



**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

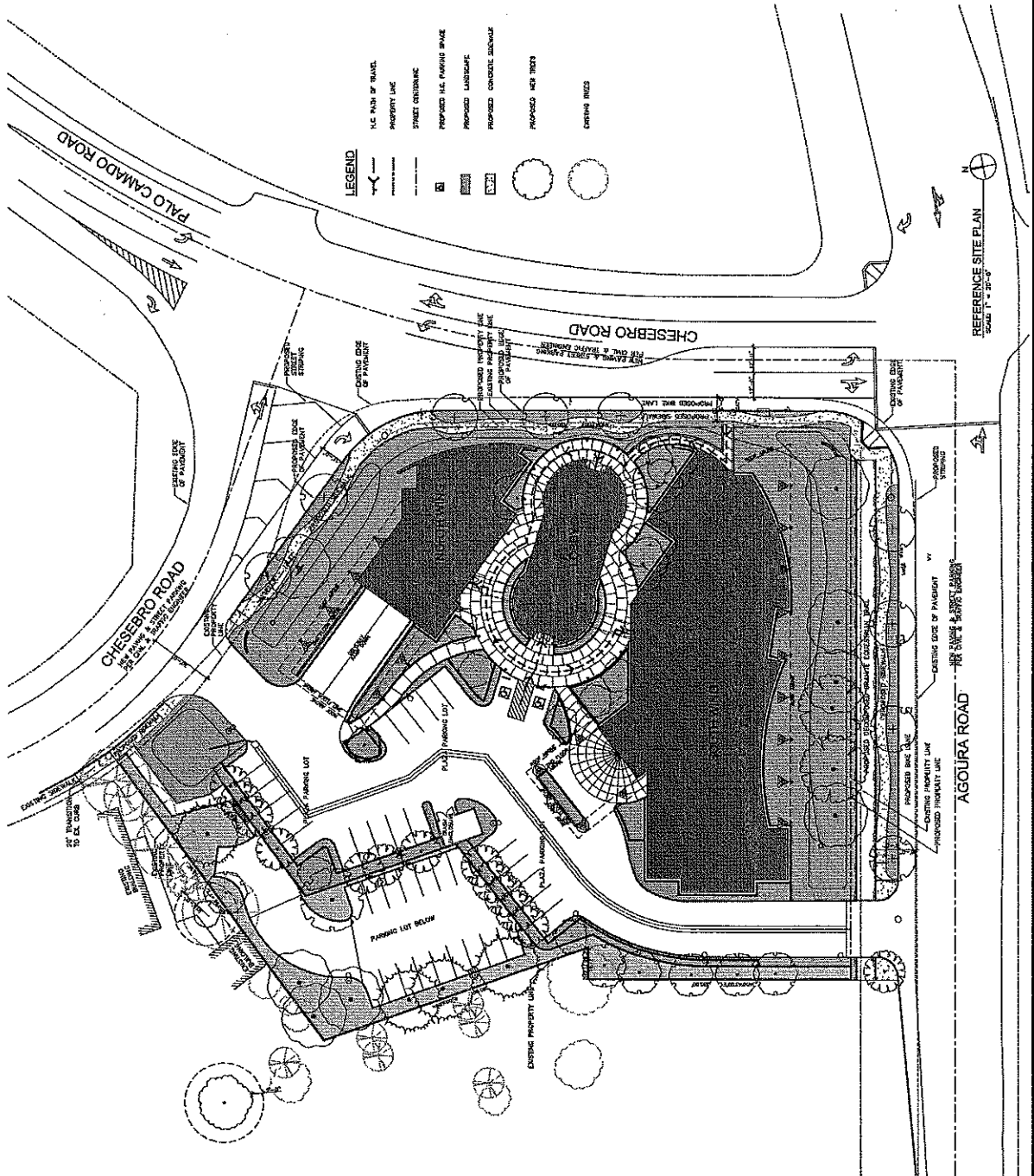
**Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002**

EXHIBIT C

Reduced Photocopies of the Plans

AGOURA MEDICAL

AGOURA HILLS, CALIFORNIA

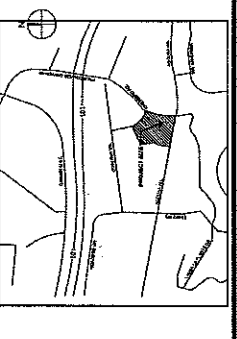


REFERENCE SITE PLAN

SHEET INDEX

ARCHITECTURAL	NO.	DESCRIPTION
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98	98	FOUNDATION BEAM PLAN
99	99	FOUNDATION COLUMN PLAN
100	100	FOUNDATION WALL PLAN

VICINITY MAP



ZONING PROJECT DATA

PROJECT DESCRIPTION:
 NEW 100,000 S.F. 2-1/2 STORY MEDICAL OFFICE BUILDING WITH 100 CAR PARKING STRUCTURE.

ZONING: (CM) COMMERCIAL METAL SERVICE

PLANNING JURISDICTION:
 AGOURA HILLS CITY

APPLICANT: AGOURA MEDICAL PARTNERS LLC

PROJECT ADDRESS: 10000 S. CHESEBRO ROAD, AGOURA HILLS, CA 91301

LOT AREA: 100,000 S.F.

LOT DIMENSIONS: 100' x 1000'

SETBACKS: 10' (FRONT), 10' (SIDE), 10' (REAR)

PERMITTED USES: COMMERCIAL METAL SERVICE

PERMITTED HEIGHT: 25' (MAX)

PERMITTED AREA: 100,000 S.F. (MAX)

PERMITTED PARKING: 100 CARS (MIN)

PERMITTED SIGNAGE: 100 S.F. (MAX)

PERMITTED LANDSCAPE: 10% (MIN)

PERMITTED UTILITIES: 10" (MAX)

PERMITTED MATERIALS: CONCRETE, METAL, GLASS

PERMITTED COLORS: 10% (MAX)

PERMITTED LIGHTING: 10% (MAX)

PERMITTED FURNITURE: 10% (MAX)

PERMITTED PLANTING: 10% (MAX)

PERMITTED WATER: 10% (MAX)

PERMITTED SEWER: 10% (MAX)

PERMITTED GAS: 10% (MAX)

PERMITTED ELECTRIC: 10% (MAX)

PERMITTED TELEPHONE: 10% (MAX)

PERMITTED CABLE: 10% (MAX)

PERMITTED SATELLITE: 10% (MAX)

PERMITTED ANTENNA: 10% (MAX)

PERMITTED SIGNAGE: 10% (MAX)

PERMITTED LIGHTING: 10% (MAX)

PERMITTED FURNITURE: 10% (MAX)

PERMITTED PLANTING: 10% (MAX)

PERMITTED WATER: 10% (MAX)

PERMITTED SEWER: 10% (MAX)

PERMITTED GAS: 10% (MAX)

PERMITTED ELECTRIC: 10% (MAX)

PERMITTED TELEPHONE: 10% (MAX)

PERMITTED CABLE: 10% (MAX)

PERMITTED SATELLITE: 10% (MAX)

PERMITTED ANTENNA: 10% (MAX)

CONTACTS

OWNER:
 AGOURA MEDICAL PARTNERS LLC
 10000 S. CHESEBRO ROAD, SUITE 200
 AGOURA HILLS, CA 91301
 (916) 497-1111

ARCHITECT:
 HEATHCOTE ARCHITECTURE
 1383 HIGHLAND AVENUE
 BERKELEY, CA 94704
 (415) 841-1111

ENGINEER:
 [REDACTED]
 [REDACTED]
 [REDACTED]

LANDSCAPE ARCHITECT:
 [REDACTED]
 [REDACTED]
 [REDACTED]

PLANNING CONSULTANT:
 [REDACTED]
 [REDACTED]
 [REDACTED]

CONTRACTOR:
 [REDACTED]
 [REDACTED]
 [REDACTED]

