



DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT

ACTION DATE: September 17, 2009

TO: Planning Commission

APPLICANT: Sunbelt Enterprises
1801 Solar Drive, Suite 250
Oxnard, CA 93030

CASE NOS.: 05-CUP-006, 05-OTP-032 & 08-SP-028

LOCATION: 29541 and 29555 Canwood Street
(A.P.N. 2053-001-008)

REQUEST: Request for approval of a Conditional Use Permit to build two, 12,600 square-foot, two-story medical office buildings; an Oak Tree Permit to encroach in the protected zone of 1 on-site oak tree; a Sign Permit to establish a Sign Program for the proposed project; and a request for adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program.

ENVIRONMENTAL
DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: Staff recommends approval of Conditional Use Permit Case No. 05-CUP-006, Oak Tree Permit Case No. 05-OTP-032, and Sign Permit Case No. 08-SP-028, subject to Conditions.

ZONING DESIGNATION: BP-OR-FC (Business Park –Office Retail- Freeway Corridor Overlay District)

GENERAL PLAN DESIGNATION: BP-OR (Business Park – Office Retail)

I. BACKGROUND AND PROJECT DESCRIPTION

The applicant, Sunbelt Enterprises, is requesting to build two, 12,600 square-foot, two-story office buildings on a 3.24-acre vacant parcel, located at 29541 and 29555 Canwood Street, between the Los Angeles County Fire Station and the Agoura Medical Plaza. It is bordered by the 101 Freeway Corridor to the south and common area within the Hillrise residential tract to the north. The project is intended to provide tenant spaces for medical uses. The hillside lot is only accessible from Canwood Street and has an average slope of 15.75% thereby requiring the review of a Conditional Use Permit. The applicant is also requesting the approval of an Oak Tree Permit to encroach in the protected zone of one on-site and a Sign Permit for the overall signage on the site.

The proposed project is located in the Business Park – Office Retail -Freeway Corridor Overlay (BP-M-FC) zone in which medical and general office uses are permitted. The following is a summary of the proposed development relative to the City Code requirements:

Pertinent Data for the Proposal:

	<u>Existing</u>	<u>Proposed</u>	<u>BP-OR Requirement</u>
1. <u>Lot Area</u>	3.24 acres 141,119 sq.ft.	N/A N/A	2 acres min. 87,120 sq.ft. min.
2. <u>Buildings Size</u>			
• Building A:	None	12,600 sq.ft.	N/A
• Building B:	None	12,600 sq.ft.	N/A
Total	None	25,200 sq.ft.	N/A
3. <u>Buildings Height</u>			
• Building A:	N/A	35 feet	35 feet max.
• Building B:	N/A	33 feet	35 feet max.
4. <u>Lot Coverage</u>	N/A	14.4%	40% max.
5. <u>FAR</u>	N/A	.18	.2444 maximum allowed
6. <u>Bldg. Setbacks</u>			
• Building A (front):			
Front (South):	N/A	105 feet	20 ft. or height of bldg. min.
Side (East):	N/A	48 feet	70 ft. combined, 15 ft. min.
Side (West):	N/A	28 feet	70 ft. combined, 15 ft. min.
Rear (North):	N/A	385 feet	20 ft. or height of bldg. min.

6. Bldg. Setbacks (Continued)

• Building B: (rear)

Front (south):	N/A	335 feet	20 ft. or height of bldg. min.
Side (East):	N/A	47 feet	70 ft. combined, 15 ft. min.
Side (West):	N/A	40 feet	70 ft. combined, 15 ft. min.
Rear (North):	N/A	153 feet	20 ft. or height of bldg. min.

7. Parking for Both Bldgs. N/A 126 spaces 126 spaces

8. Landscape Coverage

• Excluding open space	N/A	25.4%	20% min.
• Including open space	N/A	37%	20% min.

II. STAFF ANALYSIS

Site Planning

The terraced buildings design includes a two-story front (south) elevation, and a single-story rear (north) elevation to conform to the existing topography. The proposed buildings would be placed parallel to Canwood Street. Parking would be provided in the front and back of both buildings. Although this property is considered a hillside lot, its highest point remains below protected ridge line elevations. This project is considered in-fill development and has already been impacted by construction activities on nearby parcels for access by construction equipment.

In addition to providing parking, and pedestrian and handicap accessible paths, the applicant worked with staff to provide an outdoor recreational area that can service both buildings. It consists of a flat pad with tables and chairs surrounded by landscaping located away from the traffic. The area would be adjacent to an area left undeveloped on the adjacent parcel. The project will incorporate trash enclosures and transformer enclosures. Two of the trash enclosures will be located along the western side of the property; each will be accessible from the parking lot in front of the building to serve each building and one additional trash enclosure will be built against the retaining wall in the rear of the property. The transformer would be located in an enclosure in the landscaped planter that separates both parking lots near the driveway.

Architectural Design

One of the intended purposes of the City Architectural Design Standards and Guidelines is to preserve the semi-rural character of the community. The Freeway Corridor Overlay standards are intended to promote the City's image and preserve the City's natural environment. The applicant is using building forms, colors, and materials to maintain a more rustic style of architecture. Both buildings have full roofs clad with a concrete tile in a slate color. The two proposed buildings have a rectangular footprint which is built into the hillside. The buildings were designed as two-stories on the south elevations and one story on the north elevation to help reduce the grading cut quantities of soil. As a result, the buildings will appear as two-story structures from the right-of-

way and one-story structures from the residential neighborhood to the north. A combination of stucco, glass, stone-veneered walls and exposed rafter tails are used on both buildings. The porches are designed in a craftsman like style of architecture. The applicant has chosen a sand color for the walls, a deep brown for the trims and a bronze finish for the windows.

With only minor recommended changes, the Architectural Review Panel is in support of the project design. The Panel suggested that the applicant revise the buildings' elevations, particularly the porches and the roof line, which were done by the applicant.

Signage

As part of the review of any new development, applicants are encouraged to incorporate signage in the building design. The sign program consists of a double-sided monument sign near the site entrance and four directional signs along the driveway. The face of the monument sign would be 28 square feet which could accommodate 4 tenants on each side and built on a stone base with a maximum height of 6 feet above average grade. The name of the project would be pinned to the aluminum face and the tenant names are applied to 4 removable plates below. The directional signs are to be 3 square feet in size with a maximum height of 3 feet. The directional sign face has been conditioned to meet that requirement in compliance with the Sign Ordinance. The addresses are applied onto removable plates as well. The overall colors will be in keeping with the building. The proposal meets the recently adopted Sign Ordinance. The required address signs on the building are not subject to a Sign Permit and are required by the Los Angeles County Fire Department. Interior signage installed next to an interior door is also not subject to a Sign Permit.

Lighting

The applicant has selected a rustic light standard for the parking lot with bronze frame and shields in a honey color. The lighting and photometric plan must meet the City Lighting Ordinance and guidelines which include limiting illumination to one foot candle at the property lines, height of poles and relation with off-site lighting. The proposed Lighting Plan calls for six triple-fixture light poles to be installed in the parking lots and drive aisles, fourteen double-fixture light poles near the building and three single-fixture light poles in the driveway. The applicant worked with staff to keep the light fixtures near the walkways and parking spaces and avoid lighting of the undeveloped hillsides. These light poles will not exceed 16 feet in height. The pole is designed to include the height of the fixture, the pole length and supporting base above ground. Wall-mounted fixtures are also included.

Oak Tree Review

An Oak Tree Permit prepared for the project included an evaluation of 11 oak trees, and most specifically one on-site oak tree and 2 off-site near the northern and western property boundaries. The applicant worked extensively with the City Oak Tree Consultant and staff to minimize and/or eliminate impacts to the trees which meant changing the finished contour lines of the manufactured slope in the rear of the lot, eliminating a driveway along the western property line, and redesigning

the handicap accessibility path, the retaining walls and the foundation system of Building B's north elevation. The result is a minor encroachment on Oak Tree No. 2, the on-site Valley Oak. The City Oak Tree Consultant does not recommend mitigation replacement for the encroachment but rather that the applicant be required to plant an oak tree for every 15,000 square-foot of gross floor area which is required of new commercial projects.

Landscaping Review

The project is required to provide at least 20% landscape coverage for the total site, and at least 15% landscape coverage for the parking area, with 50% tree canopy coverage. These measures are intended to enhance the visual appearance of the project, moderate the temperature and reduce noise and glare. Furthermore, the project is highly visible from the freeway and landscaping is essential in enhancing the appearance of the site from the freeway views.

The submitted Landscape Plans have incorporated an extensive use of native trees and plants, with an emphasis on native oak trees in addition to providing California Black Walnut trees. The applicant has used native plants along the front of the property almost exclusively. The trees include a fast growing Poplar, and California Lilac tree with an under-story of Coffee Berry and Toyon. Special attention was placed on the landscaping in the back of the parcel to transition between the developed pad and the remaining undisturbed open space on the site. The palette includes Walnut, Mountain Mahogany, and California Lilac trees. The project will be screened along the east and west sides of the property with California Bay, Alder, and Walnut trees with an under story of Catalina Cherry plants. Additionally, the planting around the building will be dotted with a mix of native and ornamental plant material which will provide colors to the overall landscaping. Overall, the design provides a mix of deciduous and evergreen trees for an effective natural appearance.

The proposed Landscape Plan indicates 25.4% of newly introduced landscaping for the overall site, whereas the minimum for the zone is 20%; when the undisturbed open space area of the lot is included the total landscaping increases to 37%. The lighting fixtures were strategically placed to avoid interfering with mature tree growth. The City Landscape Consultant has reviewed the project and finds the landscaping coverage and planting palette to be in compliance with the Zoning Ordinance. Recommended conditions are included in the attached Draft Resolution.

Grading

The project will generate an estimated cut of 8,428 cubic yards of soil, 13,274 cubic yards of fill, and an estimated 4,846 cubic yards of import soil to the site as a result of raising the pads and recontouring. The proposed graded pads necessitated the use of a retaining wall of up to 6 feet in height in the rear of the property. The wall is 177 feet long and is partially screened by a raised planter 76 feet in length. In agreement with staff, the applicant recognized the value of contouring the manufactured slope to match the existing natural topography of the lot beyond the retaining wall. The overall height of the new slope will not exceed 25 feet in height as required by the Municipal Code. Two additional walls are proposed to be built perpendicular to those walls in order to retain the earth around the oak tree and minimize disturbance to the root system. The wall

will be screened by landscape planters as well. Given the irregular topography of the parcel a retaining wall, approximately 460 feet length, will need to be built along both sides of the property to transition between the developed parcels elevations. Both will have landscaping on each side for almost the entire length.

The existing topographic elevations vary from 870 feet above sea level near the freeway right-of-way on Canwood Street, to 940 feet at the rear property line. An approximate additional 110 feet separates the rear property line from the closest residential property in the Hillrise residential neighborhood where the pads are estimated to be at a 980-foot elevation. Building A (lower pad) is proposed to be built at an elevation of 875 for the first floor and 889 feet for the second floor, and Building B (upper pad) at an elevation of 898 for the first floor and 912 feet for the second floor. Based on a 35-foot building height, the roof line of the southerly building would be slightly below the second floor of the rear building. Both buildings would be visible from the freeway. The entire project will remain below the elevation of the Hillrise residential development above. The applicant has provided staff with photo simulations of the project to illustrate the pad and building heights. The front property line will be in alignment with the adjacent parcels and a meandering sidewalk will be provided.

The City Geotechnical Consultant has reviewed the geotechnical report, prepared by Advanced Geotechnical Services, Inc., and all subsequent supplemental information provided between 2005 and 2008, for this project and recommends approval based on Planning/Feasibility Issues as well as the Geotechnical supporting data. A letter of recommendation of the project feasibility is attached to the report for reference.

Circulation/Street Improvements

The City Traffic Engineer reviewed the proposed project with respect to on-site circulation and access to and from of the site. The applicant proposes to provide access to the site on the east side of the parcel with sufficient separation between the proposed driveway and the existing driveways to the east and west. Staff recommends that the first 20-feet of the driveway be covered with decorative pavement. As part of a new development, half-street improvements along the entire frontage length are required and must be completed by the applicant.

Traffic

In reviewing the project size, the City Engineer required a Traffic Impact analysis. The report, prepared by Interwest Consultant Group, indicated that the project will generate 62 new daily vehicular trips during the AM peak hour and 98 vehicular trips during the PM peak hour. The applicant has worked closely with the Engineering Department to coordinate off-site improvements to the City's transportation system since the City is in the process of undertaking the widening of the Reyes Adobe Road Bridge which would alleviate traffic congestion. In the event that this office project is completed before the bridge project, the applicant will be responsible for implementing his fair share of the improvements until such time the interchange is fully operational. A cost analysis was prepared and accepted by the City Engineer. A condition is incorporated in the draft conditions of approval to that effect.

In addition to these measures, the Municipal Code requires that the Transportation Improvement Fee be paid as part of any commercial development. The fee is based on the square footage of the project and the funds are used by the City to mitigate cumulative impacts to improve the circulation system within the City. The Traffic Consultant also measured the impacts of the added traffic onto the freeway system and found the increase does not exceed the threshold to require the applicant to participate in a Congestion Management Program required by the County of Los Angeles Transportation Agency. All recommended conditions of the City Engineer for this project are included in the attached Draft Conditions of Approval and the Mitigated Negative Declaration.

Parking

The number of parking spaces is based on medical use. Medical offices require additional parking than general office. The requirement is 1 space for every 200 square feet of gross floor area which means that the project would need to provide 126 parking spaces including handicap spaces. The proposed project includes 126 parking spaces including 8 to be designated as handicap spaces. A total of 126 parking spaces are required by the Zoning Ordinance. The Parking Ordinance also addresses parking for alternative forms of transportation such as bicycling. For every 25 parking spaces, a commercial project must provide 1 bicycle space. The applicant is required to accommodate racks for 5 bicycles.

Environmental Review/Mitigated Negative Declaration

An Initial Study was prepared in accordance with the requirements of the California Environmental Quality Act (CEQA) to analyze the potential environmental consequences of the proposed project. The purposes of an Initial Study are:

- A. To provide the Lead Agency (City of Agoura Hills) with the necessary information to decide whether to prepare an Environmental Impact or a Mitigated Negative Declaration;
- B. To enable the Lead Agency to modify a project, mitigating adverse impacts thus avoiding the need to prepare an EIR;
- C. To provide sufficient technical analysis of the environmental effects of a project to permit a judgment based on the record as a whole, that the environmental effects of a project have been adequately mitigated.

In the case of the proposed project, staff found that although the proposed project could have a significant effect on the environment, there would not be a significant effect in this case because revisions to the project have been made by or agreed to by the applicant. A Draft Mitigated Negative Declaration (MND) was prepared for this project which concluded that all impacts were found to be mitigable to a less than significant level upon implementation of the measures. A copy of the MND is included.

The Draft MND was circulated for a 30-day review period, ending on August 28, 2009. No comments on the Draft MND were submitted to staff. The applicant has accepted the proposed mitigation measures which reduce the impacts associated with all environmental concerns to less

than significant levels. For these reasons, staff finds the use of a Mitigated Negative Declaration for CEQA processing of this application to be appropriate.

If the Planning Commission approves the application, CEQA requires that the Planning Commission also adopt a "mitigation monitoring program" (MMP) to ensure compliance with mitigation measures during project construction and operation. The report is attached to the MND.

V. RECOMMENDATION

Based on the foregoing analysis, staff recommends approval of the project, subject to conditions. Staff also recommends that the Planning Commission adopt the Mitigated Negative Declaration and Mitigated Monitoring Program.

VI. ATTACHMENTS

- Draft Resolution and Conditions of Approval
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Reduced Photocopies of the Plans
(Architectural Plans; Grading Plans; Landscape Plans; Lighting Plan; and Sign Program)
- Exhibit C: Photo-simulations
- Exhibit D: Photograph of the Site and Color and Material Board
- Exhibit E: Final Mitigated Negative Declaration and Mitigation Monitoring Program
(Attached Report)

CASE PLANNER: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
APPROVING CONDITIONAL USE PERMIT CASE NO. 05-CUP-006, OAK TREE PERMIT
CASE NO. 05-OTP-032, SIGN PERMIT CASE NO. 08-SP-028 AND ADOPTING A
MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING PLAN

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Sunbelt Enterprises, with respect to the real property located at 29541 and 29555 Canwood Street, (Assessor's Parcel No. 2053-001-008) requesting approval of a Conditional Use Permit to build two, 12,600 square-foot two-story medical office buildings; an Oak Tree Permit to encroach in the protected zone of 1 on-site oak tree; a Sign Permit to establish a Sign Program for the proposed project, and a request for adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program. A public hearing was duly held on September 17, 2009 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. Pursuant to Section 9673.2.E of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located, and will comply with each of the applicable provisions of the Zoning Ordinance. The zoning designation allows for development of medical office buildings and the proposal meets the development standards for the BP-OR-FC zone relative to lot coverage, setbacks from property lines and building height.

B. The proposed use, as conditioned, and the manner in which it will be operated or maintained, will not be detrimental to the public health, safety, or general welfare. The buildings will be constructed to comply with the most recent Building Code requirements. Building occupants are restricted to operating indoor only and are subject to the Zoning Ordinance standards with respect to noise, light, and operation. Controlled lighting and native landscaping will ensure the project will not impact neighboring properties. The driveway and distribution of the parking were designed to limit conflicts between pedestrian and vehicles. The roadway will be widened to improve traffic conditions. The access in and out of the site is conditioned to maximize safety in the right-of-way. The placement and design of the buildings would preserve the light, air, privacy to the adjacent parcels and the equipment and refuse is located a considerable distance from the public.

C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and surrounding area and is compatible with the surrounding properties. The

design of the proposed development would provide a desirable environment of its occupants, as well as for its neighbors. The business park is aesthetically of good composition, materials, textures, and colors. The building design is compatible with the variety of architectural styles in the area. The materials include stucco, stone veneer, wood posts, exposed rafter tails and concrete roof tiles. The office buildings are designed to fit within their surrounding topography. The project design successfully balances on-site pedestrian and vehicular circulation and the preservation of the natural resource. The interpretation of the City Architectural Standards and Guidelines for this project has resulted in a project design that maintains rustic features that comply with the desired image of freeway corridor development.

D. As conditioned, the design and location of the proposed development and its relationship to existing or proposed developments and traffic in the vicinity thereof is such that it will not impair the desirability of investment or occupation in the neighborhood and that it will not unreasonably interfere with the use and enjoyment of existing or proposed developments in the vicinity thereof and that will not create traffic hazards or congestion. Access to the site is via one single driveway located a safe distance from both adjacent driveways which would increase safety for egress/ingress traffic. Sufficient parking will be provided on-site per the Municipal Code. Street improvements are provided to accommodate the increased traffic and maintain safety at the less traveled intersection.

E. The proposed use, as conditioned, and the condition in which it will be operated or maintained, will not be detrimental to the public health, safety, or general welfare. The proposed medical offices will be constructed in compliance with the City Building Code and development standards of the BP-OR-FC zone.

F. The distance from other similar and like uses is sufficient to maintain the diversity of the community. Although medical office uses are located on the same street to the east, the BP-OR zone allows for additional medical office development on this site.

G. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan and the design of the proposed development is in keeping with the character of the surrounding neighborhood and is not detrimental to the harmonious, orderly, and attractive development contemplated by the Zoning Ordinance and General Plan. The proposed office buildings are permitted uses as prescribed in the General Plan Land Use Element. The project provides employment, maintains a professional identity, and is incorporated into its surrounding and has exceeded the minimum development standards established by the Zoning Ordinance.

Section IV. The encroachment into the protected zone of one of the three oak trees analyzed for this project is controlled per the requirements of the City of Agoura Hills, Oak Tree Preservation Guidelines, Appendix A. The site will benefit from additional Oak trees which are required on site to preserve the rustic character of the community when new commercial development is approved.

Section V. The Sign Program is designed to identify the project and help users to circulate around the property and not distract from its design. The monument signs will direct traffic to the entry of the project and the directional signs to the building entries. The proposed sign program, as conditioned, will comply with each of the applicable provisions of this Zoning

Ordinance. The proposed signs comply with the provisions of the Commercial and Freeway Corridor Overlay District zones in regard to placement, height and size and will be compatible with the semi-rural character of the city. The sign program is designed to provide identity to the project and some of the tenants in one unique location so as to not distract from the building architecture.

Section VI In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt a Mitigated Negative Declaration for this project. Based upon the initial study, public comments and the record before the Planning Commission, the Planning Commission finds that the Mitigated Negative Declaration identifies potentially significant environmental effects for which feasible mitigation measures have been identified which will avoid or substantially lessen such effects. The Planning Commission has reviewed the information contained in the Mitigated Negative Declaration in considering the application and finds that the Mitigated Negative Declaration was prepared pursuant to the California Environmental Quality Act. The Planning Commission hereby adopts the Mitigated Negative Declaration and the attached Mitigation Monitoring Program.

Section VII. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 05-CUP-006, Oak Tree Permit Case No. 05-OTP-032, Sign Permit Case No. 08-SP-028, subject to the attached conditions and a Mitigated Negative Declaration and Mitigation Monitoring Plan.

PASSED, APPROVED, and ADOPTED this 17th day of September, 2009 by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Curtis Zacuto, Vice Chairperson

ATTEST:

Mike Kamino, Secretary

CONDITIONS OF APPROVAL
CASE NOS. 05-CUP-006, 05-OTP-032 & 08-SP-028

PLANNING CONDITIONS

Entitlement Requirements

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits: Site Plan; Elevation Plans; Floor Plans, Roof Plan, Landscape Plan and Grading Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse provided that the applicant has been given written notice to cease such violation and has filed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. Unless this permit is used within two (2) years from the date of City approval, Conditional Use Permit Case No. 05-CUP-006, Oak Tree Permit Case No. 05-OTP-032 and Sign Permit Case No. 08-SP-028 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of

building valuation. Actual fees will be determined at the time of building permit issuance.

11. The applicant shall comply with all applicable Public Health Statutes, Ordinances, and Regulations related to the disposal of sewage.
12. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District that is currently established at \$0.47 per square-foot of new floor area.
14. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square-foot of new floor area.
15. Prior to issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until the City's Environmental Planner is notified and a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
16. The approved grading plan and construction plans, resolution, conditions of approval, the mitigated negative declaration and the mitigation monitoring and reporting program and a color and material board shall be on site at all time during the construction of the project.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.

Construction Requirements

18. The applicant and his team will schedule a pre-construction meeting with City Staff before the issuance of a Grading Permit.
19. Prior to the starting construction, the site shall be temporarily fenced and screened on all sides for the duration of the construction project. The height of the fence shall be six (6) feet and fence material shall be overlaid on the exterior with a dark, opaque vinyl screen, or other equivalent fencing and screening material as approved by the Director of Planning and Community Development. Temporary construction fencing and gates shall be maintained in good order at all times.

20. All proposed retaining walls shall consist of materials subject to review and approval by the Director of Planning and Community Development.
21. Vehicle routes and access to the property for construction purposes shall be subject to review and approval by the City Engineer.
22. No construction work or repair work shall be performed between the hours of 7:00 p.m. to 7:00 a.m., or any Sunday or holiday.
23. The applicant and delegated contractors shall participate with City staff in a pre-construction meeting prior to issuance of a grading permit. Any change in the construction team shall be reported to the Building and Safety Department in a timely manner.
24. A detailed Lighting and Photometric Plan shall be submitted for review and approval by the Director of Planning and Community Development, prior to issuance of a Building Permit.
25. A copy of all communications between the City and the applicant pertaining to the approved plans shall be kept on-site at all times.
26. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
27. Intermittent inspections shall be scheduled by the applicant as required by the Building and Safety Department and coordinated with the Engineering and Planning Departments.

SOLID WASTE MANAGEMENT REQUIREMENTS

28. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
29. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After

completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

30. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

ENVIRONMENT REQUIREMENTS

31. The applicant shall comply with each mitigation measure listed in the Final Mitigated Negative Declaration and outlined in the Mitigation Monitoring Program for the project approved on September 17, 2009. The Mitigation Monitoring Program is attached to these Conditions of Approval.
32. A list of all project conditions of approval and mitigation measures found in the Mitigated Negative Declaration shall be included, along with a signed copy of the Resolution, on the construction plans submitted prior to issuance of a Grading or Building Permit.
33. Air quality measures (Rule 403) shall be copied onto the cover sheets of the Grading Plans.

LANDSCAPING/IRRIGATION

Oak Trees

34. The driplines and protected zones of all oak trees shall be consistent on all project plans including the Oak Tree Location Map, and Grading, Architectural, Electrical, Landscape and Canopy Coverage Plans. The City Landscape and Oak Tree Consultant shall review the Grading Plan submittals during the plan check process to assess any potential increase to the encroachment into the protected zone of Oak Tree Number 2.
35. The applicant is permitted to encroach within the protected zone Oak Tree Number 2 in order to complete the approved site development program.
36. No activities are permitted within the protected zone of the remaining eleven (11) oak trees. They are to be preserved in place with no impacts.
37. Prior to the start of any work or mobilization at the site, Oak Trees Number 1, 2 and 9 shall be fenced at the edge of the protected zone or at the approved work limits, in

accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.

38. The applicant shall provide a minimum of forty-eight (48) hours notice to the City Oak Tree Consultant prior to the start of approved work within the protected zone of an oak tree.
39. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
40. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
41. All approved work performed within the protected zone of an oak tree shall be accomplished with hand tools only. All such work must be performed under the direct observation of the applicant's oak tree consultant unless otherwise approved by the City Oak Tree Consultant.
42. Prior to occupancy, each oak tree shall be mulched throughout the dripline with three inches (3") of approved organic matter.
43. Any fertilization of the tree should be based on actual soil tests from the site. Fertilization is generally not necessary unless serious deficiencies are evident in the leaves.
44. Within ten (10) calendar days of the completion of work and prior to removal of the protective fencing, the applicant shall contact the City Oak Tree Consultant to perform a final inspection. The applicant shall proceed with any remedial measures the City Oak Tree Consultant deems necessary to protect or preserve the health of the subject oak trees at that time.
45. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified arborist under the direct supervision of the applicant's oak tree consultant. Pruning operations shall be consistent with The Pruning Standards of the Western Chapter of the International Society of Arboriculture.
46. No irrigation or planting shall be installed within the dripline of any existing or new oak tree unless specifically approved by the City Oak Tree Consultant.
47. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
48. The project oak tree consultant shall submit certification letters for all work completed within the protected zone of any oak tree within ten (10) working days of the completion of said work. The letters shall describe all work performed, methods utilized, monitoring performed and shall state whether such work was completed in accordance with the above conditions of approval.

Landscaping

49. The landscape plan shall substantially conform to the plan prepared by Edward E. Gripp Landscape Architect, dated April 10, 2009.
50. Proposed tree wells and planters shall be consistent on all plans including the Oak Tree Location Map, and the Grading, Architectural, Electrical, Landscape and Canopy Coverage Plans.
51. Prior to the approval of building permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements, subject to review by the City Landscape Consultant and approval by the Director of Planning and Community Development:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
 - h. The Planting Plan shall indicate the botanical name and size of each plant.

