



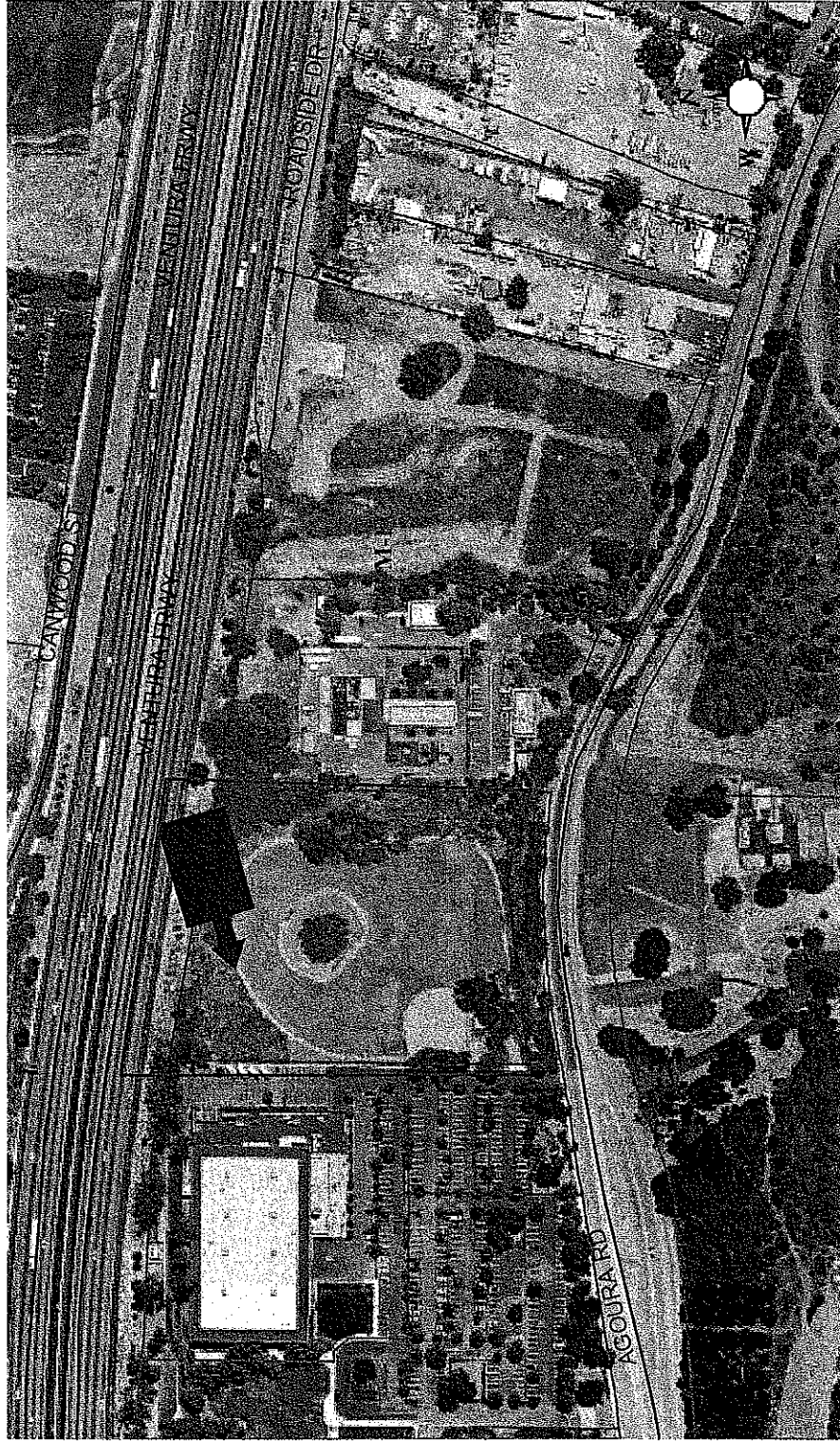
**OFFICE DEVELOPMENT  
FOR THE PROPERTY LOCATED  
AT 29621 AGOURA ROAD  
AGOURA HILLS**

**Case Nos. 08-SPR-011  
08-OTP-021  
08-SP-036  
TPM 70707  
09-VAR-003**

**EXHIBIT B**

**Reduced Photocopies of the Plans**

**SITE PLAN/ARCHITECTURAL REVIEW—CASE NO. 08-SPR-011**  
**OAK TREE PERMIT—CASE NO. 08-OTP-021**  
**VESTING TENTATIVE TRACT MAP NO. 70707**  
**VARIANCE CASE NO. 09-VAR-003**  
**SIGN PERMIT—CASE NO. 08-036**



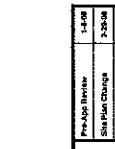
Vicinity Map

1-4-08	Pre-ADO Review
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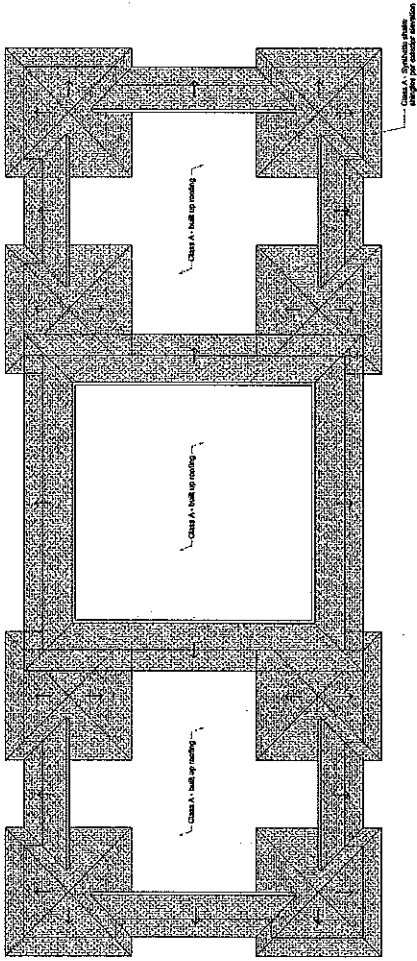
Project: Agoura Landmark  
 23521 Agoura Road  
 Agoura Hills, CA, 91301  
 2051-00-027 / Lot 3 of Parcel Map No. 13342  
 Building A - Plans

Client: Agoura Landmark, L.P.  
 559 Conception Ave, Suite H  
 Canby, CA 95012  
 (909) 369-2221  
 Development Consultant: Martin Teitelbaum & Ken Kahan

Architect: LANET / SHAW ARCHITECTS INC.  
 11741 W. Pico Blvd  
 Los Angeles, CA 90064  
 Phone 310 479-4775

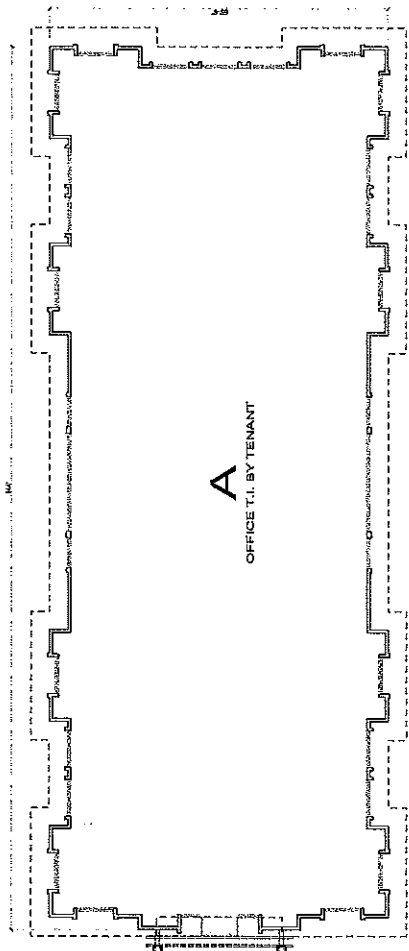


Project No.: 0718  
 Sheet No.: 2



1/8" = 1'-0"

ROOF PLAN - BUILDING "A"



1/8" = 1'-0"

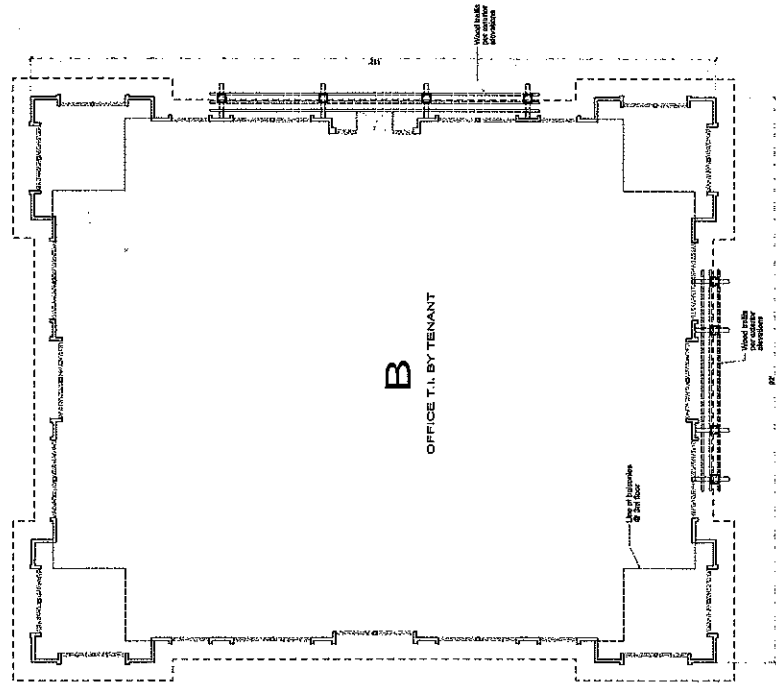
FLOOR PLAN - BUILDING "A"  
SECOND FLOOR SIMILAR





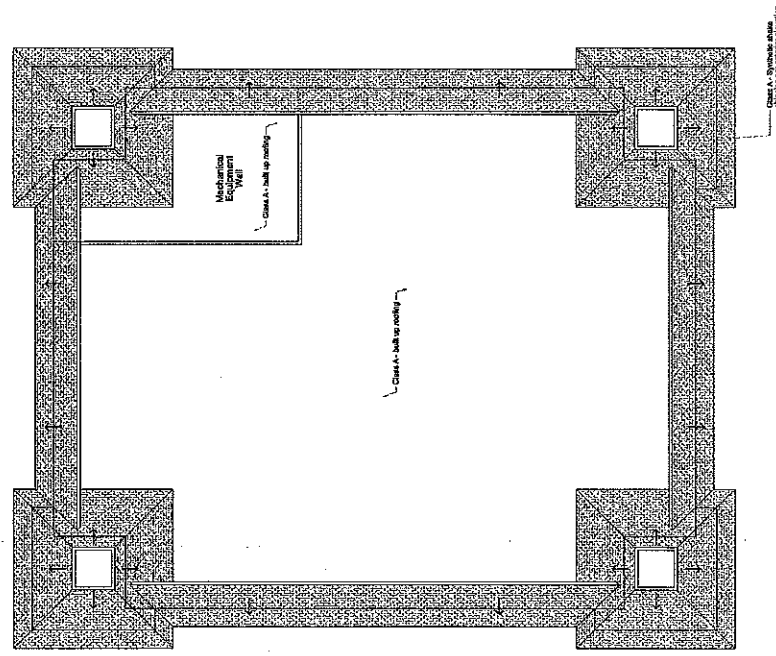
1/8" = 1'-0"

FLOOR PLAN - BUILDING "B"  
SECOND AND THIRD FLOORS SIMILAR



1/8" = 1'-0"

ROOF PLAN - BUILDING "B"



Project:	Agoura Landmark
Address:	23621 Agoura Road Agoura Hills, CA, 91301
Parcel:	2061-003-027 / Lot 3 of Parcel Map No. 52342
Design No.:	Building B - Plans
Date:	10-16-99
Scale:	As Noted
Project No.:	0716
Sheet No.:	



Client:  
Agoura Landmark, L.P.  
588 Conditon Ave, Suite H  
Carlsbad, CA 92008  
(609) 385-2251

Development Consultant:  
Martin Tettebaum & Ken Kaban  
17241 W. Pico Blvd.  
Los Angeles, CA 90064  
Phone 310 479-4775

Revision:	1-4-00
By:	LANET / SHAW
Check:	LANET / SHAW
Date:	1-4-00
Project:	Agoura Landmark
Sheet:	0716
Scale:	As Noted
Date:	10-16-99
Design No.:	Building B - Plans
Parcel:	2061-003-027 / Lot 3 of Parcel Map No. 52342
Address:	23621 Agoura Road Agoura Hills, CA, 91301
Project:	Agoura Landmark
Revision:	1-4-00
By:	LANET / SHAW
Check:	LANET / SHAW
Date:	1-4-00

Project No.: 0718  
 Sheet No.:

DATE: 10-15-09  
 Scale: As Shown



Project: Agoura Landmark  
 2921 Agoura Road  
 Agoura Hills, CA, 91301  
 505-002-027 / Lot 3 Parcel Map No. 13342

Client: Agoura Landmark, L.P.  
 569 Constitution Ave, Suite H  
 Canby, CA 92022  
 (909) 353-5221

Design/Arch Consultant: Martin Tettebaum & Ken Kahan  
 11741 W. Pico Blvd  
 Los Angeles, CA 90064  
 Phone 310 479-4775

Pre-App Review	1-4-08
Site Plan Check	2-25-09
Final Plan Check	3-25-09
Final Plan Check	4-25-09
Final Plan Check	5-25-09
Final Plan Check	6-25-09
Final Plan Check	7-25-09
Final Plan Check	8-25-09
Final Plan Check	9-25-09
Final Plan Check	10-25-09
Final Plan Check	11-25-09
Final Plan Check	12-25-09

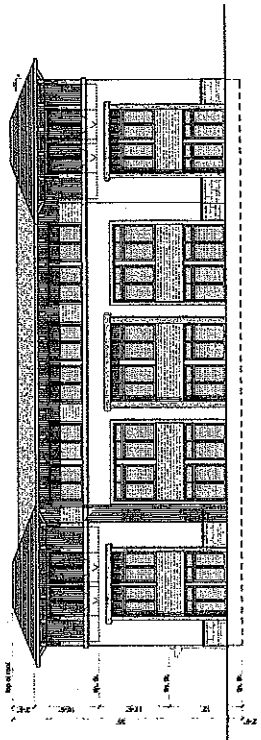
**Material Legend**  
 Clay or Wood Siding as indicated per Note 4.  
 Painted Masonry as indicated per Note 5.  
 Painted Brick as indicated per Note 6.  
 Painted Concrete as indicated per Note 7.  
 Painted Metal as indicated per Note 8.  
 Painted Glass as indicated per Note 9.  
 Painted Steel as indicated per Note 10.  
 Painted Aluminum as indicated per Note 11.  
 Painted Copper as indicated per Note 12.  
 Painted Zinc as indicated per Note 13.  
 Painted Tin as indicated per Note 14.  
 Painted Lead as indicated per Note 15.  
 Painted Iron as indicated per Note 16.  
 Painted Nickel as indicated per Note 17.  
 Painted Silver as indicated per Note 18.  
 Painted Gold as indicated per Note 19.  
 Painted Platinum as indicated per Note 20.  
 Painted Palladium as indicated per Note 21.  
 Painted Rhodium as indicated per Note 22.  
 Painted Ruthenium as indicated per Note 23.  
 Painted Technetium as indicated per Note 24.  
 Painted Yttrium as indicated per Note 25.  
 Painted Zirconium as indicated per Note 26.  
 Painted Niobium as indicated per Note 27.  
 Painted Molybdenum as indicated per Note 28.  
 Painted Technetium as indicated per Note 29.  
 Painted Ruthenium as indicated per Note 30.  
 Painted Rhodium as indicated per Note 31.  
 Painted Silver as indicated per Note 32.  
 Painted Gold as indicated per Note 33.  
 Painted Platinum as indicated per Note 34.  
 Painted Palladium as indicated per Note 35.  
 Painted Rhodium as indicated per Note 36.  
 Painted Silver as indicated per Note 37.  
 Painted Gold as indicated per Note 38.  
 Painted Platinum as indicated per Note 39.  
 Painted Palladium as indicated per Note 40.