AGOURA MEDICAL PARTNERS LLC



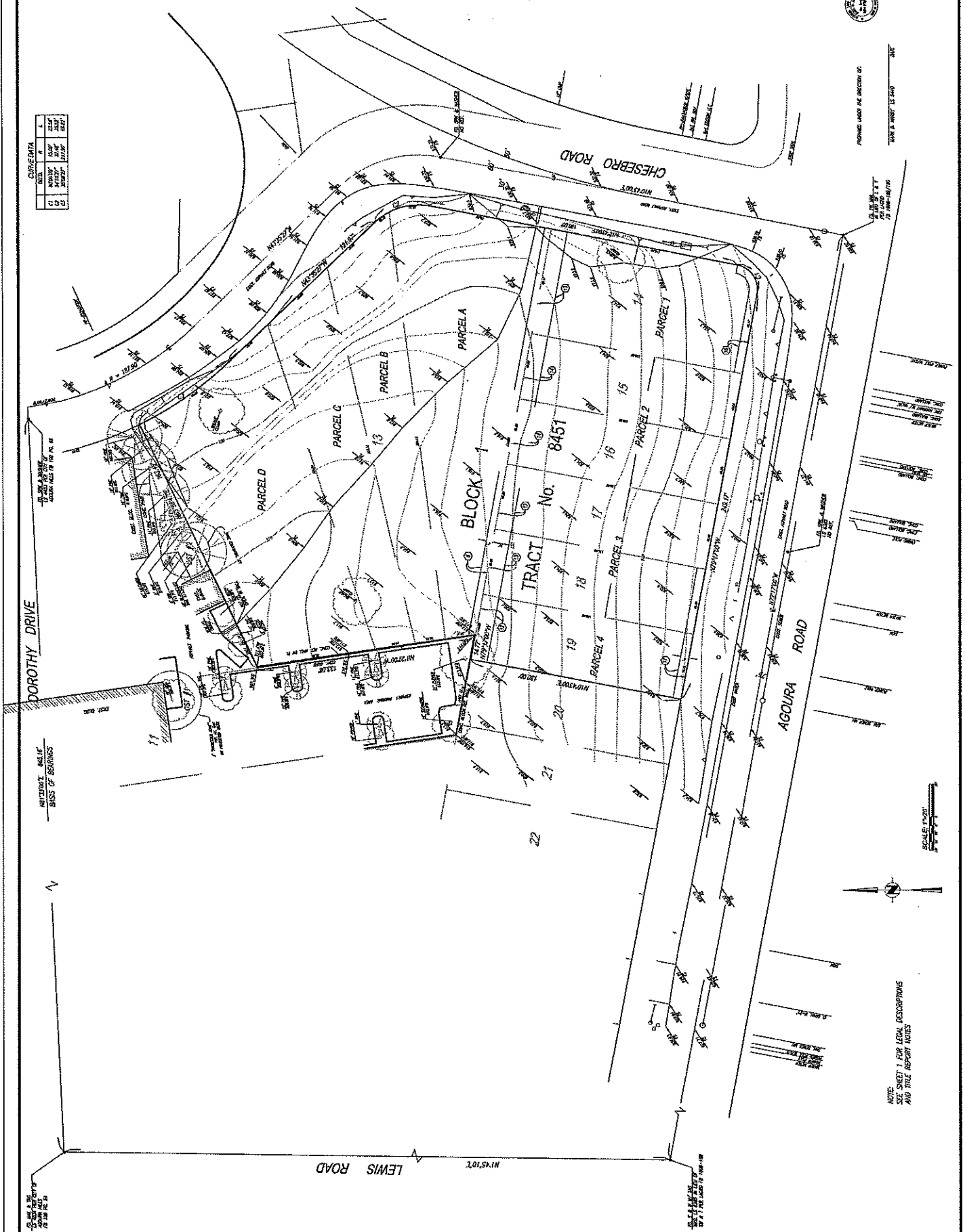
Heathcote Architecture
 1383 Highland Avenue
 Berkeley, California
 Phone 415-841-1111

T1
 THE SHEET/DATE BLOCK

PRELIMINARY NOT FOR CONSTRUCTION

NO.	REVISION
1	ADDED ELEVATIONS AND BEARING NOTES
2	ADDED ALL BEARS FOR PARCELS AND ADJUSTED ELEVATIONS
DATE	

CURVE DATA	1	2	3	4	5
CHORD	15.00	15.00	15.00	15.00	15.00
ANGLE	120.00	120.00	120.00	120.00	120.00
ARC	15.00	15.00	15.00	15.00	15.00
AREA	15.00	15.00	15.00	15.00	15.00



NOTES:
1. SEE LEGAL DESCRIPTIONS
AND TITLE REPORT NOTES



SCALE: 1"=50'

FORMED UNDER THE DIRECTION OF
DATE: 04/83





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Phone: (925) 434-1122

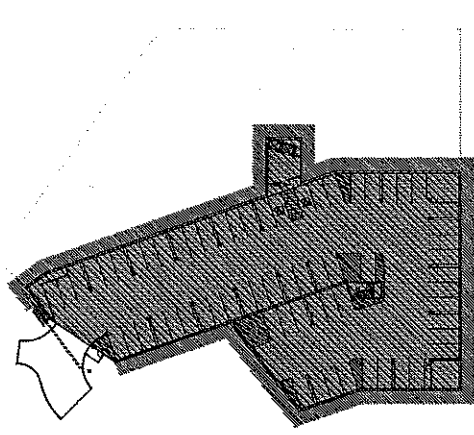


ARCHITECT
T3
PARKING COVERAGE JUSTIFICATION

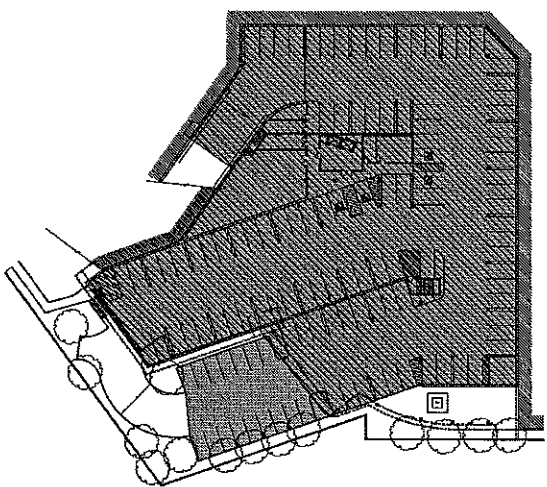
AGOURA MEDICAL PARTNERS LLC
CORNER OF CHESTER ROAD & AGOURA ROAD
Agoura Hill, CA

DATE: AUGUST 1, 2008
PROJECT: T3
SHEET: 111

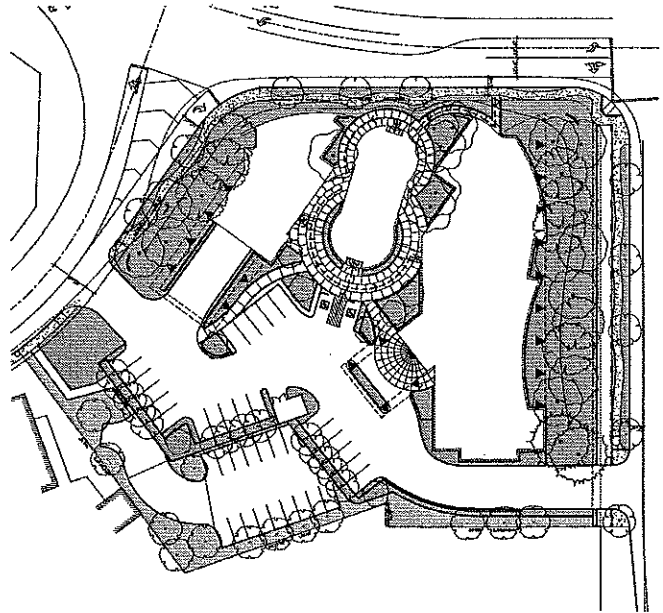
SCALE



LOWER LEVEL PARKING
COVERED PARKING LOT AREA
44,781 / 48,865 = 91.6%



INTERMEDIATE PARKING LEVEL
COVERED PARKING LOT AREA
44,781 / 48,865 = 91.6%



ON-SITE PARKING



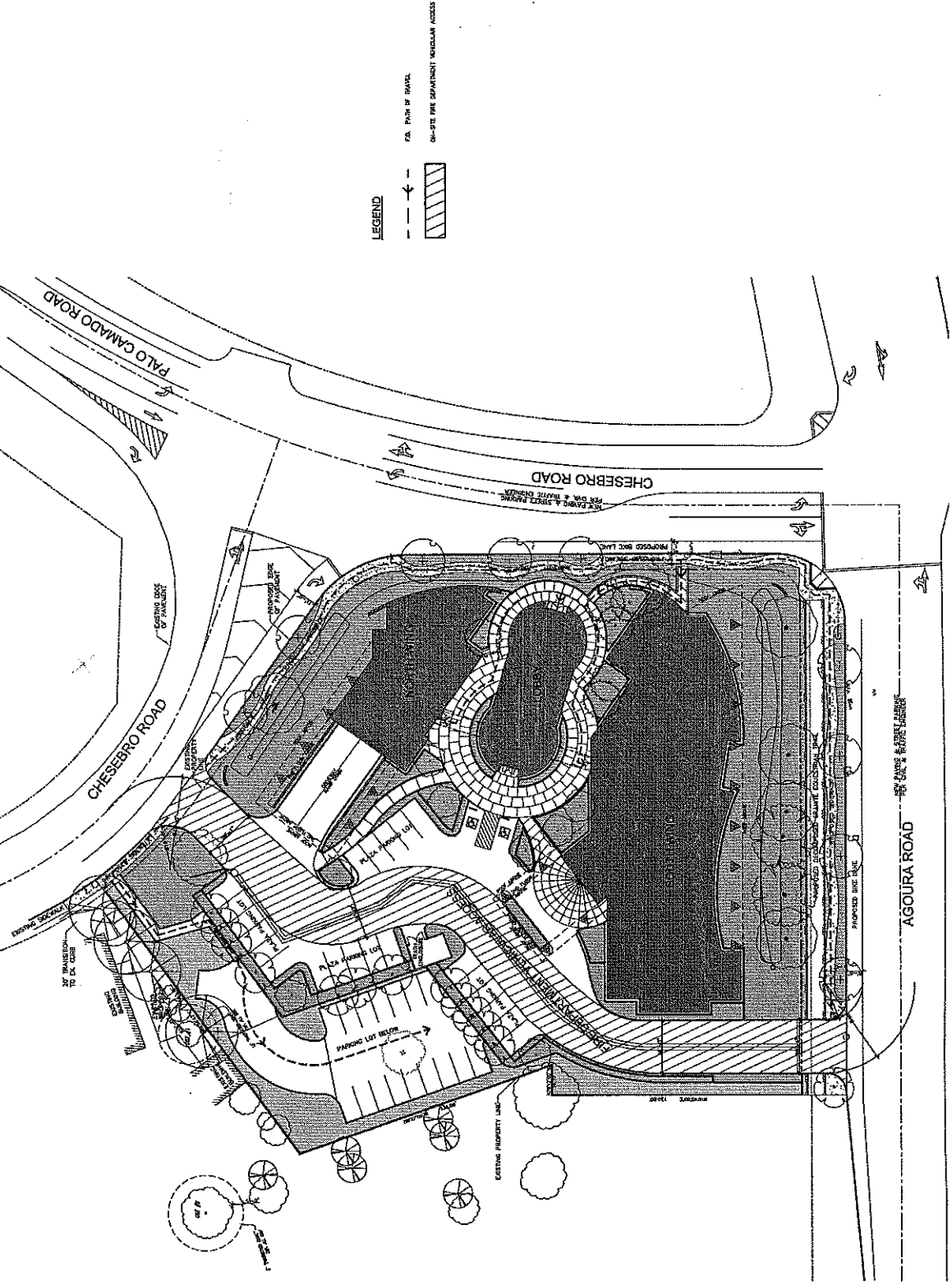


Heathcote & Associates
Architecture
3386 Willow Lane
Westlake Village, CA 91381
Suite 200
California
Phone 805-497-4100