52. Plant symbols shall depict the size of the plants at maturity. Tree spacing shall be designed to allow for optimum growth of each tree species.
53. The final plans shall not include any palm species.
54. Parking lot planters shall have a minimum width of six feet (6') when parking abuts one side.
55. All parking lot finger planters shall be at least eight feet (8') wide and spaced no more than ten (10) stalls apart.
56. All other planters within the site shall have a minimum width of four feet (4').
57. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
58. The landscape plan shall include at least two (2) twenty-four inch (24") box size oak trees.
59. The landscape plan shall provide a vine pocket at the foot of the wall at the northwest end of the uppermost parking lot.
60. The landscape plans shall prominently display the following notes:
 - i. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - j. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - k. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
61. Proposed light standard locations shall be depicted on the planting plan. As proposed, significant conflicts exist between proposed tree locations and proposed light standards. All conflicts between light standard and tree locations shall be resolved to the satisfaction of the City Landscape Consultant prior to finalization of the plans.
62. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
63. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
64. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - a. Design and static pressures
 - b. Point of connection

- c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
65. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
 66. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
 67. A complete Landscape Documentation package is required at the time of initial plan check submittal, prepared in accordance with Article IX, Section 9658.6 – Water Efficient Landscaping, contained in the Zoning Code.
 68. A minimum of twenty percent (20%) of the total lot shall be landscaped.
 69. A minimum of fifteen percent (15%) of the parking lot, including driveways and aisles, shall be landscaped, distributed evenly throughout the parking lot.
 70. Shade trees shall be provided such that fifty percent (50%) of the parking lot, including parking spaces, driveways and aisles, shall be covered by tree canopies within fifteen (15) years after installation.
 71. In accordance with the Freeway Corridor Overlay District, the final plant palette and arrangement along the outer borders of the project shall reflect a naturalistic and native theme, emphasizing native oak trees.
 72. All plant material shall be considered compatible with Sunset Zone 18.
 73. Landscape plants must not be considered invasive, negatively impacting the adjacent natural areas. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
 74. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
 75. Poor landscape practices such as topping, hedging and “lollipopping” shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
 76. The landscape plan must be approved prior to issuance of building permits. Concurrent approval is required of a Fuel Modification Plan by the Los Angeles County Fire Department.

ENGINEERING CONDITIONS

77. PRIOR TO PERMITTING (GRADING, BUILDING, ENCROACHMENT, ETC)

A. General

- 2.01 All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
- 2.02 For all work within public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.
- 2.03 Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department. TIF fee shall be based on the approved rate for a commercial use, and not a residential use.
- 2.04 All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
- 2.05 Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
- 2.06 Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval.
- 2.07 The applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the

City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.

2.08 Submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer. The report shall be reviewed and approved by the City Geotechnical/Geological Consultant.

2.09 Other Agency Permit/Approval: Prior to issuance of permits from the Engineering Department, this project is subject to a permit from the following agencies, if required:

- Las Virgenes Municipal Water District
- Los Angeles County Health Department

2.10 Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. Contact Engineering Department @ 818.597.7322 for approved City certification forms.

B. Public Improvements

2.20 Design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area. Such public improvements may include, but not be limited to, the following:

Improvement Items	CANWOOD STREET
Curb & Gutter	<input checked="" type="checkbox"/> New; 30 ft from C/L <input type="checkbox"/> Replace Damaged <input checked="" type="checkbox"/> Remove existing & Relocate improvements
AC Pavement	<input checked="" type="checkbox"/> Remove and reconstruct as approved <input checked="" type="checkbox"/> Grind and modify as shown on plans
PCC Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement on south side
Sidewalk	<input checked="" type="checkbox"/> New, with thickened edges to prevent uplift per City standard drawing <input checked="" type="checkbox"/> Remove asphaltic walkway on south side of Canwood Street and reconstruct concrete sidewalk to match existing improvements on west side.

Improvement Items	CANWOOD STREET
ADA Access Ramp	<input checked="" type="checkbox"/> New, with truncated domes on both sides of the entry driveway for the benefit of visually disable pedestrians.
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (with irrigation)
Raised Median	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (with irrigation) <input type="checkbox"/> Hard Landscaping
Street Lights	<input checked="" type="checkbox"/> New, if required by the City Engineer <input type="checkbox"/> Relocation
Sewer Service (See sec. 2C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral – show accurately on grading plan
All water appearances are per LVMWD standards (see Section 2D)	<input checked="" type="checkbox"/> Yes
Storm Drain (See sec. 2E)	<input checked="" type="checkbox"/> Main <input type="checkbox"/> Catch Basin
Traffic Signal Facilities (See sec. 2G)	<input type="checkbox"/> New <input type="checkbox"/> Modification <input type="checkbox"/> Relocation
Traffic Signing and Striping (See sec. 2G)	<input checked="" type="checkbox"/> New <input checked="" type="checkbox"/> Modification
Underground Overhead Utilities	<input checked="" type="checkbox"/> Yes – as determined during final plan check process
Other required improvements	See Specific Note hereunder

SPECIFIC NOTES FOR IMPROVEMENTS LISTED IN ITEM 2.20.
With existing operational businesses on both sides, traffic phasing during construction must be reviewed and approved by City Traffic Engineer and the City Engineer. No visual obstructions will be permitted along Canwood Street which are detrimental to the traffic exiting from two adjoining parcels.

- 2.21 Canwood streets' pavement section shall be designed for Traffic Index = 9.0 or better as approved by the City Engineer.
- 2.22 This property is within the LVMWD service area. Applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.

C. Sewer

- 2.30 An 8-inch sewer line is available for connection by this project in Canwood Street [Ref. Sewer Plan Dwg # C02-0192-01.]

D. Water

- 2.40 All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.

E. Drainage/Hydrology

- 2.50 A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study. Applicant's engineer shall design proposed main lines.

- 2.51 Other Conditions: Connection of proposed storm drain line may require approval of Los Angeles County, Public Works Department. Ownership and the condition of existing 36" C.M.P. must be verified and if deemed necessary be replaced with a 36" reinforced concrete pipe as directed by the City Engineer.

F. Stormwater (NPDES)

- 2.60 Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:

- Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;

- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
- Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.

2.61 Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Urban Stormwater Mitigation Plan (USMP) shall be submitted to and approved by the Engineering Department. The USMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

2.62 All projects that develop one (1) acre or more of total land area, or which are part of a larger phased development that will disturb at least one acre of land, are required to obtain coverage under the State Water Resources Control Board's General Permit For Storm Water Discharges Associated With Construction Activity. Proof of filing a Notice of Intent (NOI) with the State for coverage under this permit is required prior to approval of the grading plan and issuance of grading permits. The applicant shall submit a copy of the Waste Dischargers Identification Number (WDID) for coverage under the General Construction Permit to the Engineering Department.

2.63 SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- a. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

G. Traffic/Transportation

- 2.70 The applicant is required to submit a focused traffic impact study. The study shall address any or all of the following issues as required by the City Engineer: parking, on- and off-site circulation, and/or build-out and future years traffic Level of Service (LOS) and impacts at intersections selected by the City.
- 2.71 The applicant shall construct all mitigation, or pay fair-share costs identified in the report as required by the City Engineer. When appropriate, the traffic study shall also identify timelines for construction of required traffic mitigation and other public improvements for phased or master planned developments.
- 2.72 Other Conditions: All mitigating measures or requirements of Traffic Study shall automatically become part and parcel of the Conditions of Approval.

78. PRIOR TO CERTIFICATE OF OCCUPANCY

- 3.01 All remaining fees/ deposits required by the Engineering Department must be paid in full.
- 3.02 All requirements including construction of improvements covered in Section 2 must be completed to the satisfaction of the City Engineer.
- 3.03 The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via

City's inspection prior to scheduling of final inspection for acceptance of the improvements. *Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless **MYLAR**, Record (As-built) Drawings, satisfactory to the City, are submitted.*

- 3.04 The applicant shall *record a covenant for continued stormwater maintenance, using City-approved forms*, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
- 3.05 All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.

BUILDING AND SAFETY

- 79. Per Section 903.2 of Chapter 2 of the Agoura Hills Municipal Code (AHMC), the structures are required to be fire sprinkled.
- 80. An accessible path of travel must be provided from public right of way to the main entrance of the buildings on site.
- 81. Please provide number and the location of all accessible and van accessible parking stalls in the project on all plans.
- 82. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures shall meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the AHMC.
- 83. As part of the permitting process and prior to permit issuance, two (2) full sets of construction plans including, Structural and Energy calculations shall be submitted to Building and Safety Department to be reviewed for compliance with the latest adopted codes.
- 84. The City Building Code requires that a minimum setback of structure to toe of slope per Agoura Hills Building Code, Sec. 1806.5.3 shall be demonstrated. Minimum setback from a descending slope is H/2, ($\frac{1}{2}$ the vertical height of the slope, including portions not on property), or provide the equivalent protection determined by the soils engineer. This deviation will need to be verified by City soils engineer and approved by Building Official.
- 85. Dual pane windows shall be utilized as required for Fire Zone 4 compliance.
- 86. Projects shall demonstrate the use of Class-A roofing material.

87. Preliminary and final site plan and construction plan shall show location of A/C condensing units or other HVAC equipment located on or around structure.
88. Building Permits shall not be issued until grading is approved and City, Fire District and all other Departments' requirements have been satisfied.

SPECIAL CONDITIONS

89. On-site decorative paving shall be provided at the driveway entrance serving the site and the walking pathway around the proposed buildings. The color, materials and length of the decorative paving shall be subject to review and approval by the Director of Planning and Community Development.
90. All transformers, other equipment and refuse containers shall be screened from view with decorative enclosure and gate. A plan showing this shall be reviewed and approved by the Director of Planning and Community Development.
91. All parking stalls shall be pinstriped. A minimum of 126 parking spaces shall be provided for the project.
92. All outdoor lighting requirements shall comply with the City's Lighting Ordinance.
93. All retaining walls shall be decorative and shall use construction system including but not limited to a soil-nail and/or split face blocks design and shall be reviewed and approved by the Director of Planning and Community Development.
94. Vehicular directional signs shall comply with the Sign Ordinance.

END



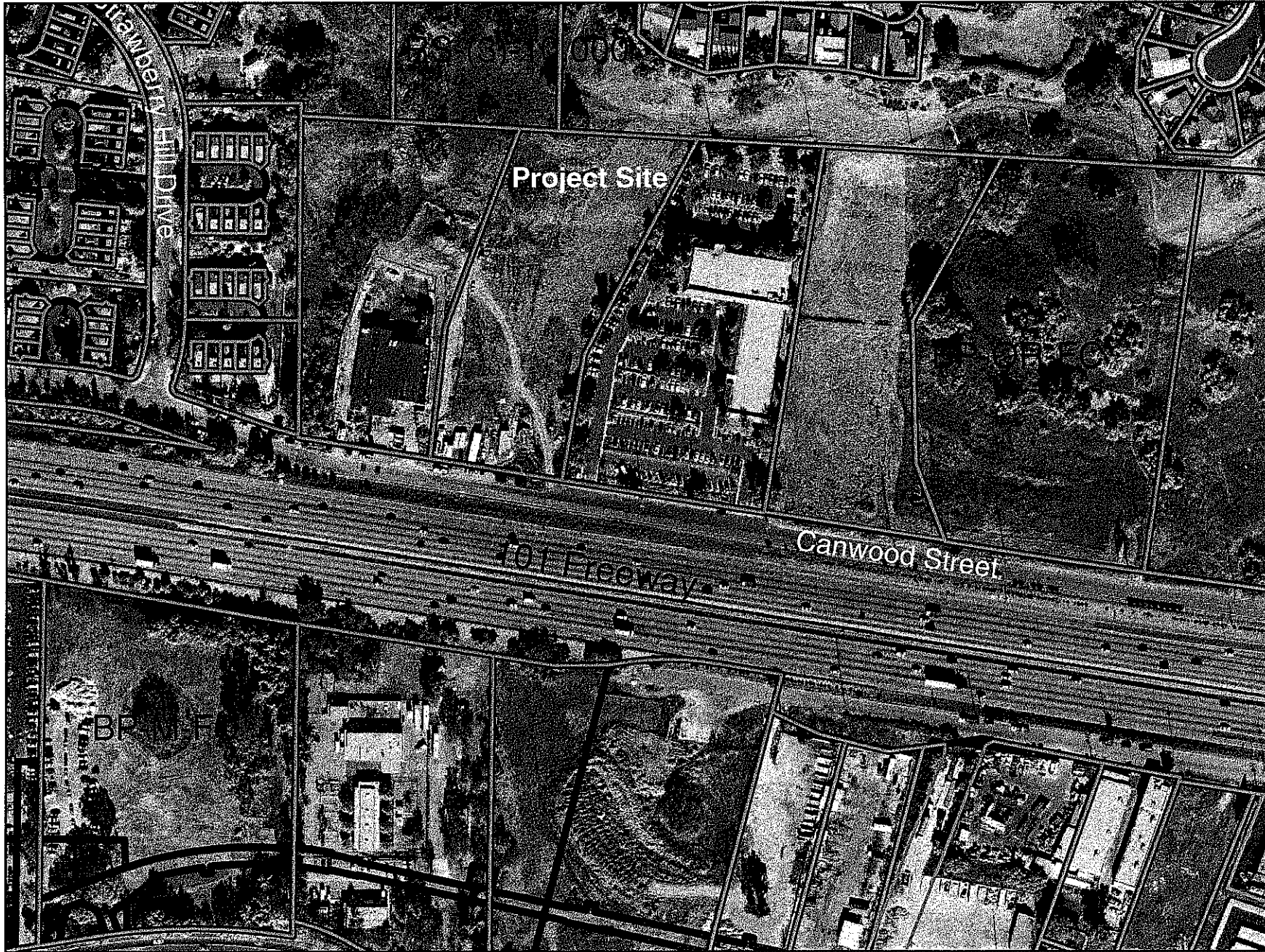
**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29541 and 29555 Canwood Street,
Agoura Hills**

**Conditional Use Permit – Case No. 05-CUP-006,
Oak Tree Permit – Case No. 05-OTP-032 &
Sign Permit – Case No. 08-SP-028**

**Exhibit A:
Vicinity/Zoning Map**

CONDITIONAL USE PERMIT - CASE NO. 05-CUP-006
OAK TREE PERMIT - CASE NO. 05-OTP-032
SIGN PERMIT - CASE NO. 08-SP-028

Vicinity/Zoning
Map





**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
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Sign Permit – Case No. 08-SP-028**

**Exhibit B:
Reduced Copies of the Plans**

△	PLAN CHECK REV	1-23-08	JWP
△	PLAN CHECK REV	3-30-08	JWP

Revisions	
△	PLAN CHECK REV 1-23-08 JWP
△	PLANNING DEPT. REV. 8-28-03 USG
△	PLANNING DEPT. REV. 1-17-07 USG
△	PLANNING DEPT. REV. 2-21-07 USG
△	PLANNING DEPT. REV. 12-28-07 JWP
△	PLANNING DEPT. REV. 05-22-08 JWP

12 sheets not under control
 1 sheet under control
 1 sheet under control
 1 sheet under control
 1 sheet under control
 1 sheet under control



THE WREN GROUP, INC.
 Architecture & Interiors
 44 West Bellflower Drive, Suite 8
 Pasadena, California 91105
 Phone: (626) 792-2264 Fax: (626) 792-2264

CONDITIONAL USE PERMIT FOR:

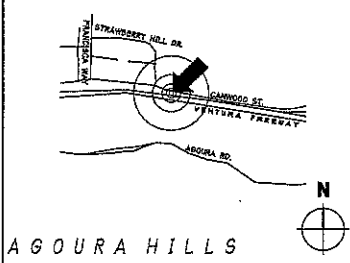
SUNBELT ENTERPRISES

29541 AND 29555 CANWOOD STREET AGOURA HILLS, CALIFORNIA 91301-1558

CONSULTANTS

OWNER: SUNBELT ENTERPRISES 102 SOLAR DRIVE, SUITE 250 DOWNEY, CA 91801 PHONE: (562) 694-0100 FAX: (562) 468-0889	ARCHITECT: CORNWALL ASSOCIATES 234 NORTH CL. WOODING AVENUE PASADENA, CA 91101 PHONE: (626) 792-2264 FAX: (626) 792-2264	INTERIOR DESIGN: THE WREN GROUP, INC. 44 WEST BELLFLOWER DRIVE, SUITE 8 PASADENA, CA 91105 PHONE: (626) 792-2264 FAX: (626) 792-2264
SOILS: ADVANCED GEOTECHNICAL SERVICES, INC. 5811 WOODROW WAY, SUITE 1 CANAVERA, CA 92021 PHONE: (951) 300-5268 FAX: (951) 348-6187	CIVIL: WELLS ENTERPRISES INC. 220 WISSE ROAD WOODBRIDGE, CA 91391 PHONE: (909) 312-1371 FAX: (909) 312-1315	LANDSCAPE: LAND FORM DESIGN INC. 748 ROMA CIRCLE THOUSAND OAKS, CA 91320 PHONE: (805) 379-0775
STRUCTURAL: JOHN A. BARNER AND ASSOCIATES, INC. 2400 LYONS AVENUE, SUITE 400 MIRAMONTE, CA 91301 PHONE: (661) 300-5444 FAX: (661) 352-2544	ELECTRICAL: TEK ENGINEERING GROUP, INC. 1600 VENTURA BOULEVARD, SUITE 314 DOWNEY, CA 91801 PHONE: (562) 782-8854 FAX: (562) 782-8881	MECHANICAL: SERC GROUP, INC. 1610 VENTURA BOULEVARD, SUITE 314 DOWNEY, CA 91801 PHONE: (562) 782-8854 FAX: (562) 782-8881

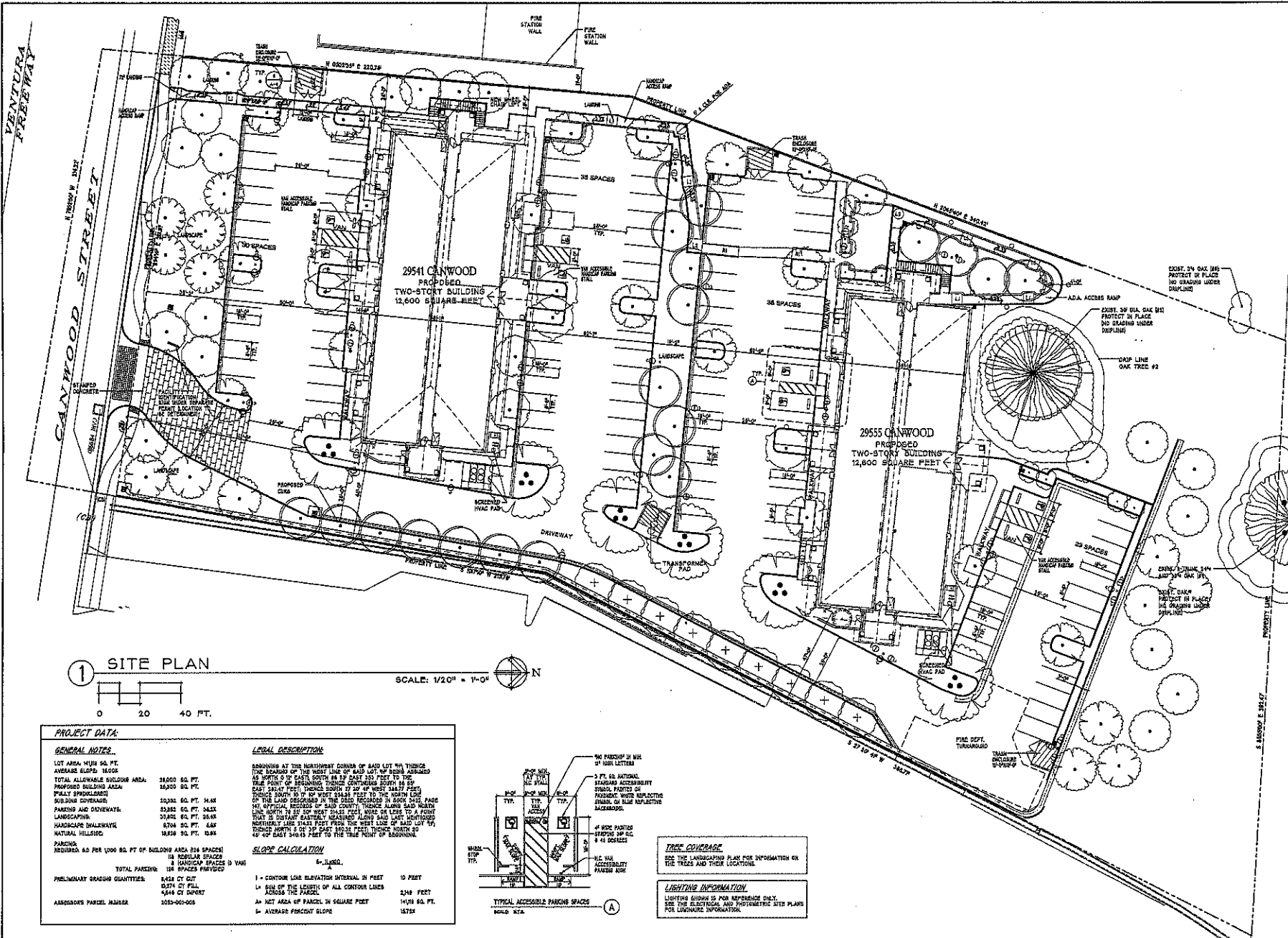
VICINITY MAP



SHEET INDEX

Sheet	Description
T-1	TITLE SHEET - ARCHITECTURAL
SD-1	SITE DEVELOPMENT PLAN
A-1	FLOOR PLANS
A-2	ROOF PLANS
A-3	EXTERIOR ELEVATIONS
A-4	DETAILS

TITLE SHEET - ARCHITECTURAL
 PROJECT
CANWOOD
 29541 AND 29555 CANWOOD STREET AGOURA HILLS, CA 91301-1558
 Date 10-04-08
 Drawn MP
 Checked
 Job 716.101
 Sheet
T-1

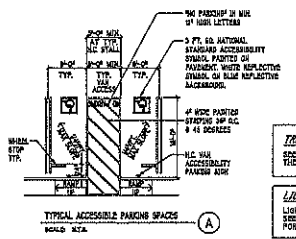


1 SITE PLAN

0 20 40 FT.

SCALE: 1/2" = 1'-0"


PROJECT DATA:	
GENERAL NOTES:	
LOT AREA 1410 5/8 AC.	
AVERAGE SLOPE: 16.0%	
TOTAL ALLOWABLE BUILDING AREA:	38,000 SQ. FT.
PROPOSED BUILDING AREA:	25,200 SQ. FT.
IRRELEVANT OPEN SPACE:	12,800 SQ. FT.
LANDSCAPE COVERAGE:	10,382 SQ. FT. 74%
PARKING AND DRIVEWAYS:	5,262 SQ. FT. 38%
LANDSCAPING:	1,968 SQ. FT. 14%
LANDSCAPE MAINTENANCE:	870 SQ. FT. 6%
NATURAL HILLSIDE:	18,930 SQ. FT. 14%
PARKING: REQUIRED AS PER 1000 SQ. FT. OF BUILDING AREA (128 SPACES)	
128 REGULAR SPACES	
4 LANDSCAP SPACES (5 VMS)	
TOTAL PARKING: 132 SPACES PROVIDED	
PRELIMINARY GRADING QUANTITIES:	
6,824 CY CUT	
1,076 CY FILL	
4,848 CY IMPORT	
ADJACENT PARCEL NUMBER:	103-001-008
LEGAL DESCRIPTION:	
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1410 THENCE	
THE SOUTHWEST CORNER OF SAID LOT 1410 THENCE	
18' NORTH 01° 01' 00" EAST 253.35 FEET TO THE	
TRUE POINT OF BEGINNING THENCE CONTINUING SOUTH BY S	
EAST 182.17 FEET THENCE SOUTH 32° 20' 45" WEST 287.77 FEET	
THENCE SOUTH 17° 12' 45" WEST 364.89 FEET TO THE NORTH LINE	
OF THE LAND DESCRIBED IN THE DEED RECORDED IN BOOK 2425, PAGE	
141 OF RECORDS OF SAID COUNTY, THENCE ALONG SAID NORTH	
LINE NORTH 78° 59' 30" WEST 242.51 FEET MORE OR LESS TO A POINT	
THAT IS CONTAINY EASTWEST MEASUREMENT ALONG SAID NORTHWEST	
NORTHWEST CORNER 141.83 FEET FROM THE WEST LINE OF SAID LOT 1410	
THENCE SOUTH 5° 01' 15" EAST 20.48 FEET THENCE NORTH 80°	
18° 40' EAST 240.13 FEET TO THE TRUE POINT OF BEGINNING.	
SLOPE CALCULATION:	
L = HORIZONTAL DISTANCE IN FEET	10 FEET
R = THE RADIUS OF ALL CURVE LINES ACROSS THE PARCEL	2418 FEET
A = NET AREA OF PARCEL IN SQUARE FEET	1410 5/8 SQ. FT.
B = AVERAGE PERCENT SLOPE	16.0%



TREE COVERAGE
SEE THE LANDSCAPING PLAN FOR INFORMATION ON THE TREES AND THEIR LOCATIONS.

LIGHTING INFORMATION
LIGHTING SHOWS LIGHT FIXTURES ONLY. SEE THE ELECTRICAL AND PHOTOGRAPHIC SITE PLANS FOR LIGHTING INFORMATION.

Revisions	
▲	PLANNING DEPT. REV. 7-21-03 UES
▲	PLANNING DEPT. REV. 8-22-04 UES
▲	PLANNING DEPT. REV. 8-22-07 UES
▲	PLANNING DEPT. REV. 8-21-07 UES
▲	PLANNING DEPT. REV. 12-28-07 S.W.
▲	PLANNING DEPT. REV. 6-29-08 S.W.
▲	PLANNING DEPT. REV. 8-23-08 S.W.
▲	PLANNING DEPT. REV. 1-30-08 S.W.

