWN WITH SEVERAL CONTRACTOR FROM TOOLS/ANY WORK.

IRRIGATION NOTES

1. IRRIGATION PLAN IS SUPPLEMENTARY TO ALL OTHER PLANS AND SHALL BE LOCATED IN PLANTER AREAS WHERE POSSIBLE.
2. NOT FOR INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS UNLESS THE FIELD CONDITIONS ARE ACCURATE, THAT CONDITIONS CHASE DIFFERENCES AND CHANGES ARE NOT ACCURATE, SUCH DIFFERENCES SHALL BE REPORTED TO THE DESIGNER REPRESENTATIVE.
3. VALVE BOXES SHALL BE LOCATED AT THE END OF EACH MAINLINE AND SHALL BE INSTALLED WITH AN ANGLE OF 45 DEGREES.
4. PROTECT MAINLINE OF CONCRETE FROM BRACKETS TO TOP OF PIPE, PRESSURE PIPE SHALL BE AND 2\"/>

SCALE: 1/16" = 1'-0"

DATE: 02-05-10

PROJECT: AGOURA BUSINESS CENTER WEST

CLIENT: DALE POE REAL ESTATE GROUP

DESIGNER: WARE MALCOMB

PROJECT MANAGER: [Name]

DESIGNER: [Name]

CHECKED: [Name]

DATE: 02-05-10

PROJECT: AGOURA BUSINESS CENTER WEST

CLIENT: DALE POE REAL ESTATE GROUP

DESIGNER: WARE MALCOMB

PROJECT MANAGER: [Name]

DESIGNER: [Name]

CHECKED: [Name]

DATE: 02-05-10

WARE MALCOMB

LANDSCAPE ARCHITECTS

15000 AGOURA HILLS DRIVE, SUITE 100
AGOURA HILLS, CALIFORNIA 91301

PHONE: (818) 898-2222
FAX: (818) 898-2223
WWW.WAREMALCOMB.COM

SC

Soil Conservation Service

15000 AGOURA HILLS DRIVE, SUITE 100
AGOURA HILLS, CALIFORNIA 91301

DALE POE REAL ESTATE GROUP

AGOURA BUSINESS CENTER WEST

5301 DERRY STREET
AGOURA HILLS, CALIFORNIA

IRRIGATION PLAN

DATE: 02-05-10

PROJECT: AGOURA BUSINESS CENTER WEST

CLIENT: DALE POE REAL ESTATE GROUP

DESIGNER: WARE MALCOMB

PROJECT MANAGER: [Name]

DESIGNER: [Name]

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CLIENT: DALE POE REAL ESTATE GROUP