DATE: 8-27
T4.0
FIRE VEHICULAR ACCESS



CORNER OF CHESBRO ROAD & AGOURA ROAD
AGOURA MEDICAL PARTNERS LLC
Agoura Hills, CA



LEGEND
--- PAVED AREA OF TRAVEL
--- PROPOSED FIRE DEPARTMENT VEHICULAR ACCESS

DIAGRAMMATIC FIRE DEPARTMENT VEHICULAR ACCESS PLAN
SCALE: 1" = 30'-0"

Table with 2 columns: Description, Date

Table with 2 columns: Description, Date



Heatlhcofe Architecture
3398 Willow Lane
Westlake Village
California 91381
Phone: 805-497-1500

T4.1
WORKING DRAWING
DATE: 01/15/10

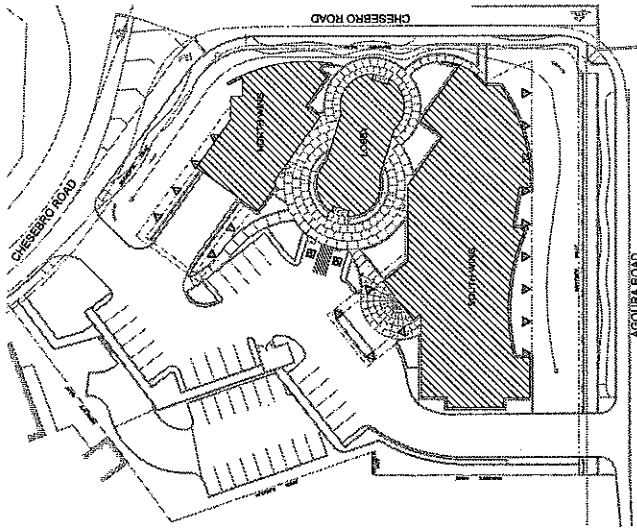


COMBINE OF CHESBRO ROAD & AGOURA ROAD
AGOURA MEDICAL PARTNERS LLC

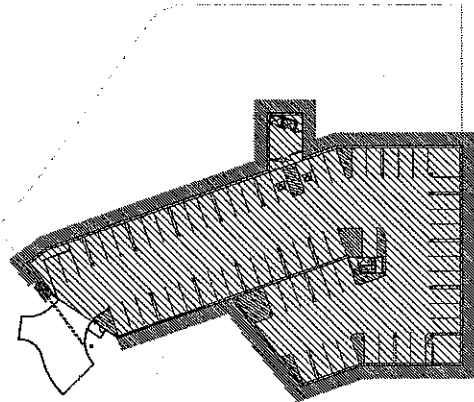
DATE:	
REVISION:	
APPROVED:	
DESIGNED:	
CHECKED:	
DATE:	
BY:	
DATE:	
BY:	

PROJECT DATA	
TYPE OF CONSTRUCTION:	TYPE I, SPRALED
MAJOR STRUCTURE:	TYPE I, SPRALED
DISCREPANCY CLASSIFICATION:	GROUP 9 DISCREPANCY
BUILDING SQUARE FOOTAGE CALCULATIONS:	
TOTAL 3 STORY MEDICAL OFFICE WITH A TWO STORY PARKING STRUCTURE:	18,208 SQ. FT.
1ST FLOOR BUILDING AREA:	22,363 SQ. FT.
2ND FLOOR BUILDING AREA:	4,734 SQ. FT.
3RD FLOOR BUILDING AREA:	28,898 SQ. FT.
LOWER PARKING LEVEL BUILDING AREA:	28,898 SQ. FT.
UPPER PARKING LEVEL BUILDING AREA:	28,898 SQ. FT.

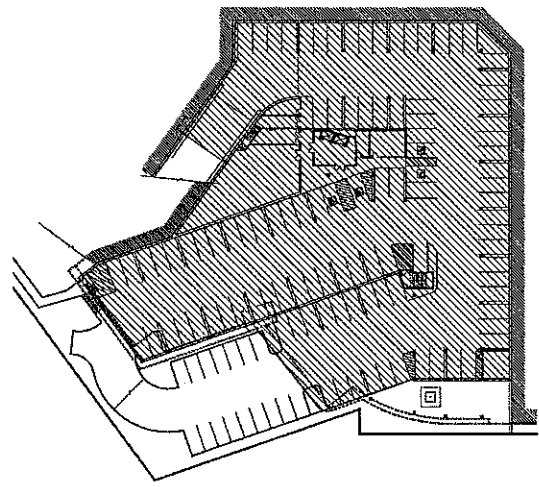
FLOOR BUILDING AREA



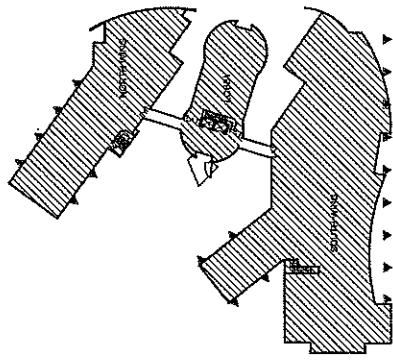
FIRST FLOOR
BUILDING FLOOR AREA: 12,285 SQ. FT.



LOWER LEVEL PARKING FLOOR
BUILDING FLOOR AREA: 28,918 SQ. FT.



INTERMEDIATE PARKING FLOOR
BUILDING FLOOR AREA: 44,734 SQ. FT.



SECOND FLOOR
BUILDING FLOOR AREA: 22,363 SQ. FT.

BUILDING FLOOR AREA JUSTIFICATION

1 2



AGOURA MEDICAL PARTNERS LLC

OWNER: AGOURA MEDICAL PARTNERS LLC
 PROJECT: CHESEBRO ROAD & AGOURA ROAD
 ADDRESS: 3386 AGOURA ROAD, WESTLAKE VILLAGE, CA 91361