**Color Key List**

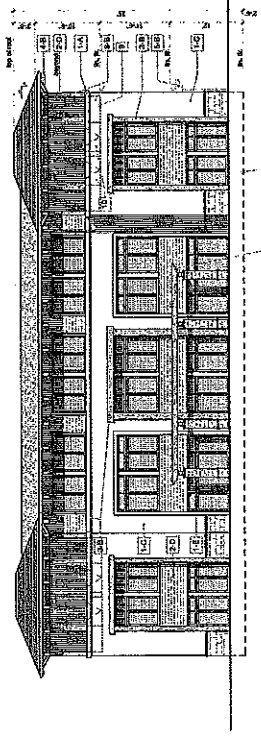
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B. Paint Type	000017
C. Paint Type	000014
D. Paint Type	000008
E. Paint Type	000015

**Keyed Notes**

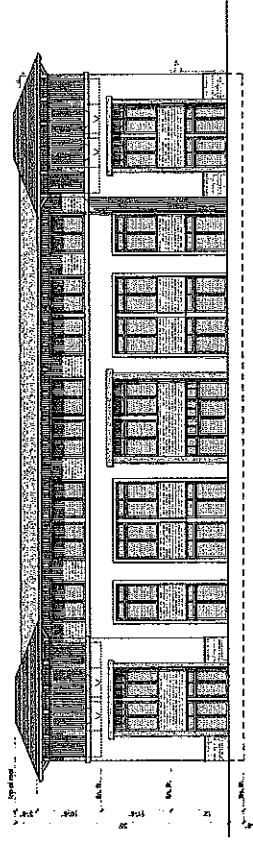
- Painted smooth plaster
- Painted North finish top siding
- Painted North finish
- Painted exterior frame (A)
- Painted wood trills
- Line of finish above beyond
- Aluminum break signal to mesh window
- Recessed window post
- Line of history beyond
- Blottery glass beyond



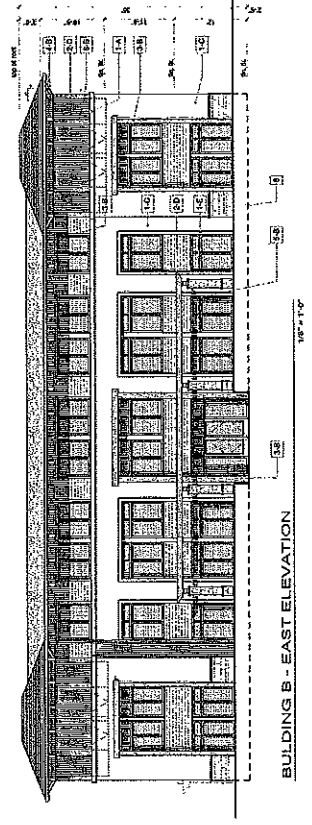
BUILDING B - NORTH ELEVATION  
 1/8" = 1'-0"



BUILDING B - SOUTH ELEVATION  
 1/8" = 1'-0"



BUILDING B - WEST ELEVATION  
 1/8" = 1'-0"



BUILDING B - EAST ELEVATION  
 1/8" = 1'-0"

Sheet No. 0718

Project No. 10-91-02

Scale: As Shown

**Agoura Landmark**  
2921 Agoura Road  
Agoura Hills, CA, 91301  
APN 109-027 / Lots of Parcel Map No. 15342

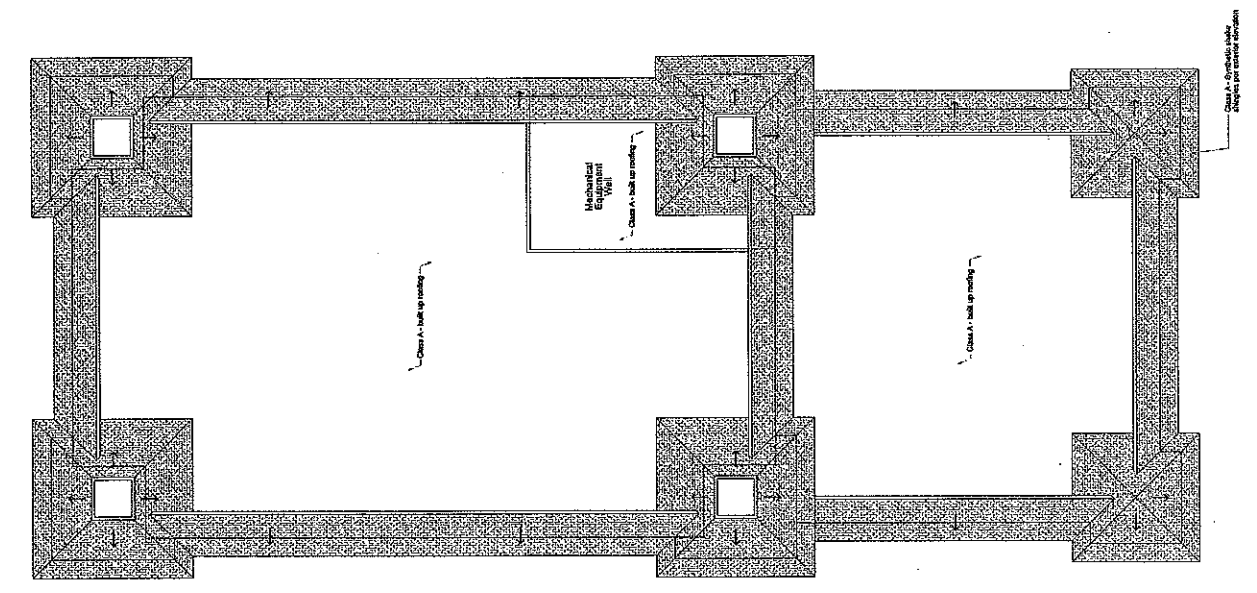
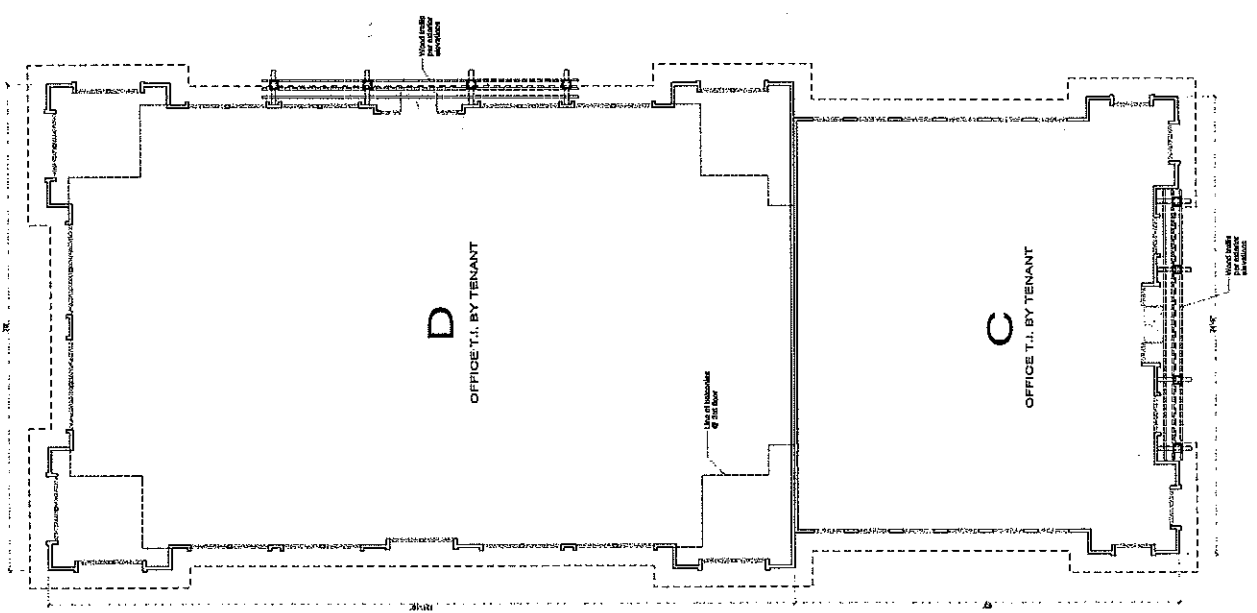


City: Agoura Landmark, L.P.  
569 Constitution Ave., Suite II  
Camarillo, CA 93012  
(805) 383-2221

Development Consultant:  
Martin Telebaum & Ken Kahan

**LANET / SHAW**  
ARCHITECTS INC.  
11741 W. Pico Blvd.  
Los Angeles, CA 90064  
Phone 310 479-4775

Pre-App Review	1-4-08
Site Plan Check	2-20-08
Planning Department	6-2-08
Final Review	6-2-08
Project Plans	7-23-08
Planning Department	8-4-08



Project: Agoura Landmark  
 2521 Agoura Road  
 Agoura Hills, CA 91301  
 Project No: 10-16-09  
 Date: 07/16  
 Architect: LANET / SHAW  
 11741 W. Pico Blvd.  
 Los Angeles, CA 90004  
 Phone: 310 475-4775  
 Development Consultant: Martin Tiefbaum & Ken Kahan  
 305 Rockledge Ave., Suite H  
 Canfield, CA 93012  
 (909) 383-2231

**Material Legend**  
 Check or X mark above as required per Title 24  
 for the most restrictive code requirements.  
 1. Painted smooth sheetrock  
 2. 6" painted finish panel, top 24" only  
 3. Painted finish 1/2" thick  
 4. Painted concealed metal mesh  
 5. Painted wood work  
 6. Lites of glass four foot by four  
 7. Aluminum frame meet to match window  
 8. Exposed wood post  
 9. Lites of safety glass  
 10. Ribbed door sweep

**Color Key List**  
 A. Primer/Tint  
 B. Wood/Tint  
 C. Panel  
 D. Wood Staining  
 E. Primer/Tint  
 F. Painted finish panel, top 24" only  
 G. Painted finish 1/2" thick  
 H. Painted concealed metal mesh  
 I. Lites of glass four foot by four  
 J. Aluminum frame meet to match window  
 K. Exposed wood post  
 L. Lites of safety glass  
 M. Ribbed door sweep

**BUILDINGS C & D - SOUTH ELEVATION**  
 1/8" = 1'-0"

**BUILDING D - NORTH ELEVATION**  
 1/8" = 1'-0"

**BUILDINGS C & D - EAST ELEVATION**  
 1/8" = 1'-0"

**BUILDINGS C & D - WEST ELEVATION**  
 1/8" = 1'-0"

**Keyed Notes**

- Painted smooth sheetrock
- 6" painted finish panel, top 24" only
- Painted finish 1/2" thick
- Painted concealed metal mesh
- Painted wood work
- Lites of glass four foot by four
- Aluminum frame meet to match window
- Exposed wood post
- Lites of safety glass
- Ribbed door sweep



Sheet No.:

Project No.:

Scale:

Date:

Drawn By:

Checked By:

Project Name:

Project No.:

Scale:

Date:

Drawn By:

Checked By:

Project Name:

Project No.:

Scale:

Date:

Drawn By:

Checked By:

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Project Name:

Project No.:

Scale:

Date:

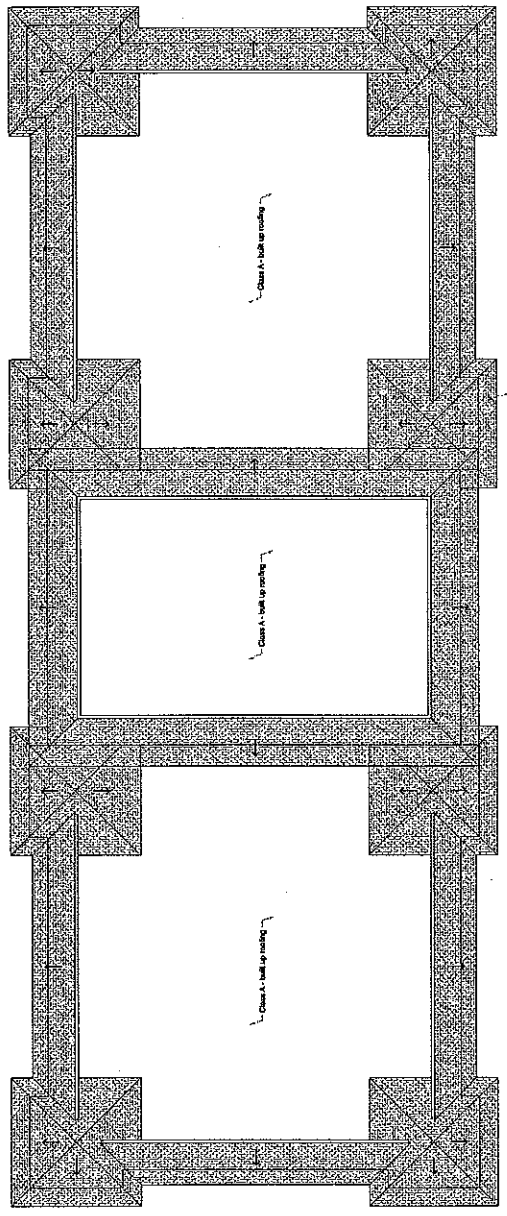
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Checked By:

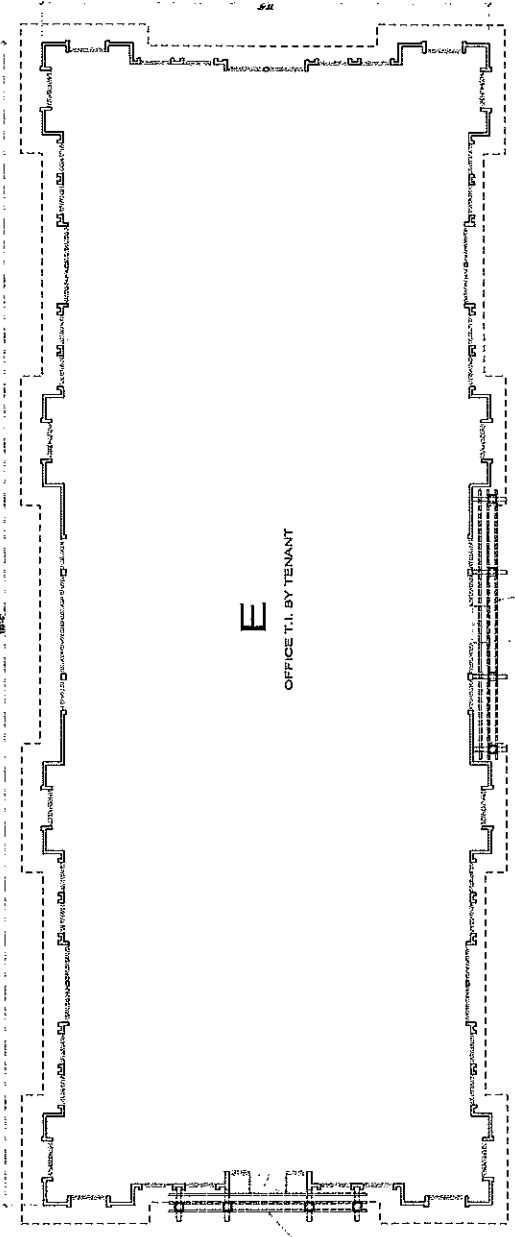
Project Name:

**Agoura Landmark**  
 25251 Agoura Road  
 Agoura Hills, CA, 91301  
 Project No. 2051-008-027 / Lot 13 of Parcel Map No. 15342  
 SHEET NO. 8

**Building E - Plans**  
 Martin Teitelbaum & Ken Kahan  
 Designated Contractor:  
 Agoura Landmark, L.P.  
 565 Conditton Ave, Suite 11  
 Camarillo, CA 93012  
 (805) 585-4221  
 L.A.N.E.T. / S.H.A.W.  
 ARCHITECTS INC.  
 11741 W. Pico Blvd.  
 Los Angeles, CA 90064  
 Phone 310 479-4775



ROOF PLAN - BUILDING "E"



FLOOR PLAN - BUILDING "E"  
SECOND FLOOR SIMILAR

THIS DOCUMENT PREPARED BY THE ARCHITECT FOR THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM THE ARCHITECT.

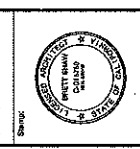


1-408	Pre-App Review
2-304	Site Plan Check
4-404	Planning Department
7-204	Progress Plans
8-404	Planning Department

**LANET / SHAW**  
 Architects Inc  
 11741 W. Pico Blvd  
 Los Angeles, CA 90064  
 Phone 310 479-4775

Agoura Landmark, L.P.  
 659 Concession Ave, Suite H  
 Moorpark, CA 93021  
 (909) 483-2221

Developer: Constance  
 Martin Teitelbaum & Ken Kahan

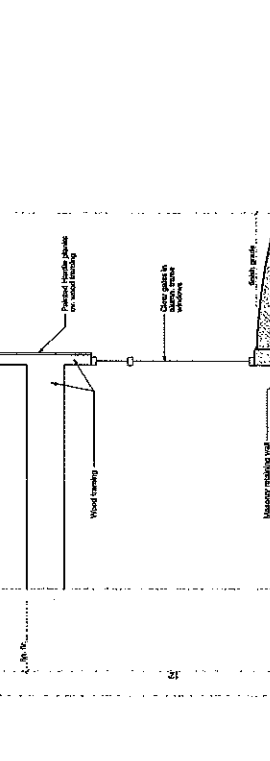
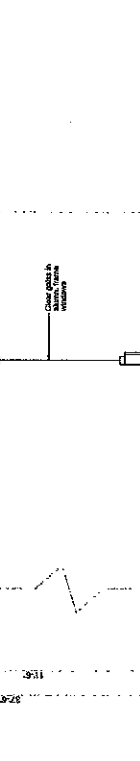
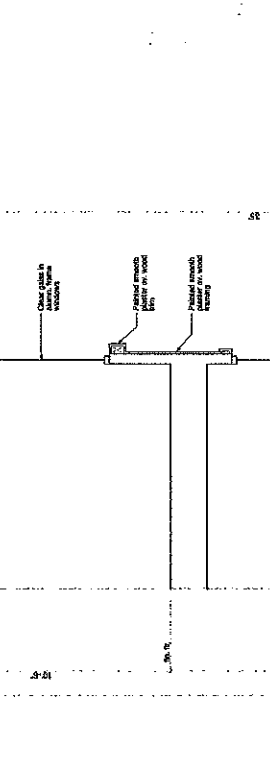
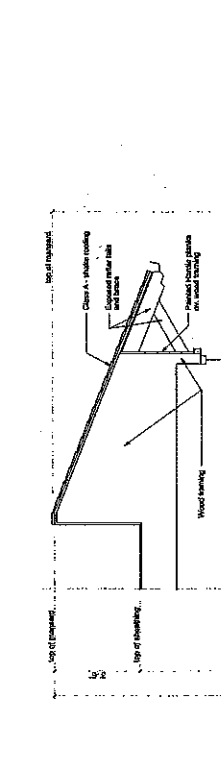
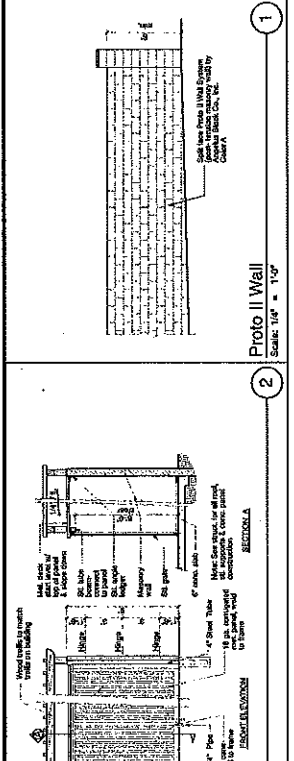


**Agoura Landmark**  
 2921 Agoura Road  
 Agoura Hills, CA 91301

Project: 2061-00-027 / Lot 3 of Parcel Map No. 12042

Sheet No.: 10-16-09

10



1-408	Pre-App Review
2-304	Site Plan Check
4-404	Planning Department
7-204	Progress Plans
8-404	Planning Department

1 Proto II Wall  
 Scale: 1/8" = 1'-0"

2 Bike Rack  
 Scale: 1/8" = 1'-0"

3 Trash Enclosure  
 Scale: 1/8" = 1'-0"

2 Story Typical Bldg. Section B-B  
 Scale: 1/8" = 1'-0"

3 Story Typical Bldg. Section A-A  
 Scale: 1/8" = 1'-0"

Typical Wall Section  
 Scale: 1/8" = 1'-0"

10

GRADING NOTES

- 1. ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE ANTIQUA HILLS...
2. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...
3. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...
4. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...
5. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...

GEOTECHNICAL NOTES

- 1. REMOVAL OF NON-DESIGNED FILL, COMPACTED OR OTHERWISE UNSUITABLE...
2. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE...
3. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE...
4. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE...
5. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE...

PUBLIC UTILITIES / SERVICES

Table with columns: WATER, ELECTRICITY, TELEPHONE, GAS, SEWER, CABLE, and COUNCILMAN. Lists various utility providers and their contact information.

STORMWATER POLLUTION PREVENTION NOTES

- 1. APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC, STORM WATER...
2. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...
3. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...
4. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...
5. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...

OAK TREE NOTES:

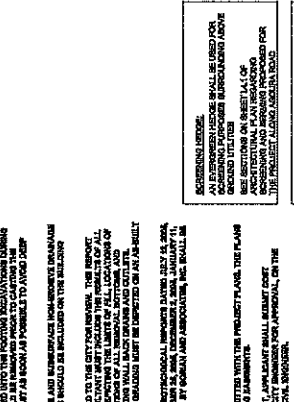
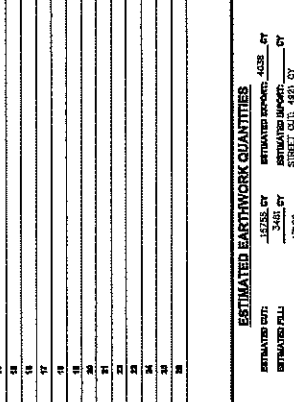
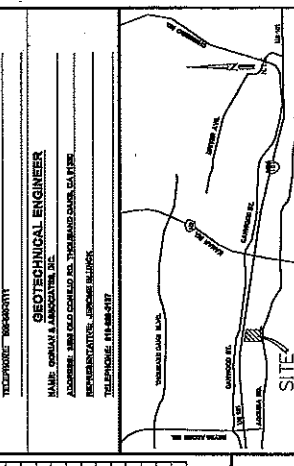
- 1. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...
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4. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...
5. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY...

PROJECT ADDRESS: 14000 ANTIQUA HILLS ROAD, ANTIQUA HILLS, CA 94003
OWNER: NAME, ADDRESS, CITY, STATE, ZIP
CIVIL ENGINEER: NAME, ADDRESS, CITY, STATE, ZIP
GEOTECHNICAL ENGINEER: NAME, ADDRESS, CITY, STATE, ZIP

INDEX OF DRAWINGS table with columns: SHEET NO., DESCRIPTION, and DATE.

ESTIMATED EARTHWORK QUANTITIES table with columns: ESTIMATED CUT, ESTIMATED FILL, ESTIMATED OVER-EXCAVATION, and BENCHMARK.

RECORD DRAWING STATEMENT: I HEREBY CERTIFY THAT THE INFORMATION AND DATA SUBMITTED TO THE CITY ENGINEER AND NEARBY ADJACENT PROPERTY OWNERS FOR THE ABOVE PROJECT IS TRUE AND CORRECT.



LEGEND AND SYMBOLS: PROJECT BOUNDARY, PROPOSED GRADE CONTROL, SPOT ELEVATION, CENTERLINE OF PLUMB (CL) WALL, CONSTRUCTION NOTE BOUNDARY.

ABBREVIATIONS: 10' - NATURAL GRADE, 10' - BOTTOM OF FOOTING, 10' - PROPOSED GRADE, 10' - PROPOSED FINISH GRADE, 10' - FINISH GRADE, 10' - FINISH GRADE, 10' - FINISH GRADE.

CONDITION NOTES: 1. A TITLE REPORT IS REQUIRED TO BE SUBMITTED WITH THE PROJECT PLANS...
2. PRIOR TO REMOVAL OF A WEATHER PERMIT, APPLICANT SHALL OBTAIN...
3. ALL EXISTING AND PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE...

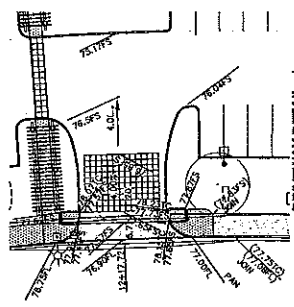
INSPECTION NOTES: THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...
2. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...
3. THE PROPOSED GRADING SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S...

City of Antiqua Hills logo and title block containing project name, sheet number (1 of 12), and contact information.