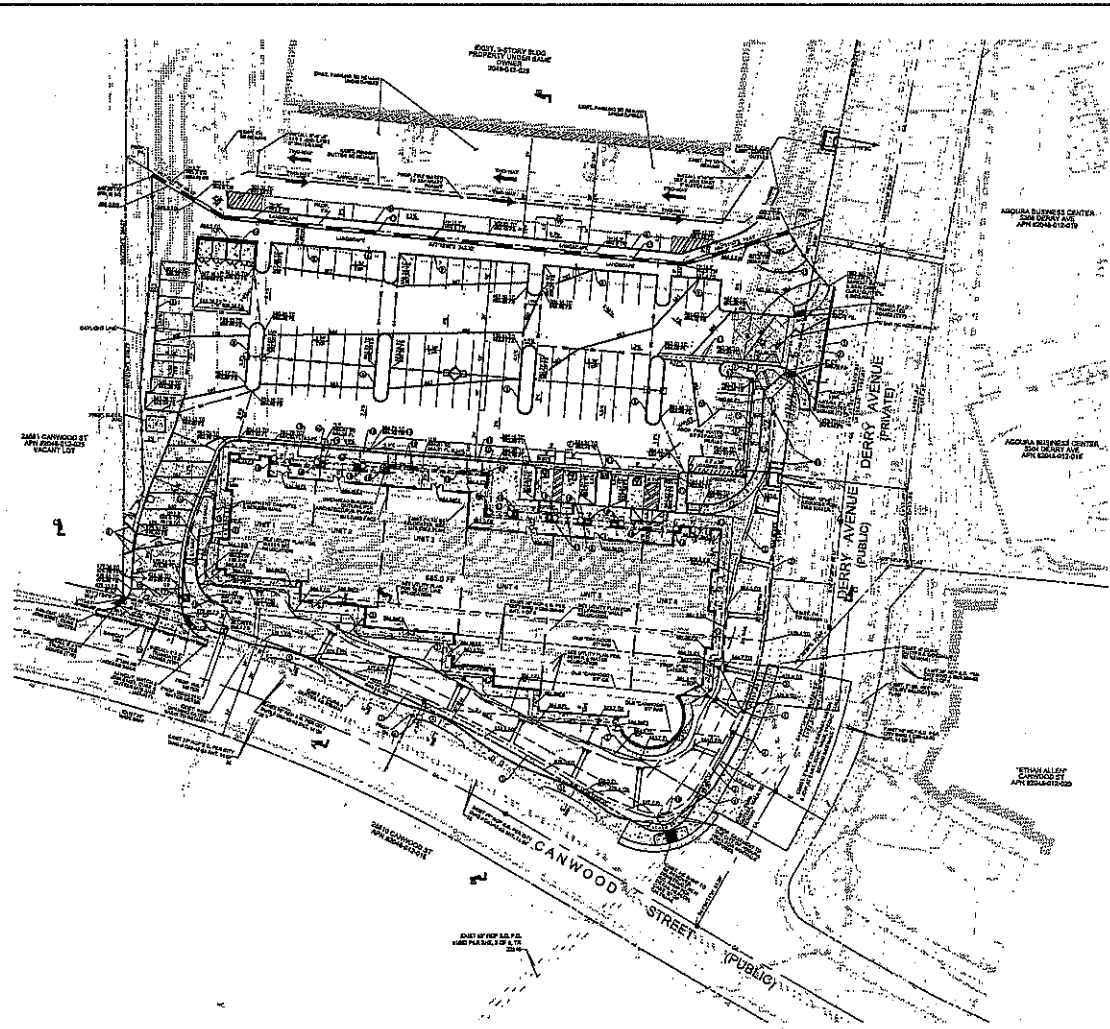
DESIGNER: WARE MALCOMB

PROJECT MANAGER: [Name]

DESIGNER: [Name]

CHECKED: [Name]

DATE: 02-05-10

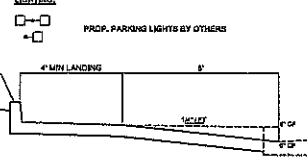


- LEGEND:**
- EXIST. WATER LINE
 - EXIST. SEWER LINE
 - EXIST. ELECT. LINE
 - EXIST. TELEPHONE LINE
 - EXIST. GAS LINE
 - EXIST. STORM DRAIN
 - EXIST. RECLAIMED WATER LINE
 - PROP. DRAINAGE LINE
 - PROP. SEWER LINE, MIN 1% SLOPE
 - PROP. WATER LINE & SERVICE
 - PROP. FIRE WATER LINE
 - PROP. DOMESTIC WATER LINE
 - PROP. ELECT. LINE
 - PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
 - PROP. RECLAIMED WATER LINE
 - PROPERTY LINE
 - 1' = 10' EXIST. ELEVATION
 - C.O. PROP. SEWER CLEAN OUT.
 - SMH PROP. SEWER MANHOLE
 - EXH. EXIST. SEWER MANHOLE
 - CL CENTERLINE
 - PROP. PARKING LIGHTS BY OTHERS
 - DECORATIVE CONC. PAVEMENT
 - 2:1 FILL SLOPE MAX