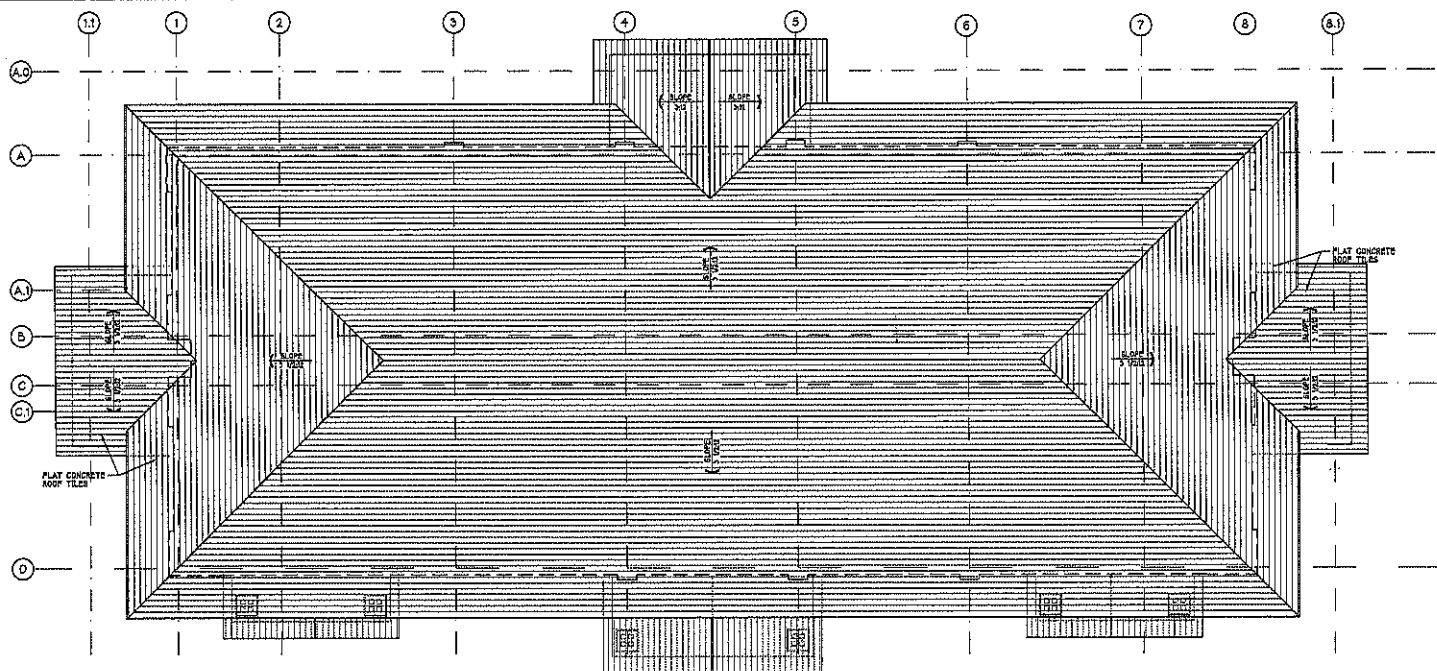


THE WREN GROUP, INC.
Architecture & Interiors

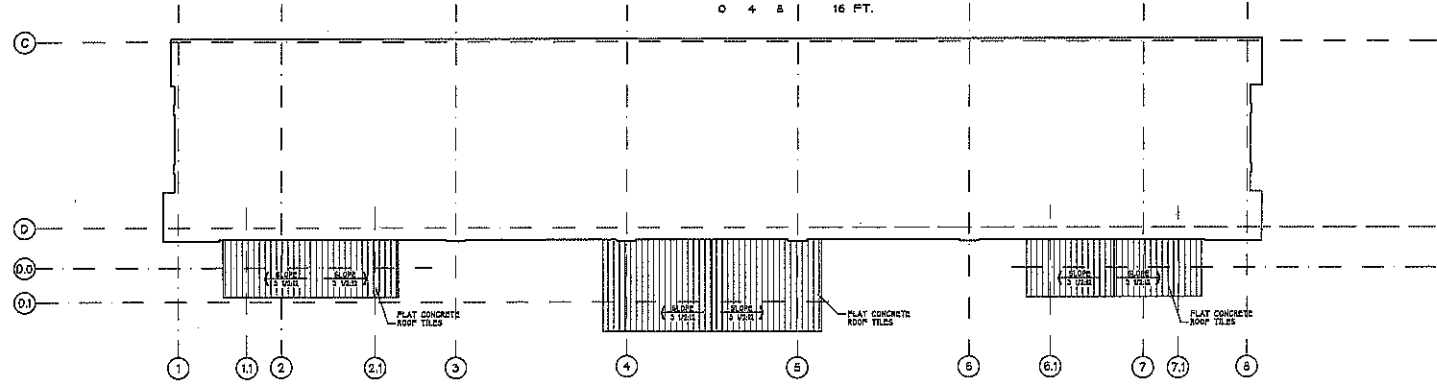
SITE DEVELOPMENT PLAN

PROJECT **CANWOOD**

Date 10-04-05
Drawn UES/MP
Checked
Job 718.101
Sheet **SD-1**



② UPPER LEVEL ROOF PLAN
 SCALE: 1/8" = 1'-0"
 0 4 8 16 FT.



① LOWER LEVEL ROOF PLAN
 SCALE: 1/8" = 1'-0"
 0 4 8 16 FT.

Revisions	
▲	PLANNING DEPT. REV. 7-6-05 URG
▲	PLANNING DEPT. REV. 8-24-05 URG
▲	PLANNING DEPT. REV. 1-27-07 URG
▲	PLANNING DEPT. REV. 2-21-07 URG

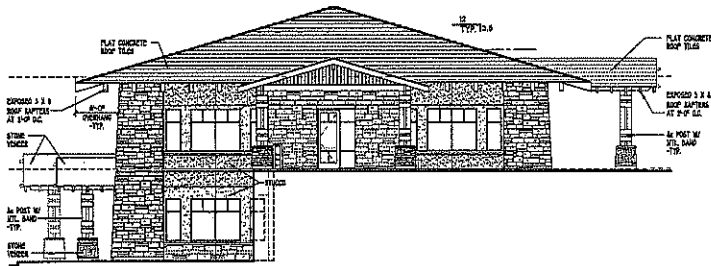


THE WREN GROUP, INC.
 Architecture & Interiors
 40 Westlake Drive, Suite 4, Thousand Oaks, California 91320 phone: (805) 499-0400 fax: (805) 499-0404

ROOF PLAN
 PROPOSED BUILDING:
CANWOOD
 2001 W. 2000 SUNDOWN DR. SUITE 400B WEST OAK 91341-1516

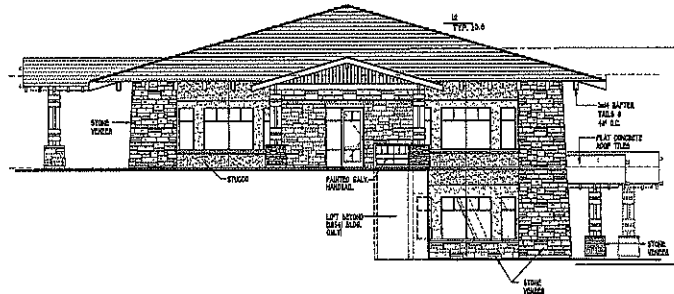
Date 10-04-05
 Drawn UEG/MP
 Checked
 Job 718.101

Sheet
A-2



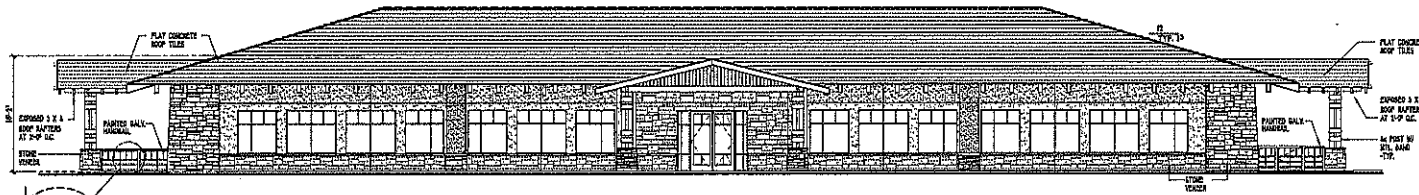
④ WEST ELEVATION

SCALE: 1/4" = 1'-0"



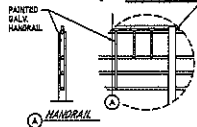
③ EAST ELEVATION

SCALE: 1/4" = 1'-0"

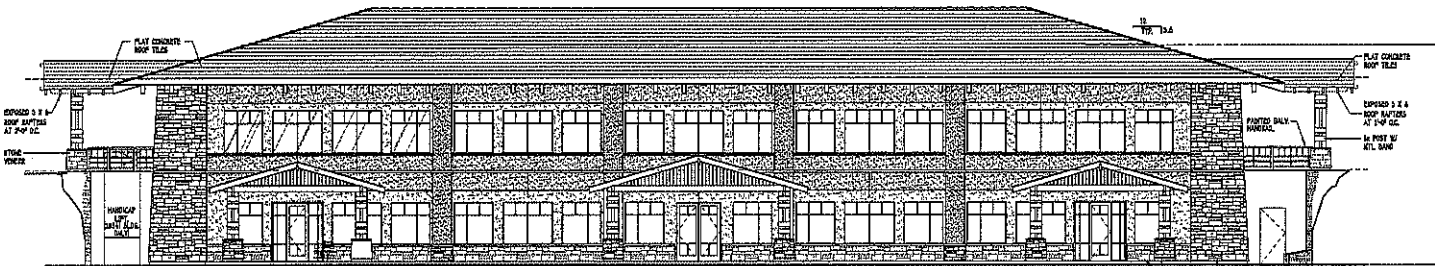


② NORTH ELEVATION

SCALE: 1/8" = 1'-0"



NOTE:
 A. BUILDINGS TO BE COMPLETELY SPRECKLED.
 PER SEC. 1904.1 PER CITY OF ARIZONA HILLS BUILDING CODE.
 B. ALL MATERIALS TO COMPLY WITH FIRE ZONE 4, CITY OF ARIZONA HILLS BUILDING CODE SEC. 6402.1.
 C. ALL WINDOWS TO BE EQUAL PANEL GAS REQUIRED FOR FIRE ZONE 4.
 D. ROOFING MATERIAL TO BE CLASS-A.



① SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Revisions	
▲	PLANNING DEPT. REV. 12-21-07 UEG
▲	PLANNING DEPT. REV. 11-21-07 UEG
▲	PLANNING DEPT. REV. 11-12-07 UEG
▲	PLANNING DEPT. REV. 11-21-07 UEG



THE WREN GROUP, INC.
 Architecture & Interiors
 4000 West 10th Street, Suite 100, Phoenix, Arizona 85042
 Phone: (602) 998-1100 Fax: (602) 998-1101

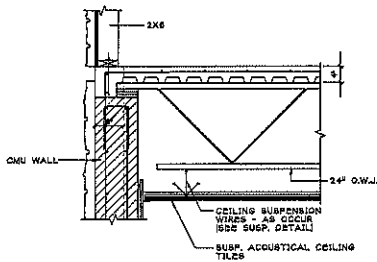
EXTERIOR ELEVATIONS

PROPOSED BUILDING:
CANWOOD

3001 AN HISS CANNED STREET, ANAHEIM, CA 92801-1001

Date	10-04-05
Drawn	UEG/MP
Checked	
Job	718.101

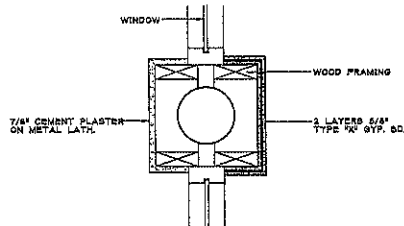
Sheet
A-3



SECTION AT CMU WALL

SCALE: 3/4" = 1'-0"

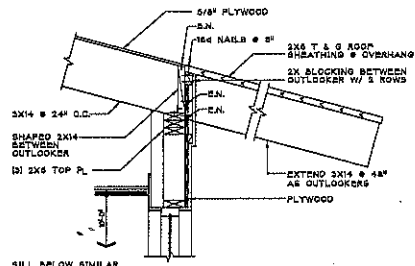
5



DETAIL AT COLUMN

SCALE: 1 1/2" = 1'-0"

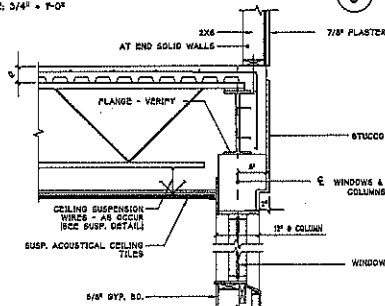
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SECTION AT OUTLOOKER

SCALE: 3/4" = 1'-0"

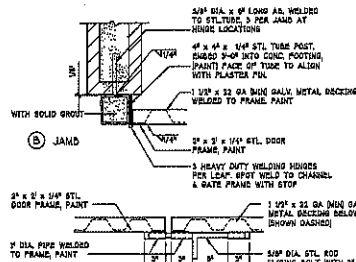
3



DETAIL

SCALE: 3/4" = 1'-0"

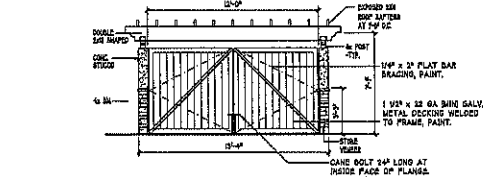
2



LATCH DETAIL - TOP VIEW

SCALE: N.T.S.

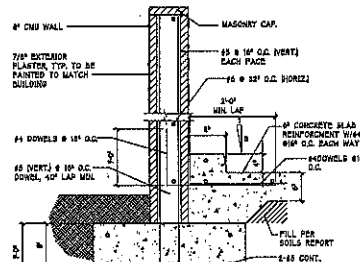
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EAST ELEVATION

SCALE: 1/4" = 1'-0"

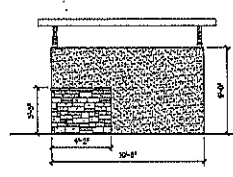
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SECTION AT TRASH ENCLOSURE WALL

SCALE: N.T.S.

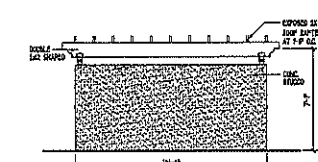
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"

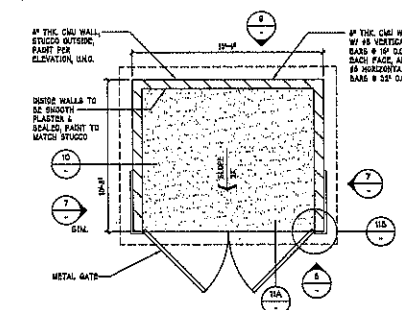
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WEST ELEVATION

SCALE: 1/4" = 1'-0"

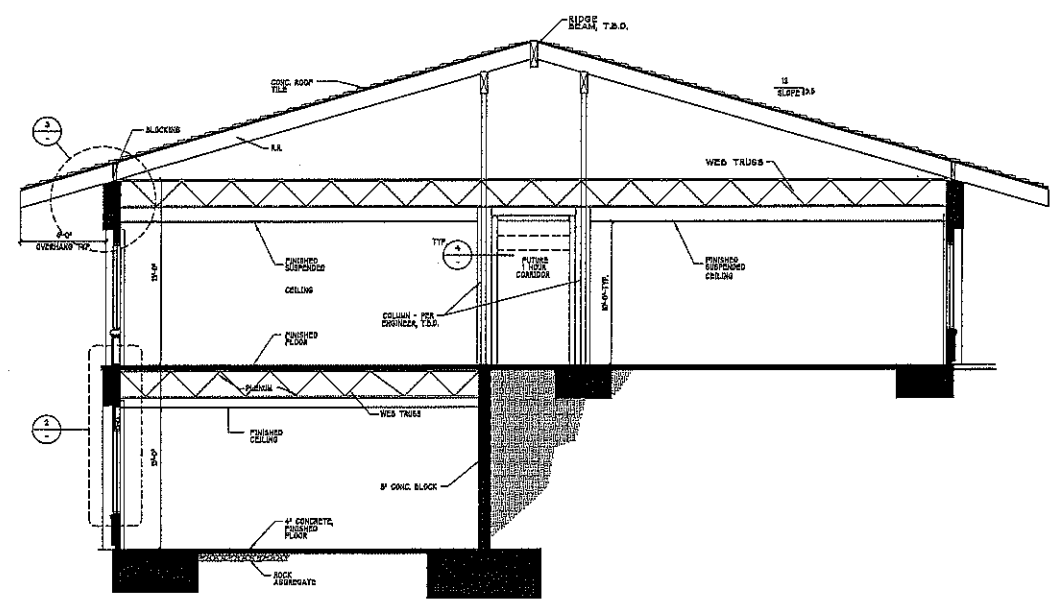
9



TRASH ENCLOSURE

SCALE: 1/4" = 1'-0"

6



SECTION

SCALE: 1/4" = 1'-0"

1

Revisions

PLANNING DEPT. REV.	1-2-06	UJG
PLANNING DEPT. REV.	8-28-06	UJG
PLANNING DEPT. REV.	8-21-07	UJG



THE WREN GROUP, INC.
 Architecture & Interiors
 11 West Taylor Street, Suite 400, Pasadena, California 91105
 Phone: 626-791-1000 Fax: 626-791-1001

EXTERIOR ELEVATIONS
 PROJECT BUILDING: **CANWOOD**
 3901 JAY STREET, PASADENA, CALIFORNIA 91105

Date	10-04-08
Drawn	UBG/MP
Checked	
Job	718.101

Sheet **A-4**

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CONDITIONAL USE PERMIT FOR:

SUNBELT ENTERPRISES

29541 AND 29555 CANWOOD STREET AGOURA HILLS, CALIFORNIA 91301-1558

Revisions
PLAN CHECK REV. 8-28-04 UFG
PLANNING DEPT. REV. 8-28-04 UFG
PLANNING DEPT. REV. 2-17-07 UFG
PLANNING DEPT. REV. 8-22-07 UFG
PLANNING DEPT. REV. 11-28-07 UFG
PLANNING DEPT. REV. 8-28-08
PLANNING DEPT. REV. 8-28-08
PLANNING DEPT. REV. 8-28-08

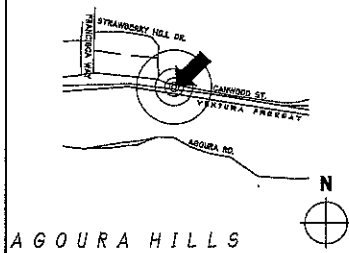
THE WRREN GROUP, INC.
Architectural & Interiors
10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.206.1558 Fax: 310.206.1559

TITLE SHEET - CIVIL ENGINEERING
PROJECT CANWOOD 29541 AND 29555 CANWOOD STREET AGOURA HILLS, CA 91301-1558
Date 10-04-05
Drawn MP
Checked
Job 718,101
Sheet T-1

CONSULTANTS

OWNER: SUNBELT ENTERPRISES 300 SOLAR DRIVE, SUITE 200 OCHARD, CA 90340 PHONE: (909) 804-0700 FAX: (909) 436-2634	ARCHITECT: GORNHILL ASSOCIATES 224 NORTH EL MOLINO AVENUE PARAMOUNT, CA 90661 PHONE: (909) 782-3782 FAX: (909) 782-7556	INTERIOR DESIGN: THE WRREN GROUP, INC. 114 WEST BELLEVUE DRIVE, SUITE 6 PARAMOUNT, CA 90661 PHONE: (909) 849-6660 FAX: (909) 436-2634
SOILS: ADVANCED GEOTECHNICAL SERVICES, INC. 2541 VIKINGWAY WAY, SUITE L CARLSBAD, CA 92008 PHONE: (609) 890-2338 FAX: (609) 384-6187	CIVIL: HOLDEN ENTERPRISES, INC. 200 WILSON ROAD BROOKFIELD, CA 95022 PHONE: (925) 541-1071 FAX: (925) 322-1488	LANDSCAPE: LAND FORM DESIGN, INC. 1418 ROYAL CIRCUIT THOUSAND OAKS, CA 91320 PHONE: (805) 378-0725
STRUCTURAL: JOHN A. MARTIN AND ASSOCIATES, INC. 25200 LYONS AVENUE, SUITE 401 NEWALL, CA 92531 PHONE: (909) 210-2666 FAX: (909) 250-8846	ELECTRICAL: TRC ENGINEERING GROUP, INC. 1824 VICTORIA BOULEVARD, SUITE 114 SERRANO, CA 90408 PHONE: (909) 782-8855 FAX: (909) 782-6996	MECHANICAL: SPFC GROUP, INC. 1620 VICTORIA BOULEVARD, SUITE 114 SERRANO, CA 90408 PHONE: (909) 782-8855 FAX: (909) 782-6996

VICINITY MAP



SHEET INDEX

T-1	TITLE SHEET - CIVIL ENGINEERING
1 of 5	GRADING
2 of 5	OVERVIEW PLAN
3 of 5	OVERVIEW PLAN
4 of 5	DETAILS/STREET IMPROVEMENTS
5 of 5	STREET IMPROVEMENTS

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GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK DESIGN SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSULTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - FINAL GRADING REPORT: PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT: PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THIS REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLACING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOLOGICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPRESSION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL CONVEYANCE, CURB LINE AND ELEVATION, ALL RESHOWN BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SLOPES AND SLOPE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN THE FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OCCUPIED HOLVDAYS.

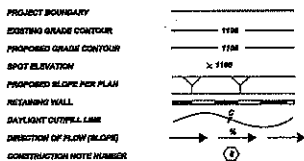
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUESTED INSPECTIONS.

ABBREVIATIONS

- | | |
|-------------------------|---------------------------|
| AG - ASPHALTIC CONCRETE | NO - NATURAL GRADING |
| BF - BOTTOM OF FOOTING | RTB - RIGHT TO SOILS |
| CA - CATCH BASIN | PL - PROPERTY LINE |
| CF - CURB FACE | POB - POINT OF BEGINNING |
| C - CENTERLINE | SOB - STORM DRAIN MANHOLE |
| CLP - CHAIN LINK FENCE | SOB - SEWER MANHOLE |
| CO - CLEAR CUT | SS - SEWER SLOPE |
| DB - DRAIN BASIN | TE - TOP OF BURM |
| DA - DITCH | TO - TOP OF CURB |
| ED - EDGE OF BUTTER | TF - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TT - TOP OF GRADE |
| FF - FINISHED FLOOR | TM - TOP OF MALL |
| FG - FINISHED GRADE | TP - TOP OF |
| FR - FINE GRANITE | TR - TYPICAL |
| FL - FLOW LINE | WV - WATER VALVE |
| FS - FINISH SURFACE | |
| HC RAMP - HANDICAP RAMP | |
| HP - HIGH POINT | |
| INV - INVERT | |

LEGEND AND SYMBOLS



PUBLIC UTILITIES / SERVICES

- WATER: LAS VIRGENES MUNICIPAL WATER DISTRICT
4225 LAS VIRGENES ROAD
COLLABALCA, CA 91302
(916) 888-4110
- ELECTRICAL: SOUTHERN CALIFORNIA Edison
5500 FOOTBALL DRIVE
THOUSAND OAKS, CA 91321
(805) 484-7911
- TELEPHONE: SBC (PAC BELL)
1201 BARNUM STREET, #116
VAN NUYS, CA 91410
(818) 775-6500
- Gas: SOUTHERN CALIFORNIA GAS
8400 GARFIELD AVENUE
CHATERWORTH, CA 91313
(818) 791-3333
- SEWER: LA COUNTY DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1545 S. PLYMOUTH AVENUE, BLDG 40 EAST
ALHAMBRA, CA 91801
(626) 300-2300
- CABLE: ADELPHA
5333 TULLY ROAD
NEWBURY PARK, CA 91320
(805) 374-5111
- CABLE: QUANTER COMMUNICATIONS
3900 SPRINGCROFT ROAD
MALIBU, CA 90265
(310) 484-8100
- CALTRANS: CALTRANS
3900 NEVADA BOULEVARD
TARANA, CA 91358
(818) 385-1400



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OBTAINED IN THE MOORE PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OBTAIN "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF SOLIDS POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPOT THOSE LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER SCREENS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (916) 897-0040, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES."