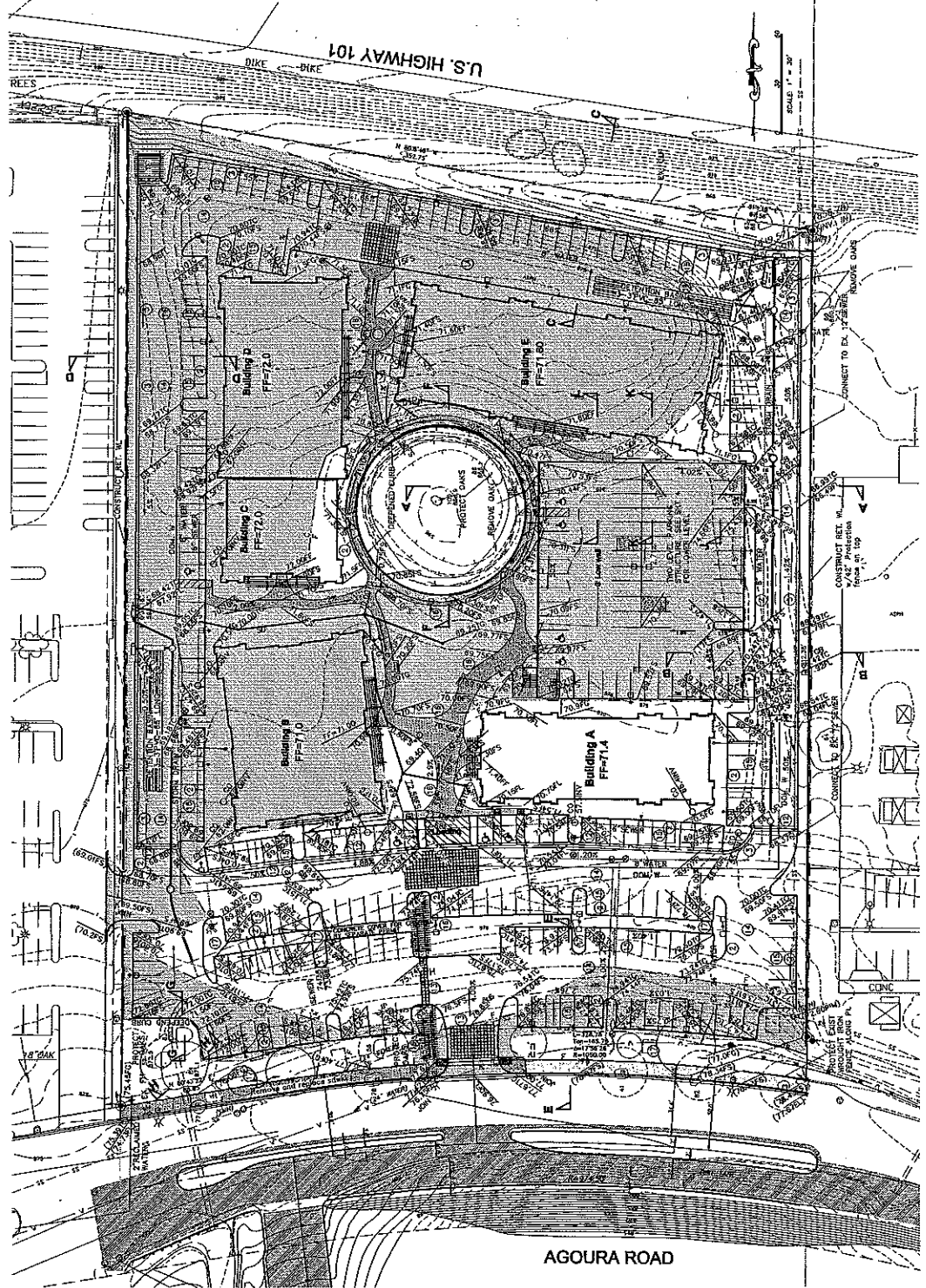
**CONSTRUCTION NOTES**

1. CONSTRUCT CURB & GUTTER TYPE AC-2024(6) PER APWA STD 120-1, GUTTER W-150"
2. CONSTRUCT CURB TYPE A1-150(6) PER APWA STD 120-1.
3. CONSTRUCT CURB & GUTTER TYPE AC-150(6) PER APWA STD 120-1, GUTTER W-150"
4. SAWCUT & REMOVE EXISTING PAVEMENT.
5. REMOVE ONE TREE
6. REMOVE ALL EXISTING IMPROVEMENTS AND CONSTRUCT 42' 1/2" DIA. MANHOLE BOX GEOTECHNICAL RECOMMENDATION DATED AUGUST 1, 2006.
7. CONSTRUCT CROSS-GUTTER PER APWA STD. 122-1 (TYP. CROSS-GUTTER PLAN STREET SLOPE LESS THAN 4%)
8. INSTALL CHORDIAL AS PER 2008 CALTRANS STD. PLAN A774.
9. LANDSCAPE AND BRIDGE MEDIUM ISLANDS PER LANDSCAPE ARCHITECT PLANS
10. TRENCH PER DETAIL ON SHEET 4. GUTTER OUT SHALL BE OVER A FULL LANE WIDTH FROM EACH SIDE OF TRUNK AND
11. REMOVE ALL EXISTING IMPROVEMENTS AND CONSTRUCT 3' AC 3" AS MANHOLE PER GEOTECHNICAL RECOMMENDATION 12' ALL EYE TO BOTH THE MANUAL AND HAND-MADE CONDITIONS, WITH REBAR. CARE SHOULD BE TAKEN TO AVOID UNDESIRABLE NEAR OR FUTURE CONFLICTS IN THE OUTER ZONE OF EXPOSED SOILS SHOULD BE AVOIDED. MAINTAINING A UNIFORM GRADING FOR EXTENDING AND STRENGTH LOSS WHICH MAY OCCUR DUE TO SETTLEMENT SLIPPING OF SOLE FACE IF THE SOLES SHOULD INCLUDE PLANTING DEEP ROOTED, DROUGHT FROM THE TOP OF ALL SOLES. PROPER MAINTENANCE OF FERTILIZER AND DRAINAGE CONTROL AND SOLES AND ROOTS MAY NOT SUPPORT PLANT GROWTH. ACCESS INCLUDING FOOT TRAFFIC, SUPERVISORY SKILLS TO AVOID LOCAL DISTURBANCE TO THE SUPERVISORY SKILLS
12. CONSTRUCT 3" FCC GUTTER PER DETAIL SKT.
13. CONSTRUCT ENHANCED PAVING PER ARCH. PLAN
14. CONSTRUCT 3' 42" CAB IN DRIVE BLE., PER GEOTECHNICAL REPORT
15. CONSTRUCT 3' 42" CAB IN PARKING AREAS PER GEOTECHNICAL REPORT
16. CONSTRUCT 4" FCC DRAINAGE PER GEOTECHNICAL REPORT
17. INSTALL 2-2" PVC (SCH 40) DRAINAGE PIPES



SEE NOTES AND DIMENSIONS FOR TRUNK, MAIN PAV. AND STREET PAV. FOR OTHER CONSTRUCTION NOTES  
SEE ONE THIS DETAIL SHEET 4

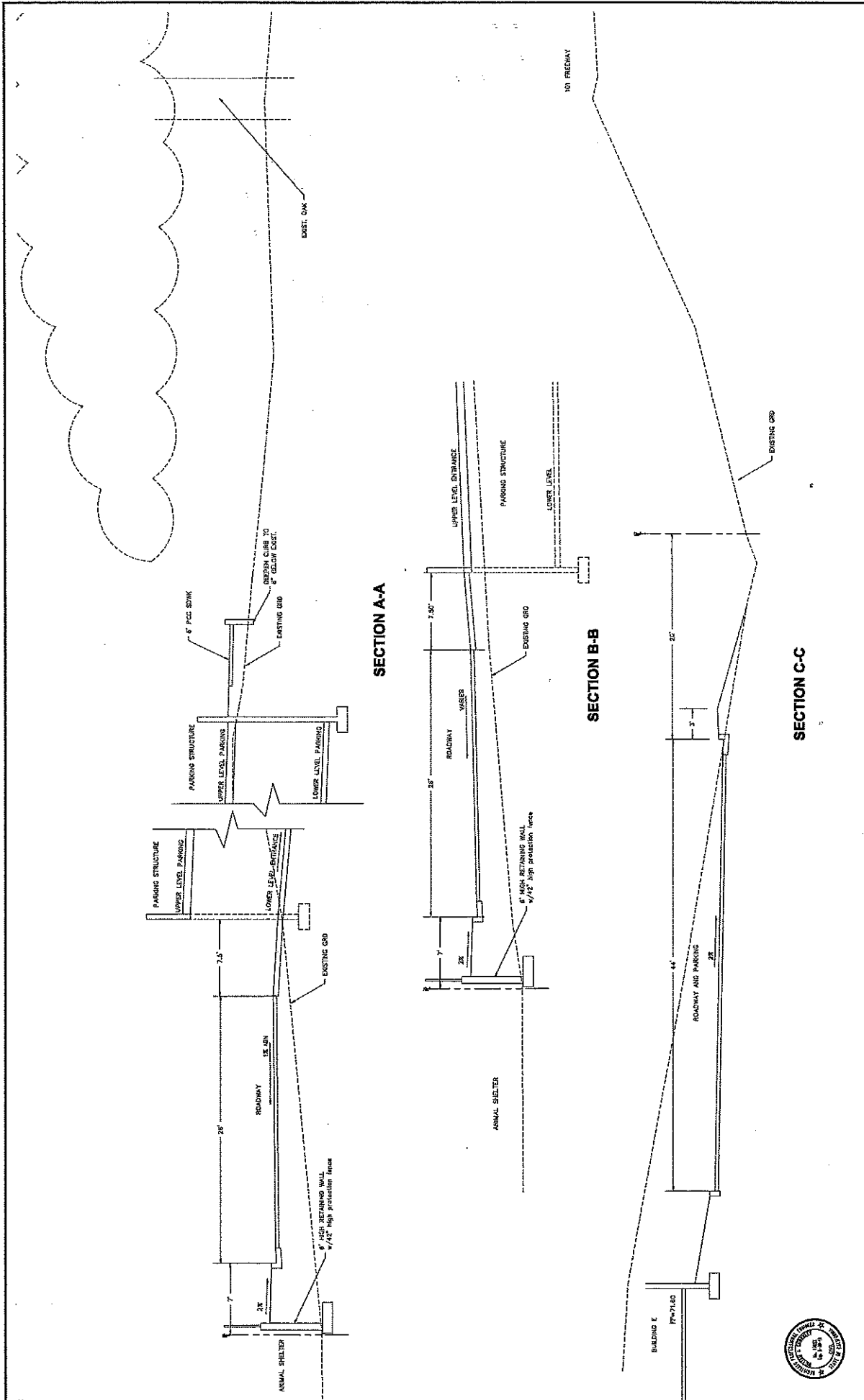


**DRIVEWAY DETAIL 1/4**  
1'-0"



**AGOURA ROAD**

 CITY OF AGOURA HILLS	GRADING and DRAINAGE PLAN AGOURA HILLS OFFICE PARK 29821 AGOURA ROAD AGOURA HILLS, CA	PROJECT NO. 07-216-002 SHEET 2 OF 12	CITY OF AGOURA HILLS APPROVAL REFERRED BY: _____ DATE: _____ BARBARA ARSALA CITY ENGINEER
PREPARED BY:  WJG 1000 S. GARDEN ST. SUITE 100 AGOURA HILLS, CA 91301 TEL: 818.891.1111 FAX: 818.891.1112	REVIEWED BY: _____ DATE: _____ REVIEWED BY: _____ DATE: _____ REVIEWED BY: _____ DATE: _____	REVIEWED BY: _____ DATE: _____ REVIEWED BY: _____ DATE: _____ REVIEWED BY: _____ DATE: _____	CITY OF AGOURA HILLS APPROVAL REFERRED BY: _____ DATE: _____ BARBARA ARSALA CITY ENGINEER



CITY OF AGOURA HILLS

**DETAILS AND SECTIONS**  
**AGOURA HILLS OFFICE PARK**  
 29821 AGOURA ROAD  
 AGOURA HILLS, CA

PROJECT NO. 07-PAR-05E     SHEET 3 OF 12

CITY OF AGOURA HILLS (2014) INC.

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CITY OF AGOURA HILLS APPROVAL

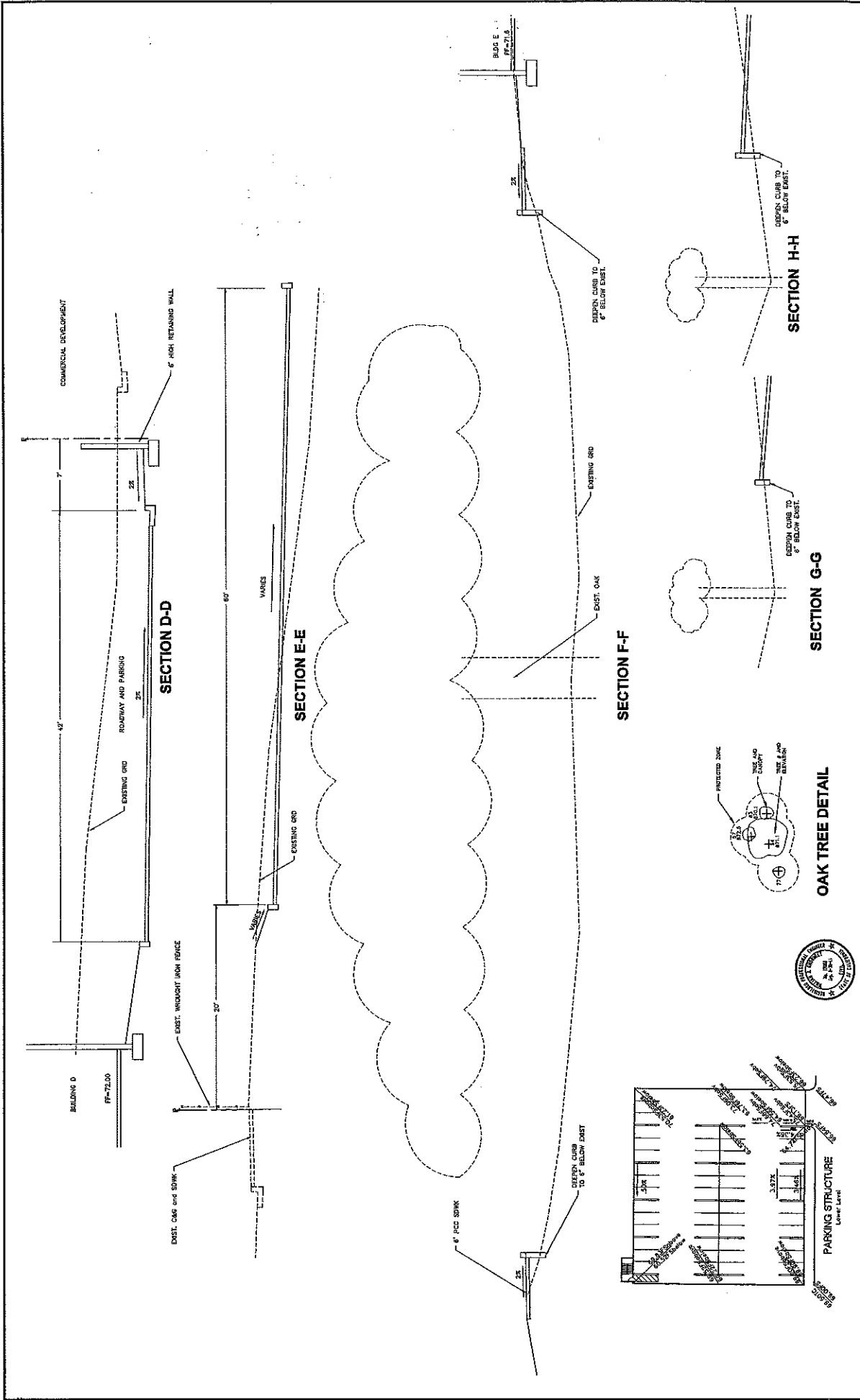
PREPARED BY: **WJG**     DATE: \_\_\_\_\_     REVIEWED BY: \_\_\_\_\_     DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_     PROJECT: \_\_\_\_\_     DATE: \_\_\_\_\_

DESCRIPTION OF CHANGE: \_\_\_\_\_

REV	BY	DATE	DESCRIPTION OF CHANGE



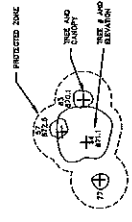
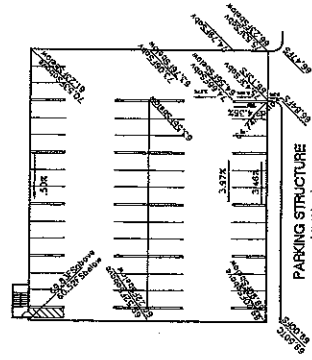


REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY

PREPARED BY: **LVUG**  
 122 15th St, Suite 100  
 San Bruno, CA 94061  
 TEL: (415) 338-1000  
 FAX: (415) 338-1001