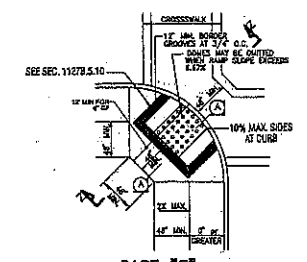
- ABBREVIATIONS:**
- CONC. CONCRETE
 - CU CURB
 - D DRAIN PIPE
 - EG EXISTING GRAING
 - ES EXISTING SURFACE
 - FL FLOW LINE
 - FO FINISH GRADE
 - FS FINISH SURFACE
 - GB GRADE BREAK
 - HT HEIGHT OF RETAINING
 - HP HIGH POINT
 - INERT INVERT
 - LP CONC. CUTTER LP
 - LP LOW POINT
 - PL PROPERTY LINE
 - PP POWER POLE
 - P/MT PAVEMENT
 - R/W RIGHT OF WAY
 - TC TOP OF CURB

- CONSTRUCTION NOTES:**
- 1 SAWCUT AND REMOVE EXISTING PAVEMENT SECTION, 4" A.C. ON 7" A.B. MAX. OR AS RECOMMENDED BY THE SOILS ENGINEER.
 - 2 CONSTRUCT COMMERCIAL DRIVEWAY APPROX. PER A.P.W.A. STD 110-1, TYPE C, 6" THICK PCC, MODIFIED WITH 2% FIBER, 18" RADIUS, 18" DEEP.
 - 3 REMOVE 2" WIDE GRASS LINED 4" DEEP SWALE.
 - 4 CONSTRUCT PARKWAY DRAIN PER A.P.W.A. STD PLAN 150-2, CASE II MULTI.
 - 5 CONSTRUCT 2' MEANDERING SIDEWALK WITH 6" SLOUGH CURB BEHIND SIDEWALK AND THICKENED EDGES PER CITY STANDARDS.
 - 6 CONSTRUCT CONC. HEADWALL AND WINGWALL PER CALTRANS STD 308 B. PIPE DIA = 24" R.C.P. REMOVE EXIST. CONC. HEADWALL AND WINGWALL, JOIN EX. 24" R.C.P. WITH NEW 24" R.C.P. TO PROP. HEADWALL.
 - 7 CONSTRUCT 2.5' SIDE OPENING GUTTER BASIN PER A.P.W.A. 300-2, CONST. RETAINING WALL BY SEPARATE PERMIT, 6" HIGH MAX.
 - 8 CONST. 6" CONC. CURB.
 - 9 CONST. 2" CONC. CURB AND GUTTER.
 - 10 CONST. 1" WIDE CONC. CUTTER.
 - 11 CONST. 4.5" WIDE, 4" THICK CONC. SIDEWALK, MODIFIED TO 6" WIDE AROUND BUILDING.
 - 12 CONST. H.C. RAMP PER STATE TITLE 24 A.D.A. STDS.
 - 13 PROP. TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
 - 14 CONST. SOILWALL RETAINING WALL BY SEPARATE PERMIT.
 - 15 REMOVE DIRT 30" R.C.P. S.D. SEE UTILITIES PLAN.
 - 16 CONST. 24" DIA BRIDGES OR GR. WALL.
 - 17 PROP. TREE WELL, VINE POCKETS, SEE LANDSCAPE PLANS.
 - 18 MONUMENT SIGN PER ARCHITECTURAL PLANS.
 - 19 INSTALL 12" PVC STORM DRAIN PIPE.
 - 20 CONNECT DRAIN PIPE TO EXIST. CB.
 - 21 CONST. 4" AC PAVEMENT ON AGS. BASE PER SOILS ENGINEER.

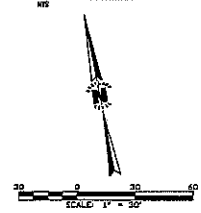
- NOTES:**
1. SEE UTILITY RELOCATION PLAN FOR ABANDONMENT OF CONFLICTING PUBLIC UTILITIES.
 2. NO OAK TREES ON CONSTRUCTION SITE.