DATE	DESCRIPTION

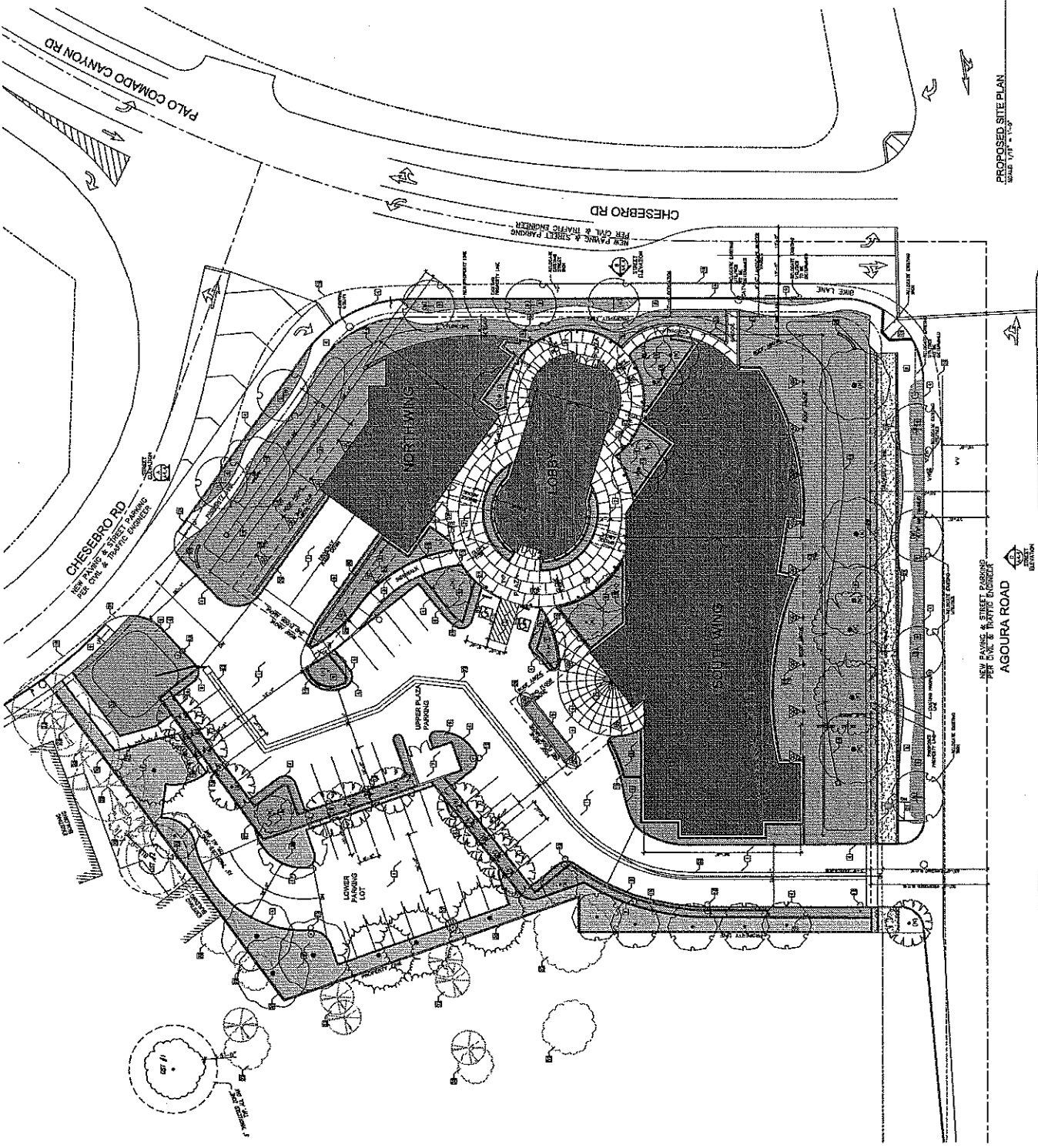
A1.1
 SHEET
 SITE PLAN

KEY NOTES

- 1 PROVIDE NEW CONCRETE DRIVEWAY
- 2 PROVIDE NEW STAMPED CONCRETE PAVI
- 3 PROVIDE NEW VEH ACCESSIBLE L&L PARKING BY LOWER LOBBY
- 4 PROVIDE NEW CONCRETE CURB
- 5 PROVIDE NEW SMART WALL CHAIRS AND BENCH * SEE ELEVATED VEH PLAN
- 6 PROVIDE SLOTTED TRUCK LOADING DOOR
- 7 PROVIDE NEW TRUCK EXCESSOR
- 8 PROVIDE NEW SIGNAGE
- 9 PROVIDE NEW LANDSCAPING
- 10 PROVIDE WOOD WALL WITH SCATTERED GRATE
- 11 PROVIDE LED POLE LIGHT
- 12 H-CORNER LANDSCAPING
- 13 PROPOSED FLOW LINE & DRAINAGE SEE CIVIL PLAN
- 14 L&L PLANTERS SHALL IDENTIFY ANY ADJACENT FRESH GRADE 30" HIGH MAX.
- 15 B&E MARK
- 16 FIRE HYDRANT
- 17 BACKSTOP PROTECTOR
- 18 CHASING EDGE OF PAVEMENT TO BE REPAIRED
- 19 RETAINING WALL
- 20 REINFORCED CONCRETE
- 21 ENHANCED PAVING
- 22 I.L.C. SIGN
- 23 PARKING BARRIER
- 24 WOOD TRUSS COLUMNS BY CONCRETE PIER/STAIL
- 25 BALLAST LIGHT
- 26 PROPOSED SIGNMENT SIGN
- 27 PROPOSED POLE TOOL DRIVING
- 28 CHASING THE WALL TO BEHIND
- 29 PROVIDE NEW RETAINMENT WALL
- 30 EXISTING TREES

LEGEND

- PROPERTY LINE
- CONTIGUOUS
- PLANTER WALL
- CONCRETE SIGNPOST
- LANDSCAPING
- PROPOSED NEW RETAINING WALL
- PROPOSED NEW TREES PER LANDSCAPE DRAWINGS
- PROPOSED NEW TREES PER LANDSCAPE DRAWINGS
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- PROPOSED NEW TREES PER LANDSCAPE DRAWINGS



PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

SITE PLAN

1



HeatHcoits Architecture
3398 Willow Lane
Westlake, CA 91371
Phone 805-497-4700

Sheet
A1.2
Parking Structure

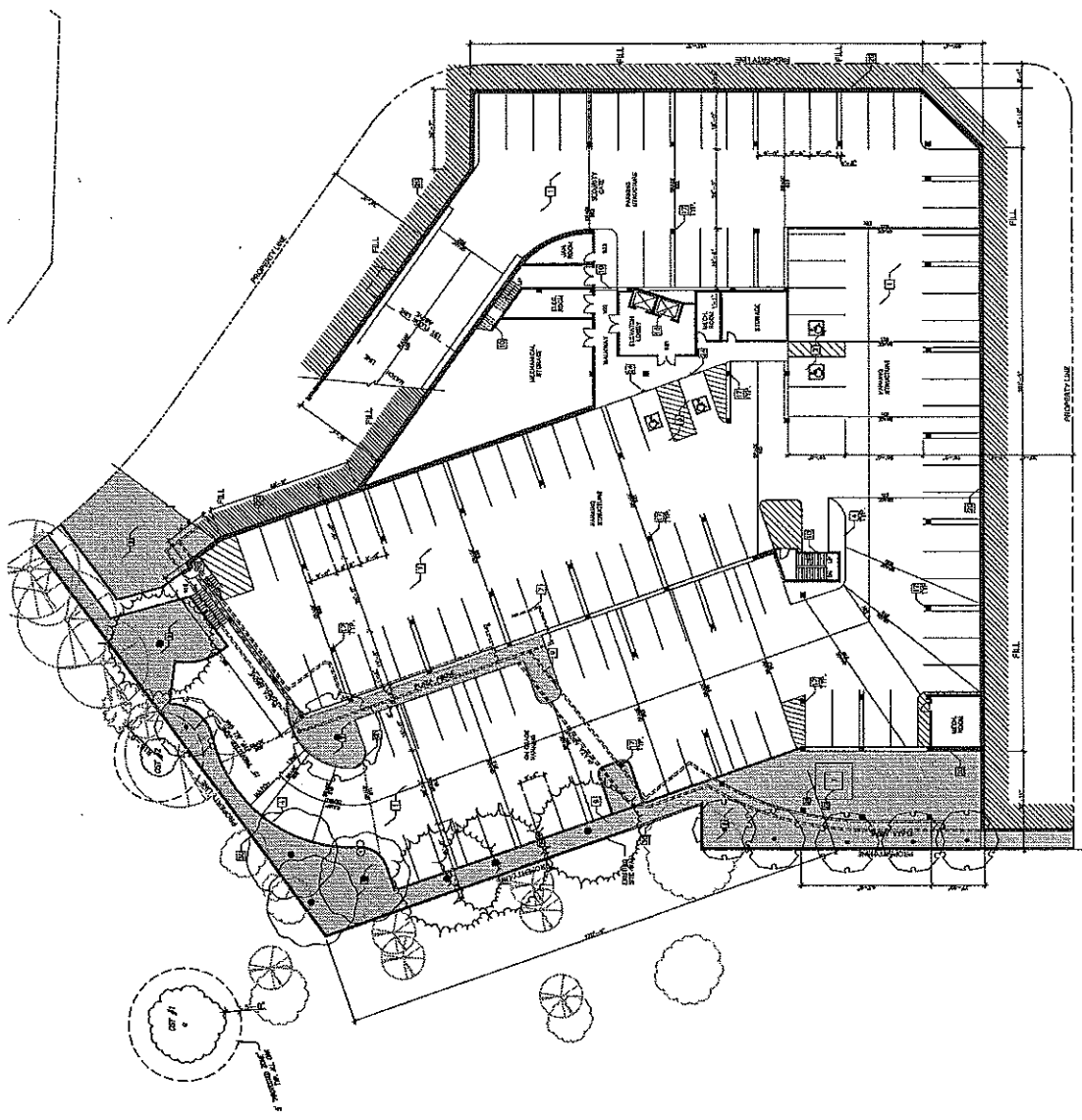
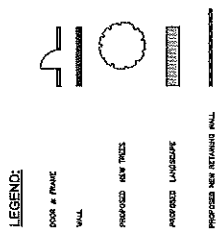


AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESTER ROAD & AGOURA ROAD

Agoura 18th, CA

- KEY NOTES**
- 1 PROVIDE AND CONCRETE CURBWAY
 - 2 PROVIDE AND STAIRWELL CHAIRS AND RAILS (NOT APPLICABLE, SEE ADJUST PLAN)
 - 3 PROVIDE AND ACCESSIBLE RAMP (NOT APPLICABLE, SEE ADJUST PLAN)
 - 4 PROVIDE AND CONCRETE CURB
 - 5 PROVIDE AND SLOPED WALKWAY (NOT APPLICABLE, SEE ADJUST PLAN)
 - 6 PROPOSED SLOPED WALKWAY (NOT APPLICABLE, SEE ADJUST PLAN)
 - 7 PROVIDE AND WALKWAY ENCLASURE ABOVE
 - 8 PROVIDE AND SLOPED WALKWAY (NOT APPLICABLE, SEE ADJUST PLAN)
 - 9 PROVIDE AND LANDSCAPING
 - 10 STAIRS
 - 11 PROPOSED WALKWAY WITH ACCESSIBLE CHAIRS (NOT APPLICABLE, SEE ADJUST PLAN)
 - 12 FURNISH AND LIGHT (NOT APPLICABLE, SEE ADJUST PLAN)
 - 13 WALKWAY LIGHTING (NOT APPLICABLE, SEE ADJUST PLAN)
 - 14 FURNISH AND LIGHT (NOT APPLICABLE, SEE ADJUST PLAN)
 - 15 LOW PLANTINGS SHALL BE INSTALLED ABOVE FINISH GRADE (NOT APPLICABLE, SEE ADJUST PLAN)
 - 16 PLANTINGS
 - 17 COLLARS
 - 18 BACKSTOP PREVENTER (NOT APPLICABLE, SEE ADJUST PLAN)
 - 19 TREE GUARD (NOT APPLICABLE, SEE ADJUST PLAN)
 - 20 RETAINING WALL BELOW GRADE
 - 21 RETAINING WALL (NOT APPLICABLE, SEE ADJUST PLAN)
 - 22 TRANSFORMER, ACTUAL DIMENSIONS TO BE DETERMINED BY MECHANICAL ENGINEER
 - 23 ENHANCED PAVING (NOT APPLICABLE, SEE ADJUST PLAN)
 - 24 A.C. TOP
 - 25 PARKING BUMPERS (NOT APPLICABLE, SEE ADJUST PLAN)
 - 26 EXTERIOR WOOD TRIMMER COLUMNS W/ CONCRETE FOOTING (NOT APPLICABLE, SEE ADJUST PLAN)
 - 27 BALLAST LIGHT (NOT APPLICABLE, SEE ADJUST PLAN)
 - 28 PROPOSED SIGNAGE (NOT APPLICABLE, SEE ADJUST PLAN)
 - 29 PROPOSED SIGNAGE SHALL ALSO SEE LANDSCAPE DRAWINGS
 - 30 CENTER SIDE WALL TO REMAIN