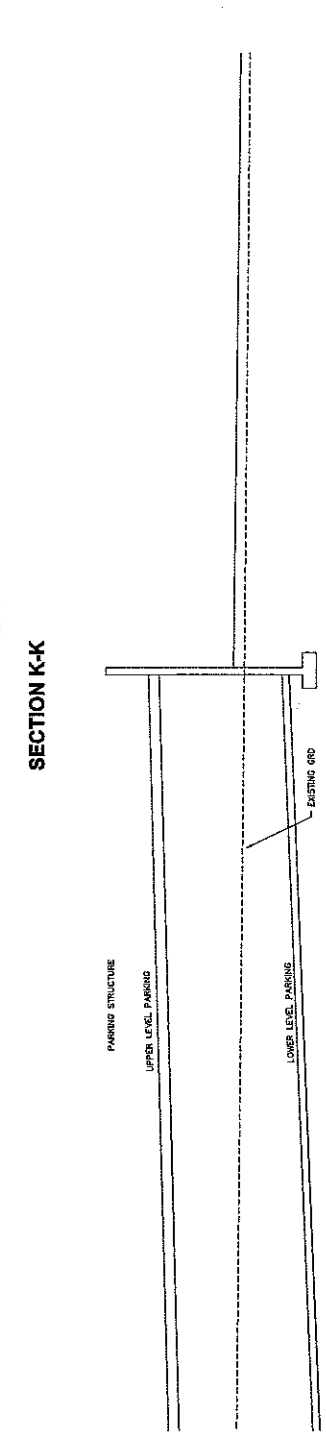
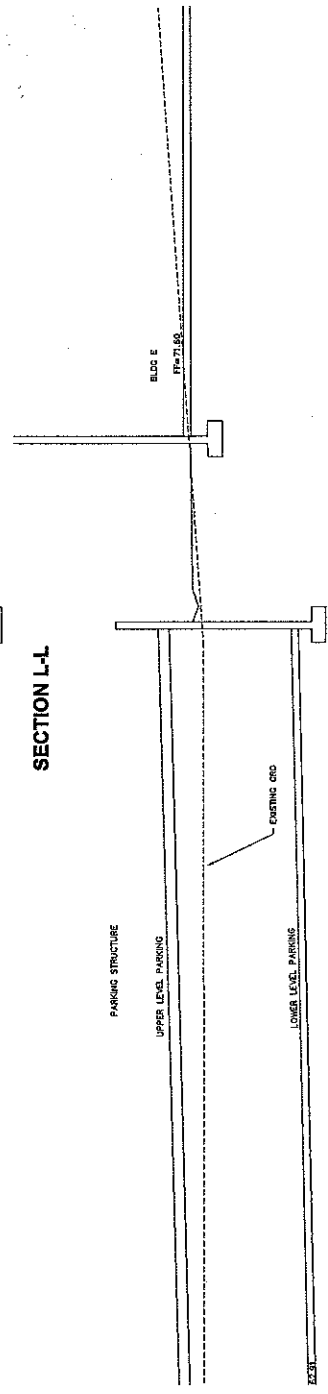
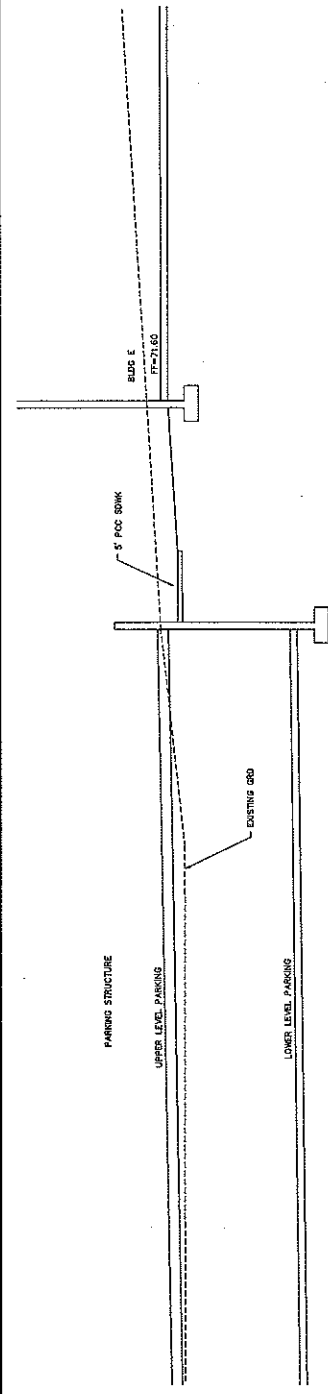
REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 RANGHO ADEVA CITY ENGINEER

CITY OF AGOURA HILLS APPROVAL  
 CITY OF AGOURA HILLS  
 AGOURA HILLS  
 28821 AGOURA ROAD  
 AGOURA HILLS, CA. SHEET 4 OF 12  
 PROJECT NO. 07-PAR-002



OAK TREE DETAIL





PREPARED BY: **WUG**  
 WUG CONSULTING ENGINEERS, INC.  
 10000  
 12/2/1927

REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_ CITY ENGINEER

CITY OF AGOURA HILLS APPROVAL

66666  
 TRACER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 66666  
 EXPIRE DATE: \_\_\_\_\_



DETAILS AND SECTIONS  
 AGOURA HILLS OFFICE PARK  
 29821 AGOURA ROAD  
 AGOURA HILLS, CA. SHEET 5 OF 12  
 PROJECT NO. 07-PAC-02

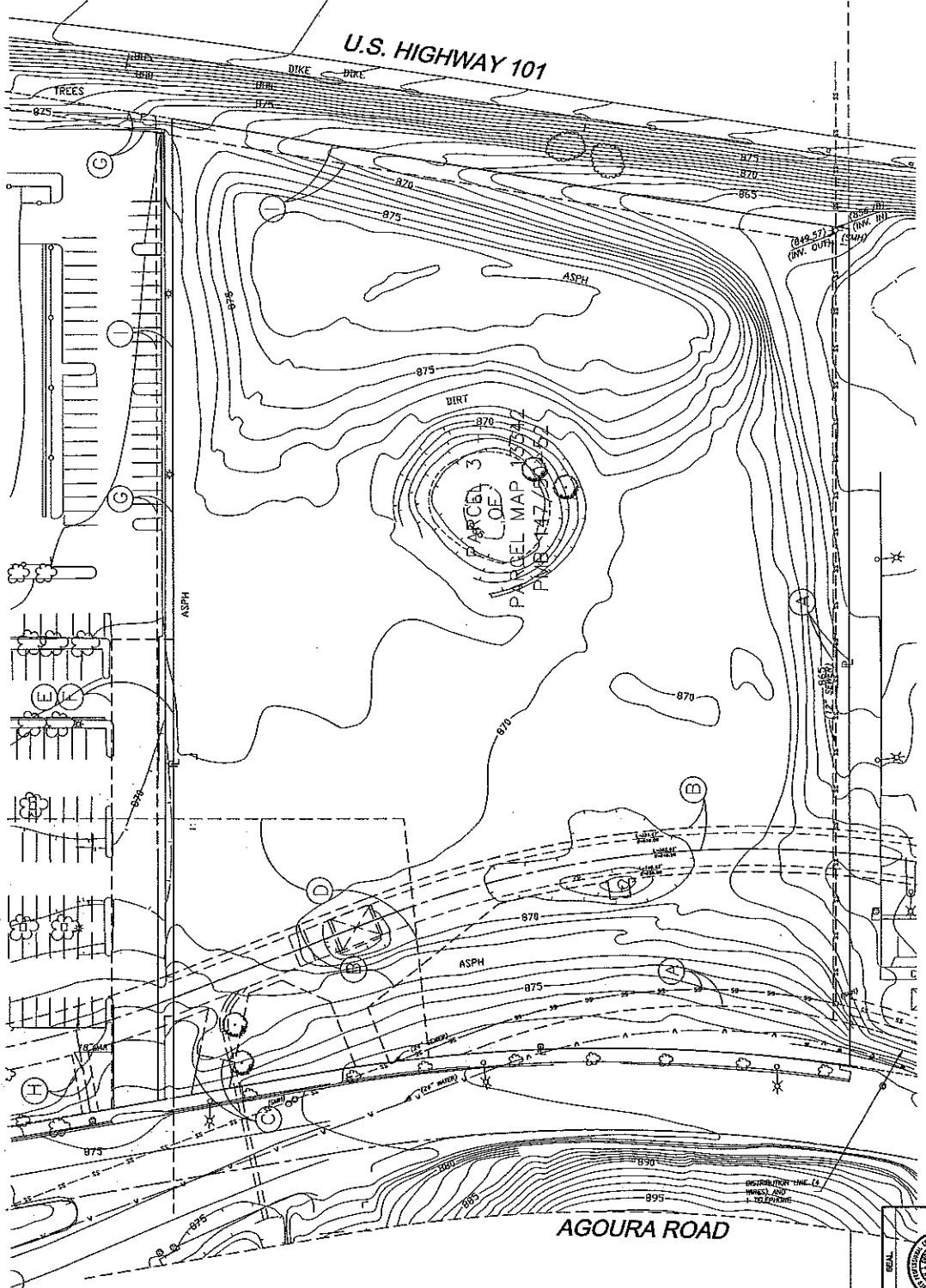






**EASEMENTS**

- ① EASEMENT FOR A LINE OF PRELINES TO L&S VARIANTS UNDER A ROAD DRAIN. PARCEL MAP NO. 13342 OF OFFICIAL RECORDS, AND RECORDED IN BOOK 03811, PAGE 393 OF OFFICIAL RECORDS.
- ② EASEMENT FOR ACCESS AND EGRESS TO LOS ANGELES COUNTY FLOOD CONTROL DISTRICT, ANGELES COUNTY FLOOD CONTROL DISTRICT, INSTRUMENT NO. 2516 OF OFFICIAL RECORDS.
- ③ EASEMENT FOR PUBLIC ROAD AND HIGHWAY TO COUNTY OF LOS ANGELES, RECORDED AUGUST 1987 AS INSTRUMENT NO. 84-7446-4 OF OFFICIAL RECORDS.
- ④ EASEMENT FOR FLOOD HAZARD AREA, AS SHOWN ON PARCEL MAP NO. 13342.
- ⑤ 25' EASEMENT FOR DRIVEWAY AND ASPH. DRIVEWAY ON PARCEL MAP NO. 13342, PARCEL MAP NO. 13342.
- ⑥ EASEMENT FOR DRIVEWAY TO THE CITY OF AGOURA HILLS, RECORDED AUGUST 1987 AS INSTRUMENT NO. 87-25848-4 OF OFFICIAL RECORDS.
- ⑦ EASEMENT FOR PUBLIC UTILITIES TO SOX, RECORDED AUGUST 25, 1981 AS INSTRUMENT NO. 81-25848-4 OF OFFICIAL RECORDS.
- ⑧ 12' EASEMENT FOR PERSON DRAIN DESIGNATED ON PARCEL MAP NO. 13342, PARCEL MAP NO. 13342.
- ⑨ 12' EASEMENT TO SOX FOR PUBLIC UTILITIES, RECORDED JUNE 23, 1980 AS INSTRUMENT NO. 80-59975 OF OFFICIAL RECORDS.



Unattended Service Alert  
 Call Toll Free  
 1-800-333-4222  
 24 Hours a Day  
 7 Days a Week



**EASEMENT PLAN**



AGOURA HILLS  
 CITY ENGINEER

REVIEWED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED \_\_\_\_\_ DATE \_\_\_\_\_



APPROVED \_\_\_\_\_ DATE \_\_\_\_\_  
 REVIEWED BY \_\_\_\_\_ DATE \_\_\_\_\_

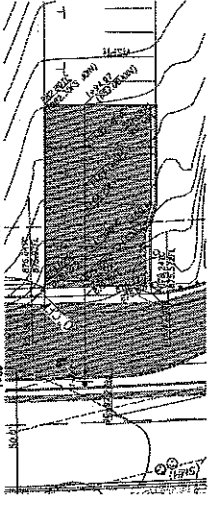
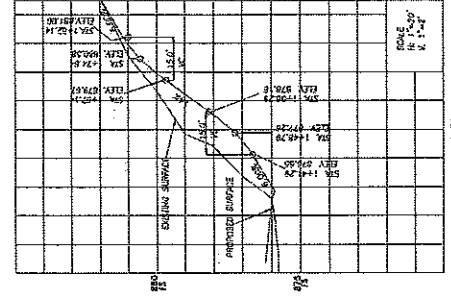
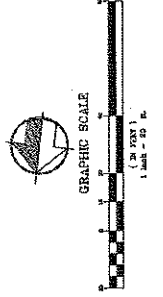
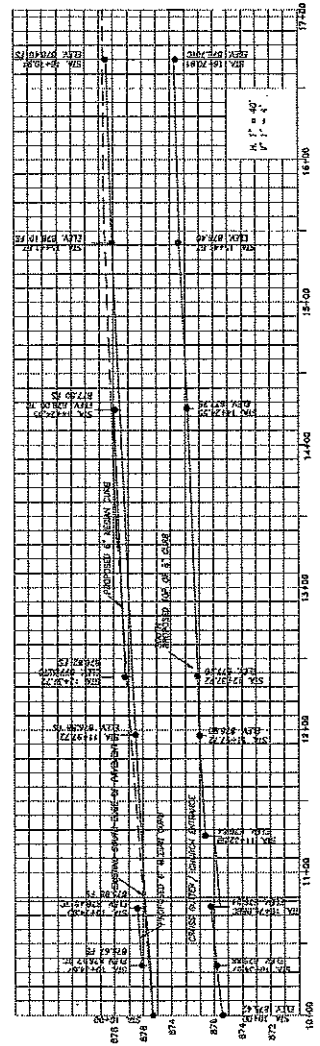
REF.	STATUS	DESCRIPTION OF CHANGE	APPROVED	DATE

PROJECT NO. 07-PAR-005 SHEET 5 OF 12

CITY OF AGOURA HILLS PAR. NO.







**CHURCH DRIVEWAY CROSS SECTION**

**CONSTRUCTION NOTES:**

1. CONSTRUCT CURB & GUTTER TYPE A2-100(3) PER A.P.M. STD. 120-1.
2. CONSTRUCT CURB & GUTTER TYPE A1-100(1) PER A.P.M. STD. 120-1.
3. CONSTRUCT CURB & GUTTER TYPE A2-100(3) PER A.P.M. STD. 120-1.
4. SMOOTH & REMOVE EXISTING PAVEMENT.
5. REMOVE OAK TREE.
6. REMOVE ALL EXISTING IMPROVEMENT AND CONSTRUCT 5' 10" 1" AS SHOWN.
7. CONSTRUCT CROWN-GUTTER PER A.P.M. STD. 122-1 (TYP. CROSS-GUTTER PLAN, STREET SLOPE LESS THAN 4%)
8. INITIAL DIAMETER AS PER 2004 CALTRANS STD. PLAN 474A
9. LANDSCAPE AND BRGATE MEDIAN ISLANDS PER LANDSCAPE ARCHITECT PLANS
10. TROUSERS DETAIL ON CURB & TRENCH CURB SHALL BE CONSTRUCTED TO 10 FEET FROM EACH EDGE OF TRENCH AND OVER A FULL LANE WIDTH
11. REMOVE ALL EXISTING IMPROVEMENT AND CONSTRUCT 5' 10" 1" AS SHOWN. PER GEOTECHNICAL RECOMMENDATION
12. VEGETATION SUBJECT TO EROSION AND PRECIPITATION WITH TIME DUE TO BOTH THE NATURAL AND MAN-MADE CONTRIBUTION WITH PROPER CARE. THE RATE OF THIS DEGRADATION CAN BE REDUCED, CARE SHOULD BE TAKEN TO MAINTAIN A UNIFORM, NEAR OPTIMUM MOISTURE CONTENT IN THE SOIL. MAINTAINANCE OF VEGETATION SHOULD BE AVOIDED. MAINTAINANCE OF VEGETATION SHOULD BE AVOIDED. MAINTAINANCE OF VEGETATION SHOULD BE AVOIDED.
13. VEGETATION MAINTAINANCE SHOULD BE LIMITED TO AVOID LOCAL DISTURBANCE TO THE SUBOPTIMAL SOIL.