LEGAL DESCRIPTION

THAT PORTION OF LOT "1" OF THE PARTITION OF THE RANCHO LAS VIRGENES, IN THE CITY OF AGOURA HILLS, COUNTY OF VENTURA STATE OF CALIFORNIA, AS PER MAP OF SAID PARTITION FILED WITH THE CLERK IN CASE NO. 2886 OF THE SUPERIOR COURT OF SAID COUNTY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT "1"; THENCE THE BEGINNING OF THE WEST LINE OF SAID LOT "1" BEING ASSUMED AS NORTH 1° 12' 34.00", SOUTH 89° 50' 43.15" EAST 345 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89° 50' 43.15" EAST 345 FEET; THENCE SOUTH 89° 50' 43.15" WEST 24.15 FEET; THENCE SOUTH 89° 50' 43.15" WEST 24.15 FEET TO THE NORTH LINE OF THE LAND DESCRIBED IN THE DEED RECORDED IN BOOK 2882 PAGE 107, OFFICIAL RECORD OF SAID COUNTY; THENCE ALONG SAID NORTH LINE NORTH 71° 02' 40" WEST 134.52 FEET, MORE OR LESS, TO A POINT THAT IS DISTANT EASTERLY MEASURED ALONG SAID LINE

05 - C. U. P. - 006 & 05 - O T P - 032

<p>INDEX OF DRAWINGS</p> <table border="1"> <thead> <tr> <th>SHEET NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>COVER SHEET</td> </tr> <tr> <td>2</td> <td>OVERVIEW PLAN</td> </tr> <tr> <td>3</td> <td>GRADING PLAN</td> </tr> <tr> <td>4</td> <td>DETAILS</td> </tr> <tr> <td>5</td> <td>STREET IMPROVEMENTS</td> </tr> </tbody> </table>		SHEET NO.	DESCRIPTION	1	COVER SHEET	2	OVERVIEW PLAN	3	GRADING PLAN	4	DETAILS	5	STREET IMPROVEMENTS	<p>OWNER</p> <p>NAME: BURNLEY PROPERTIES ADDRESS: 1501 SULLY AVE SUITE 200 GILBERT, CA 94020 REPRESENTATIVE: JOHN BROCK TEL: (916) 834-0700</p> <p>CIVIL ENGINEER</p> <p>NAME: HOLMES ENTERPRISES, INC. ADDRESS: 280 VANDER HARB MOORHARSH, CA 95021 REPRESENTATIVE: DAN HOLMES TELEPHONE: 916-832-1871</p> <p>GEOTECHNICAL ENGINEER</p> <p>NAME: ADVANCED GEOTECHNICAL SERVICES, INC. ADDRESS: 8901 WOODBURN WAY SUITE L, CARMEL, CA 95008 REPRESENTATIVE: MARK WOODMAN TELEPHONE: 831-669-3316</p>
SHEET NO.	DESCRIPTION													
1	COVER SHEET													
2	OVERVIEW PLAN													
3	GRADING PLAN													
4	DETAILS													
5	STREET IMPROVEMENTS													
<p>ESTIMATED EARTHWORK QUANTITIES</p> <p>ESTIMATED CUT: 2,822 CY ESTIMATED EXPORT: 0 CY ESTIMATED FILL: 13,224 CY ESTIMATED IMPORT: 1,815 CY ESTIMATED OVER-EXCAVATION: 3,700 CY</p>														
<p>BENCHMARK</p> <p>DESCRIPTION: BM NO. 110381 IN 10' X 7" BOX ELEVATION: 355.023 FEET SURVEY DATE: 12/01/01 10' BOX TO E CORN 300 MM X 300 MM 4 IN. CON. KAWAY RD & CARROCK STREET 100 N. & 100 E. S. 11' (10' TO 10' RW)</p>														
<p>RECORD DRAWING STATEMENT</p> <p>I, _____, HUMBLY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NO. _____ THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.</p> <p>REGISTERED CIVIL ENGINEER DATE TIME EXP. DATE</p>														
<p>SOILS APPROVAL</p> <p>THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS OF OUR REPORTS DATED _____</p> <p>REGISTERED GEOLOGIST DATE TIME EXP. DATE REGISTERED GEOLOGICAL ENGINEER DATE TIME EXP. DATE</p>		<p>VICINITY MAP</p> <p>GRADING CANWOOD STREET OFFICES 29341 AND 29555 CANWOOD STREET SHEET 1 of 5</p>												

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

INTERIM REV. 01-26-09

CITY OF AGOURA HILLS APPROVAL

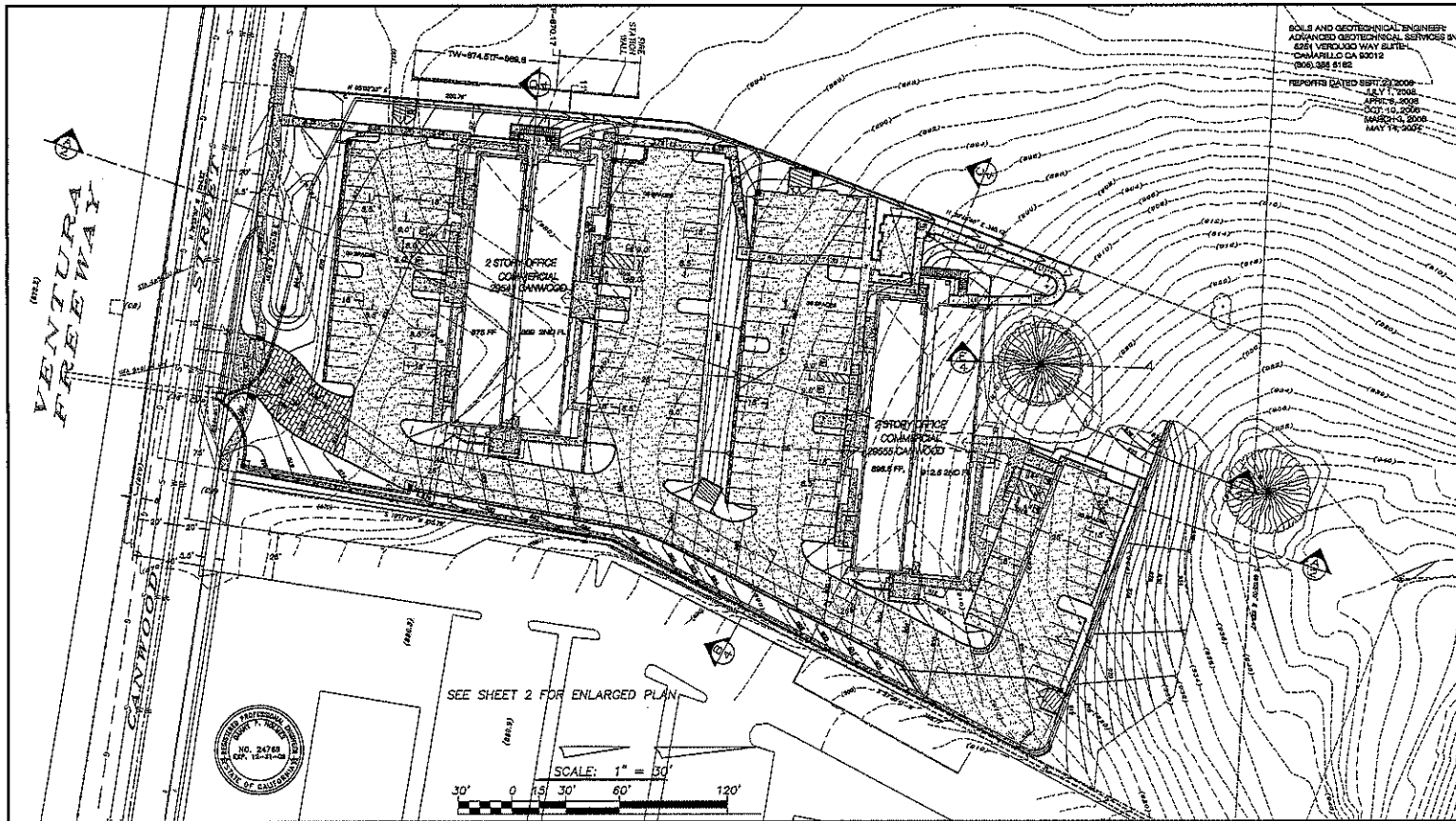
PREPARED BY: Holmes Enterprises Structural and Civil Engineering 500 West St., Newport, CA, 95057 (805) 832-1571 fax: (805) 832-1568

PROJECT ENGINEER: DANIEL P. HOLMES DATE: 02-21-2008

REVIEWED BY: _____ DATE: _____

REGISTERED CIVIL ENGINEER: RAFAEL ADRIAN DATE: _____ TIME: _____ EXP. DATE: _____

CITY OF AGOURA HILLS



SOILS AND GEOTECHNICAL ENGINEERS
 ADVANCED GEOTECHNICAL SERVICES INC.
 6524 VENTURA WAY SUITE 100
 CHANARILLO CA 90012
 (909) 388 5192

REPORTS DATED 08/12/2009
 APRIL 2, 2008
 OCT 10, 2008
 MARCH 9, 2008
 MAY 14, 2008

- ### LEGEND
- EXIST. MAJOR AND MINOR CONTOURS
 - PROPOSED MAJOR AND MINOR CONTOURS
 - PROPOSED 2:1 MAX. CUT SLOPE
 - PROPOSED 2:1 MAX. CUT SLOPE
 - PROPOSED DIRECTION AND RATE OF DRAINAGE
 - PROPOSED SPOT ELEVATION
 - FLOWLINE OR FINISHED SURFACE
 - EXISTING OAK TREE
 - L1 5'x5' ADA LANDING
 - L2 5'x5' ADA LANDING
 - R1 ADA CURB RAMP PER
 - PROPOSED RETAINING WALL
 - PROPOSED RETAINING WALL W/ 3/8" RAILING
 - PROPOSED CURB WALL W/ 3/8" RAILING

SLOPE CALCULATION

$S = \frac{L}{A} \times 100$

I = CONTOUR LINE ELEVATION INTERVAL IN FEET 10 FEET
 L = SUM OF THE LENGTH OF ALL CONTOUR LINES ACROSS THE PARCEL 2149 FEET
 A = NET AREA OF PARCEL IN SQUARE FEET 141,119 SQ. FT.
 S = AVERAGE PERCENT SLOPE 15.75%

GENERAL NOTES

LOT AREA 141,119 SQ. FT.
 AVERAGE SLOPE: 15.0%
 TOTAL ALLOWABLE BUILDING AREA: 26,000 SQ. FT.
 PROPOSED BUILDING AREA: 25,000 SQ. FT.
 BUILDING COVERAGE: 30,332 SQ. FT. 14.4%
 PARKING AND DRIVEWAYS: 53,822 SQ. FT. 38.2%
 LANDSCAPING: 35,802 SQ. FT. 25.4%
 HARDSCAPE (WALKWAYS): 9,708 SQ. FT. 6.9%
 NATURAL HILLSIDE: 19,829 SQ. FT. 13.9%
 PARKING: 118 REGULAR SPACES
 8 HANDICAP SPACES (3 VAN)
 TOTAL PARKING: 126 SPACES
 REQUIRED: 5.0 PER 1,000 SQ. FT. OF BUILDING AREA (126 SPACES)
 GRADING QUANTITIES: 6,428 CY CUT
 13,274 CY FILL
 4,946 CY IMPORT

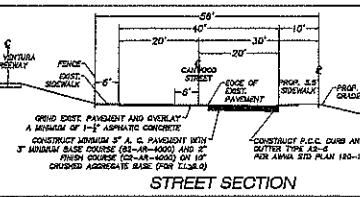
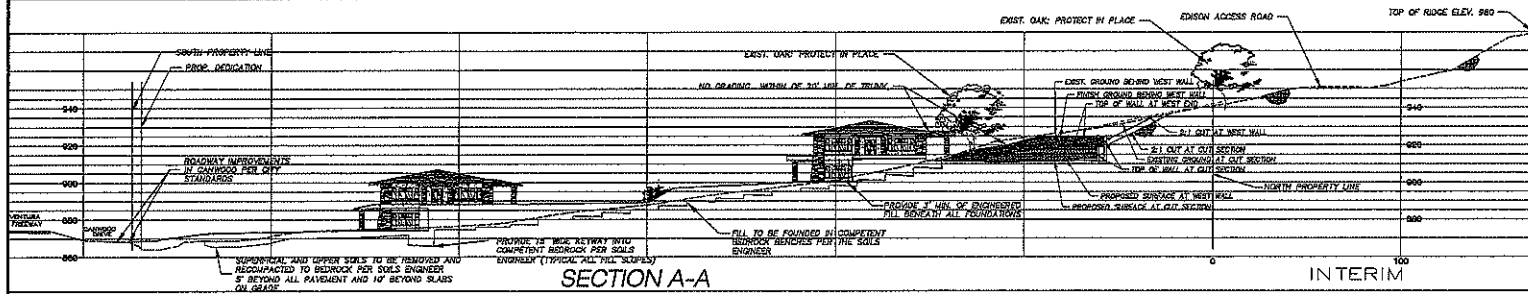
- ### GRADING NOTES
1. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATION AND SLAB PLANS SHOULD BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND REVISED, IF NECESSARY, ACCORDINGLY.
 2. EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 3. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED IN WRITING, BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO THE PLACEMENT OF REINFORCING STEEL.
 4. A COMPACTION REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THE REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP SHOWING THE LIMITS OF ALL LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSOILS AND LOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKFILLS AND OUTLETS. GEOTECHNICAL CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOTECHNICAL MAP.
 5. TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATION AND SLAB PLANS SHOULD BE REVIEWED BY THE GEOTECHNICAL CONSULTANT AND REVISED, IF NECESSARY, ACCORDINGLY.
 6. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED IN WRITING, BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO THE PLACEMENT OF REINFORCING STEEL.



SEE SHEET 2 FOR ENLARGED PLAN

SCALE: 1" = 30'

30' 0 15 30 60 120'



ASSESSOR'S PARCELL NO. 2053-01-8

05 - C. U. P. - 006 & 05 - O T P - 032

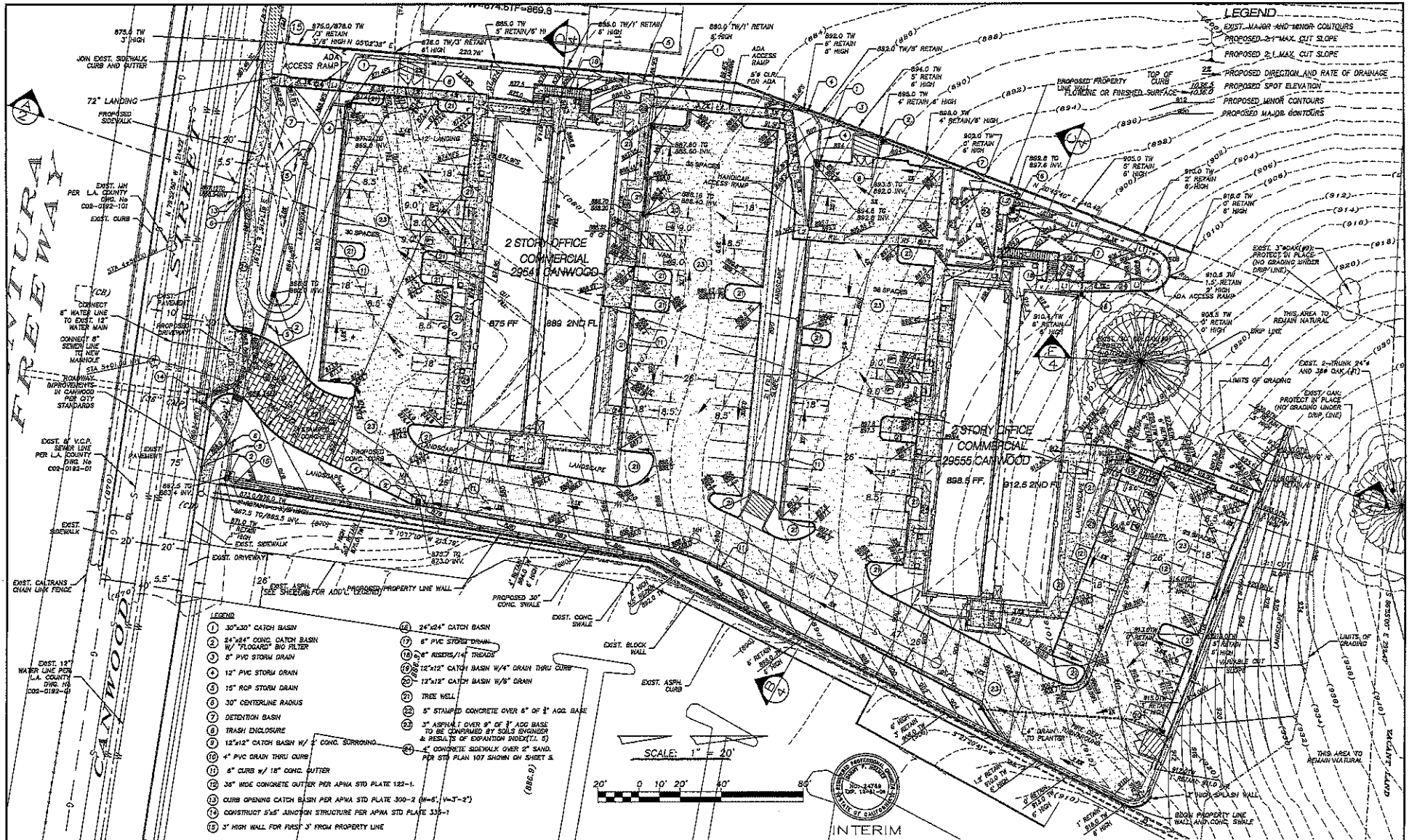
REV. 01-26-09 **OVERVIEW PLAN**

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	GRASS	8/30/10	8/30/10
					PREPARED BY: Holmes Enterprises Structural and Civil Engineering 200 Main St., Moorpark, CA 93021 (805) 532-1571 fax (805) 532-1595						
					CITY OF AGOURA HILLS APPROVAL						
							RAMIRO ADEVA III				
							CITY ENGINEER				



CANWOOD STREET OFFICES
 29541 AND 29555 CANWOOD STREET
 AGOURA HILLS CALIFORNIA

SHEET 2 OF 5



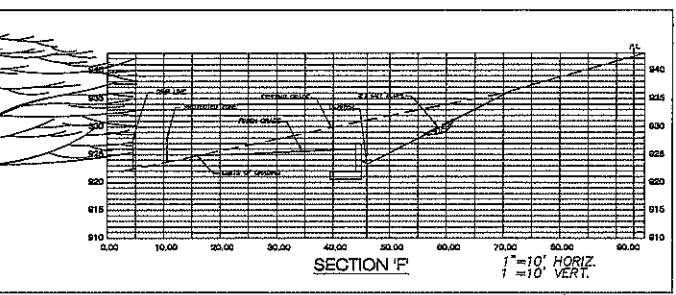
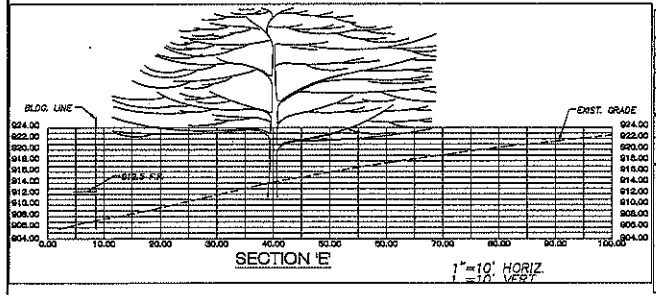
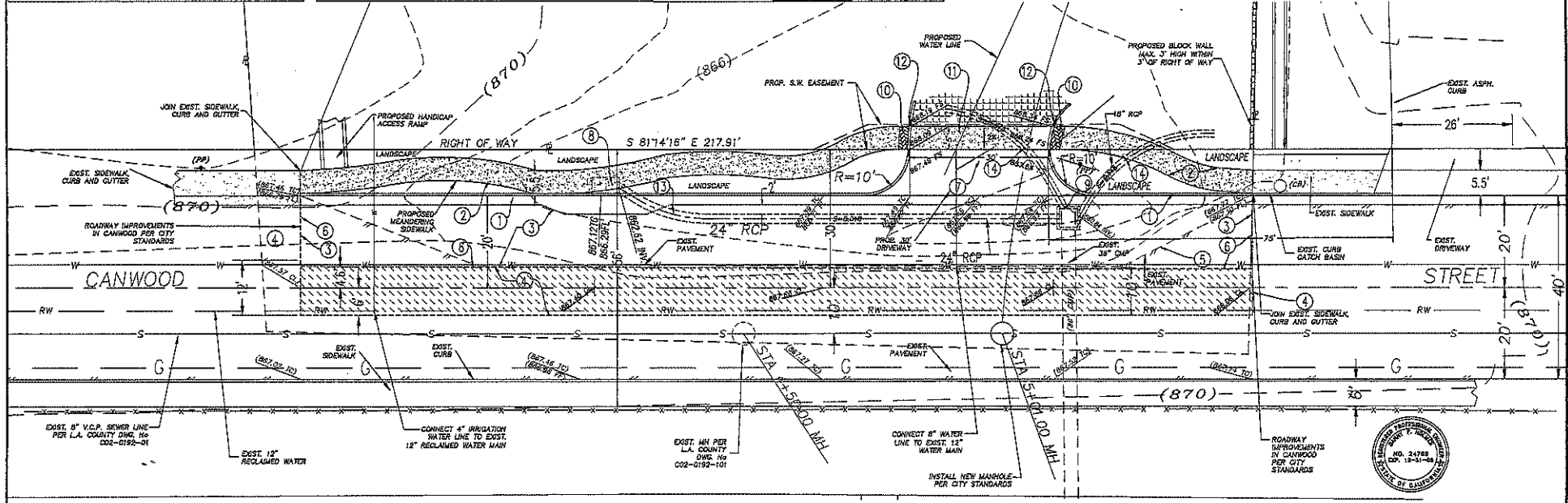
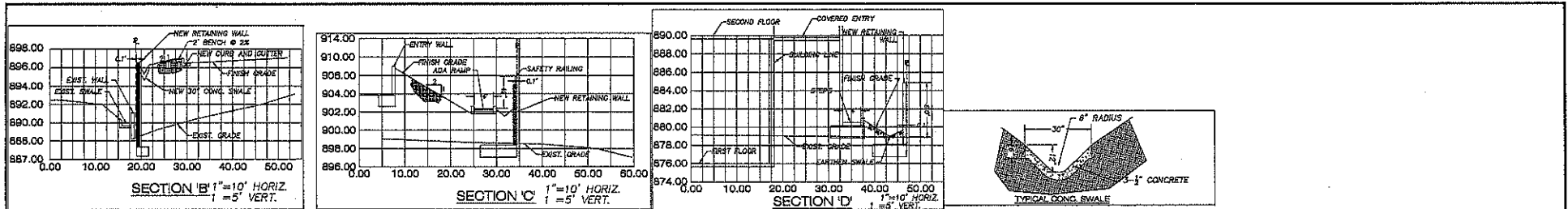
- LEGEND**
- 1 30"x30" CATCH BASIN
 - 2 24"x24" CONC. CATCH BASIN W/ "FLOORED" BIO FILTER
 - 3 6" PVC STORM DRAIN
 - 4 12" PVC STORM DRAIN
 - 5 15" RCP STORM DRAIN
 - 6 30" CENTERLINE RADIUS DETENTION BASIN
 - 7 TRASH ENCLOSURE
 - 8 12"x12" CATCH BASIN W/ 2" CONC. SURROUNDING
 - 9 4" PVC DRAIN THRU CURB
 - 10 4" CURB W/ 18" CONC. BUTTER
 - 11 36" WIDE CONCRETE GUTTER PER APHA STD. PLATE 122-1
 - 12 CURB OPENING CATCH BASIN PER APHA STD. PLATE 300-2 (W=6", V=3"-2")
 - 13 CONSTRUCT 5'x5' JUNCTION STRUCTURE PER APHA STD. PLATE 335-1
 - 14 3" HIGH WALL FOR FIRST 3' FROM PROPERTY LINE
 - 15 24"x24" CATCH BASIN
 - 16 6" PVC STORM DRAIN
 - 17 6" RISERS/14" TREADS
 - 18 12"x12" CATCH BASIN W/4" DRAIN THRU CURB
 - 19 12"x12" CATCH BASIN W/8" DRAIN
 - 20 TREE WELL
 - 21 5" STAMPED CONCRETE OVER 4" OF 2" AGG. BASE
 - 22 3" ASPHALT OVER 9" OF 2" AGG. BASE TO BE COMPANED BY SOIL ENGINEER & RESULTS OF EXPANSION INDEX (I.I. %)
 - 23 4" CONCRETE SIDEWALK OVER 2" SAND PER STD. PLAN 107 SHOWN ON SHEET 5

SCALE: 1" = 20'



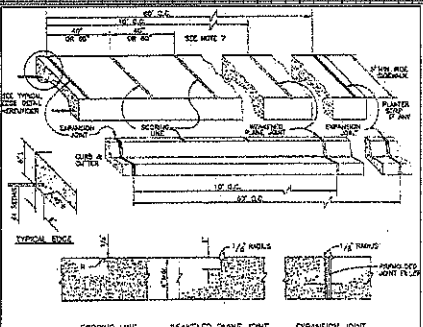
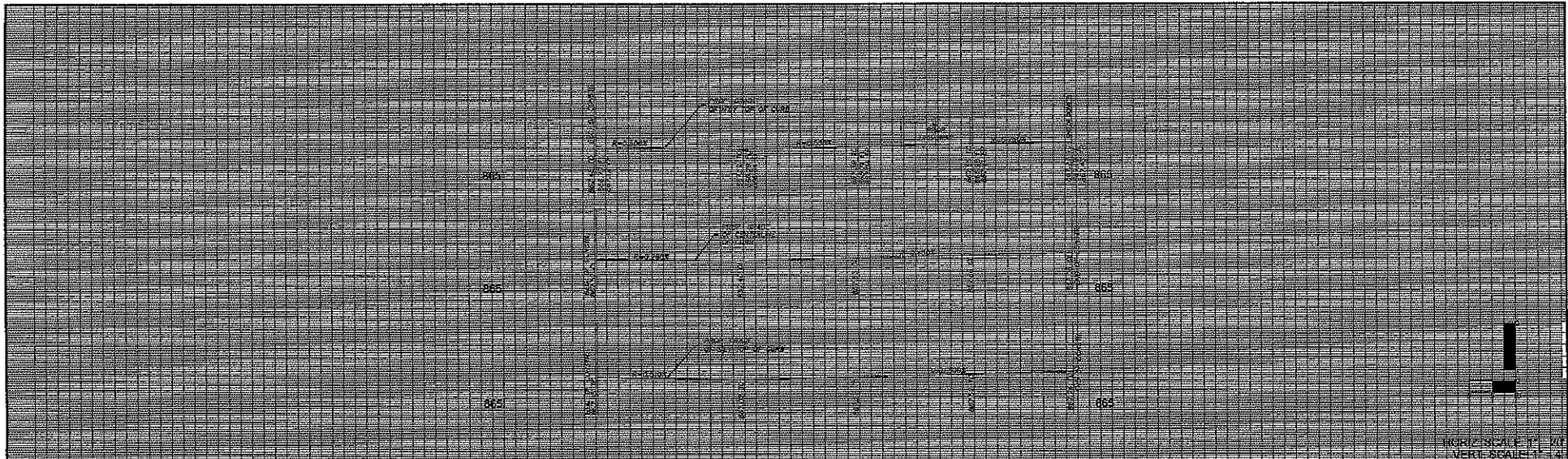
ASSESSOR'S PARCEL NO. 2053-01-8 REV. 01-26-09 05 - C. U. P. - 006 & 05 - O T P - 032

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO AZEVALLE CITY ENGINEER	DATE	08866 RCE NO.	03010 EXP DATE	CITY OF AGOURA HILLS	OVERVIEW PLAN CANWOOD STREET OFFICES 29541 AND 29555 CANWOOD STREET AGOURA HILLS CALIFORNIA	SHEET 3 OF 5

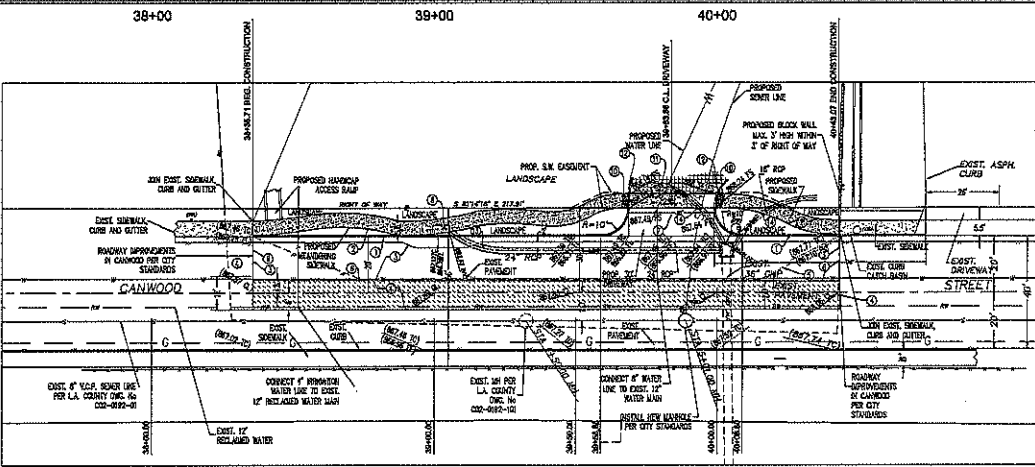


- CONSTRUCTION NOTES:**
- 1) CONSTRUCT P.C.C. CURB AND GUTTER TYPE A2-8 PER APWA STD PLAN 120-1.
 - 2) CONSTRUCT 4" THICK P.C.C. SIDEWALK PER STD PLAN, SHEET 5.
 - 3) CONSTRUCT 4" MIN. A.C. PAVEMENT WITH 2" MIN. BASE COURSE (B-AR-4000) AND 2" FINISH COURSE (C2-AR-4000) ON 10" CRUSHED AGGREGATE BASE.
 - 4) GRIND EXIST. PAVEMENT AND OVERLAY A MIN. OF 1-1/2" ASPHALTIC CONCRETE.
 - 5) SAW-CUT AND REMOVE EXISTING A.C. TAPER.
 - 6) CUT ALONG THE EXISTING E.P. A MIN. OF 6" WIDTH.
 - 7) CONSTRUCT 6" THICK P.C.C. DRIVEWAY APPROACH PER APWA STD PLAN 110-1.
 - 8) CONSTRUCT CURB OPENING CATCH BASIN PER APWA STD PLATE 300-2 (W=6', V=3'-2") WITH 2" LOCAL DEPRESSION PER APWA STD. PLATE 313-1, CASE 'B'.
 - 9) CONSTRUCT 5' x 5' JUNCTION STRUCTURE PER APWA STD PLATE 335-1.
 - 10) 5.5' x 3' - TRUNCATED DOMES PER CALDAG MANUAL.
 - 11) ADA WALKWAY (SMOOTH CONCRETE).
 - 12) 3' LONG CURB HEIGHT TAPER - 6" TO 0"
 - 13) 24" RCP WITH 30' RADIUS
 - 14) 15" RCP WITH 30' RADIUS

ASSESSOR'S PARCELL NO. 2053-01-8		CITY OF AGOURA HILLS APPROVAL		NO. 24788 EXP. 12-31-09 CITY OF AGOURA HILLS	
PREPARED BY: Holmes Enterprises Structural and Civil Engineering 200 West Rd. Newport, CA 92521 (909) 532-4571 Fax: (909) 532-1566		PROJECT ENGINEER DANNY P. HOLMES REG. 2009 EXP. 12-31-2009	REVIEWED BY RAMIRO ADEVA II CITY ENGINEER	DATE 8/30/10	EXP. DATE 8/30/10
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	SHEET 4 OF 5



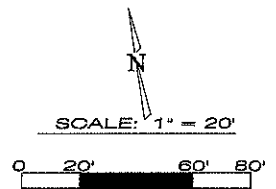
- CONSTRUCTION NOTES:**
1. CONCRETE FOR SIDEWALK SHALL BE 3000-0-2000 WITH MAXIMUM 4" SLAB.
 2. EXPANSION JOINTS 1/2" THICK SHALL BE PLACED AT 8'-0" O.C. AND ALL ACTING AT THE CURB AND GUTTER JOINTS SHALL BE PLACED AT 12'-0" O.C. UNLESS OTHERWISE SPECIFIED.
 3. EXPANSION JOINTS SHALL BE CONSTRUCTED AT EQUAL SPACING BETWEEN EXPANSION JOINTS IN THE SIDEWALK AND CURB AND GUTTER.
 4. SIDEWALK JOINTS SHALL BE CONSTRUCTED IN CURBS AT LOCATIONS OF REACHED PLANE JOINTS IN TOP OF CURB AND IN THE ROAD AS SHOWN.
 5. JOINTS IN THE CURB AND GUTTER SHALL ALIGN WITH CORRESPONDING JOINTS IN THE SIDEWALK.
 6. LONGITUDINAL SLOPING LINES SHALL BE MAINTAINED IN TOWNS HEDD DOWN 3 FEET.
 7. REVERSIBLE PLANE JOINTS IN SIDEWALK SHALL BE CONSTRUCTED WITH DEEP CHANNELS 100%.
 8. WHEN DIMENSIONS ARE NOT SHOWN, A FINISH OF 1/4" SHALL BE PLACED AT TOP OVER THE SUBGRADE OR AS NOTED.
 9. ALL EXISTING CURBS AND GUTTERS SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN THE EXISTING GRADE.
 10. PROPOSED SIDEWALK SHALL BE 1'-0" WIDE (SEE NOTE 7) TO BE PLACED AT THE LOCATION OF THE EXISTING SIDEWALK AND GUTTER.