INTERMEDIATE PARKING LEVEL PLAN
SCALE: 1/4"=1'-0"



Heatncoits Architecture
3396 Willow Lane
Westborough, MA 01581
Phone 855-497-4700

SHEET
A1.3
LOWER PARKING STRUCTURE

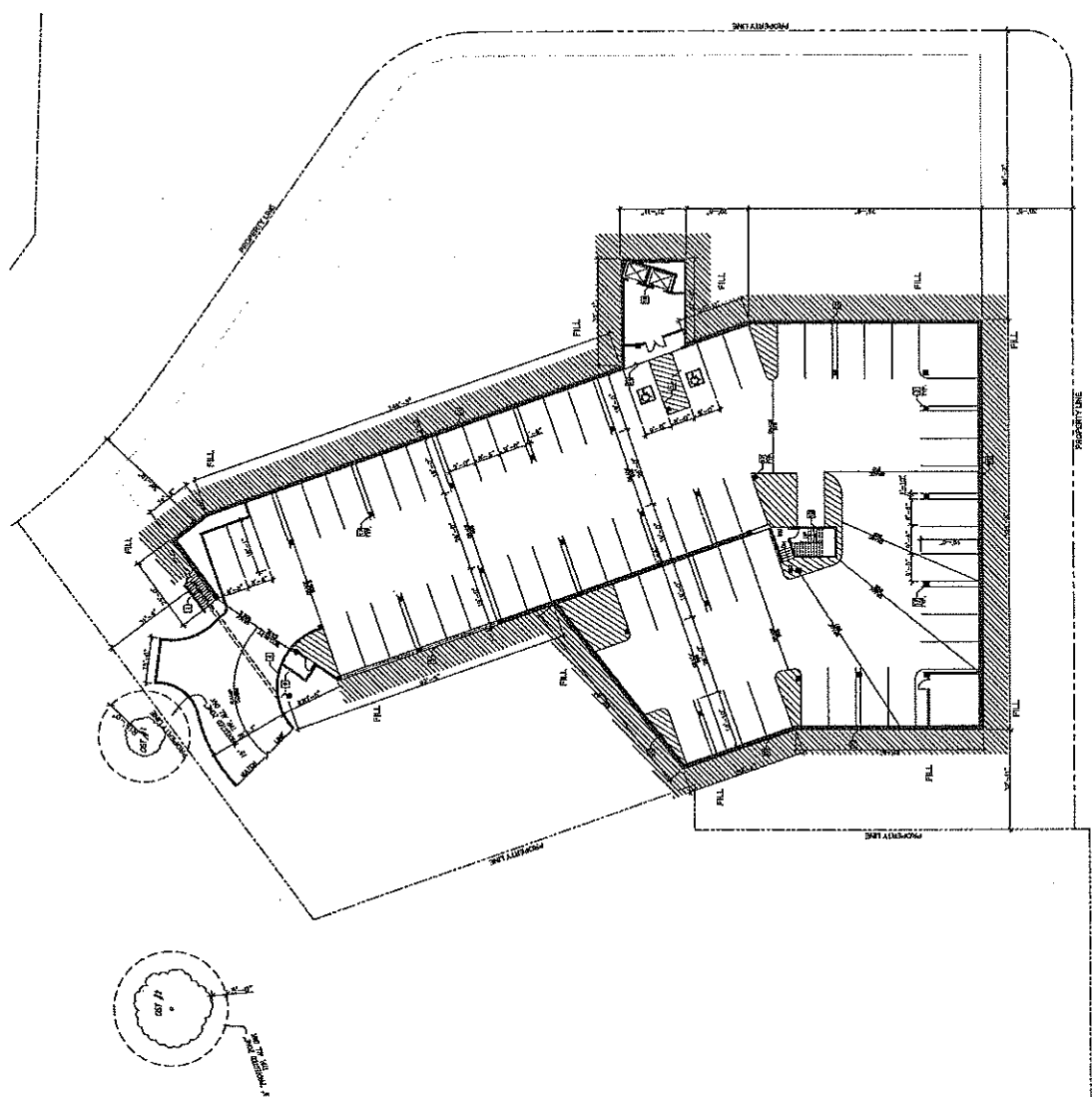


AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESTER ROAD & AGOURA ROAD
Agoura Hills, CA

- KEY NOTES:**
- 1 PROVIDE FOR CONCRETE SWAYBRIDGE (NOT APPLICABLE, SEE ADJT. PLAN)
 - 2 PROVIDE FOR STAMPED CONCRETE FLOOR (NOT APPLICABLE, SEE ADJT. PLAN)
 - 3 PROVIDE NEW VIB. ACCESSIBLE N.C. PARAPETS W/ 1/2" MIN. SLOPE
 - 4 PROVIDE NEW CONCRETE CURB
 - 5 PROVIDE NEW 6" HIGH WALL W/ 3/4" HIGH GUARD RAIL
 - 6 PROVIDE EXISTING TRUCK LANDING ZONE (NOT APPLICABLE, SEE ADJT. PLAN)
 - 7 PROVIDE NEW TRUCK DRIVEWAY (NOT APPLICABLE, SEE ADJT. PLAN)
 - 8 PROVIDE NEW SIDEWALK (NOT APPLICABLE, SEE ADJT. PLAN)
 - 9 PROVIDE NEW LANDSCAPING
 - 10 SLABS
 - 11 IMPROVED PORTE TRAIL WITH EXPANDED GRATE (NOT APPLICABLE, SEE ADJT. PLAN)
 - 12 FINISH FOR FLOOR SLAB (NOT APPLICABLE, SEE ADJT. PLAN)
 - 13 FINISH FOR EXTERIOR (NOT APPLICABLE, SEE ADJT. PLAN)
 - 14 PAINTS (NOT APPLICABLE, SEE ADJT. PLAN)
 - 15 LOW PLANTERS SHALL ESCORT W/AY JAMES TRUCK SHADE (NOT APPLICABLE, SEE ADJT. PLAN)
 - 16 ELEVATOR
 - 17 CURB CUT
 - 18 BACKSTOP PROVIDED (NOT APPLICABLE, SEE ADJT. PLAN)
 - 19 TREE SHADE (NOT APPLICABLE, SEE ADJT. PLAN)
 - 20 EXISTING WALL
 - 21 EXISTING TRUCK (NOT APPLICABLE, SEE ADJT. PLAN)
 - 22 IMPROVED TRUCK DRIVEWAY (NOT APPLICABLE, SEE ADJT. PLAN)
 - 23 IMPROVED FLOOR (NOT APPLICABLE, SEE ADJT. PLAN)
 - 24 IMPROVED FLOOR (NOT APPLICABLE, SEE ADJT. PLAN)
 - 25 NEW SIGN
 - 26 PROVIDE SIGNAGE
 - 27 CONCRETE FLOOR SHALL OCCUR BY CONCRETE ACCEPTED (NOT APPLICABLE, SEE ADJT. PLAN)
 - 28 EXISTING CURB (NOT APPLICABLE, SEE ADJT. PLAN)

LEGEND:





Heatjackets & Associates
Architecture
3388 Willow Loch
Village
Nashville, TN 37215
Phone: 615-497-4700



AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESTER ROAD & AGOURA ROAD

APPROVE (S&P, CA)