SECTION "Z-Z"



CASE "E" HC RAMP DETAIL



UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-327-2600

TWO WORKING DAYS BEFORE YOU DIG

REV	SYMBOL	DESCRIPTION OF CHANGE	DATE

PREPARED BY: WESTLAND CIVIL, INC.

AGOURA HILLS ENGINEERS INC. 37364

AGOURA HILLS

PRELIMINARY GRADING / DRAINAGE PLAN

AGOURA BUSINESS CENTER WEST, LLC

5301 DERRY AVENUE

AGOURA HILLS, CALIFORNIA

PROJECT NO. _____ SHEET 2 OF 4

WESTLAND GENERAL NOTES

- WESTLAND ENGINEERING, INC. HAS NOT BEEN RETAINED OR COMPENSATED, AND ASSUMES NO RESPONSIBILITY TO PROVIDE DESIGN CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS, OR TO MEANS, METHODS, TECHNIQUES, OR SEQUENCES OF PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK.
- THE LOCATION OF, AND DETERMINATION OF THE EXISTENCE OF UNDERGROUND UTILITIES HAS BEEN DETERMINED TO THE BEST OF THE ENGINEER'S ABILITY, BUT IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ANY EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY DAMAGE DONE TO EXISTING UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" TOLL FREE AT 1-800-287-2600, TWO DAYS PRIOR TO THE START OF CONSTRUCTION FOR UTILITY LOCATIONS.
- THIS DRAWING, INCLUDING THE DESIGNER'S CONTRACTED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE PREPARED FOR USE IN CONSTRUCTION WITH THE PROJECT IDENTIFIED HEREON UNDER THE CONDITIONS EXISTING IN DECEMBER, 2002. ANY USE, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF WESTLAND ENGINEERS, INC. SHALL BE AT THE USER'S SOLE RISK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
- THE CONTRACTOR TO PROMISE ADEQUATE DUST CONTROL ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

UTILITY NOTES:

- ALL UTILITIES WITHIN THE CONSTRUCTED AREA TO BE ABANDONED AND OR RELOCATED, AS SHOWN.
- EXIST. 36" RCP FOR _____ MAY BE LEFT IN PLACE WITH A STRUCTURAL CAP OR RELOCATED AS SHOWN HEREON.
- THE RELOCATED UTILITIES ARE SCHEMATIC ONLY. SEE RESPECTIVE UTILITY CO. PLANS FOR CONSTRUCTION DRAWINGS.

LEGEND:

- EXIST. WATER LINE
- EXIST. SEWER LINE
- EXIST. ELECT. LINE
- EXIST. TELEPHONE LINE
- EXIST. GAS LINE
- EXIST. STORM DRAIN
- EXIST. RECLAIMED WATER LINE
- D --- PROP. DRAINAGE LINE
- S --- PROP. SEWER LINE, MIN 1% SLOPE
- W --- PROP. WATER LINE & SERVICE
- TW --- FW --- PROP. FIRE WATER LINE
- DW --- PROP. DOMESTIC WATER LINE
- E --- PROP. ELECT. LINE
- T --- PROP. COMMUNICATION LINE (TELEPHONE, CABLE TV)
- RW --- PROP. RECLAIMED WATER LINE
- PROPERTY LINE
- EXIST. ELEVATION
- C.O. --- PROP. SEWER CLEAN OUT
- SMH --- PROP. SEWER MANHOLE
- SMH --- EXIST. SEWER MANHOLE
- CL --- CENTERLINE
- PROP. POTHOLE LOCATION

PUBLIC UTILITIES / SERVICES

WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4222 LAS VIRGENES ROAD
CALABAZAVAL, CA 91024
(913) 251-2123