STATIONING REFERENCES CITY OF AGOURA STREET IMPROVEMENT PLANS DRAWING No. 001-0048-07 SHT. 7 OF 10

LEGEND

- NEW MEANDERING SIDEWALK 5.5' WIDE
- NEW STAMPED CONCRETE ENTRANCE DRIVE
- AREA OF ASPHALT TO BE GRIND DOWN 1-1/2"



1. CONSTRUCT P.C.C. CURB AND GUTTER TYPE A2-B PER APWA STD PLAN 120-1.
2. CONSTRUCT 4" THICK P.C.C. SIDEWALK WITH THICKENED EDGE PER CITY OF AGOURA HILLS STD PLAN SHOWN HEREON.
3. CONSTRUCT 4" MIN. A.C. PAVEMENT WITH 3" MIN. BASE COURSE (B-AR-1000) AND 2" FINISH COURSE (C2-AR-4000) ON 10" CRUSHED AGGREGATE BASE.
4. GRIND EXIST. PAVEMENT AND OVERLAY A MIN. OF 1-1/2" ASPHALTIC CONCRETE.

5. SAW-CUT AND REMOVE EXISTING A.C. TAPER.
6. CUT ALONG THE EXISTING E.P. A MIN. OF 6" WIDTH.
7. CONSTRUCT 6" THICK P.C.C. DRIVEWAY APPROACH PER APWA STD PLAN 110-1.
8. CONSTRUCT CURB OPENING CATCH BASIN PER APWA STD PLATE 300-2 (W=6", V=3'-2").
9. CONSTRUCT JUNCTION STRUCTURE PER APWA STD PLATE 335-1.
10. 5'x2' DETECTABLE WARNING PAD.
11. ADA WALKWAY (SMOOTH CONCRETE).
12. 3' LONG CURB HEIGHT TAPER- 6" TO 0"
13. 24" RCP WITH 30' RADIUS
14. 15" RCP WITH 30' RADIUS



INTERIM

05 - C. U. P. - 006 & 05 - O T P - 032 11/19/08

CANWOOD STREET OFFICES
29541 AND 29555 CANWOOD STREET
AGOURA HILLS CALIFORNIA
STREET IMPROVEMENTS SHEET 5 OF 5

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAIMOND ADESA III	DATE	68885	06/30/08
					DANNY P. HOLMES	12-31-08			CITY ENGINEER		RCE NO.	EXP DATE

CONDITIONAL USE PERMIT FOR:
SUNBELT ENTERPRISES
 29541 AND 29555 CANWOOD STREET AGOURA HILLS, CALIFORNIA 91301-1558

Revisions	
△ PLAN CHECK REV.	02-28-08 1129
△ PLANNING DEPT. REV.	02-28-08 1129
△ PLANNING DEPT. REV.	03-12-07 1129
△ PLANNING DEPT. REV.	04-10-07 1129
△ PLANNING DEPT. REV.	05-17-08 1129
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△ PLANNING DEPT. REV.	05-17-08 1129

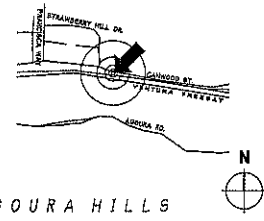
Date: _____
 Project Approval: _____
 Date: _____


THE WARREN GROUP, INC.
 Architecture & Interiors
 411 West Broadway, Suite 200 • Torrance, California 90501

CONSULTANTS

OWNER: SUNBELT ENTERPRISES 1611 SOLAR DRIVE, SUITE 210 BURBANK, CA 91504 PHONE: (818) 940-0888 FAX: (818) 940-0888	ARCHITECT: CORONAL ASSOCIATES 224 NORTH CLAYTON AVENUE PASADENA, CA 91101 PHONE: (909) 797-0111 FAX: (909) 797-0111	INTERIOR DESIGN: THE WARREN GROUP, INC. 411 WEST BROADWAY, SUITE 200 TORRANCE, CA 90501 PHONE: (310) 809-1100 FAX: (310) 809-1100
SOILS: ADVANCED GEOTECHNICAL SERVICES, INC. 4181 WOODING WAY, SUITE 1 DANVILLE, CA 94526 PHONE: (925) 555-0128 FAX: (925) 543-2847	CIVIL: WILMER ENTERPRISES INC. 100 WILSON ROAD WOODBRIDGE, CA 90091 PHONE: (562) 692-1111 FAX: (562) 692-1111	LANDSCAPE: LANE PAUL DESIGN INC. 1448 DORAL CIRCLE THOUSAND OAKS, CA 91320 PHONE: (805) 319-0770
STRUCTURAL: JOHN A. MARTIN AND ASSOCIATES, INC. 1200 LUTHER AVENUE, SUITE 400 SCHELVILLE, CA 95767 PHONE: (530) 540-1544 FAX: (530) 540-1544	ELECTRICAL: THE ENGINEERING GROUP, INC. 1600 VENTURA BOULEVARD, SUITE 204 RICHMOND, CA 94804 PHONE: (925) 732-8833 FAX: (925) 732-8833	MECHANICAL: GARD GROUP, INC. 1600 VENTURA BOULEVARD, SUITE 204 RICHMOND, CA 94804 PHONE: (925) 732-8833 FAX: (925) 732-8833

VICINITY MAP



SHEET INDEX

T-1	TITLE SHEET - LANDSCAPE
L-1.0	IRRIGATION PLAN
L-2.0	PLANTING PLAN
L-2.1	PARKING AREA SHADE PLAN
L-3.0	IRRIGATION DETAILS
L-4.0	PLANTING DETAILS
L-5.0	LANDSCAPE SPECIFICATIONS

TITLE SHEET - LANDSCAPE

PROJECT: **CANWOOD**
 29541 AND 29555 CANWOOD STREET, AGOURA HILLS, CA 91301

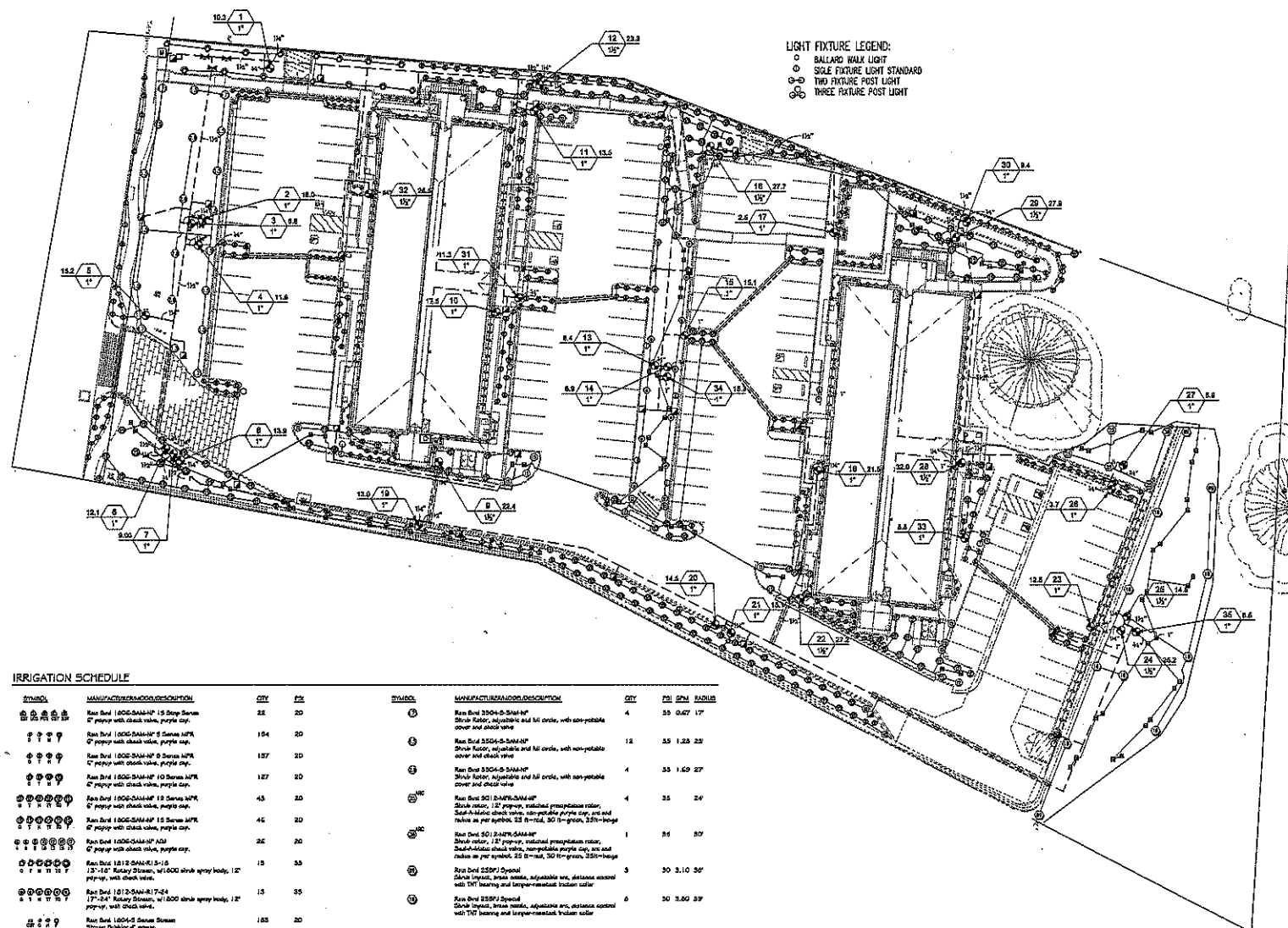
Date: 10-04-08
 Drawn: MP
 Checked:
 Job: 718.101

Sheet **T-1**

Not to be used in the absence of the original and true copy of the permit. Conditional use permit is valid only if used in accordance with the permit.

Thousand Oaks, California
1448 Dorel Circle
Thousand Oaks, CA 91320
(805)378-1775

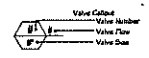
REVISIONS



LIGHT FIXTURE LEGEND:
 ○ BALLARD WALK LIGHT
 ⊙ SINGLE FIXTURE LIGHT STANDARD
 ⊕ TWO FIXTURE POST LIGHT
 ⊗ THREE FIXTURE POST LIGHT

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/DESCRIPTION	QTY	PS	SPM	EMULS
⊕	Ran Dvd 1 80G-SAM-HP 15 Drop Sprinkler 1/2" pop-up with check valve, purple cap.	22	20		
⊕	Ran Dvd 1 80G-SAM-HP 8 Sprinkler 1/2" pop-up with check valve, purple cap.	154	20		
⊕	Ran Dvd 1 80G-SAM-HP 8 Sprinkler 1/2" pop-up with check valve, purple cap.	157	20		
⊕	Ran Dvd 1 80G-SAM-HP 10 Sprinkler 1/2" pop-up with check valve, purple cap.	127	20		
⊕	Ran Dvd 1 80G-SAM-HP 12 Sprinkler 1/2" pop-up with check valve, purple cap.	43	20		
⊕	Ran Dvd 1 80G-SAM-HP 15 Sprinkler 1/2" pop-up with check valve, purple cap.	46	20		
⊕	Ran Dvd 1 80G-SAM-HP 20 Sprinkler 1/2" pop-up with check valve, purple cap.	26	20		
⊕	Ran Dvd 1 812-SAM-R1 3-18 1 3/4" Rotary Sprinkler, w/1800 shade spray body, 12" pop-up, with check valve.	15	35		
⊕	Ran Dvd 1 812-SAM-R1 7-24 1 7/8" Rotary Sprinkler, w/1800 shade spray body, 12" pop-up, with check valve.	15	35		
⊕	Ran Dvd 1 804-S Sprinkler Stream Dabbler 4" pop-up.	103	20		
⊕	Ran Dvd 1 804-S-BCS Stream Dabbler W/Backwash System with 1/2" diameter x 10' long with check valve, blue cap, 1/2" spray ball above and Ran Dvd 1 401 0.33gpm ball.	80	30		
⊕	Ran Dvd 3304-S-SAM-HP Shrub Rotor, adjustable and full circle, with non-potable cover and shade valve.	4	35	0.47	17'
⊕	Ran Dvd 3304-S-SAM-HP Shrub Rotor, adjustable and full circle, with non-potable cover and shade valve.	12	35	1.23	23'
⊕	Ran Dvd 3304-S-SAM-HP Shrub Rotor, adjustable and full circle, with non-potable cover and shade valve.	4	35	1.69	27'
⊕	Ran Dvd 5012-SAM-HP Shrub rotor, 12" pop-up, matched precipitation rotor, Sach-Holistic check valve, non-potable purple cap, see and radius as per symbol, 25 8"-14", 30 16"-green, 32 16"-beige	4	35	24'	
⊕	Ran Dvd 5012-SAM-HP Shrub rotor, 12" pop-up, matched precipitation rotor, Sach-Holistic check valve, non-potable purple cap, see and radius as per symbol, 25 8"-red, 30 16"-green, 32 16"-beige	1	35	30'	
⊕	Ran Dvd 535P1-Sprinkler Shrub rotor, stream nozzle, adjustable arc, distance control with DTY bearing and tapered-meshback tricolor solar	3	30	3.10	30'
⊕	Ran Dvd 535P1-Sprinkler Shrub rotor, stream nozzle, adjustable arc, distance control with DTY bearing and tapered-meshback tricolor solar	6	30	3.50	33'
⊕	Ran Dvd 1224-PPS-D Electric Remote Control Dabbler Valve, with pressure regulator.	33			
⊕	Ran Dvd 3302C 3/4" Check Cycler Valve, low pressure body	29			
⊕	RAN 811-2 PVC Streamline Three Union Ball Valve B.O.V., 1/2" w/ 1", same size as pipe	3			
⊕	Ingraham 40-302 26 Station Outpost/Outdoor Controller, Heavy Grade, Lockable, Canada and Frenchlink	1			
⊕	Hunter HWS Weather Station with rain sensor, wind sensor, 1.50 VAC, 5 HP	1			
---	Irrigation Lateral Line PVC Class 200 SDR 21 Dry lateral irrigation pipe, 1" and above are indicated on the plan, with all others being 3/4" or 1/2"	4,200	LT		
---	Irrigation Mainline PVC Class 315 SDR 13.5	2,370	LT		
---	Pipe Street PVC Class 200 SDR 21 Typical pipe sleeve for irrigation pipe. Pipe sleeve is to allow for irrigation piping and their related discharge to easily slide through existing material. Extend sleeves 10 inches beyond edges of paving or construction.	460	LT		



CUSTOMER AND PROJECT
 Canyon Street Offices
 2541 - 2555 Canyon Street
 Agoura Hills, CA

FIRM
 Sunbelt Enterprises
 1800 Roby Drive, Suite 210
 Canoga Park, CA 91303
 Phone: (805)444-7000

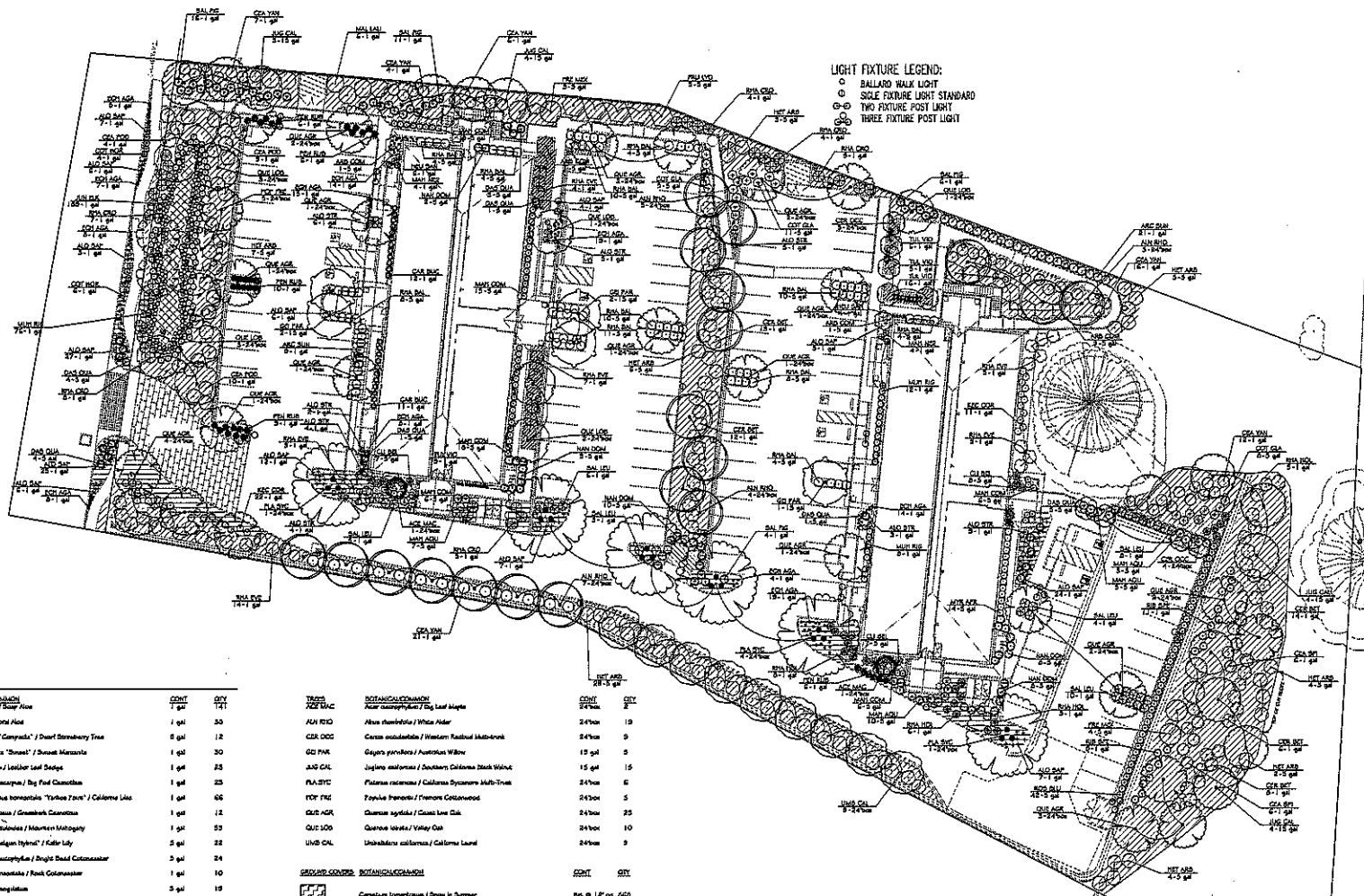
SHEET DESCRIPTION
 Irrigation Plan

DATE: 04/10/98
SCALE: NO SCALE
DRAWN BY: ELS
SHEET NUMBER:

Thousand Oaks, California
1449 Dorset Circle
Thousand Oaks, CA 91320
(805)379-1775

REVISIONS

NO.	DATE	DESCRIPTION



PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	QTY	SIZE
[Symbol]	<i>Aloe arborescens</i> / Aloe Vera	1	12"
[Symbol]	<i>Aloe striata</i> / Cordal Aloe	1	30"
[Symbol]	<i>Artemisia tridentata</i> 'Compressa' / Desert Strawberry Tree	8	12"
[Symbol]	<i>Artemisia tridentata</i> 'Desert' / Desert Silvercholla	1	30"
[Symbol]	<i>Cercocarpus betuloides</i> / Leather Leaf Sage	1	25"
[Symbol]	<i>Ceanothus leucanthus</i> / Big Red Ceanothus	1	25"
[Symbol]	<i>Conocarpus gracilis</i> 'Torreyana' / California Live	1	66"
[Symbol]	<i>Croton tomentosus</i> / Greenleaf Corduroy	1	12"
[Symbol]	<i>Cercocarpus betuloides</i> / Maritime Milkwort	1	50"
[Symbol]	<i>Clusia rosea</i> 'Indigo' / Kalm's Lily	5	32"
[Symbol]	<i>Colocasia gigantea</i> / Bright Shield Colocasia	5	24"
[Symbol]	<i>Colocasia tomentosa</i> / Root Colocasia	1	10"
[Symbol]	<i>Dasylirion sp.</i>	3	18"
[Symbol]	<i>Echeveria agavoides</i> / Ink Agave	1	124"
[Symbol]	<i>Fremontodendron affinis</i> / Southern Tamarisk	5	7"
[Symbol]	<i>Ficoides aurea</i> / Fairy	3	60"
[Symbol]	<i>Flourensia coccinea</i> / Cordal Bush	1	10"
[Symbol]	<i>Juniperus sp.</i> 'Ch. Blue' / Spreading Bush	1	109"
[Symbol]	<i>Senecio</i> / Clashing Fern	1	33"
[Symbol]	<i>Melaleuca alternifolia</i> / Orange Eucalyptus	5	27"
[Symbol]	<i>Melaleuca alternifolia</i> / Citrus Orange Eucalyptus	5	39"
[Symbol]	<i>Melaleuca alternifolia</i> / Honey Melaleuca	1	6"
[Symbol]	<i>Melaleuca alternifolia</i> / Laurel Eucalyptus	1	6"
[Symbol]	<i>Nolana speciosa</i> / Tiger Grass	1	24"
[Symbol]	<i>Hyssopus officinalis</i> / African Hyssop	2	14"
[Symbol]	<i>Handia dasypleura</i> / Pauaui Bush	5	37"
[Symbol]	<i>Farfocium sp.</i> / Farfocium	1	27"
[Symbol]	<i>Fritillaria affinis</i> / California Cherry	5	5"
[Symbol]	<i>Yucca filifera</i> / Yucca	5	77"
[Symbol]	<i>Rhus copallina</i> 'Coccoloba' / California Callberry	1	36"
[Symbol]	<i>Rhus typhina</i> / Roseberry	1	33"
[Symbol]	<i>Rhus typhina</i> / Redberry	1	22"
[Symbol]	<i>Rhus typhina</i> / Yellow Roseberry	1	18"
[Symbol]	<i>Rhus typhina</i> 'Blue Snow' / Roseberry	3	42"
[Symbol]	<i>Salvia leucantha</i> / Mexican Bush Sage	1	36"
[Symbol]	<i>Salvia leucantha</i> / Mexican Bush Sage	1	37"
[Symbol]	<i>Salvia leucantha</i> / Mexican Bush Sage	1	36"

SYMBOL	BOTANICAL/COMMON NAME	QTY	SIZE
[Symbol]	<i>Ceanothus tomentosus</i> / Shrub in Summer	1	12" ea 600
[Symbol]	<i>Delonix regia</i> / White Sea Tree	1	12" ea 4,330
[Symbol]	<i>Ficus evla glabra</i> 'Dipl Blue' / Blue Fig	1	12" ea 713
[Symbol]	<i>Acacia saligna</i> 'Vittoria' / Vittoria Tree	1	10" ea 10,752

The Culture of Southern California Native Plants

Native plants have water conservation and ecological advantages over the common introduced plant approach to landscaping. The culture of native plants requires special knowledge and cultural practices. Native plants have evolved and adapted to our cool wet winters and dry hot summers. The type of climate is rare in the world. In order to establish them during the short wet season, native plants should be planted in the fall when the ground temperatures are low and no coming rains will provide some soil moisture. Native plants have deep, fibrous root systems. When grown in containers they often become root bound and lose their ability to establish. For this reason native plants should be planted from soil in containers and not in root balls. Native plants achieve most of their growth during the winter months. These plants may become dormant during the summer months. One such strategy is to use shade. For this reason it is important that the grower not be fooled in thinking these plants have died. This is a true with Rhus and Kadsilla species. Some species and varieties of native plants seem to be naturally short lived. This has been my experience with varieties of *Ceanothus* and *Dasylirion*. The plan shows to avoid the use of these systems. Watering native plants in the summer will result in high mortality. Many of the plants are highly subject to root rot. If watered when soil temperatures are high, high water mortality can be expected. If additional water is applied, water should be applied from October through May, when soil temperatures are low. The irrigation plan utilizes drip irrigation on more level topography that is planted with native plants. After the establishment period (the first year) the system should be discontinued. The slopes are irrigated with a conventional rain head system, augmented with a bubbler system for the trees. Irrigation should be timed and eventually discontinued when the plants are well established. Areas on the north side of the buildings are irrigated with a conventional bubbler or spray system. Non-water drought resistant plants have been used in these areas and conventional irrigation practices may be applied. All native plants are highly flammable. The plan has been designed to group plants in as isolated areas supported by a low growing highly fire resistant non-water ground cover. The native shrubs should be hand pruned and thinned to reduce fuel load. Irrigating with mechanical equipment should be avoided. This practice increases the concentration of dead wood in the center of the plant resulting in increased fuel load. The bio-savile area will require some summer water. This blue fescue, deer grass and lewis plants while drought resistant will benefit from monthly summer water. Over watering should be avoided. It is advisable that the developer construct grow the native plants for the project. Very few nurseries specialize in the culture of native plants. It will be necessary to arrange this contract at least one year before planting to assure availability. Contract grower will ensure that the plants are in a young and vigorous condition and may have cost savings. In summary the culture of native plants requires special knowledge and implementation of specific cultural practices. To be successful the building management must provide knowledgeable supervision of maintenance personnel experienced in the culture of native plants.