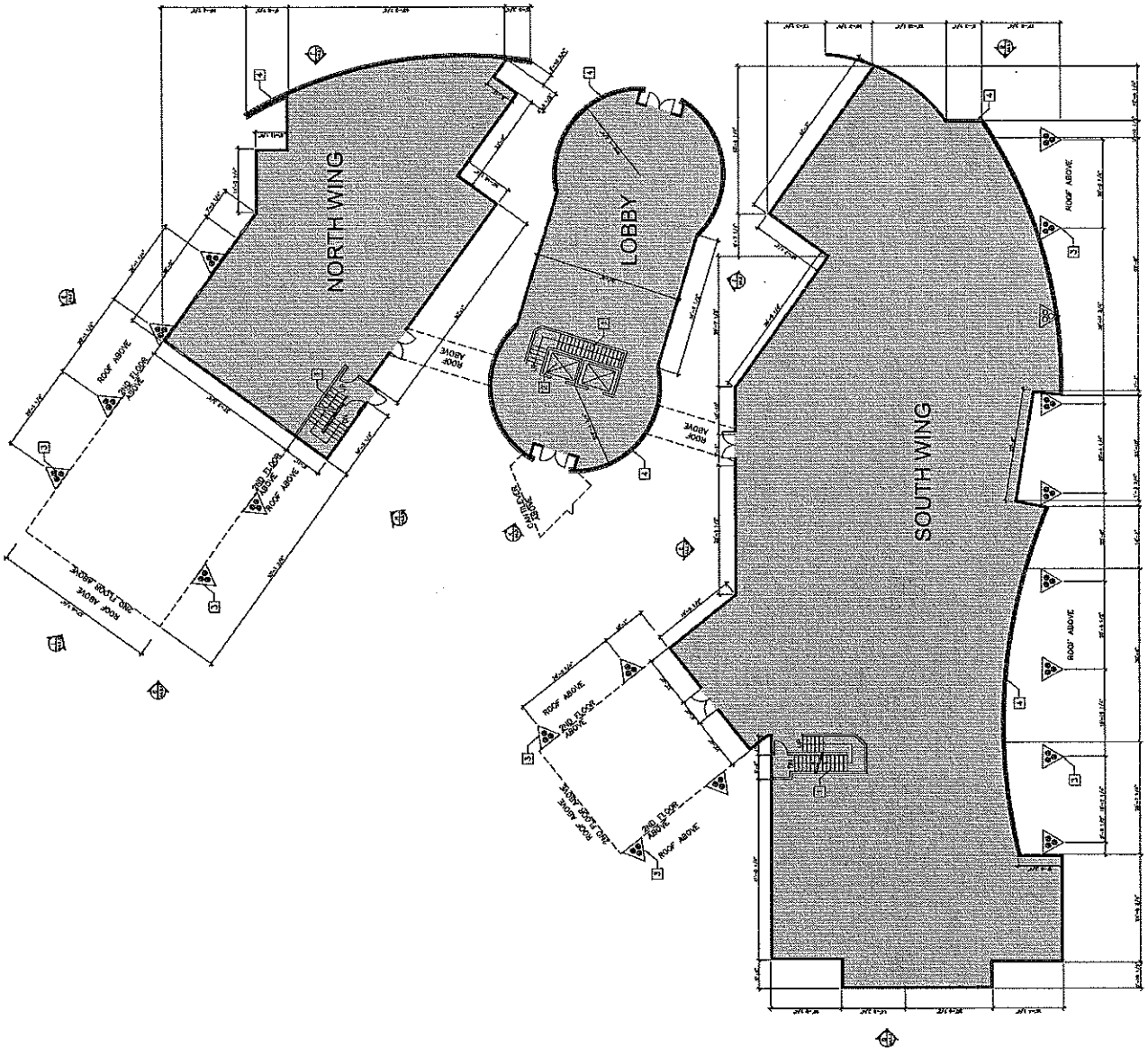
DATE	
BY	
FOR	
PROJECT	
DATE	
BY	
FOR	
PROJECT	

REVISION	

SHEET
A2.1
FIRST FLOOR PLAN

- LEGEND:**
- STAIRWELL
 - DOOR & FRAME
 - WINDOW & FRAME
 - WALL

- KEY NOTES:**
- 1 STAIRS
 - 2 ELEVATOR
 - 3 WOOD TRUSS COLUMNS w/ CONCRETE BASE
 - 4 STONE VOUCHER



FIRST FLOOR PLAN
24x37' = 1/8" = 1'-0"

FIRST FLOOR PLAN



CORNER OF GREENBRO ROAD & AGOURA ROAD
 AGOURA MEDICAL PARTNERS LLC

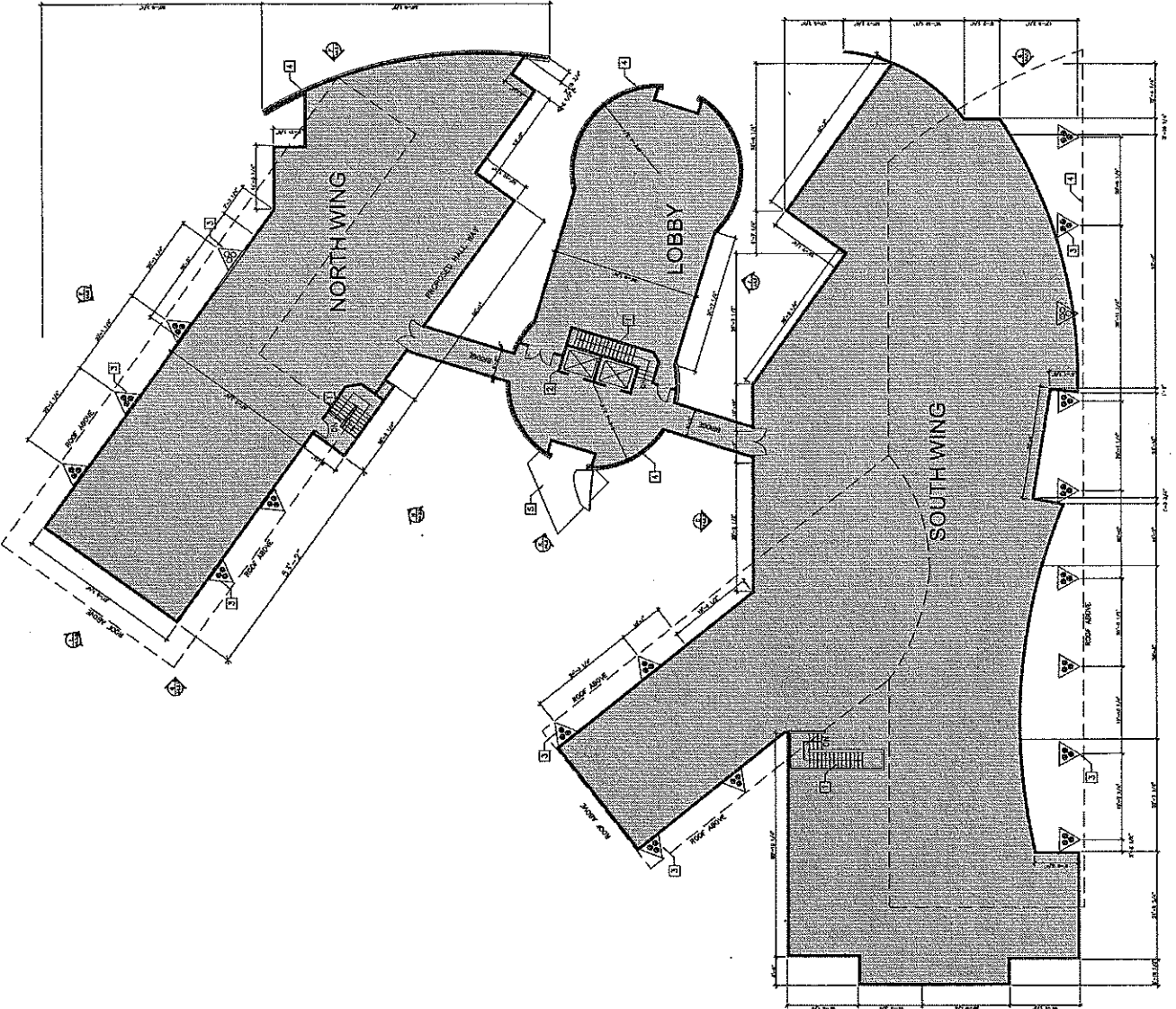
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08/01/00	ISSUE FOR PERMITS
08/01/00	ISSUE FOR PERMITS
08/01/00	ISSUE FOR PERMITS
08/01/00	ISSUE FOR PERMITS

PROJECT	AGOURA MEDICAL PARTNERS LLC
DATE	08/01/00
SCALE	AS SHOWN
BY	HEATPCOFE
CHECKED	HEATPCOFE

A2.2
 SECOND FLOOR PLAN

- KEY NOTES**
- 1 STAIRS
 - 2 ELEVATOR
 - 3 COLUNNS
 - 4 FLOOR FINISH
 - 5 METAL PARTITION, ALSO SEE BLANCKIN ON SHEET A1.3