ELEVATIONS BASED ON TOPOGRAPHIC SURVEY OF 2004.



REV	DESCRIPTION OF CHANGE	DATE

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

MANAGER AGOURA CITY MANAGER

CITY OF AGOURA HILLS

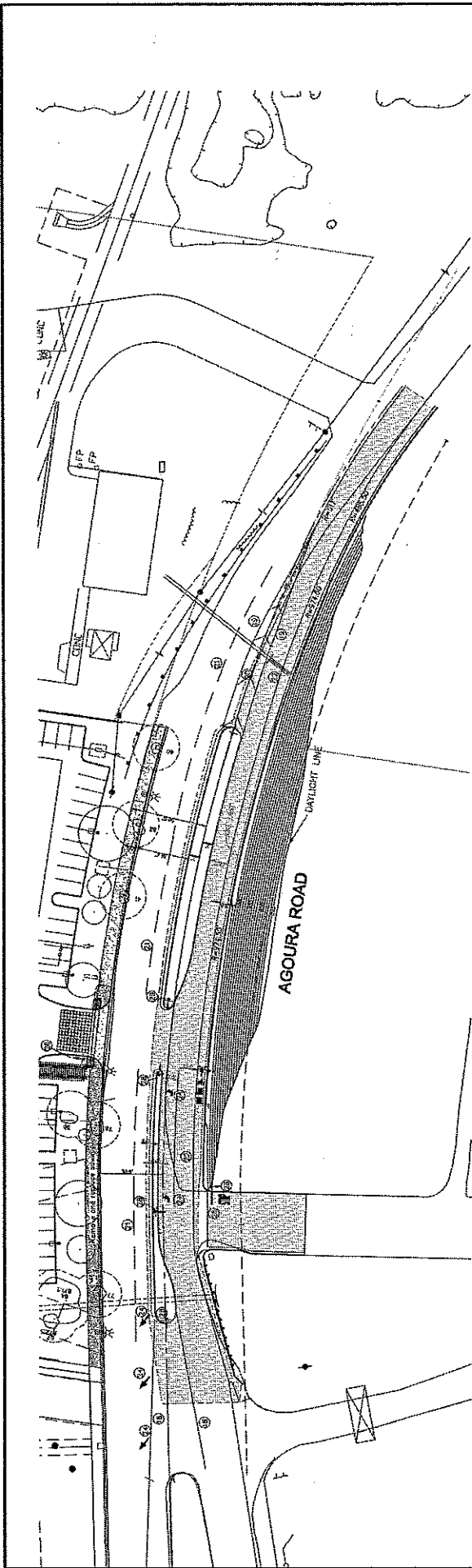
PROJECT NO. 07-P40-008

**STREET IMPROVEMENT PLAN & PROFILE**

UNDERGROUND SERVICES ALERT  
CALL TOLL FREE  
1-800-4-A-ROAD  
227-2800  
FOR SERVICE BY

SHEET NO. OF \_\_\_\_\_

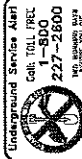
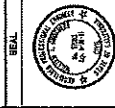




**SIGNING & STRIPING NOTES:**

- 1) ADD SOLID WHITE LANE LINE PER CALTRANS TRAFFIC MANUAL SECTION 6-02.2
- 2) ADD 4" YELLOW CENTERLINE PER CALTRANS TRAFFIC MANUAL SECTION 6-02.1
- 3) ADD 12" CROWN DIMENSIONS AT 45 PER CALTRANS TRAFFIC MANUAL SECTION 6-02.4
- 4) ADD 4" LANE LINE PER CALTRANS TRAFFIC MANUAL SECTION 6-02.2 FIGURE 6.2 DETAIL B
- 5) ADD 4" BINE LANE PER CALTRANS TRAFFIC MANUAL SECTION 6-02.7 PARAGRAPH 2, FIGURE 6-12 DETAIL D
- 6) ADD ARROW PER CALTRANS TRAFFIC MANUAL FIGURE 6-38 TYPE IV (L)
- 7) ADD STOP LINE PER CALTRANS TRAFFIC MANUAL SECTION 6-02.11
- 8) ADD STOP SIGN PER CALTRANS TRAFFIC MANUAL SECTION 4-03.6 (R)
- 9) ADD ONE WAY SIGN PER CALTRANS TRAFFIC MANUAL SECTION 4-03.6 (RND)
- 10) INSTALL RY "KEEP RIGHT" SIGN AND POST

NOTE: REPAIRS EXISTING AND RELOCATE ALL OTHER EXISTING SIGNAGE



**OFFSITE STRIPING PLAN**  
 PROJECT NO. 07-212-025 SHEET 12 OF 12  
 CITY OF AGOURA HILLS, CALIF.



APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CITY ENGINEER

DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_



REV	SYMBOL	DESCRIPTION OF CHANGE	DATE	BY





**VESTING TENTATIVE TRACT MAP NO. 70707**

PARCEL 3 OF PARCEL MAP NO. 13342, IN THE CITY OF ANAHEIM HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 57, PAGE 10, OF THE OFFICIAL RECORDS OF THE COUNTY OF LOS ANGELES, RECORDING SAID PARCEL MAP, IN THE OFFICE OF THE COUNTY CLERK, SAN FRANCISCO, CALIFORNIA 1932E.

**DRAWN BY:** W. J. GARDNER, L.P., CALIFORNIA LICENSED LAND SURVEYOR  
 255 CONSTITUTION AVENUE, 4TH FLOOR  
 SAN FRANCISCO, CALIFORNIA 94102  
 (415) 398-2821

**UTILITY SERVICES:**  
 LAS VEGAS IRRIGATIONAL WATER DISTRICT  
 CALABAZAS, CA 91302  
 (818) 880-1110

**ELECTRICAL:** SOUTHERN CALIFORNIA Edison  
 1000 WEST 10TH AVENUE, SUITE 100  
 THOUSAND OAKS, CA 91320  
 (805) 494-7018

**TELEPHONE:** SBC (714) 835-1300  
 VAN NUYS, CA 91410  
 (818) 392-6889

**GAS:** SOUTHERN CALIFORNIA GAS  
 1000 WEST 10TH AVENUE, SUITE 100  
 THOUSAND OAKS, CA 91320  
 (818) 461-5324

**SEWER:** LA BREA SANITARY DISTRICT  
 1000 WEST 10TH AVENUE, SUITE 100  
 THOUSAND OAKS, CA 91320  
 (818) 392-1329

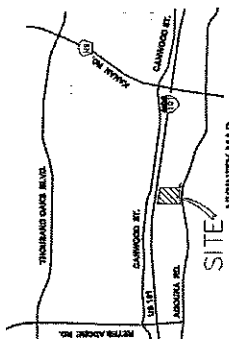
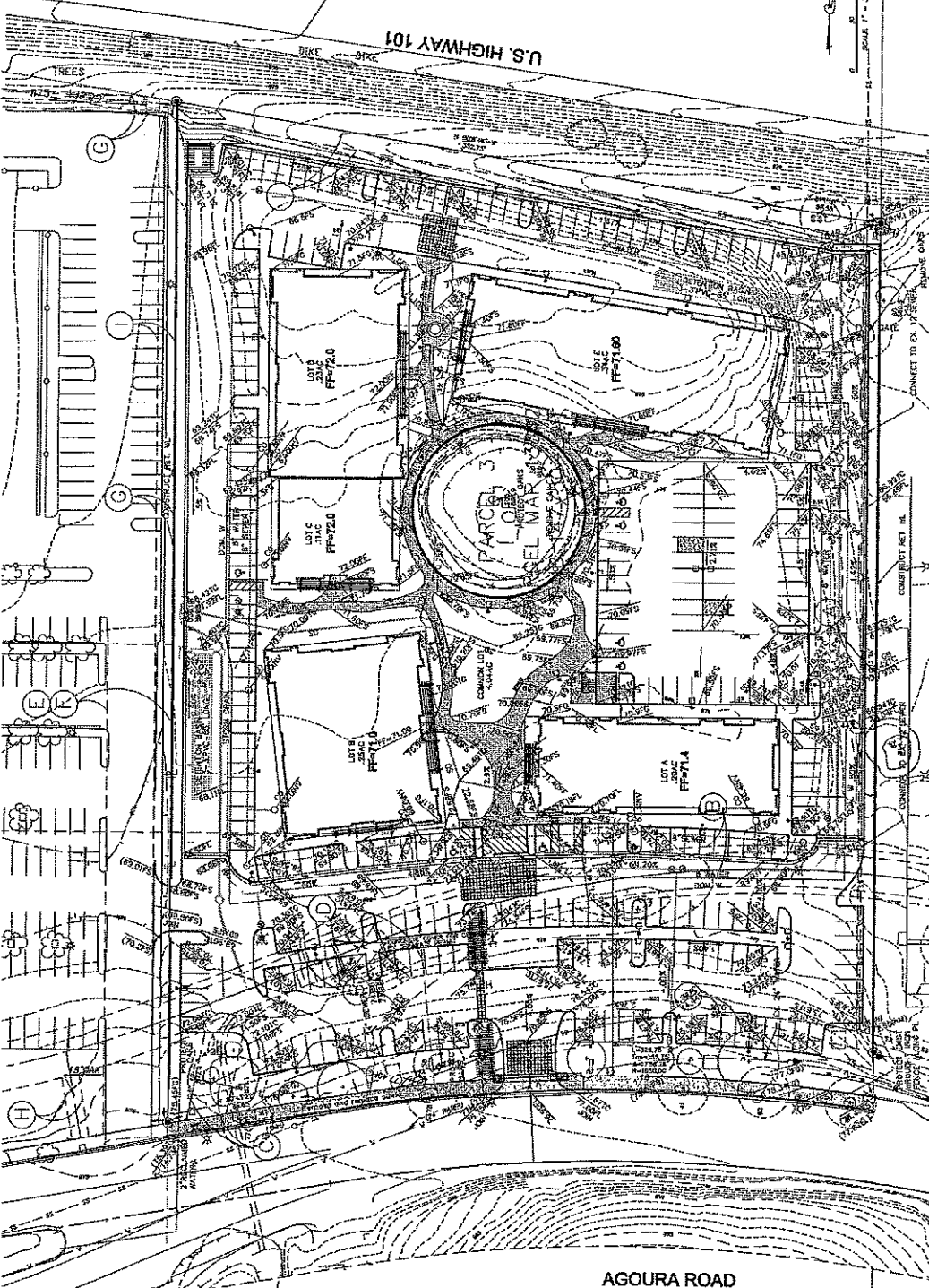
**CABLE:** TIME WARNER CABLE  
 2720 TOPHAT CANTON BLVD  
 VAN NUYS, CA 91410  
 (818) 700-8833

**CHAPTER ORGANIZATIONS:**  
 3000 CROSS CREEK ROAD  
 VAN NUYS, CA 91410  
 (818) 700-3000

**CALTRANS:** CALTRANS  
 2440 ANAHEIM BLVD  
 ANAHEIM, CA 92805  
 (714) 398-1720

**APPLICANT:** ABOVE  
**OWNER:** ABOVE  
**PREPARED BY:** ABOVE

**AREA TOTAL:** 40796 SQ FT  
**LOT A:** 20390 SQ FT  
**LOT B:** 11100 SQ FT  
**LOT C:** 2400 SQ FT  
**LOT D:** 2400 SQ FT  
**COMBON LOT:** 418 SQ FT



**EASEMENTS**

- 1. EASEMENT FOR A LINE OF PIPELINES TO LAS VEGAS IRRIGATIONAL WATER DISTRICT, RECORDED IN OFFICIAL RECORDS, AND RECORDED IN BOOK 57, PAGE 10 OF OFFICIAL RECORDS.
- 2. EASEMENT FOR COVERED STORM DRAIN, FLOOD CONTROL, AND WATER CONTROL DISTRICT, ANGELES COUNTY FLOOD CONTROL DISTRICT, AS IS OF OFFICIAL RECORDS, AS INSTRUMENT NO. 80-764142 OF OFFICIAL RECORDS.
- 3. EASEMENT FOR PUBLIC ROAD AND HIGHWAY TO COUNTY OF LOS ANGELES, RECORDED ABOUT 1932, INSTRUMENT NO. 80-764142 OF OFFICIAL RECORDS.
- 4. EASEMENT FOR 8,000 GALARS, 48L, AS SHOWN ON PARCEL MAP NO. 13342, PARCEL 3 OF PARCEL MAP NO. 13342.
- 5. EASEMENT FOR RECORDATION OF INGRESS AND EGRESS TO AND FROM PARCEL MAP NO. 13342, PARCEL 3 OF PARCEL MAP NO. 13342.
- 6. EASEMENT FOR CONVEYANCE TO THE CITY OF ANAHEIM HILLS, RECORDED DECEMBER 13, 2001, INSTRUMENT NO. 01-288382 OF OFFICIAL RECORDS.
- 7. EASEMENT FOR PUBLIC UTILITY TO 542 RECORDED AUGUST 20, 1991 AS INSTRUMENT NO. 81-85725A.
- 8. EASEMENT FOR STORM DRAIN DEDICATED ON PARCEL MAP NO. 13342, PARCEL 3 OF PARCEL MAP NO. 13342, RECORDED AUGUST 20, 1991 AS INSTRUMENT NO. 81-85725A.
- 9. EASEMENT TO SEE FOR PUBLIC UTILITIES, RECORDED AUGUST 20, 1991 AS INSTRUMENT NO. 81-85725A OF OFFICIAL RECORDS.