CLIENT AND PROJECT
Caswood Street Offices
9044 - 9046 Caswood Street
Agnes Hill, CA

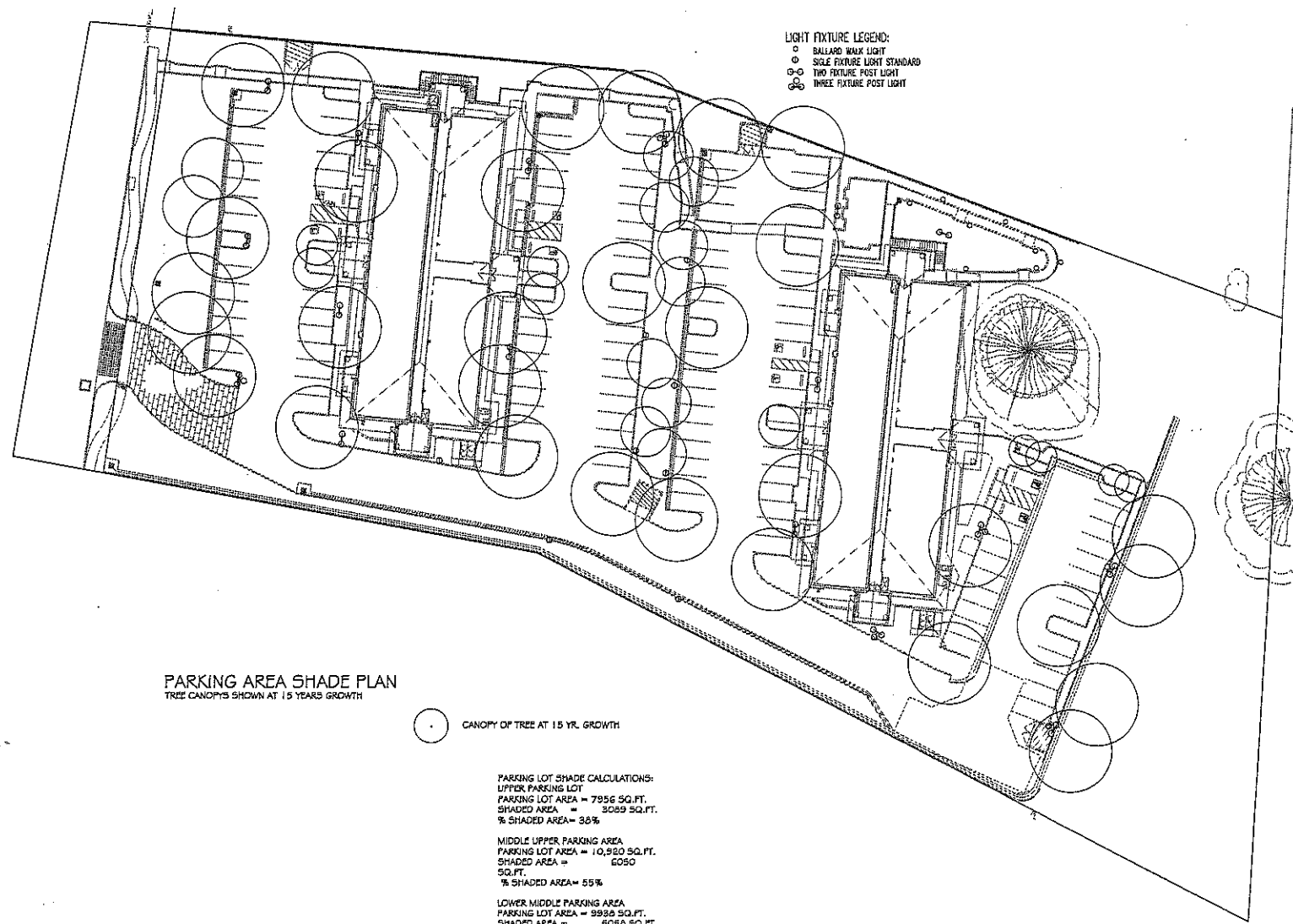
For:
Sunbelt Enterprises
1505 Sage Drive, Suite 100
Chico, CA 95926
Phone: (530)842-0700

SHEET DESCRIPTION
Planting Plan

DATE: 04/10/98
SCALE: 1" = 30'
DRAWN BY: E.G.
SHEET NUMBER

Thousand Oaks, California
 1448 Borel Drive
 Thousand Oaks, CA 91322
 (805)378-1775

REVISIONS



LIGHT FIXTURE LEGEND:
 ○ BALLARD WALK LIGHT
 ⊙ SINGLE FIXTURE LIGHT STANDARD
 ⊖ TWO FIXTURE POST LIGHT
 ⊗ THREE FIXTURE POST LIGHT

PARKING AREA SHADE PLAN
 TREE CANOPIES SHOWN AT 15 YEARS GROWTH



PARKING LOT SHADE CALCULATIONS:
UPPER PARKING LOT
 PARKING LOT AREA = 7956 SQ.FT.
 SHADED AREA = 3089 SQ.FT.
 % SHADED AREA = 38%
MIDDLE UPPER PARKING AREA
 PARKING LOT AREA = 10,920 SQ.FT.
 SHADED AREA = 6050 SQ.FT.
 % SHADED AREA = 55%
LOWER MIDDLE PARKING AREA
 PARKING LOT AREA = 9930 SQ.FT.
 SHADED AREA = 5059 SQ.FT.
 % SHADED AREA = 50.8%
LOWER PARKING AREA
 PARKING LOT AREA = 8790 SQ.FT.
 SHADED AREA = 6624 SQ.FT.
 % SHADED AREA = 75%

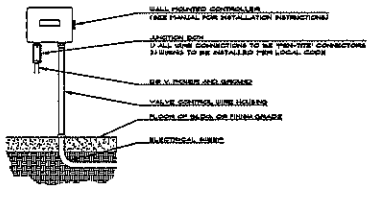
CLIENT AND PROJECT
 Canwood Street Offices
 9941 - 9945 Canwood Street
 Agoura Hills, CA
FOR:
 Sunbelt Enterprises
 1800 Sibley Drive, Suite 210
 Concord, CA 94503
 Phone: (925) 924-0700
SHEET DESCRIPTION
 Parking Area Shade Plan

DATE: 04/10/98
SCALE: N/D SCALE
DRAWN BY: E.G.
SHEET NUMBER

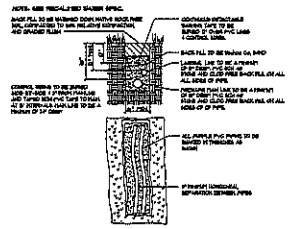


Thousand Oaks, California
 1448 Barot Circle
 Thousand Oaks, CA 91322
 (805)378-1775

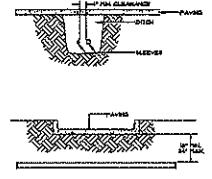
REVISIONS



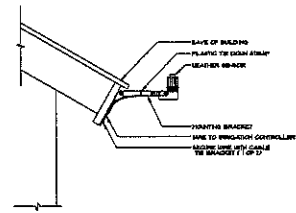
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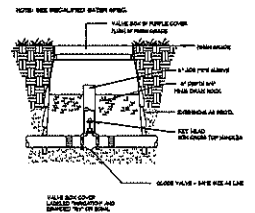
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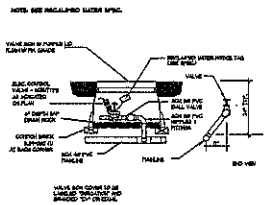
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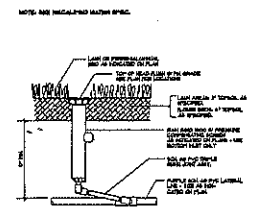
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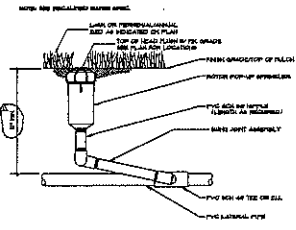
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6 SPRAY ELECTRIC CONTROL VALVE
 SCALE: NOT TO SCALE



7 POP-UP SPRAY HEAD
 SCALE: NOT TO SCALE



8 POP-UP ROTOR SPRAY HEAD
 SCALE: NOT TO SCALE

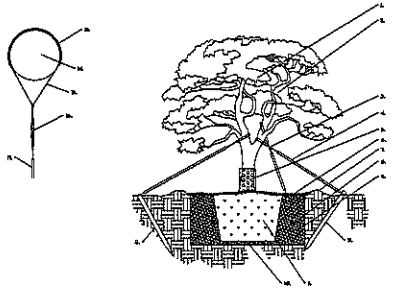
CLIENT AND PROJECT
 Claywood Street Offices
 9841 - 9845 Claywood Street
 Agoura Hills, CA
 For:
 Sunbelt Enterprises
 1800 Bobo Drive, Suite 210
 Chatsworth, CA 91310
 Project: 0022644-0700
 SHEET DESCRIPTION
 Irrigation Details

DATE: 04/18/09
 SCALE: NO SCALE
 DRAWN BY: E.G.
 SHEET NUMBER

Thousand Oaks, California
 1448 Earl Circle
 Thousand Oaks, CA 91322
 (805)378-1775

REVISIONS

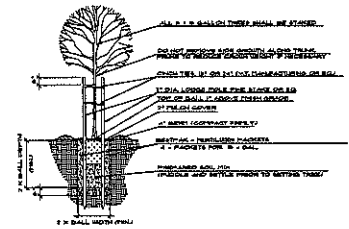
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF EDWARD E. GRIPP AND ASSOCIATES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EDWARD E. GRIPP AND ASSOCIATES, INC. ANY UNAUTHORIZED USE OF THESE PLANS AND SPECIFICATIONS IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



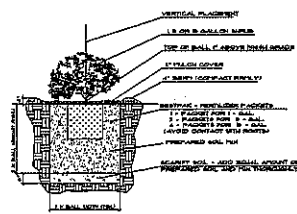
1. BOX TREE PLANTING
 SCALE: 1/4" = 1'-0"
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1 BOX TREE PLANTING
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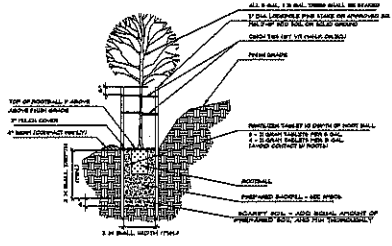
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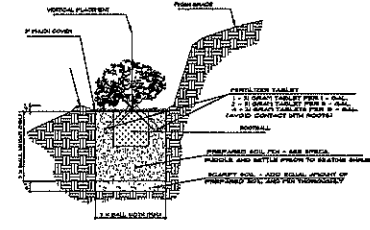
2 15 GALL TREE PLANTING
 SCALE: 1/4" = 1'-0"



3 SHRUB PLANTING
 SCALE: 1/4" = 1'-0"



4 TREE PLANTING ON SLOPE
 SCALE: 1/4" = 1'-0"



5 SHRUB PLANTING
 SCALE: 1/4" = 1'-0"

CLIENT AND PROJECT
 Carnival Street Offices
 5541 - 5555 Carnival Street
 Agoura Hills, CA

FOR:
 Sunbelt Enterprises
 1800 Baby Drive, Suite 200
 Chatsworth, CA 91311
 Phone: (805) 344-0700

SHEET DESCRIPTION
Planting Details

DATE: 04/10/98
 SCALE: 1/4" = 1'-0"
 DRAWN BY: E.G.
 SHEET NUMBER

CONDITIONAL USE PERMIT FOR:

SUNBELT ENTERPRISES

29541 AND 29555 CANWOOD STREET AGOURA HILLS, CALIFORNIA 91301-1558

Revisions	
1	PLAN CHECK REV 6-18-06 UEG
2	PLANNING DEPT. REV. 8-22-06 UEG
3	PLANNING DEPT. REV. 9-27-07 UEG
4	PLANNING DEPT. REV. 01-24-08 UEG
5	PLANNING DEPT. REV. 5-23-08 UEG
6	PLANNING DEPT. REV. 8-22-08

Date:
 Permit Approval:
 Date:

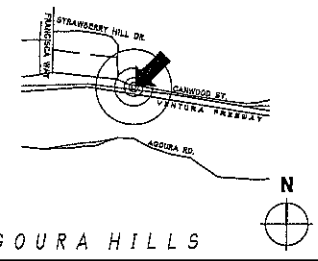
THE WREN GROUP, INC.
 Architecture & Interiors
47 West Alhambra Avenue, Alhambra, California 91801 phone: 626-285-2000 fax: 626-285-2004

TITLE SHEET - ELECTRICAL
 PROJECT: **CANWOOD**
29541 AND 29555 CANWOOD STREET AGOURA HILLS, CA 91301-1558
 Date: 10-04-08
 Drawn: MP
 Checked:
 Job: 718.101
 Sheet: **T-1**

CONSULTANTS

OWNER: SUNBELT ENTERPRISES 1601 EDGAR DRIVE, SUITE 200 ORLANDO, CA 92846 PHONE: (408) 604-0700 FAX: (408) 465-2634	ARCHITECT: GORSHALL ASSOCIATES 234 NORTH EL MOLINO AVENUE PALMDALE, CA 91301 PHONE: (818) 780-9746 FAX: (818) 782-7558	INTERIOR DESIGN: THE WREN GROUP, INC. 44 WEST ALHAMBRA DRIVE, SUITE 6 PALMDALE, CA 91301 PHONE: (818) 554-2600 FAX: (818) 544-2554
SOILS: ADVANCED GEOTECHNICAL SERVICES, INC. 831 VERDUGO WAY, SUITE L CARLSBAD, CA 92008 PHONE: (760) 940-2378 FAX: (760) 284-8187	CIVIL: HOLMES ENTERPRISES INC. 200 WICKS ROAD BUCKRAKE, CA 92008 PHONE: (619) 531-1871 FAX: (619) 532-1884	LANDSCAPE: LAND FORM DESIGN INC. 1416 DONALD CIRCLE THOUSAND OAKS, CA 91320 PHONE: (805) 378-7773
STRUCTURAL: JOHN A. MARTIN AND ASSOCIATES, INC. 25000 LYONS AVENUE, SUITE 401 NEWHALL, CA 92551 PHONE: (949) 248-2616 FAX: (949) 250-2649	ELECTRICAL: THE ENGINEERING GROUP, INC. 1800 VENTURA BOULEVARD, SUITE 200 SACHS, CA 91351 PHONE: (818) 712-9565 FAX: (818) 782-4895	MECHANICAL: SPEC GROUP, INC. 1400 VENTURA BOULEVARD, SUITE 200 SACHS, CA 91351 PHONE: (818) 782-5810 FAX: (818) 782-5285

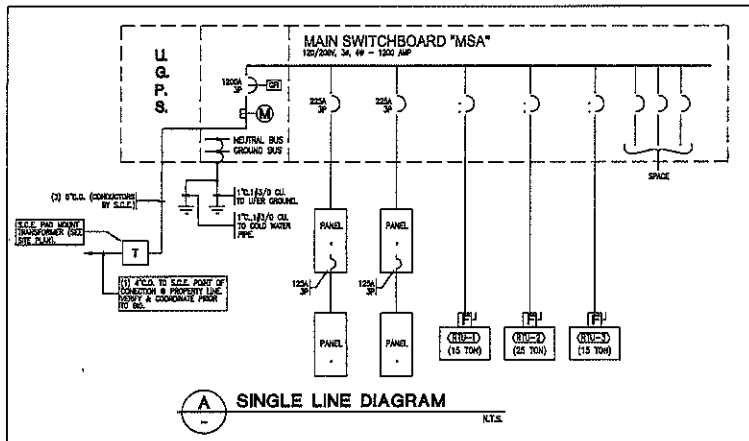
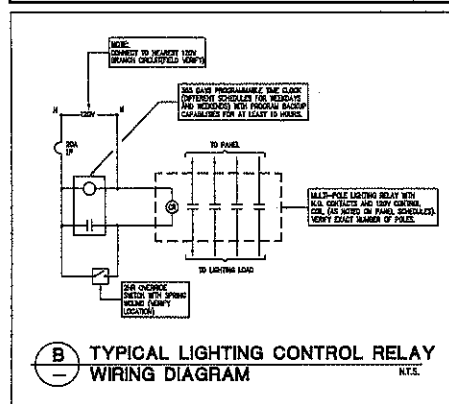
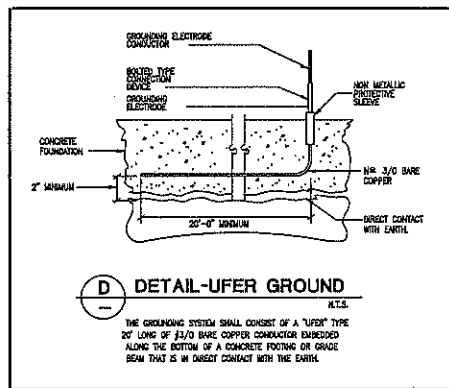
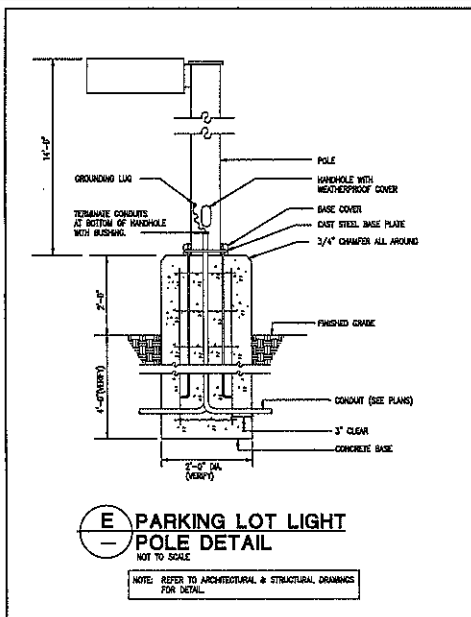
VICINITY MAP



SHEET INDEX

T-1	TITLE SHEET - ELECTRICAL
E-1	GENERAL NOTES, SYMBOLS LIST, SINGLE LINE DIAGRAM & DETAILS
E-2	ELECTRICAL SITE PLAN
E-3	PHOTOMETRICS

Not drawn to scale. See applicable portions of the final plans and specifications for details. No part of this drawing shall be used without the written consent of the architect.

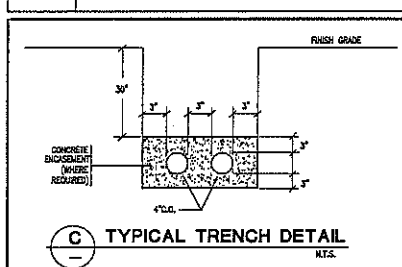


- ### GENERAL NOTES
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH LATEST CITY OF ANAHEIM ELECTRICAL CODE, 2005 NATIONAL ELECTRICAL CODE AND 2007 CALIFORNIA ELECTRICAL CODE.
 - OBTAIN AND PAY FOR ALL PERMITS, FEES, AND LICENSES REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK.
 - BEFORE STARTING ANY WORK, EXAMINE THE COMPLETE SET OF DRAWINGS FOR ALL TRADES INCLUDING ARCHITECTURAL, MECHANICAL, AND PLUMBING. VERIFY ALL DIMENSIONS, SPACE REQUIREMENTS, AND POINTS OF CONNECTION TO ALL EQUIPMENT. MAKE ANY NECESSARY ADJUSTMENTS TO AVOID CONFLICTS WITH OTHER TRADES. MAJOR REQUIREMENT COST ADJUSTMENTS DISCOVERED SHALL BE RESOLVED IN WRITING PRIOR TO PERFORMING ANY WORK.
 - THE DRAWINGS INDICATE, IN A DIAGRAMMATIC MANNER, THE DESIRED LOCATIONS AND ARRANGEMENT OF THE COMPONENTS OF THE ELECTRICAL WORK. DETERMINE EXACT CONDUIT ROUTING, CONDUIT EDGES, AUXILIARY JUNCTION BOXES, SUPPORTS, AND UNDEFINED CONSTRUCTION DETAILS AS A JOB CONDITION TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
 - ALL CONDUIT SIZES SHOWN ARE FOR COPPER WITH BODY, TYPE THIN-WALL INSULATION RATED 75 °C UNLESS OTHERWISE NOTED. MINIMUM CONDUIT SIZE: 1/2" A.W.G.
 - PROVIDE AND MAINTAIN RECORD DRAWINGS ON THE JOB THAT ACCURATELY REFLECT CURRENT AS-BUILT STATUS OF THE PROJECT.
 - DRILLING OR WELDING TO BUILDING STRUCTURE IS NOT ACCEPTABLE WITHOUT WRITTEN PERMISSION.
 - ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BID.
 - SEE ARCHITECTURAL REFLECTED CEILING PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL LIGHT FIXTURES.
 - WHERE NEW PANELBOARDS ARE SHOWN ON THE DRAWINGS, THEY SHALL BE FLUSH OR SURFACE MOUNTED GALVANNEED STEEL CABINETS WITH GANGED CHANNEL FRONT AND WITH HINGED LOCKABLE DOORS. CIRCUIT BREAKERS SHALL BE BOLT-ON MOLDED CASE CIRCUL-LET TYPE WITH "LOCK-OFF" PROVISIONS. MINIMUM I.C. RATING SHALL BE 10,000 AMPERES (120/208.3 PHASES) OR 4 WIRE, 14,000 AMPERES (277/480V, 3 PHASE, 4 WIRE). PROVIDE BARRIER SPACE AND SEPARATE HINGED LOCKABLE DOOR FOR CIRCUITBREAKERS AND CONTROL DEVICES REQUIRED.
 - MATERIALS AND EQUIPMENT SHALL BE NEW (EXCEPT WHERE THESE SPECIFICATIONS OR THE DRAWINGS SPECIFICALLY PROVIDE RE-USE OF EXISTING EQUIPMENT) AND LISTED BY AND BEAR THE LABEL OF THE UNDERWRITERS' LABORATORIES, INC. OR OTHER APPROVED INDEPENDENT TESTING LABORATORY, WHERE SUBJECT TO SUCH APPROVAL, AND SHALL BE APPROVED BY ALL LOCAL JURISDICTIONS INVOLVED.
 - ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION OR RECOMMENDATIONS.
 - ITEMS OF A SIMILAR NATURE SHALL BE OF THE SAME TYPE AND MANUFACTURE.
 - SHOP DRAWING SUBMITTALS ARE REQUIRED FOR THE FOLLOWING MATERIALS/EQUIPMENT:
 - LIGHTING FIXTURES.
 - SPECIAL OR BUILT-TO-ORDER EQUIPMENT.
 - LARGE PULL BOXES.
 - NEW SWITCHBOARDS, PANELBOARDS AND CIRCUIT BREAKERS.
 - ALL EXPOSED CONDUIT SHALL BE INSTALLED PARALLEL WITH OR AT RIGHT ANGLES TO ARCHITECTURAL FEATURES SUCH AS THE BUILDING FACE, BEAMS OR CEILING.
 - WHEREVER CONDUITS ARE SPliced OR TERMINATED IN A JUNCTION OR PULLBOX THEY SHALL BE MARKED WITH THEIR CIRCUIT NUMBER USING "BRAVI" ADHESIVE MARKERS.
 - ALL EMPTY CONDUITS SHALL HAVE A 1/8" DIAMETER WELON PULLCORD UNLESS OTHERWISE SPECIFIED.
 - EXACT ROUTING OF ALL CONDUIT WITHIN EXISTING BUILDING SHALL BE DETERMINED BY THE CONTRACTOR. ANY COST REQUIRED TO ROUTE CONDUIT DIFFERENTLY THAN IS SHOWN ON THESE DRAWINGS SHALL BE INCURRED BY THE CONTRACTOR.
 - ALL DEVICE LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL ELEVATION PRIOR TO INSTALLATION.
 - ALL FINAL CONNECTIONS TO OWNER-FURNISHED EQUIPMENT SHALL BE MADE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
 - ALL EQUIPMENTS SHALL BE LISTED BY A RECOGNIZED ELECTRICAL TESTING AGENCY.
 - UNLESS A GROUND WIRE IS NOT SPECIFIED, CONDUIT AND ITS CONNECTIONS SHALL BE ALL APPROVED FOR USE AS GROUNDING CONDUCTORS.
 - FEEDER RUNS IN NON-METALLIC CONDUIT SHALL CARRY A GREEN INSULATED CORE SIZED GROUNDING CONDUCTOR PROPERLY CONNECTED FOR ELECTRICAL GROUND CONTINUITY.
 - CONDUIT TYPES AND INSTALLATION METHODS SHALL BE AS PERMITTED BY CODES SUBJECT TO THE FOLLOWING ADDITIONAL REQUIREMENTS:
 - ALL CONDUITS SHALL BE EMT OR STANDARD STEEL RIGID UNLESS LOCAL CODES AND LANDSCAPE REQUIREMENTS. FLEXIBLE CONDUIT SHALL BE USED FOR PANEL CONNECTIONS TO LIGHT FIXTURES, MOTORS, ETC. AS PERMITTED BY LOCAL CODES.
 - DROP-IN FIXTURES INSTALLED IN T-BAR CEILING SHALL BE ATTACHED AT EACH CORNER TO THE MAIN RUNNERS WITH LISTED CLIPS OR SH SCREWS. PROVIDE #12 SLACK WIRES AT OPPOSITE CORNERS ATTACHED TO THE STRUCTURE ABOVE.
 - SHEET METAL SCREWS SHALL NOT BE USED TO CONNECT GROUNDING CONDUCTORS TO ENCLOSURES.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE CERTIFICATION OF LUG-TIGHTENING TO THE MANUFACTURER'S SPECIFICATIONS AND PROVIDE A COPY OF THE CERTIFIED REPORT TO THE CITY OF ANAHEIM PLUMBING INSPECTOR PRIOR TO THE FINAL APPROVAL.
 - ALL EXTERIOR MOUNTED DUCT DETECTORS SHALL BE RATED AT 150 DEGREES F. OR HIGHER AND BE MOUNTED IN A NEMA RATED ENCLOSURE OF 3-R OR HIGHER.
 - ALL DUCT DETECTORS SHALL BE INTERLOCKED FOR GLOBAL SHUTDOWN.
 - PROVIDE PERMANENT LABELING TO IDENTIFY ALL CIRCUITS AT ALL PANELBOARDS. A TYPED INDEX/SCHEDULE IS ACCEPTABLE.