- LEGEND**
- STAIRWELL
 - DOOR & FRAME
 - WINDOW & FRAME
 - WALL



SECOND FLOOR PLAN
 SHEET A2.2



Heathcote
Architecture

3096 Willow Lane
Westside Village
California
Phone: 925-937-1000

Sheet
A2.3
Roof Plan



COURTESY OF GENTRINO ROAD & AGOURA ROAD

AGOURA MEDICAL PARTNERS LLC

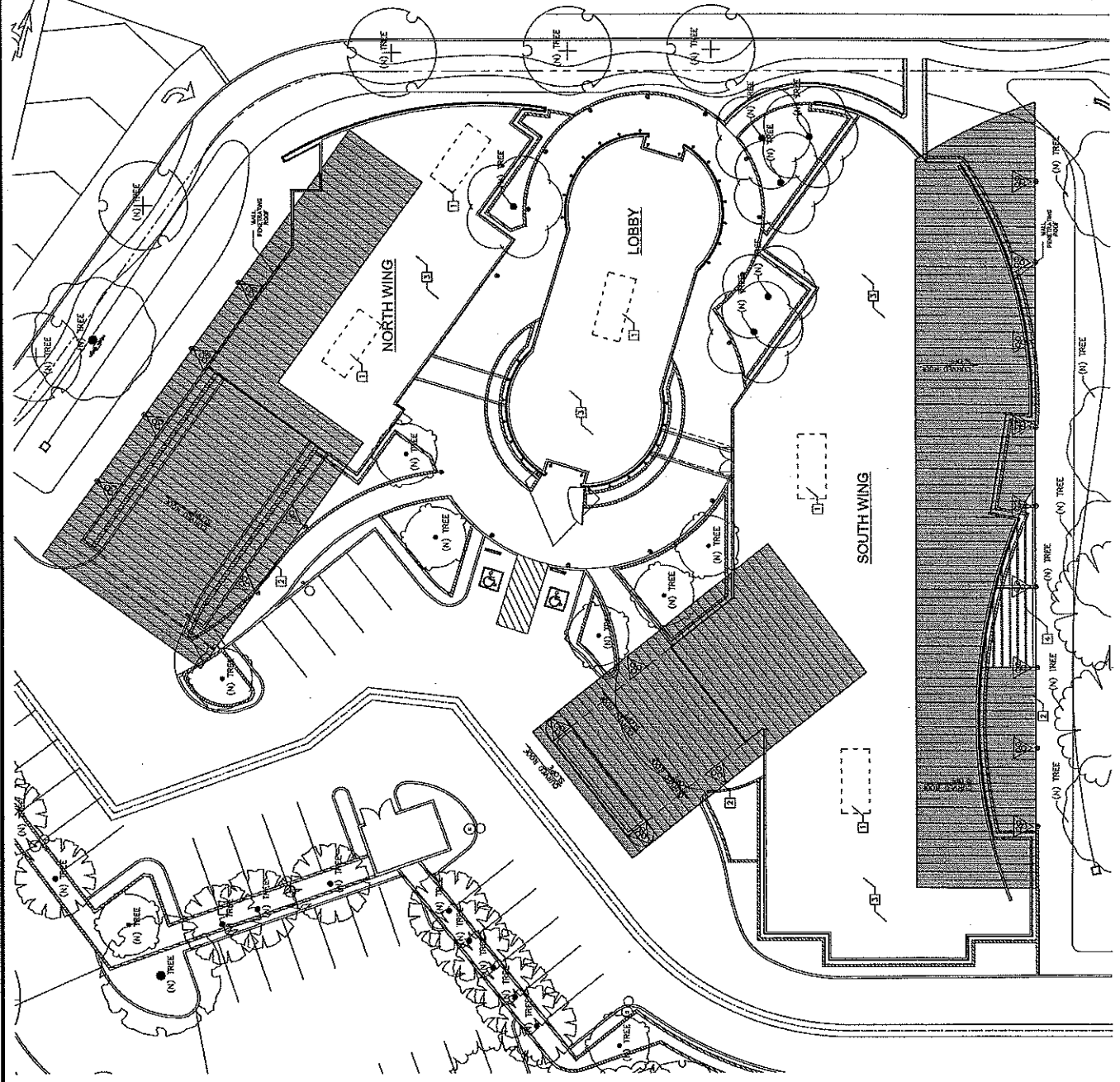
Agoura 188, CA

WORKING PLOT
CONTRACT FILE
ESTIMATED COST
DATE
SCALE

REVISIONS

- KEY NOTES**
- PROPOSED SHINE ROOF DRAINAGE
 - METAL ROOFING
 - SHUT UP FLAT ROOF
 - DECKED TRUSSES

PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"



BUILDING ROOF PLAN



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Architecture
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Westlake Village, CA
91361
Phone: 805.497.1700

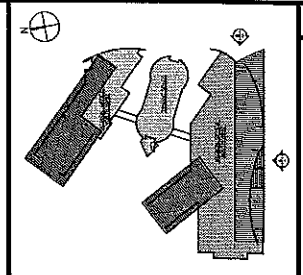
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DRAWN BY: [Name]
CHECKED BY: [Name]



AGOURA MEDICAL PARTNERS LLC
CORNER OF CHESTNUT ROAD & AGOURA ROAD
Agoura Hills, CA

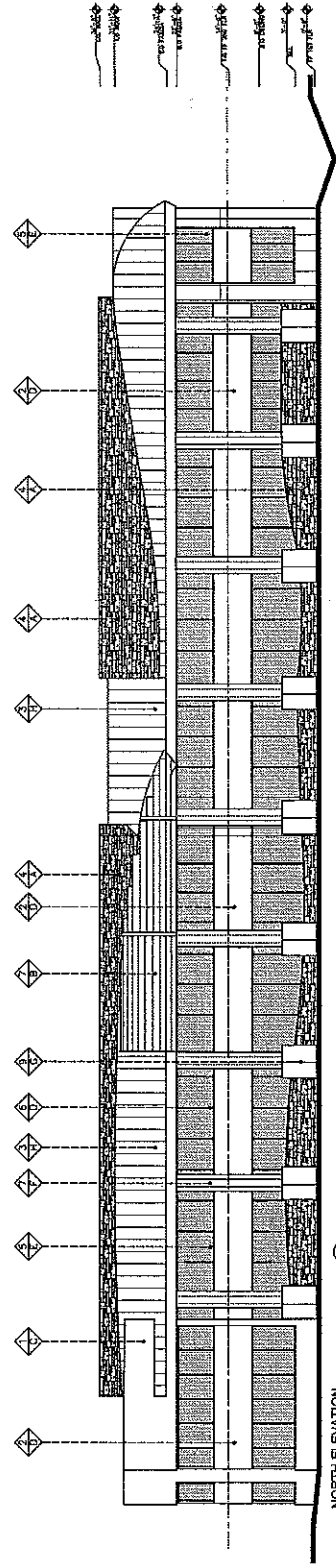
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CHECKED BY: [Name]
DATE: AUGUST 3, 2010
SCALE: 1/8" = 1'-0"

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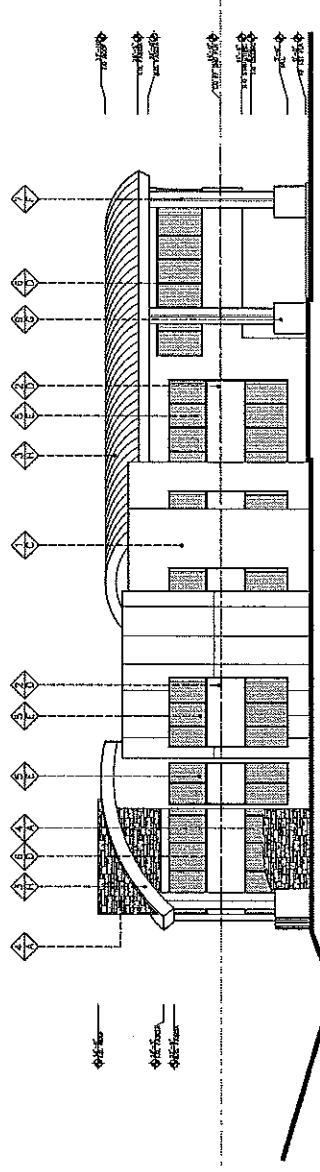


2
KEY PLAN

- KEYNOTES:**
- LEGENDS:
 - METAL
 - CONCRETE
 - WOOD
 - STONE
 - GLASS
 - ALUMINUM FINISH
 - STEEL
 - COLORFINISHES:
 - ALUMINUM ANODIZE
 - PAINT
 - STAIN
 - POLISH
 - VENEER
 - GRANITE
 - MARBLE
 - TERRAZZO
 - POLISHED CONCRETE
 - POLISHED STONE
 - POLISHED METAL
 - POLISHED WOOD
 - POLISHED GLASS
 - POLISHED STEEL
 - MATERIALS:
 - METAL
 - WOOD
 - STONE
 - GLASS
 - ALUMINUM FINISH
 - STEEL



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

1
SOUTH WING ELEVATIONS



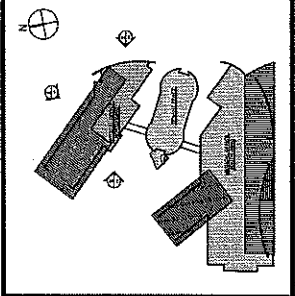
Heatncote
Architecture
& Associates
3398 Willow Lane
Westlake, California 91361
Phone: 805-491-7100