ELECTRICAL: SOUTHERN CALIFORNIA Edison
3489 FOOTBALL DRIVE
THOUSAND OAKS, CA 91320
(805) 434-7018

TELEPHONE: AT&T
1023 KAYNOR ST., ROOM 2208
VAN NUYS, CA 91410
(818) 274-0794

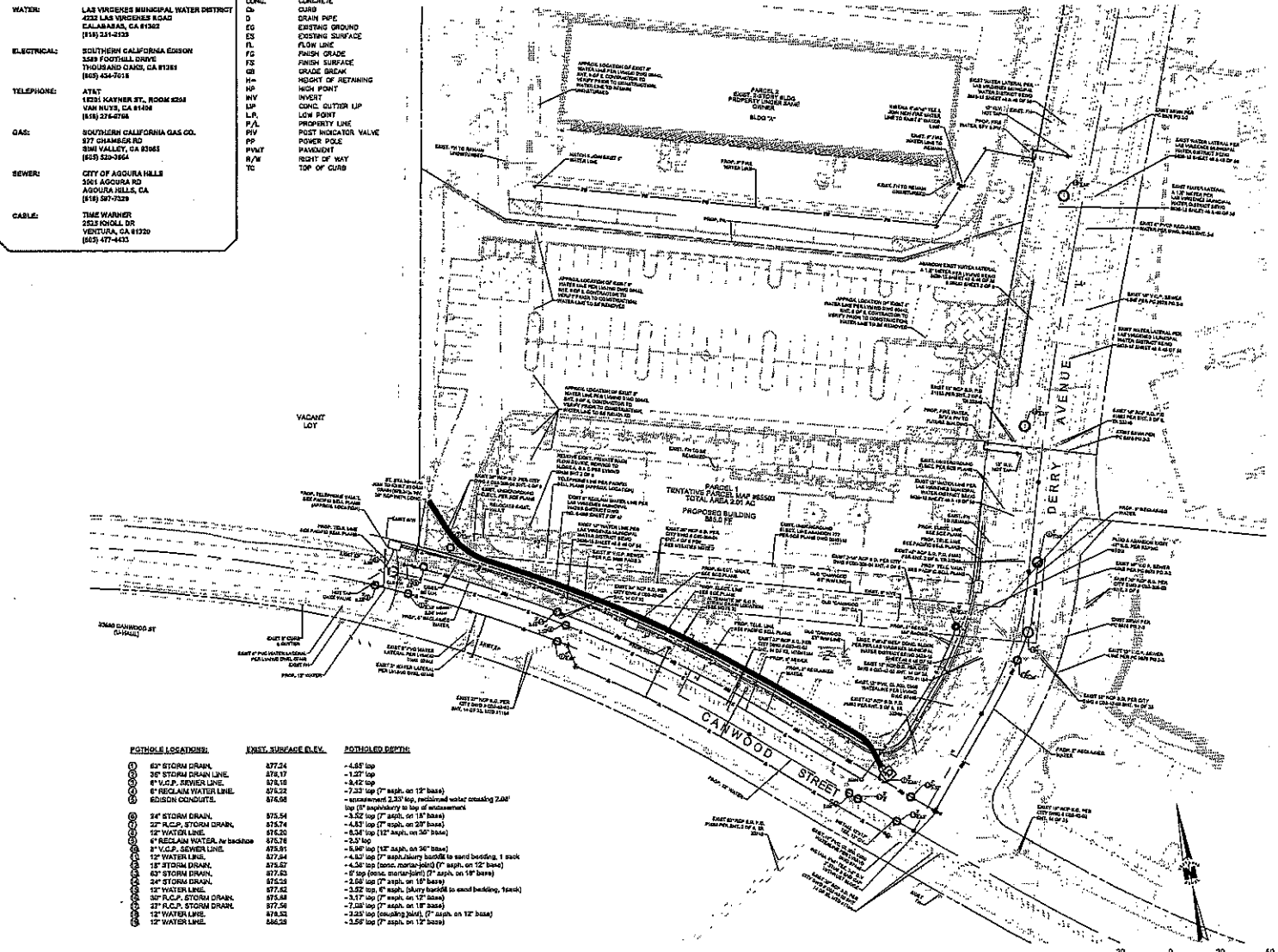
GAS: SOUTHERN CALIFORNIA GAS CO.
577 CHAMBER RD
3RD VALLEY, CA 92685
(625) 523-2654