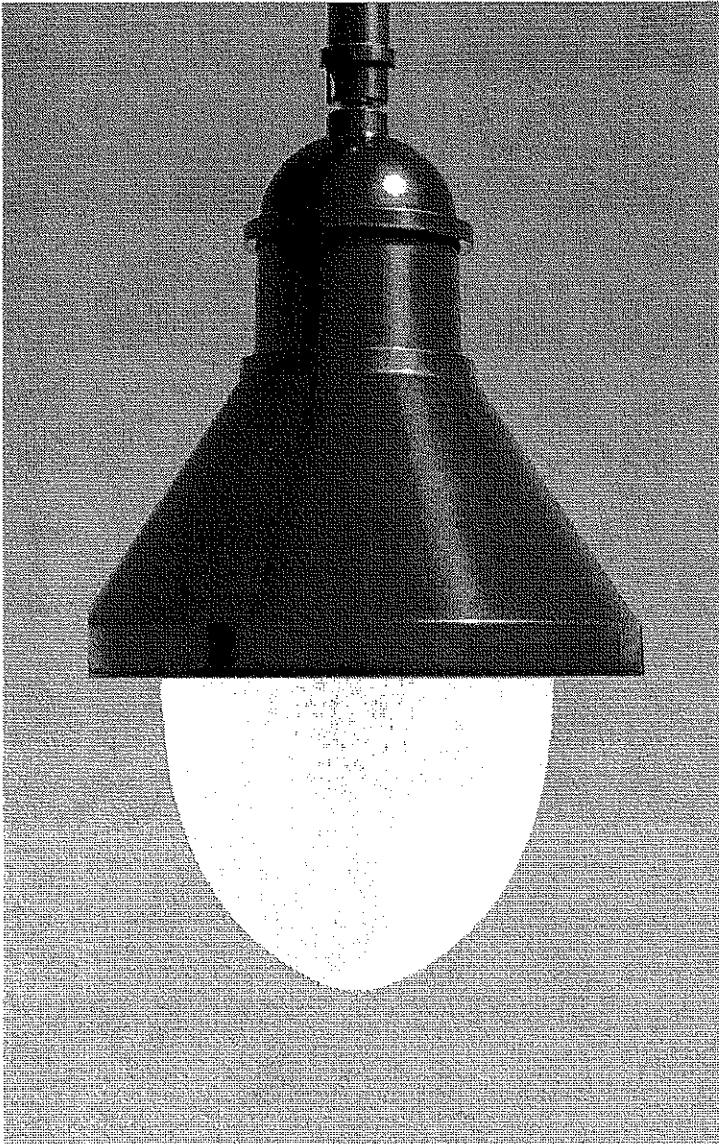


**WJG**  
 CONSULTANTS  
 REGISTERED PROFESSIONAL ENGINEERS AND SURVEYORS  
 255 CONSTITUTION AVENUE, 4TH FLOOR  
 SAN FRANCISCO, CALIFORNIA 94102  
 (415) 398-2821



AGOURA ROAD

## MUNICH SERIES Small Luminaires



EM17RT ACD

## SPECIFICATIONS

### DESCRIPTION

The luminaire shall consist of a ballast housing and skirt with internal reflector and horizontal lamp. Lens shall be flat, sag, half sphere or drop globe.

### DIMENSIONS

Dimensions shall be as detailed on the back page.

### MATERIALS

The ballast housing and skirt shall be cast aluminum. Globe material shall be clear glass, flat or sag, or clear acrylic, half sphere or drop globe. The reflector shall be anodized and segmented for superior uniformity and control. All hardware shall be stainless steel.

### INSTALLATION

The luminaire shall have a swivel nipple at top for mounting to the Eurotique™ 4" diameter arms. The globe shall be gasketed and mounted on an aluminum ring which is hinged to the skirt and furnished with a captive screw for easy relamping. The reflector shall pivot and be secured with a captive screw for easy access to the ballast plate. The ballast and socket assembly shall be furnished with a quick disconnect plug and mount on a removable ballast plate.

### FINISH

For finish specifications and color options, see "Finish" section in catalog.

### LIGHT SOURCE

Luminaires shall be furnished with an H.I.D. ballast and socket assembly. Luminaire shall be UL listed and labeled as suitable for wet locations. Socket shall be glazed porcelain, medium base, with a copper alloy nickel plated screw shell and center contact. Ballast shall be core and coil, high power factor, regulating type.

### CERTIFICATION

Upon request, manufacturer shall supply UL file # and listing information.

### PHOTOMETRY

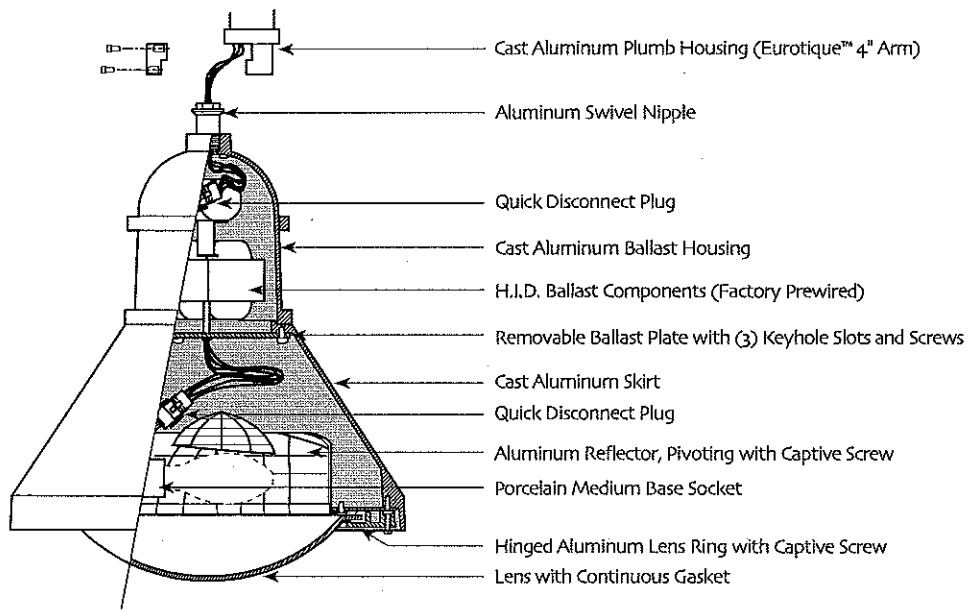
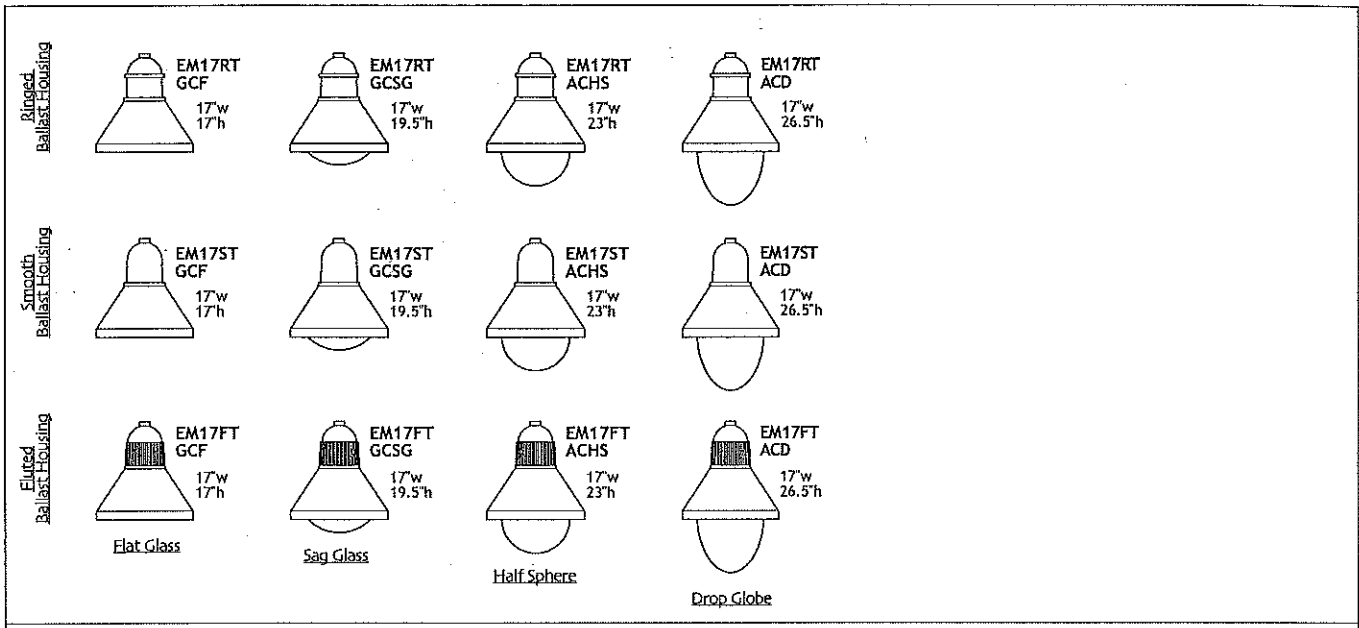
See "Eurotique™ PHOTOMETRICS" tab in catalog.

**EUROTIQUE™**  
Architectural Lighting

### **ANTIQUE Street Lamps**

An **Acuity Brands** Company

2011-B W. Rundberg Ln. • Austin, TX 78758  
Ph (512) 977-8444 • Fax (512) 977-9622  
[www.antiquestreetlamps.com](http://www.antiquestreetlamps.com)



**ORDERING INFORMATION**

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

Example: **EM17RT 150S MED GCSG SR2 120 ANBK DF**

Series	Wattage/Lamp <i>H.I.D. ballast &amp; socket</i>	Distribution <sup>3</sup>	Voltage	Finish <sup>2</sup>	Options
EM17RT	<b>50M MED</b> 50 watt Metal Halide	<b>SR2</b> IES Distribution	<b>120</b>	<b>ANBK</b> Black	<b>HS</b> House Side Shield
EM17ST	<b>70M MED</b> 70 watt Metal Halide	<b>SR3</b> IES Distribution	<b>208</b>	<b>ANDB</b> Dark Bronze	<b>SF</b> Single Fusing
EM17FT	<b>100M MED</b> 100 watt Metal Halide	<b>SR4SC</b> IES Distribution	<b>240</b>	<b>ANDG</b> Dark Green	<b>DF</b> Double Fusing
	<b>150M MED</b> 150 watt Metal Halide	<b>SR5S</b> IES Distribution	<b>277</b>	<b>ANVG</b> Verde Green	
	<b>35S MED</b> 35 watt High Pressure Sodium		<b>347</b>	<b>ANPP</b> Prime Painted	
	<b>50S MED</b> 50 watt High Pressure Sodium		<b>480<sup>1</sup></b>	<b>CM</b> Custom Match	
	<b>70S MED</b> 70 watt High Pressure Sodium		<b>TB<sup>1</sup></b>	<b>CS</b> Custom Select	
	<b>100S MED</b> 100 watt High Pressure Sodium			<b>RAL</b> colors	
	<b>150S MED</b> 150 watt High Pressure Sodium				

**Lens Material**

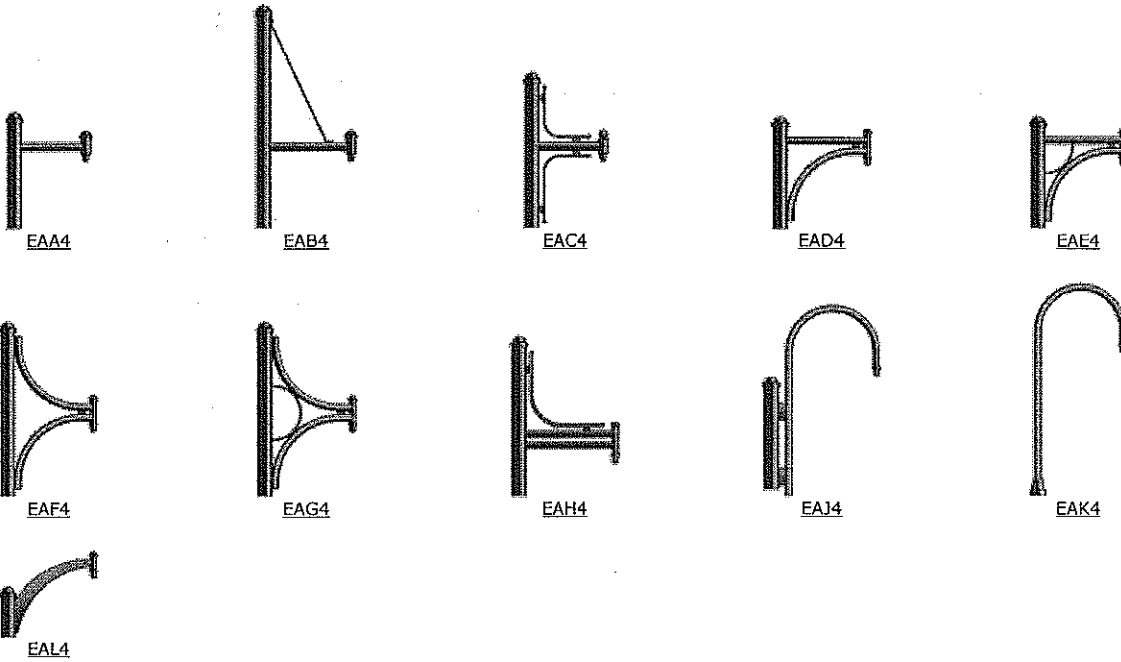
**GCF** Glass, Clear Flat  
**GCSG** Glass, Clear Sag  
**ACHS** Acrylic, Clear Half Sphere  
**ACD** Acrylic, Clear Drop Globe

**NOTES:**  
 1. Multi-tap Ballast (120, 208, 240, 277v), (120, 277, 347v in Canada). For wattages under 70S or 70M contact ASL for voltage availability.  
 2. For finish and color options, see Finish section in catalog.  
 3. See Photometric tab for IES classifications and Iso Illuminance plots for each lens type and reflector combination.

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## Small Pendant Arms



# AGOURA LANDMARK

29621 AGOURA ROAD  
AGOURA HILLS, CA 90301

master sign program

## PREPARED FOR:

Agoura Landmark, L.P.  
569 Constitution Avenue, Suite H  
Camarillo, CA 93012

## PREPARED BY:

**SIGNSPACIFIC**  
311 Hearst Drive  
Oxnard, CA 93030

# objective

The purpose of this sign criteria is to establish standards for all buildings. Any non-conforming signs that have been installed will be removed at tenant's expense.

Individual tenants are not allowed any building signage.