SYMBOLS LIST

MAXIMUM CONDUIT WIRE FULL CHART THIN-WALL	WIRE SIZE	1/2" C.	3/4"
#12	5	10	10
#10	5	10	10

CLASS R FUSIBLE DISCONNECT SWITCH
 HEAVY DUTY DISCONNECT SWITCH. SIZE, NUMBER OF POLES AND FUSED IF NON-FUSED AS NOTED ON PLANS. PAINT/POWDER WHEN MOUNTED OUTDOORS.
 PANELBOARD. FLUSH OR SURFACE MOUNTED AS SHOWN ON PLANS AND PANEL SCHEDULES. ADJACENT BALLOON INDICATES PANEL DESIGNATION.
 CIRCUIT BREAKER. SIZE AND NUMBER OF POLES AS SHOWN ON PLANS.
 FLUSH WALL TOGGLE SWITCH - 20A, 120V. - SUBLETTERS DENOTE ITEMS CONTROLLED. 0-4-12 U.O.L.
 SINGLE POLE MOTOR RATED TOGGLE SWITCH (120V).
 WALL MOUNTED SWITCH 0-4-12. E.C. SHALL USE 600V, 1000V OR 1500V (WHERE REQUIRED) AND VERIFY LAMP TYPE PRIOR TO ANY WORK.
 JUNCTION BOX IN ACCESSIBLE CEILING SPACE, SIZE AS REQUIRED. WEATHERPROOF WHEN LOCATED OUTDOORS. (AS BOX MAN.)
 WALL JUNCTION BOX #1-1/2". PROVIDE EXTENSION WHEN USED FOR FLEX CONNECTION. WEATHERPROOF WHEN OUTDOORS. (AS BOX MAN.)
 WALL MOUNTED JUNCTION BOX. E.C. TO CONNECT & WIRE TO EQUIPMENT.
 DUPLEX CONVENIENCE RECEPTACLE, 125V, 2P, 3W, 15AMP, NEMA 5-15R. FLUSH 0-4-12 U.O.L.
 SAME AS ABOVE EXCEPT DOUBLE DUPLEX IN COMMON BOX.
 DUPLEX RECEPTACLE 125V, 2P, 3W, 20AMP, NEMA 5-20R. FLUSH 0-4-12 U.O.L.
 FLUSH CEILING MOUNTED DUPLEX RECEPTACLE OUTLET, 125V, 2P, 3W, 20A (NEMA 5-20R)
 MECHANICAL EQUIPMENT DESIGNATION. VERIFY EXACT LOCATION.
 DUCT SMOKE DETECTOR IN RETURN AND SUPPLY AIR DUCTS WITH SAMPING TUBE (FIELD VERIFY EXACT LENGTH) FURNISHED & INSTALLED BY MECH. CONTRACTOR. WIRED BY E.C. COORDINATE ALL REQUIRED WORK. E.C. SHALL PROVIDE 1 HOUR POWER TO EACH DUCT SMOKE DETECTOR FROM NEAREST PANEL OR ELECTRICAL OUTLET, VERIFY & COORDINATE EXACT LOCATION IN FIELD FOR COMPLETE INSTALLATION.
 20AMP, FLUSH WALL MOUNTED 0-4-12 U.O.L. THREE WAY SWITCH. COLOR, COVERPLATE, AND SPECIFICATION AS DIRECTED BY ARCHITECT. THERMOSTAT. PROVIDE & INSTALL 3/4" C.D. TO RESPECTIVE 1/4" C.D.
 TELEPHONE OUTLET FLUSH 0-4-12 U.O.L. PROVIDE AND INSTALL 3/4" C.D. STUBBED OUT TO ACCESSIBLE CEILING SPACE.
 COMBINATION TELEPHONE AND DATA OUTLET FLUSH 0-4-12 U.O.L. PROVIDE AND INSTALL 3/4" C.D. STUBBED OUT TO ACCESSIBLE CEILING SPACE.
 FLUSH WALL MOUNTED TELEVISION OUTLET 0-4-12 U.O.L. PROVIDE 3/4" C.D. STUBBED OUT INTO NEAREST ACCESSIBLE CEILING SPACE.
 COMBINATION SMOKE FAN DAMPER FURNISHED & INSTALLED BY MECHANICAL CONTRACTOR. E.C. SHALL PROVIDE & INSTALL WIDTH RATED TOGGLE SWITCH AND CONNECT TO 120V POWER. VERIFY & COORDINATE EXACT LOCATION IN FIELD.
 COMBINATION HEAVY DUTY FUSIBLE DISCONNECT SWITCH AND FULL VOLTAGE NON-REVERSING MANUALLY OPERATED MOTOR STARTER WITH THERMAL OVERLOAD, HAND-OFF-AUTO DUTY SELECTOR SWITCH IN ITS COVER AND A CONTROL POWER TRANSFORMER WITH FUSED DISCONNECT PROTECTION. PROVIDE STARTER WITH AUXILIARY CONTACT AND RUNNING PLUG LIGHT WITH PUSH-TO-TEST FEATURE. MANUAL, CENTER STARTER SIZE.
 WEATHERPROOF.
 NOT TO SCALE.
 C.D. CONDUIT ONLY WITH PULL WIRE.
 U.O.L. UNLESS OTHERWISE NOTED.
 N/F NON-FUSIBLE.
 E.C. ELECTRICAL CONTRACTOR.
 C.F.I. GROUND FAULT INTERRUPTER.



Revisions

PLAN CHECK REV. 05-25-2004 P.M.
 PLANNING DEPT. REV. 01-20-03 C.P.

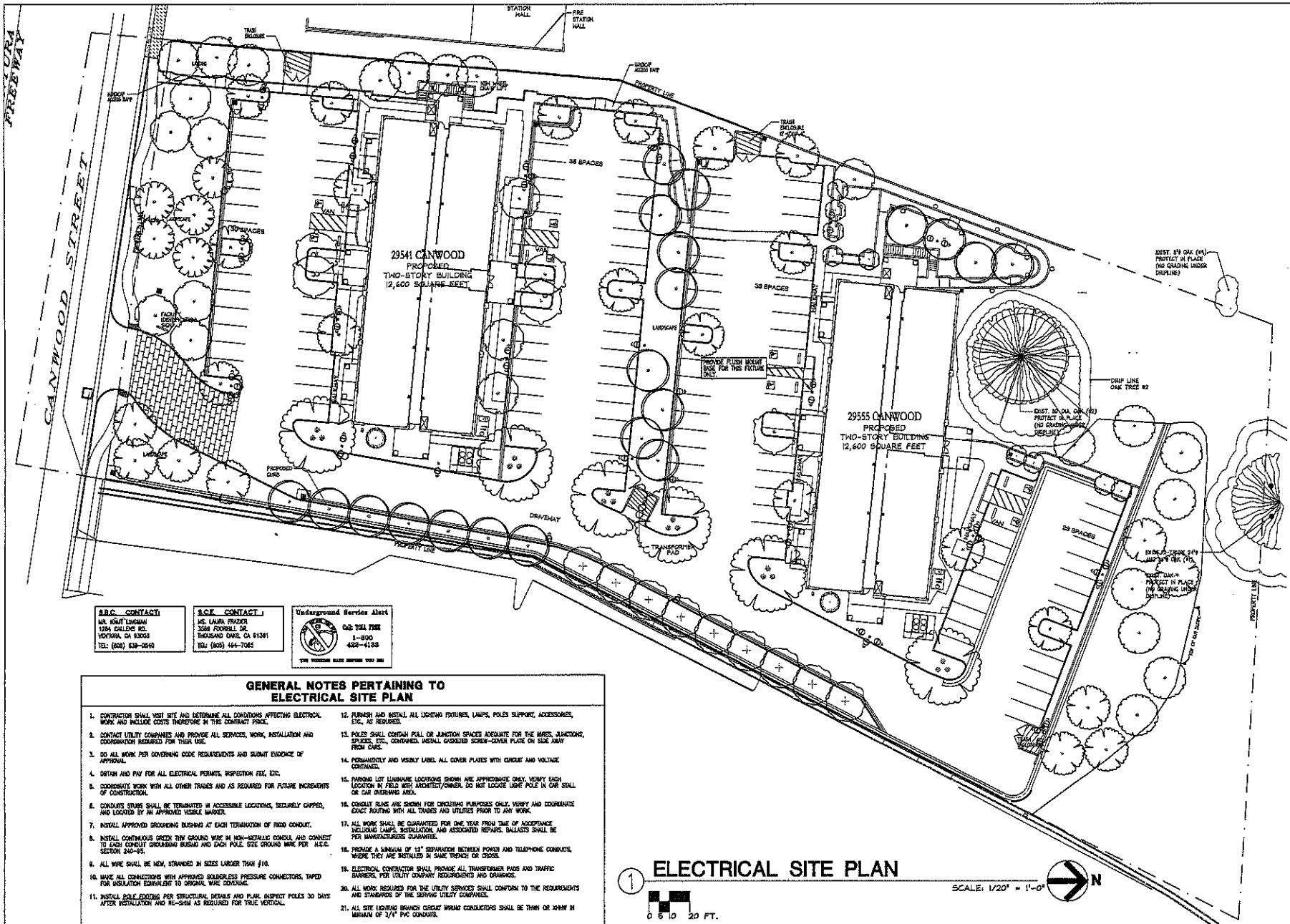
THE WREN GROUP, INC.
 Consulting Electrical Engineers
 Architecture & Interiors
 1100 West 10th Street, Suite 100
 Annapolis, MD 21401
 Phone: 410-293-6000 Fax: 410-293-6001

GENERAL NOTES, SYMBOLS LIST, SINGLE LINE DIAGRAM & DETAILS

PROJECT: **CANWOOD**
 2801 UNIVERSITY STREET ANAHEIM, CALIF. 92805

Date: 05-12-2004
 Drawn: HM
 Checked: MN
 Job: 05-125

Sheet: **E-1**



Revisions

PLAN CHECK REV.	05-23-06	MN
PLANNING DEPT. REV.	01-30-06	CF

THE WREN GROUP
 ENGINEERING GROUP
 CONSULTING ELECTRICAL ENGINEERS
 1400 VICTORIA BLVD. SUITE 200
 ST. LOUIS, MISSOURI 63102

THE WREN GROUP, INC.
 Architects & Interiors
 1400 VICTORIA BLVD. SUITE 200
 ST. LOUIS, MISSOURI 63102

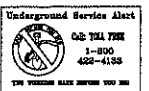
PROJECT
CANWOOD
 29541 CANWOOD STREET

Date 05-12-2004
 Drawn HPI
 Checked MN
 Job 05-129

Sheet
E-2

A.E.C. CONTACT
 MR. WALT LINDMAN
 1254 CALLENS RD.
 VENTURA, CA 93003
 TEL: (805) 638-0959

S.C.E. CONTACT
 MS. LAURA TRIVETT
 3288 FORDHILL DR.
 THOUSAND OAKS, CA 91321
 TEL: (805) 464-7045



- GENERAL NOTES PERTAINING TO ELECTRICAL SITE PLAN**
- CONTRACTOR SHALL VISIT SITE AND DETERMINE ALL CONDITIONS AFFECTING ELECTRICAL WORK AND INCLUDE COSTS THEREOF IN THE CONTRACT PRICE.
 - CONTACT UTILITY COMPANIES AND PROVIDE ALL SERVICES, WORK, INSTALLATION AND COORDINATION REQUIRED FOR THEIR USE.
 - DO ALL WORK PER GOVERNING CODE REQUIREMENTS AND SUBMIT EVIDENCE OF APPROVAL.
 - OBTAIN AND PAY FOR ALL ELECTRICAL PERMITS, INSPECTION FEE, ETC.
 - COORDINATE WORK WITH ALL OTHER TRADES AND AS REQUIRED FOR FUTURE INCREMENTS OF CONSTRUCTION.
 - CONDUIT STRAPS SHALL BE TERMINATED IN ACCESSIBLE LOCATIONS, SECURELY CHIPPED, AND LOCATED BY AN APPROVED VISIBLE MARKER.
 - INSTALL APPROVED DRAINING BUSHINGS AT EACH TERMINATION OF RIGID CONDUIT.
 - INSTALL CONTINUOUS GREEN TINY GROUND WIRE IN NON-METALLIC CONDUIT, AND CONNECT TO EACH CONDUIT GROUNDING BUSING AND EACH POLE. SIZE GROUND WIRE PER A.E.C. SECTION 240-45.1.
 - ALL WIRE SHALL BE NEW, STRANDED IN SIZES LARGER THAN #10.
 - MAKE ALL CONNECTIONS WITH APPROVED SOLDERLESS PRESSURE CONNECTORS, TAPED FOR INSULATION EQUIVALENT TO ORIGINAL WIRE COVERING.
 - INSTALL BOLT FIXING PER STRUCTURAL DETAILS AND PLAN. INSPECT POLES 30 DAYS AFTER INSTALLATION AND RE-SET AS REQUIRED FOR TRUE VERTICAL.
 - FLURISH AND INSTALL ALL LIGHTING FIXTURES, LAMPS, POLES SUPPORT, ACCESSORIES, ETC., AS REQUIRED.
 - POLES SHALL CONTAIN PULL OR JUNCTION SPACES ADEQUATE FOR THE WIRES, JUNCTIONS, SPICES, ETC., CONTAINED. INSTALL GASKETED SCREEN-COVER PLATE ON SIDE AWAY FROM CHAS.
 - PERMANENTLY AND VISIBLY LABEL ALL COVER PLATES WITH CIRCUIT AND VOLTAGE CONTAINED.
 - PARKING LOT LAMPING LOCATIONS SHOWN ARE APPROXIMATE ONLY. VERIFY EACH LOCATION IN FIELD WITH ARCHITECT/OWNER. DO NOT LOCATE LIGHT POLE IN CAR STALL OR CAR DRIVING AREA.
 - CONDUIT RIGS ARE SHOWN FOR CIRCUITING PURPOSES ONLY. VERIFY AND COORDINATE EXACT ROUTING WITH ALL TRADES AND UTILITIES PRIOR TO ANY WORK.
 - ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM TIME OF ACCEPTANCE INCLUDING LAMPS, INSTALLATION, AND ASSOCIATED REPAIRS. BALLASTS SHALL BE PER MANUFACTURER'S GUARANTEE.
 - PROVIDE A MINIMUM OF 12" SEPARATION BETWEEN POWER AND TELEPHONE CONDUITS, WHERE THEY ARE INSTALLED IN SAME TRENCH OR CROSS.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TRANSFORMER PADS AND TRAFFIC BARRIERS, PER UTILITY COMPANY REQUIREMENTS AND DRAWINGS.
 - ALL WORK REQUIRED FOR THE UTILITY SERVICES SHALL CONFORM TO THE REQUIREMENTS AND STANDARDS OF THE SERVING UTILITY COMPANIES.
 - ALL SITE LIGHTING BRANCH CIRCUIT WIRING CONDUCTORS SHALL BE THIN OR JOINT IN MINIMUM OF 3/4" PVC CONDUITS.

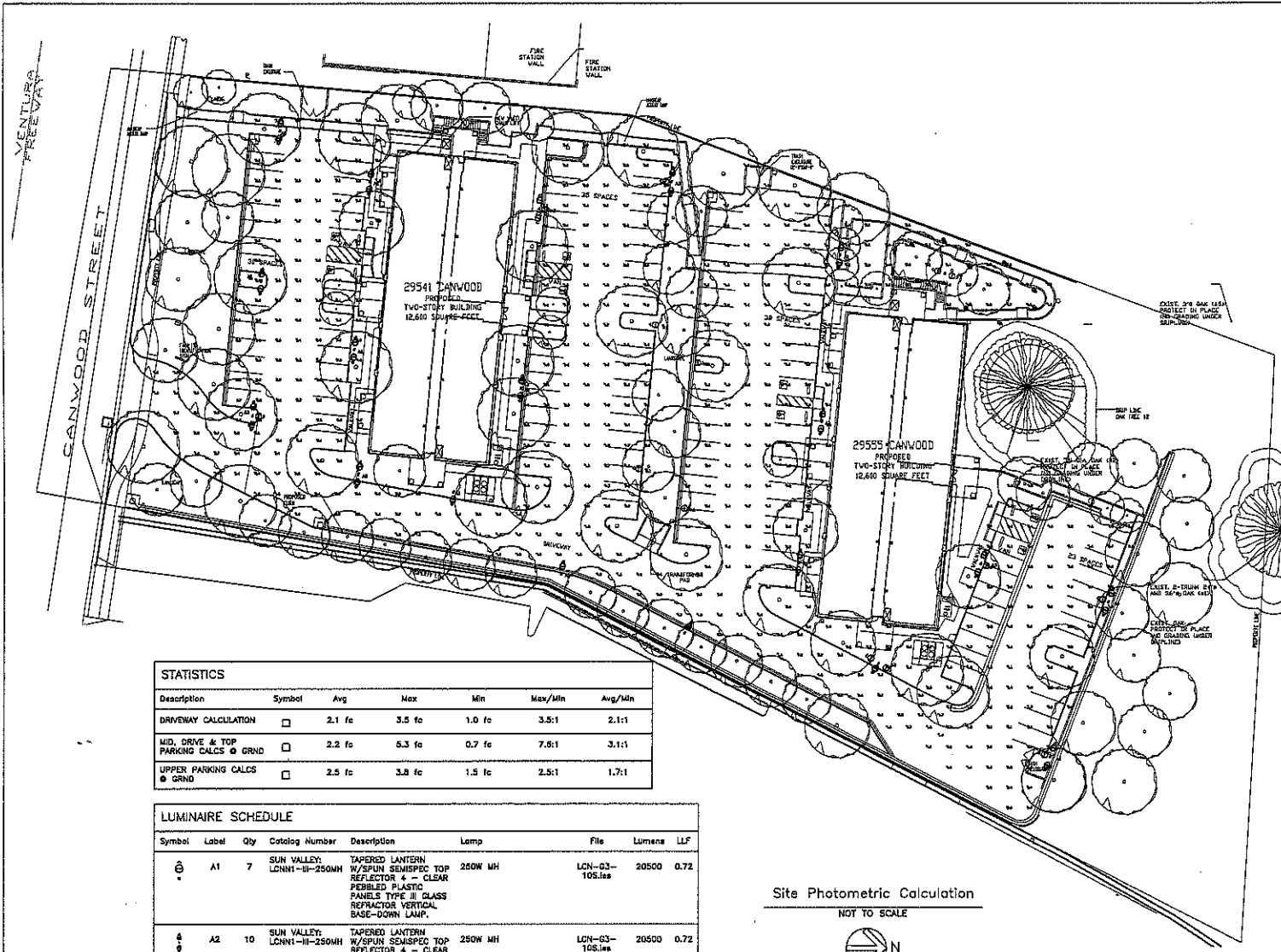
1 ELECTRICAL SITE PLAN

SCALE: 1/20" = 1'-0"

0 5 10 20 FT.

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DATE PLOTTED: 03-12-2008



LUMINAIRE LOCATIONS			
No.	Label	Location 1	Location 2
1	A1	16.0	16.0
2	A1	16.0	16.0
3	A1	16.0	16.0
4	A1	16.0	16.0
5	A1	16.0	16.0
6	A1	16.0	16.0
7	A1	16.0	16.0
8	A1	16.0	16.0
9	A1	16.0	16.0
10	A1	16.0	16.0
11	A1	16.0	16.0
12	A1	16.0	16.0
13	A1	16.0	16.0
14	A1	16.0	16.0
15	A1	16.0	16.0
16	A1	16.0	16.0
17	A1	16.0	16.0
18	A1	16.0	16.0
19	A1	16.0	16.0
20	A1	16.0	16.0
21	A	3.8	3.8
22	A	3.8	3.8
23	A	3.8	3.8
24	A	3.8	3.8
25	A	3.8	3.8
26	A	3.8	3.8
27	A	3.8	3.8
28	A	3.8	3.8
29	A1	16.0	16.0
30	A1	16.0	16.0
31	A1	16.0	16.0
32	A1	16.0	16.0

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DRIVEWAY CALCULATION	□	2.1 fc	3.5 fc	1.0 fc	3.5:1	2.1:1
MID, DRIVE & TOP PARKING CALCS @ GRND	□	2.2 fc	5.3 fc	0.7 fc	7.6:1	3.1:1
UPPER PARKING CALCS @ GRND	□	2.5 fc	3.8 fc	1.5 fc	2.5:1	1.7:1

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LFP
⊙	A1	7	SUN VALLEY LCNN1-III-250MH	TAPERED LANTERN W/SPUN SEMISPEC TOP REFLECTOR 4" CLEAR PEBBLED PLASTIC PANELS TYPE II GLASS REFRACTOR VERTICAL BASE-DOWN LAMP.	250W MH	LCN-03-105.lvs	20500 0.72
⊙	A2	10	SUN VALLEY LCNN1-III-250MH	TAPERED LANTERN W/SPUN SEMISPEC TOP REFLECTOR 4" CLEAR PEBBLED PLASTIC PANELS TYPE II GLASS REFRACTOR VERTICAL BASE-DOWN LAMP.	250W MH	LCN-03-105.lvs	20500 0.72
⊙	A3	7	SUN VALLEY LCNN1-III-250MH	TAPERED LANTERN W/SPUN SEMISPEC TOP REFLECTOR 4" CLEAR PEBBLED PLASTIC PANELS TYPE II GLASS REFRACTOR VERTICAL BASE-DOWN LAMP.	250W MH	LCN-03-105.lvs	20500 0.72
⊙	A	8	LIMINGTON BL307-42W-X-B	6" DIA X 42" HT BOLLARD W/WHITE TOP REFLECTOR 4" HEIGHT OPAL ACRYLIC CYLINDRICAL LENS 1/4" THICK	42W-Gx24g-4	8046-WA-07M.lvs	3200 0.81

Site Photometric Calculation
NOT TO SCALE



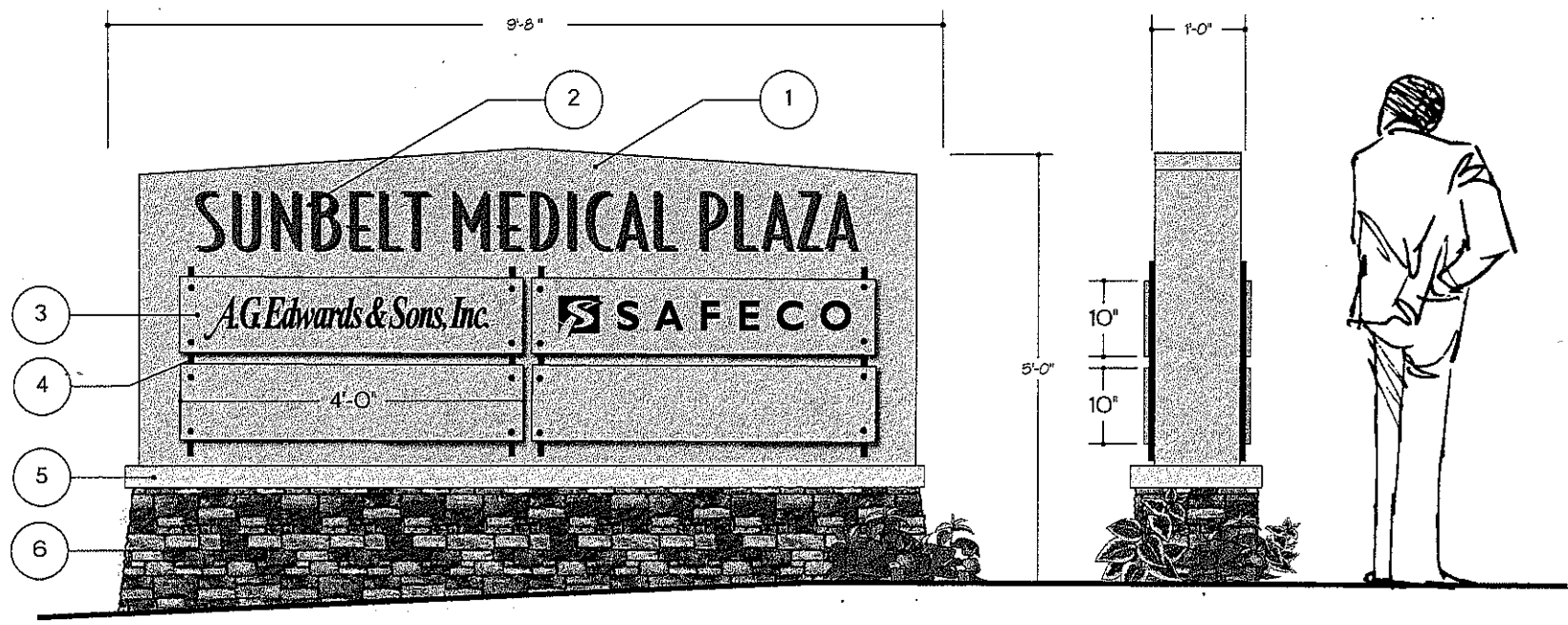
NOTES
1. CALCULATIONS: This calculation is based on the best information provided to CLE by the architect, engineer, lighting designer or interior designer. These findings should be verified by a qualified electrical engineer as to their accuracy. Design changes in construction will affect the accuracy. Design changes in construction will affect the accuracy. Design changes in construction will affect the accuracy. Design changes in construction will affect the accuracy.

CALIFORNIA LIGHTING SALES

CANWOOD
29515 CANWOOD STREET
AGOURA HILLS CA 91301-1558

Engineer
TDX (408)220-0848
Date
FEB 18, 2006
Caled By
LOO
Drawing No.
SITE REV1

- ① Fabricated Aluminum Cabinet, Color TBD.
- ② 1/2" thick Aluminum letters. Color TBD, pinned off surface 1/4".
- ③ 3/4" thick Fabricated aluminum tenant panels with black vinyl copy.
- ④ 3/4 x 3/4" alum. bar painted black.
- ⑤ 3" concrete cap.
- ⑥ Cultured Stone, limestone #csv-2074 Bucks County.