SEWER: CITY OF AGOURA HILLS
3161 AGOURA RD
AGOURA HILLS, CA
(919) 597-7329

CABLE: TIME WARNER
2533 HOLLADAY
VENTURA, CA 91320
(805) 477-4433

ABBREVIATIONS:

SPV BACK FLOW VALVE
CONCL CONCRETE
CURB CURB
DRN RCP DRAIN RCP
ESTG EXISTING GROUND
COSTG COSTING SURFACE
FLN LINE FINISH GRADE
FGR FINISH GRADE
FS FINISH SURFACE
GB GRADE BENCH
H= HEIGHT OF RETAINING
HP HIGH POINT
INVERT INVERT
C/C C/C CENTER LINE
LIP LOW POINT
L.P. PROPERTY LINE
P.I. POST INDICATOR VALVE
PP POWER POLE
P/INT PAVEMENT
R/W RIGHT OF WAY
T/C TOP OF CURB



POTHOLE LOCATION	UTILITY SURFACE ELEV.	POTHOLE DEPTH
1 60" STORM DRAIN	877.24	-4.85' top
2 36" STORM DRAIN	876.17	-1.27' top
3 6" V.C.P. SEWER LINE	876.10	-8.62' top
4 6" RECLAIM WATER LINE	875.22	-7.23' top (7" depth on 12" base)
5 6" REIDSON CONDUITS	874.08	-8.52' top (7" depth on 12" base)
6 24" STORM DRAIN	875.54	-4.82' top (7" depth on 12" base)
7 24" R.C.P. STORM DRAIN	875.74	-4.82' top (7" depth on 12" base)
8 12" WATER LINE	876.30	-2.52' top (7" depth on 12" base)
9 6" RECLAIM WATER, no backflow	876.16	-2.52' top (7" depth on 12" base)
10 2" V.C.P. SEWER LINE	875.91	-6.80' top (12" depth on 36" base)
11 12" WATER LINE	877.64	-4.82' top (7" depth on 12" base)
12 12" STORM DRAIN	875.67	-4.82' top (7" depth on 12" base)
13 60" STORM DRAIN	877.62	-1.27' top (7" depth on 12" base)
14 24" STORM DRAIN	875.58	-2.52' top (7" depth on 12" base)
15 12" WATER LINE	877.62	-3.22' top (6" depth, slurry backfill to end backing, finish)
16 36" R.C.P. STORM DRAIN	875.58	-3.17' top (7" depth on 12" base)
17 24" R.C.P. STORM DRAIN	875.56	-2.52' top (7" depth on 12" base)
18 12" WATER LINE	876.52	-2.22' top (6" depth, slurry backfill, 7" depth on 12" base)
19 12" WATER LINE	866.55	-3.52' top (7" depth on 12" base)

UNDERGROUND SERVICE ALERT

CALL TOLL FREE
1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

REV	SYMBOL	DESCRIPTION OF CHANGE	AGE	DATE

PREPARED BY: WESTLAND CIVIL, INC.

REGISTERED ENGINEER NO. 37264

DATE: _____

CITY OF AGOURA HILLS

PRELIMINARY UTILITIES RELOCATION PLAN
5301 DERRY AVE
CITY OF AGOURA HILLS

PROJECT NO. _____

SHEET 4 OF 4
01/11/2008

Vicinity/Zoning Map



- CONDITIONAL USE PERMIT - CASE NO. 07-CUP-010
- SIGN PERMIT - CASE NO. 07-SP-036
- GENERAL PLAN AMENDMENT - CASE NO. 07-GPA-001
- ZONE CHANGE - CASE NO. 07-ZC-001
- VARIANCE REQUEST - CASE NO. 08-VAR-006
- VESTING TENTATIVE PARCEL MAP - PM 69426