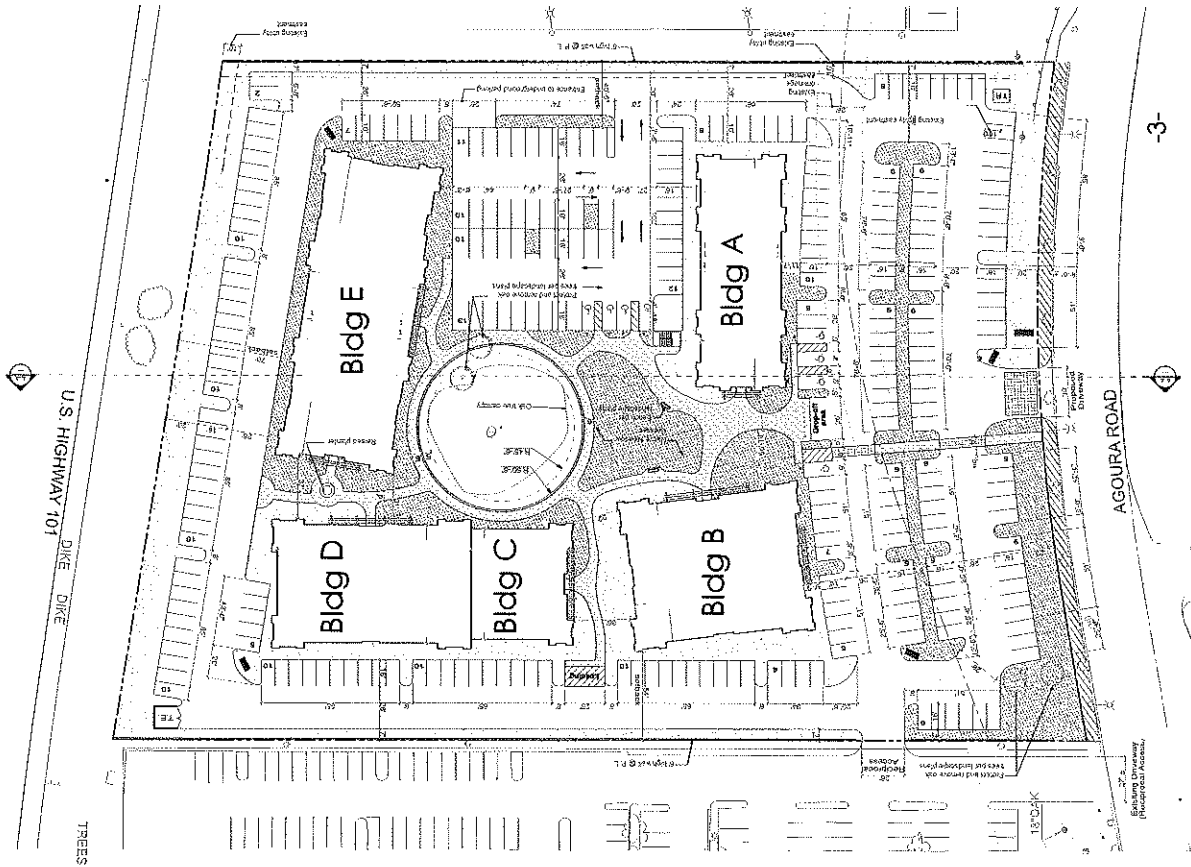
Developed by: Signs Pacific · 311 Hearst Drive · Oxnard, CA 93030 · (805) 983-7446

**SIGNSPACIFIC**

# site plan

— = Monument Sign

— = Directional Signs



# size requirements

Each building is allowed a single sign identifying the building, no individual dimensional tenant signage is allowed. No sign shall exceed 13.5 square feet. In addition, the freeway-facing elevation of building E (north) is allowed a single halo-lit channel letter sign not to exceed 25 square feet displaying the name of the center. No other dimensional building signage is allowed.

**All signs (except as noted) will be non-illuminated and conform to the letter style, Adobe Garamond (see example 1).**

Signs are required to fit the soffit/fascia of the building upon which they are installed and are not to interfere with the windows or any dimensional structures of the buildings.

Area of sign is determined by the aggregate total area of rectangles that contain all letter forms comprising the sign. Any space between sign elements that is not occupied by signage will also count toward total square footage. The total sign area for the site shall include the aggregate sign area of all building and monument signs on the site. Sign area SHALL NOT INCLUDE pole-mounted, legally required display signs and directional signs.

All signs shall comply with the requirements of ORD. No. 05-330, § 1, 5-11-2005; ORD. No. 06-340, § 1, 12-13-2006. Section 9655.6.

Adobe  
Garamond  
example 1



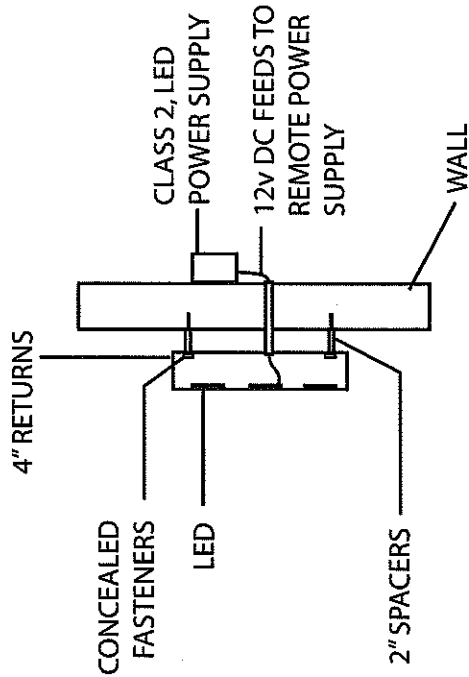
# fabrication requirements

Individual non-illuminated dimensional letters are the primary sign format for the Agoura Landmark project. The center identification sign facing the 101 Freeway will be individual Halo-lit (back-lit) channel letters.

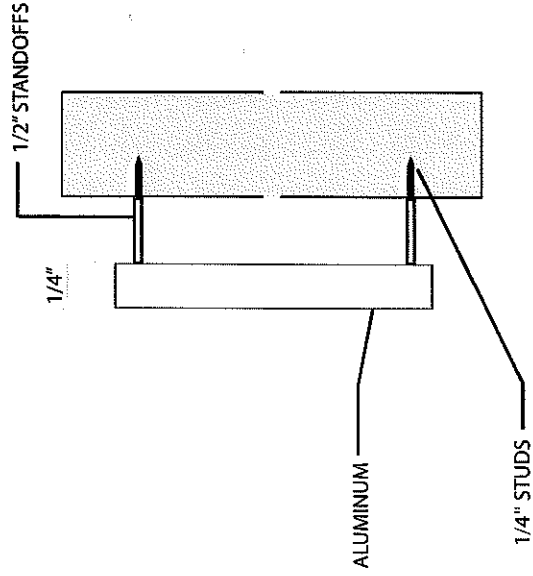
Non-illuminated dimensional letters are to be constructed from 1/4" aluminum with a dark oxidized bronze finish, and will be mounted with 1/2" standoffs. All non-illuminated letters will be displayed using the font "Adobe Garamond" (see example 1 on page 4).

Halo-lit channel letters are to be constructed from sheet metal or aluminum with 3" to 4" deep returns for halo lit channel letters. Illumination to be provided by internal Light Emitting Diodes (LEDs) only, no neon to be used. All electrical fabrication requires U.L. approval. No exposed raceways are permitted. All installation hardware shall be stainless steel or silicone adhesive to prevent rusting or staining of building surface.

Halo Lit Channel Letters



Non-illuminated Dimensional Letters

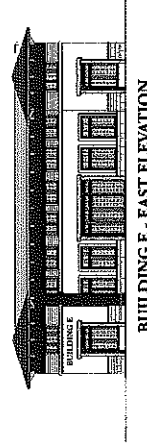
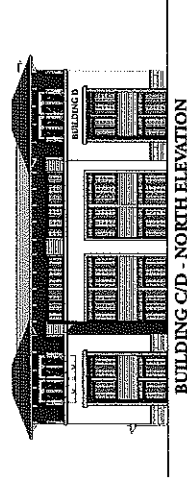
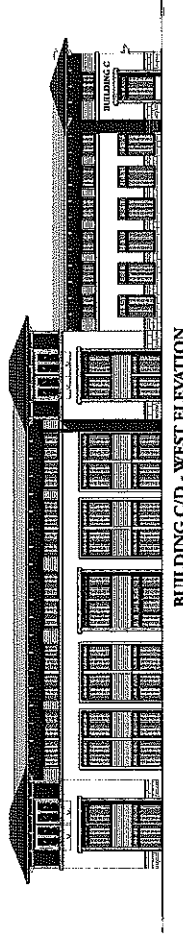
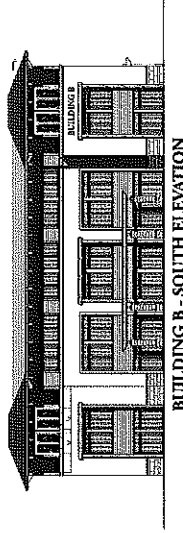
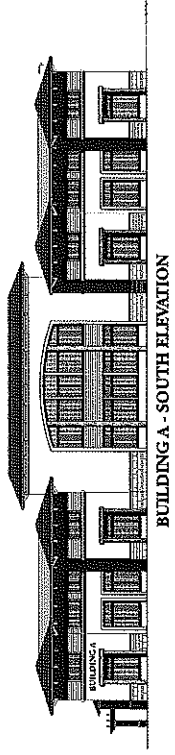


# non-permitted signs

1. Individual dimensional tenant signs are not allowed on building.
2. Illuminated sign cabinets or internally illuminated channel letters are not allowed.
3. No sign shall flash, scintillate, move, change color, appear to change color or change intensity or contain any part or attachment which does the same.
4. Banners, posters or window signs, temporary in nature, shall not be considered permanent signage, and shall be removed by the tenant when requested by the Landlord.
5. Signs shall not be installed or suspended from the ceiling or anywhere not approved by the Landlord.
6. No signs on elevations not depicted in this program.
7. Use of neon lighting prohibited.
8. All prohibitions called out under ORD. No. 05-330, § 1, 5-11-2005; ORD. No. 06-340, § 1, 12-13-2006. Section 9655.6. Specific guidelines for this center may be more restrictive and are called out within this program. All signage is subject to landlord approval.

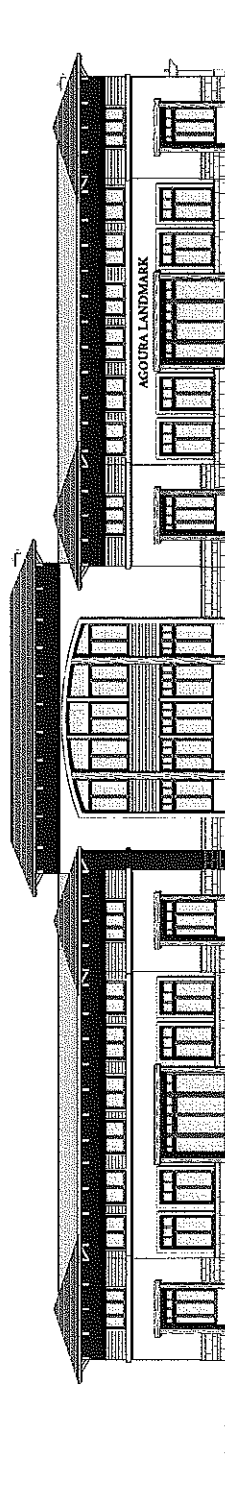
# building identification

Each building is allowed a single sign identifying the building, no individual dimensional tenant signage is allowed. Letters to be 1 1/2" Adobe Garamond Bold, non-illuminated dimensional letters constructed from 1/4" aluminum with a dark oxidized bronze finish, mounted with 1/2" standoffs. Each sign is approximately 13.5 square feet.



# center identification

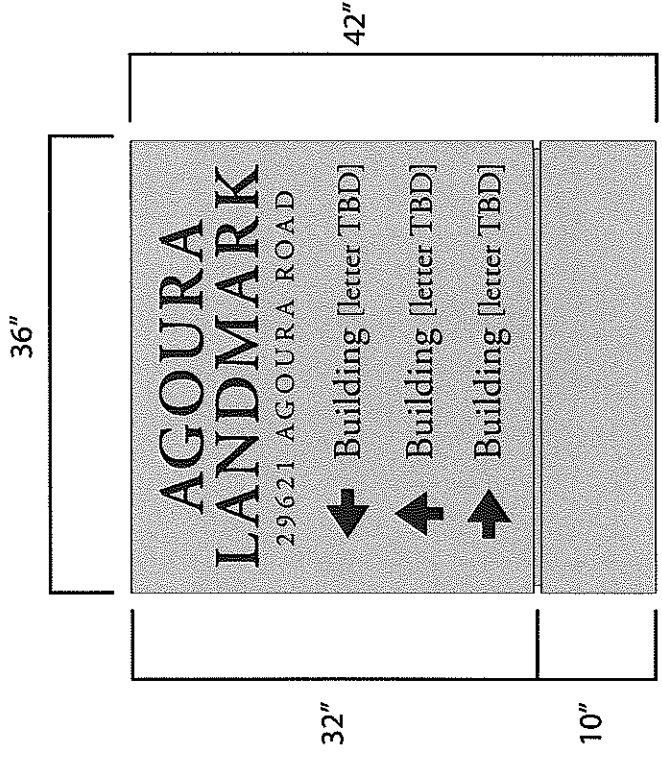
Building E to have an additional sign on the north elevation facing the 101 freeway. Sign will read "Agoura Landmark" in Adobe Garamond Bold and will be individual Halo-lit (back-lit) channel letters. Overall dimensions are 15.5" x 231.25".



**BUILDING E - NORTH ELEVATION**

# directional signs

Each parcel shall be permitted directional signs to promote smooth traffic flow. No directional sign shall exceed (9) nine square feet in area or (5) five feet in height. Signs to be flat cut 1/4" metal with dark oxidized bronze finish letters pin mounted with a 1/2" standoff. Sign is 42" x 36" pour in place cement or plaster masonry structure with metal letters. No specific tenant information to appear on this sign.



# monument sign

Monument sign to be 9.5' long x 5' tall pour in place cement or plaster masonry structure with dimensional metal letters. No specific tenant information to appear on this sign, only identification of project as shown below. Sign letters to be flat cut 1/4" metal with dark oxidized bronze finish letters pin mounted with a 1/2" standoff. Structure to be one-sided and placed at the Agoura Road entrance to the project.



# allocation table

Address	Building	North Elevation (Sq. Ft.)	East Elevation (Sq. Ft.)	South Elevation (Sq. Ft.)	West Elevation (Sq. Ft.)	Aggregate Sign Area (Sq. Ft.)
29621 Agoura Rd.	A	0	0	13.5	0	13.5
29621 Agoura Rd.	B	0	0	13.5	0	13.5
29621 Agoura Rd.	C/D	13.5	0	0	13.5	27
29621 Agoura Rd.	E	25	13.5	0	0	38.5
Total dimensional building Signage						92.5
<hr/>						
	Qty.	Sq. Footage Per Sign	Total Sq. Footage	Maximum Allowable Sq. Footage		
Directional Signs	4	9	36	36		
Monument Signs	1	47.5	47.5	48		
Total ground-mounted signage				84		
<hr/>						
<b>TOTAL SITE SIGNAGE: 176.5 SQUARE FEET</b>						