FRONT ELEVATION

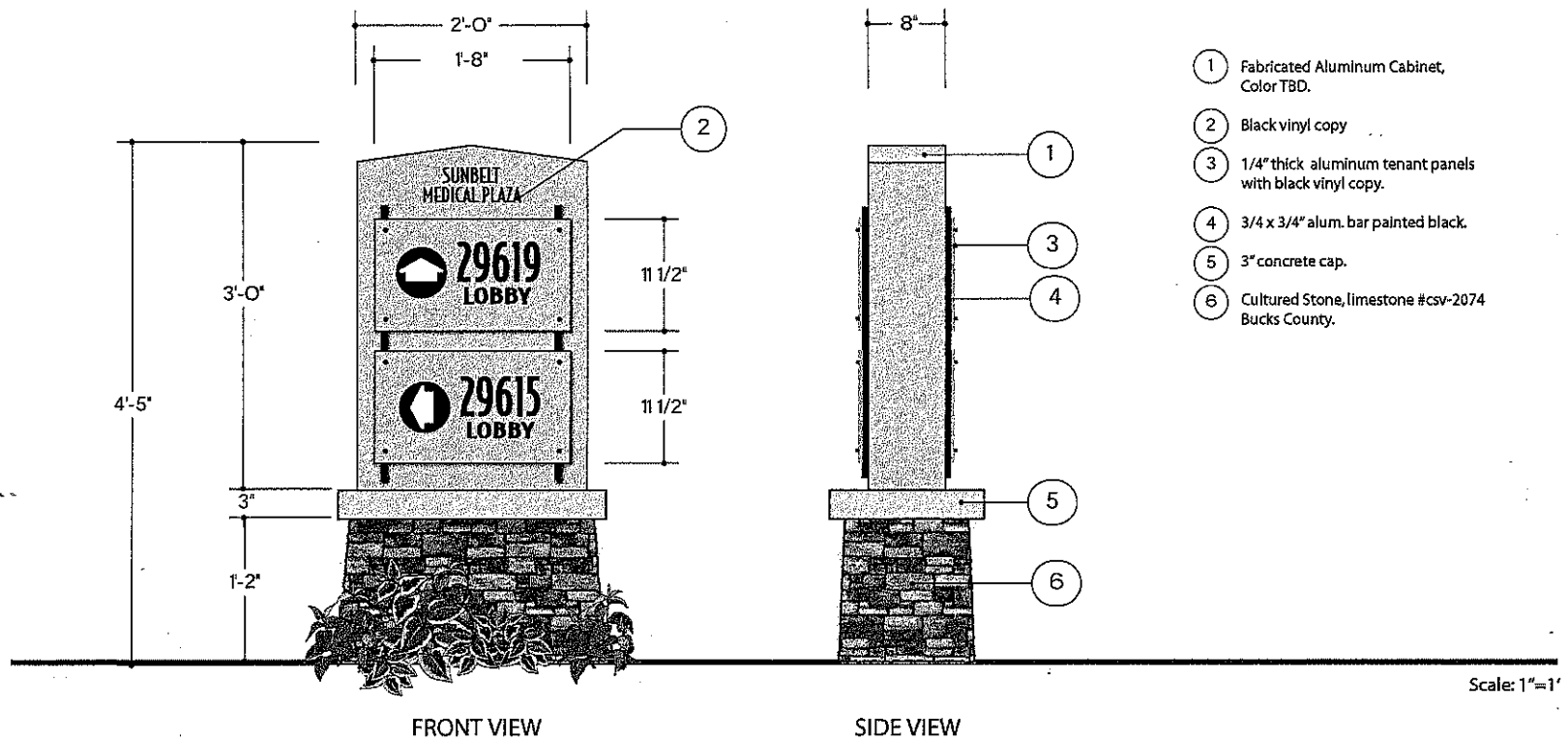
SIDE VIEW

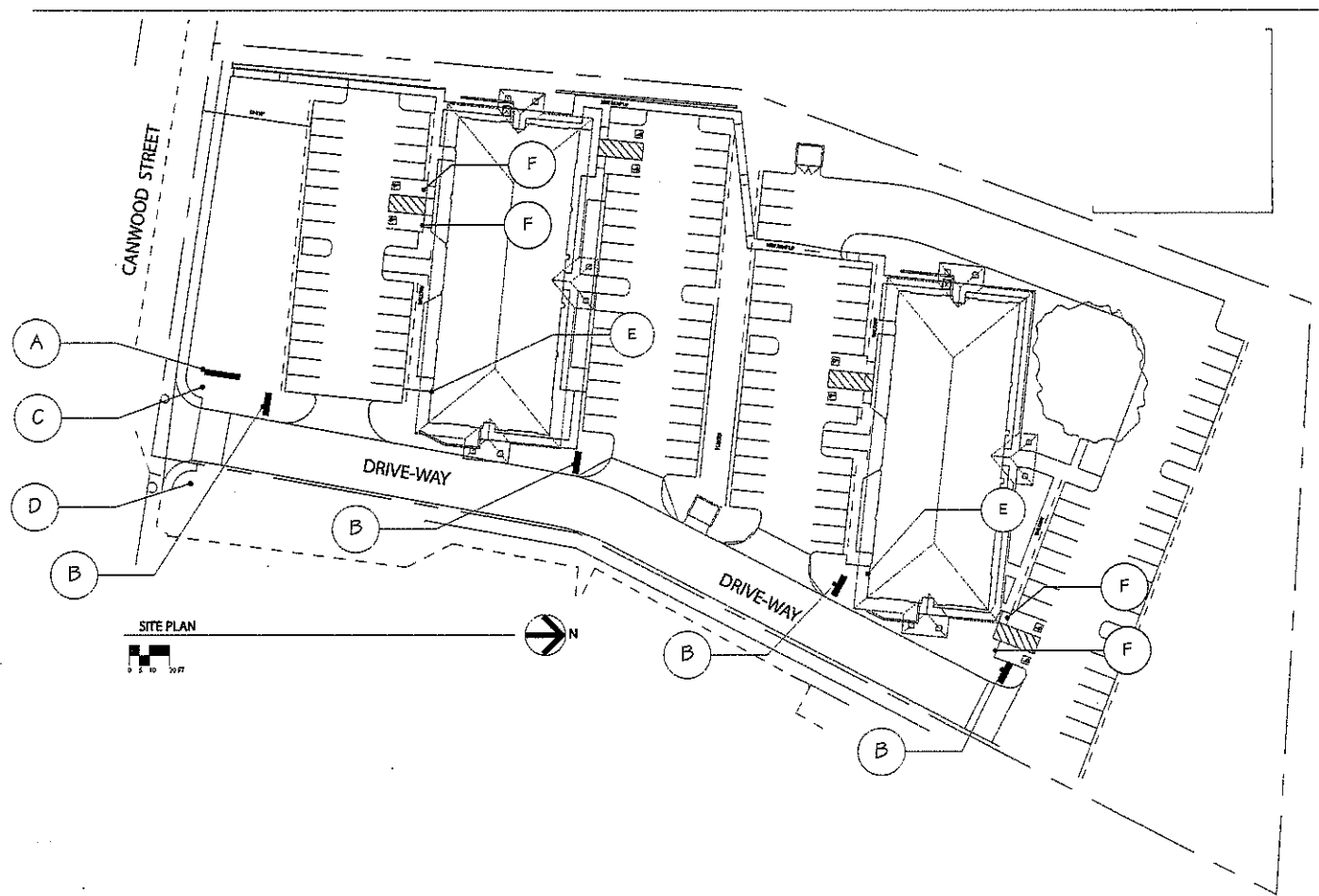
CANWOOD / SUNBELT
MONUMENT SIGN

05-0124 | 05/08/06

J B 3 D
Architectural Graphics & Branding

731 N. Main Street • Orange, California 92868
714.744.2300 • 714.744.8061 fax • jb3d.com

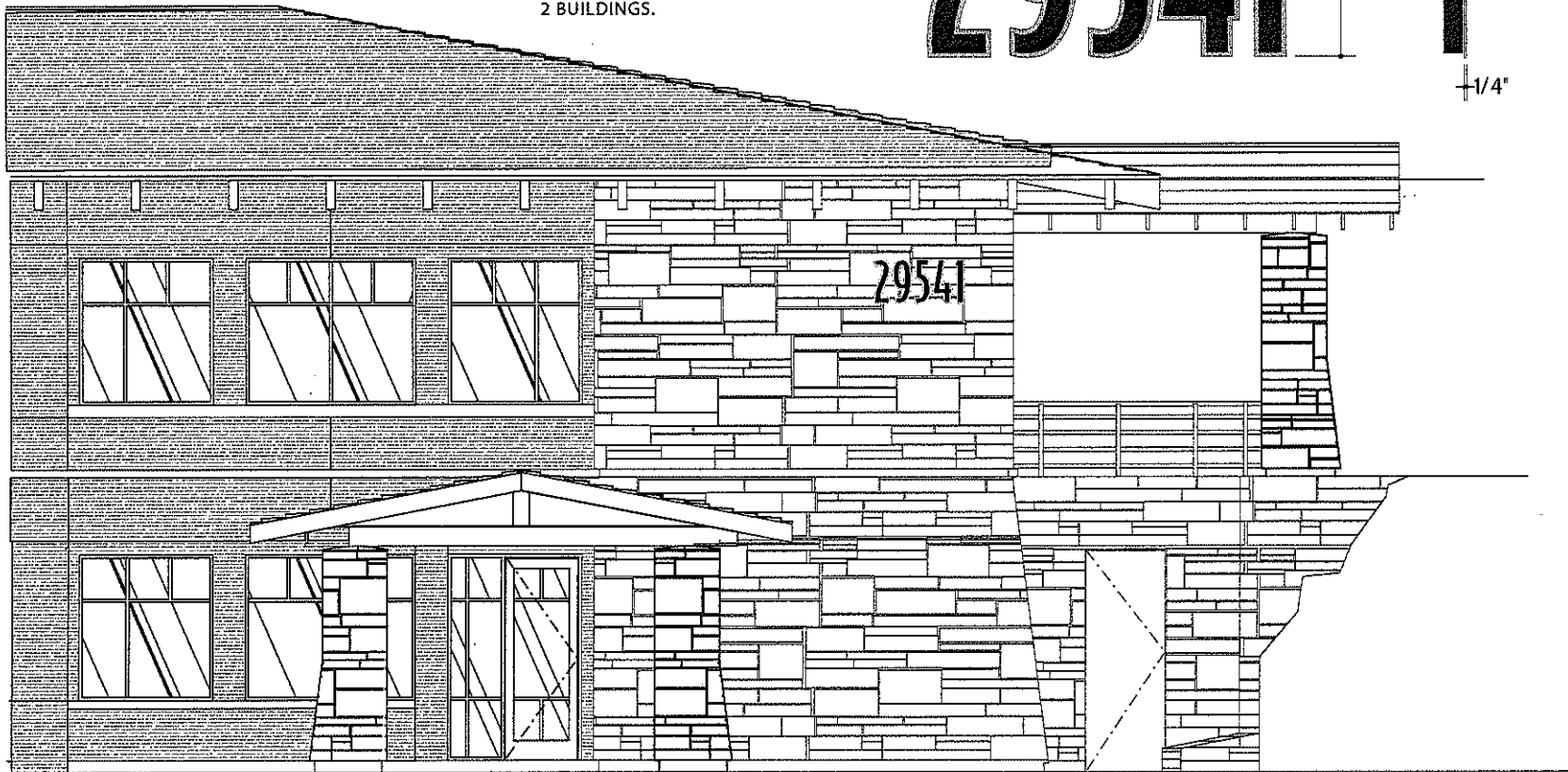
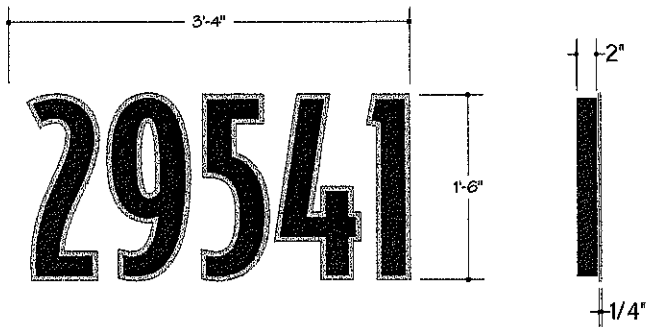




LEGEND:

- (A) MONUMENT SIGN
- (B) DIRECTIONAL SIGN
- (C) STOP SIGN
- (D) LEGAL NOTICE
- (E) ADDRESSES
- (F) H/C PARKING

18" ALUMINUM LETTERS 2" DEEP
 PAINTED DK. BROWN OVER 1/2" THICK
 BACKER OUTLINE PAINTED LT. TAN.
 COLORS TBD.
 QUANTITY: 1 SET PER BUILDING.
 2 BUILDINGS.



SOUTH ELEVATION

Canwood

Address Numbers

05-0124 | 05/08/06

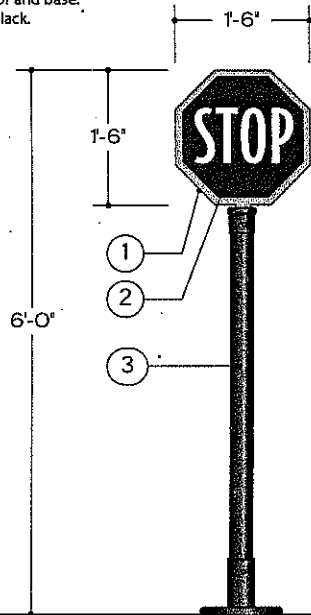
J B 3 D

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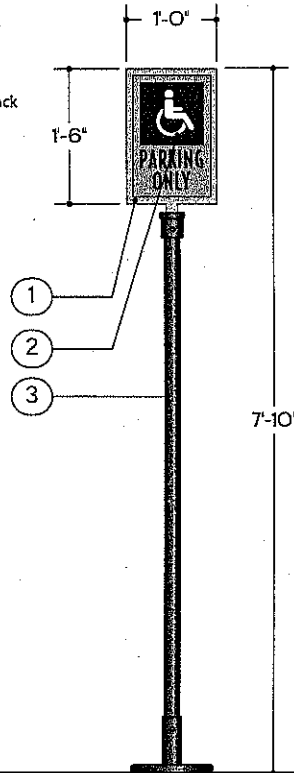
714.744.2300 • 714.744.8061 fax • jb3d.com

- ① 1/4" thick Aluminum plate, Color TBD.
- ② Reflective red vinyl with white vinyl copy.
- ③ 3" aluminum post with fabricated collar and base. Painted satin black.



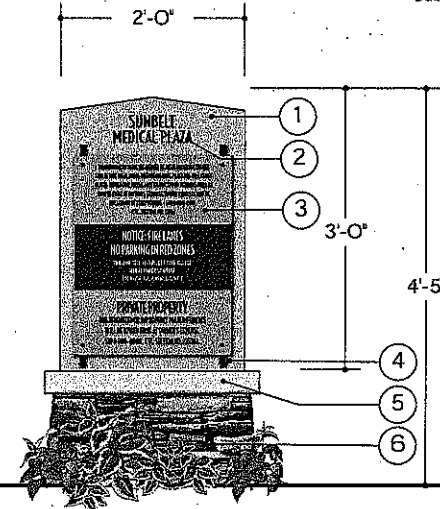
STOP SIGN

- ① 1/4" thick Aluminum plate, Color TBD.
- ② Reflective blue vinyl with white vinyl symbol and black vinyl copy.
- ③ 3" aluminum post with fabricated collar and base. Painted satin black.



HANDI CAP PARKING SIGN

- ① Fabricated Aluminum Cabinet, Color TBD.
- ② Black vinyl copy
- ③ 1/4" thick aluminum tenant panels with black vinyl copy.
- ④ 3/4 x 3/4" alum. bar painted black.
- ⑤ 3" concrete cap.
- ⑥ Cultured Stone, limestone #csv-2074 Bucks County.



LEGAL NOTICE SIGN

Canwood

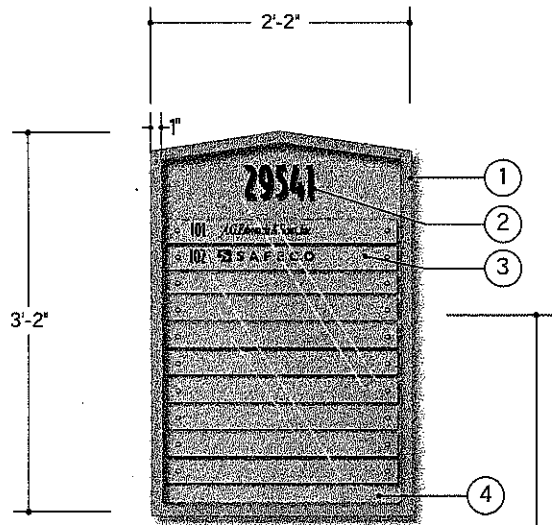
STOP SIGN / ACCESSIBLE STALL SIGN

05-0124 05/08/06

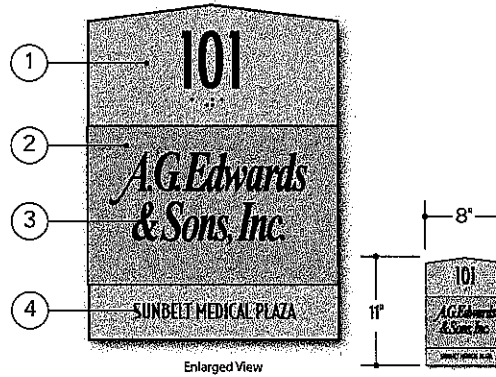
J B 3 D

Architectural Graphics & Branding

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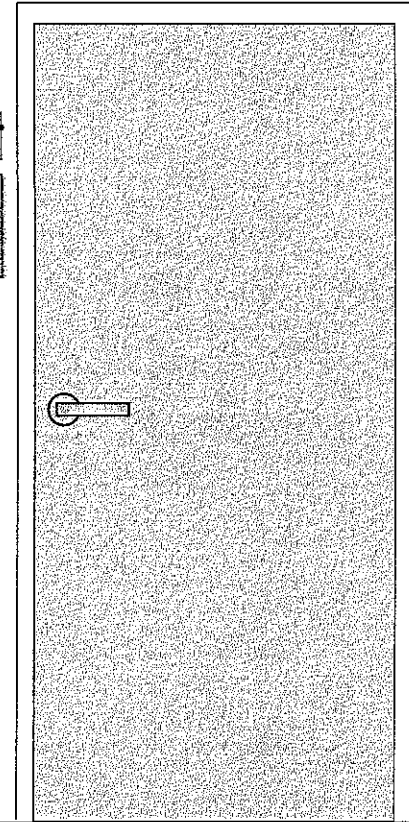


- ① 2" deep Aluminum frame with glass, Color TBD.
- ② 1/4" thick Aluminum numbers painted satin black. Pinned off surface 1/4".
- ③ Tenant strips 1/4" thick clear acrylic with black vinyl text. Pinned off surface 1/4".
- ④ Aluminum background pan with 1/2" returns. Color TBD



- ① 1/4" thick photopolymer top piece with raised black suite number and braille.
- ② 1/4" thick acrylic center piece, color TBD.
- ③ Black vinyl copy,
- ④ 1/4" thick acrylic bottom piece with black vinyl copy. Color TBD.

All pieces mounted to 1/8" black backer, and satin clear coat entire sign.





**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29541 and 29555 Canwood Street,
Agoura Hills**

**Conditional Use Permit – Case No. 05-CUP-006,
Oak Tree Permit – Case No. 05-OTP-032 &
Sign Permit – Case No. 08-SP-028**

**Exhibit C:
Photosimulations**







**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29541 and 29555 Canwood Street,
Agoura Hills**

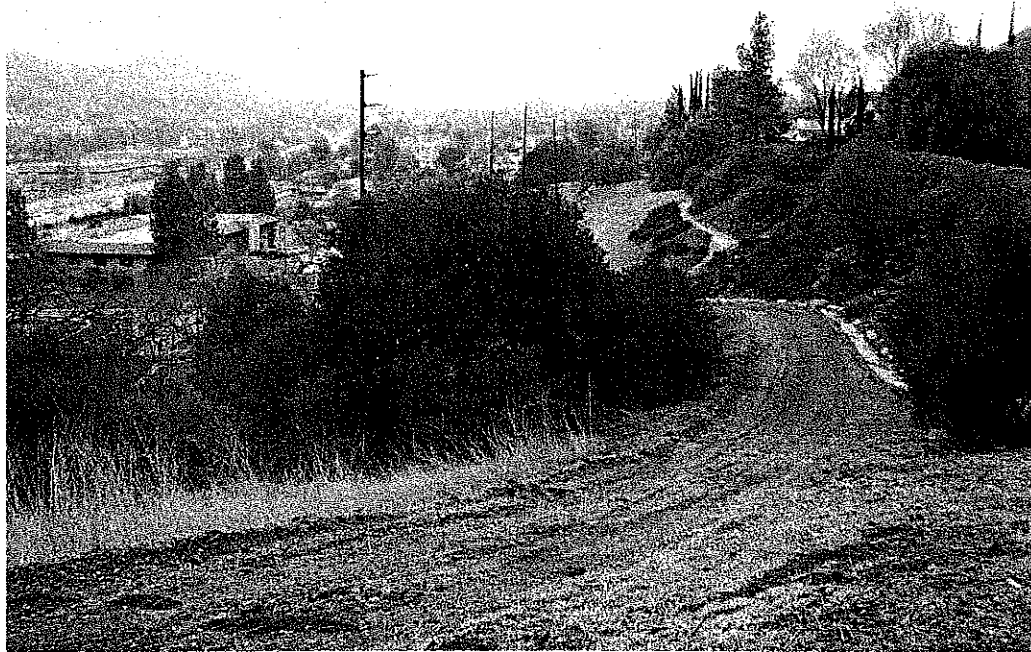
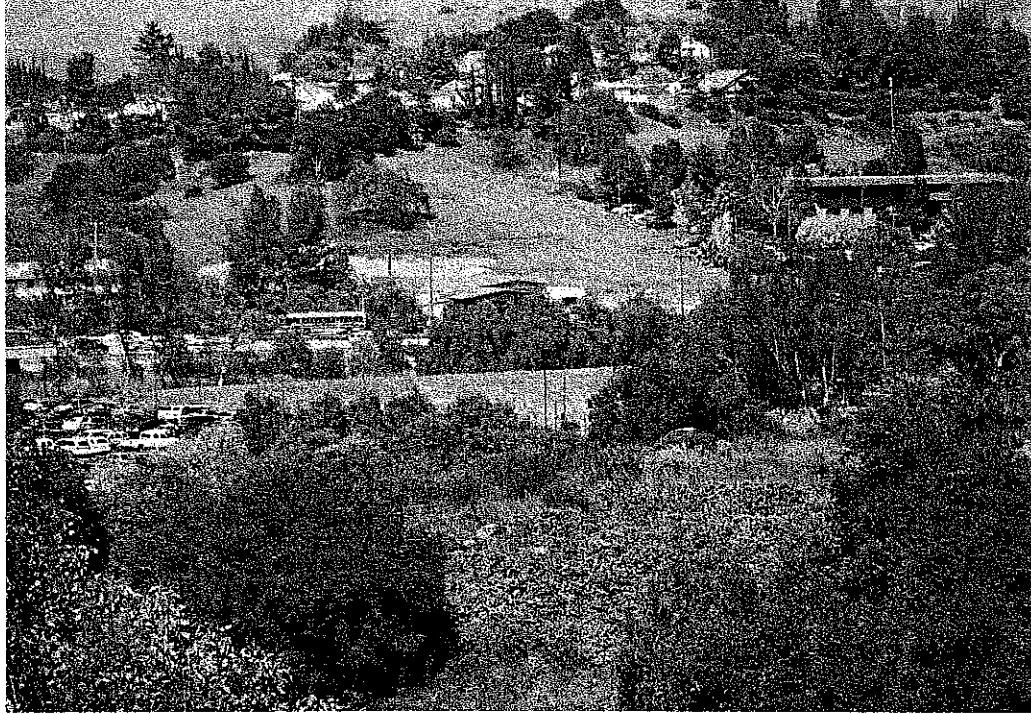
**Conditional Use Permit – Case No. 05-CUP-006,
Oak Tree Permit – Case No. 05-OTP-032 &
Sign Permit – Case No. 08-SP-028**

**Exhibit D:
Photographs of the Site
&
Color and Material Board**

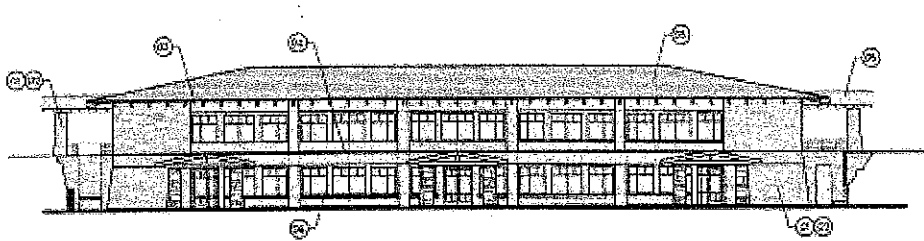
**CONDITIONAL USE PERMIT CASE NO. 05-CUP-006,
OAK TREE PERMIT CASE NO. 05-OTP-032, &
SIGN PERMIT CASE NO. 08-SP-028**



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OAK TREE PERMIT CASE NO. 05-OTP-032, &
SIGN PERMIT CASE NO. 08-SP-028**



FINISH LEGEND

- ① STONE, CULTURED STONE, LITERATURE
COLOR: SCYLLA BROWN COUNTY
- ② PAINT, EMULSION POLYMER, EXTENDED FINISH
COLOR: MAC-DE TOWNSHIP HARBOR BEIGNA
- ③ PAINT, GLOSSY ENAMEL, CERAMICS
COLOR: WASH OYSTER GRAY
- ④ COMPACTS ROOF P.L. SINGLE ROCKS, PONDICHERA
COLOR: MIST BLEND
- ⑤ STUCCO, LAMBER, FLAT FINISH
COLOR: WHITE PACIFIC SAND
- ⑥ WALLING, LAMBER
COLOR: 328 PESTLE SWIFT



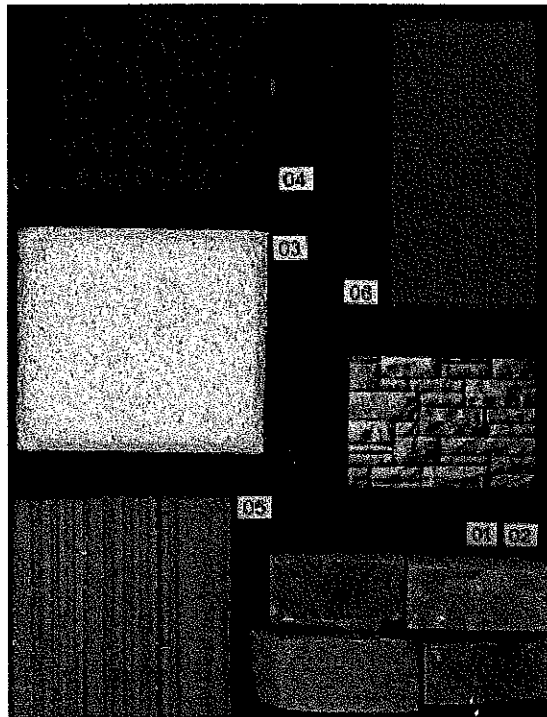
Exterior Materials Specifications

OWNER	Canwood	DATE	07-25-05
ADDRESS	29641 and 29685 Canwood Street Agoura Hills, CA 91301-1558	SCALE	N.T.S.
	drawn by	job	718.101

05-CUP-006
10-25-05

SQUARE FOOT	REVISIONS	APPROVAL BY	DATE	ISSUED <input type="checkbox"/>	NO COST <input type="checkbox"/>

44 West Burbank Drive, Suite 6 Pasadena, CA 91106 626.594.2630 Fax 626.594.2634





**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29541 and 29555 Canwood Street,
Agoura Hills**

**Conditional Use Permit – Case No. 05-CUP-006,
Oak Tree Permit – Case No. 05-OTP-032 &
Sign Permit – Case No. 08-SP-028**

**Exhibit E:
Final Negative Mitigation Declaration**