PROJECT: A4.2.1
DATE: 08/13/02

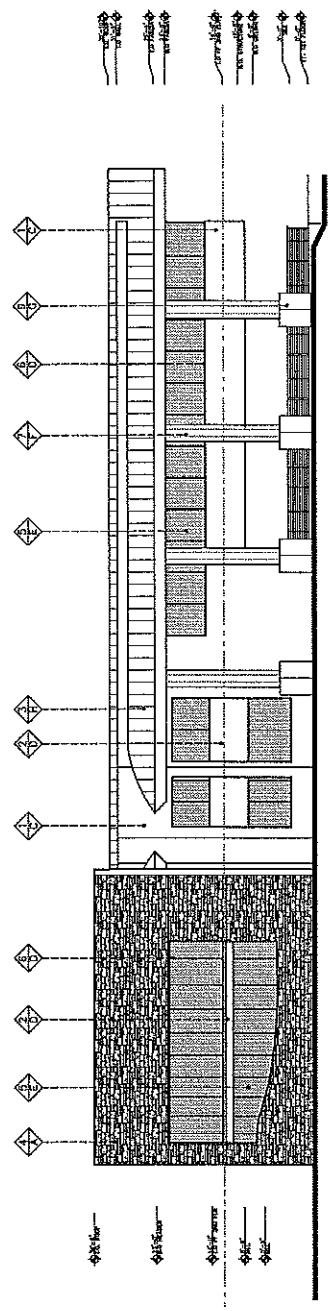


AGOURA MEDICAL PARTNERS LLC
CORNER OF CRENSHAW ROAD & AGOURA ROAD
Agoura Hills, CA

DATE	DESCRIPTION

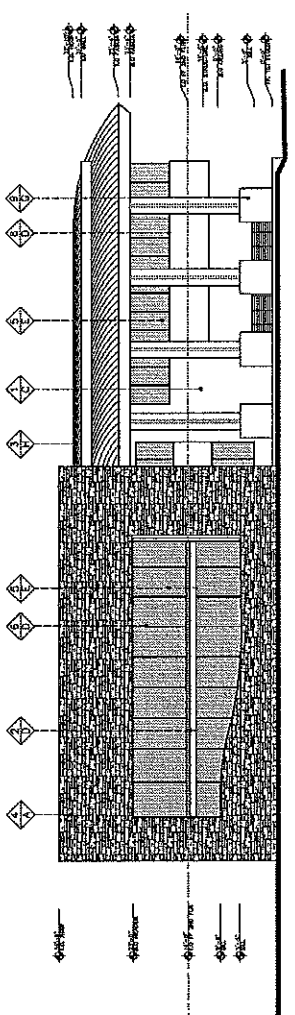


1 KEY PLAN 2

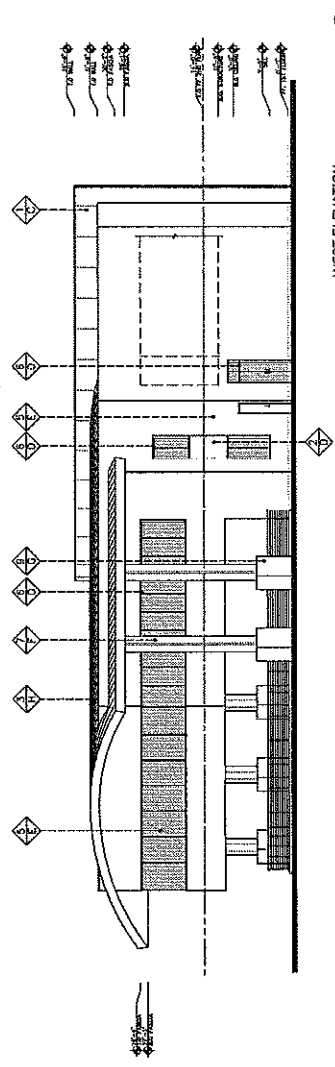


NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND:
KEYNOTES: (Symbol: circle with diamond) "SEE NOTES" (REQUIRE) (Symbol: circle with diamond) (Symbol: circle with diamond) "SEE DRAWING / PHOTO REFERENCE" (Symbol: circle with diamond)
MATERIALS: (Symbol: circle with diamond) BRICK (Symbol: circle with diamond) METAL PANEL (Symbol: circle with diamond) METAL SIDING (Symbol: circle with diamond) STAINLESS STEEL (Symbol: circle with diamond) ALUMINUM SIDING/PANEL (Symbol: circle with diamond) WOOD CHESTNUT OR STEEL
COLOR/FINISHES: (Symbol: circle with diamond) "SEE NOTES" (REQUIRE) (Symbol: circle with diamond) (Symbol: circle with diamond) DARK CHERRY "WOOD" GRAIN (Symbol: circle with diamond) DARK CHERRY "WOOD" GRAIN (Symbol: circle with diamond) CONCRETE ALUMINUM PANEL ANODIZED "MILK" BRICK (Symbol: circle with diamond) CLEAR GLASS WITH BRUSHED METAL (Symbol: circle with diamond) METAL PANEL (Symbol: circle with diamond) METAL PANEL (Symbol: circle with diamond) METAL PANEL
DETAILS: (Symbol: circle with diamond) WALL (Symbol: circle with diamond) SHAPES



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

NORTH WING ELEVATIONS



Heathcote & Associates
Architecture
3396 Willow Lane
Vadonville, VA 22901
Phone: 800-447-7470

SKETCH
A4.2.2
REVISED
DATE

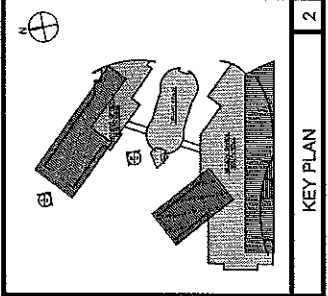


OWNER: AGOURA MEDICAL PARTNERS LLC
PROJECT: EXPANSION OF CHESTER ROAD & AGOURA ROAD

Agoura 18th, CA

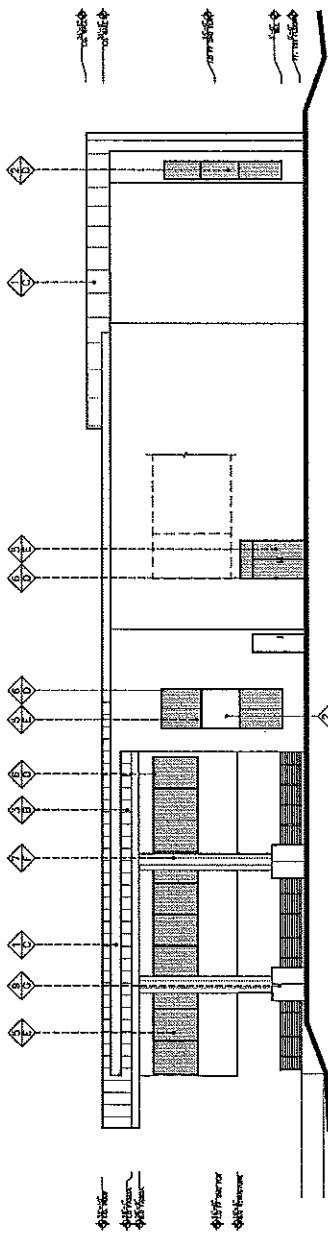
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DATE: [Blank]

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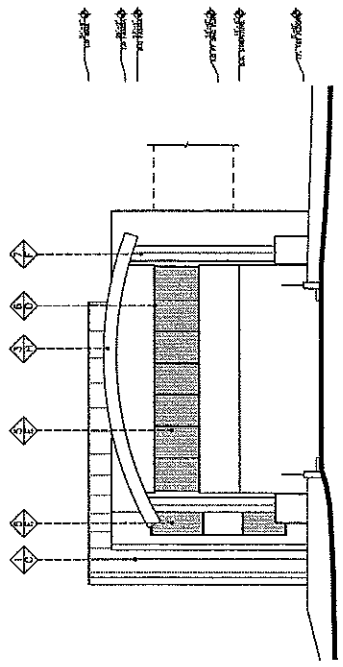


1 KEY PLAN 2

- KEYNOTES:**
- 1. SEE MATERIAL SCHEDULE FOR FINISHES
 - 2. SEE MATERIAL SCHEDULE FOR FINISHES
 - 3. SEE MATERIAL SCHEDULE FOR FINISHES
 - 4. SEE MATERIAL SCHEDULE FOR FINISHES
 - 5. SEE MATERIAL SCHEDULE FOR FINISHES
 - 6. SEE MATERIAL SCHEDULE FOR FINISHES
 - 7. SEE MATERIAL SCHEDULE FOR FINISHES
 - 8. SEE MATERIAL SCHEDULE FOR FINISHES
 - 9. SEE MATERIAL SCHEDULE FOR FINISHES
 - 10. SEE MATERIAL SCHEDULE FOR FINISHES
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 - 98. SEE MATERIAL SCHEDULE FOR FINISHES
 - 99. SEE MATERIAL SCHEDULE FOR FINISHES
 - 100. SEE MATERIAL SCHEDULE FOR FINISHES



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

1 NORTH WING ELEVATIONS 2



Heathcote & Associates
Architecture
3386 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4720

SHEET
A4.3
Lobby Elevations

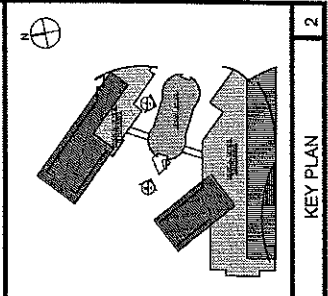


CORNER OF OBSERVATION ROAD & AGOURA ROAD

AGOURA MEDICAL PARTNERS LLC

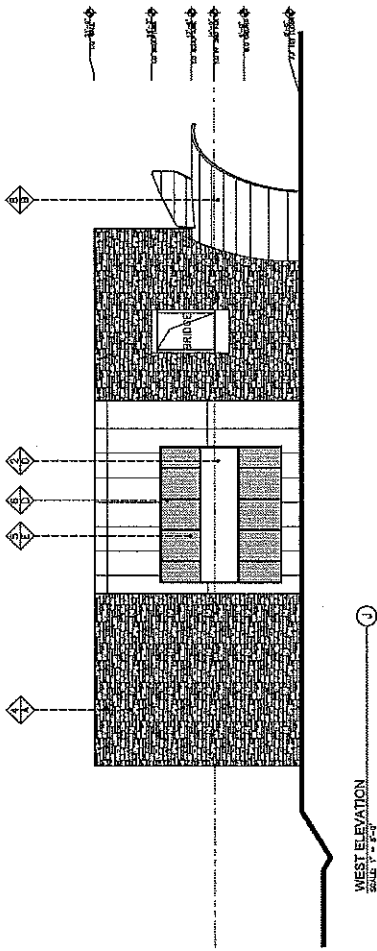
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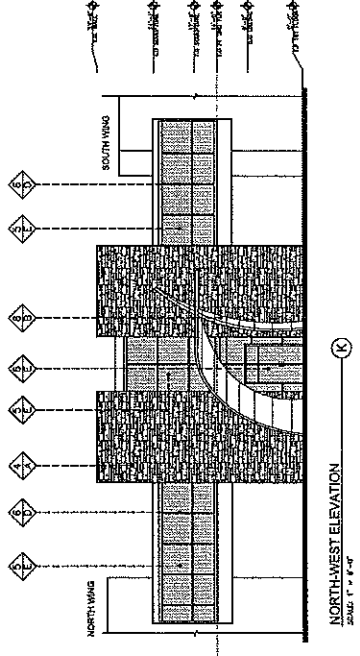


1 2
KEY PLAN

- KEYNOTES**
- ◆ SEE ARCHITECTURAL SCHEDULE FOR MATERIALS
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR FINISHES
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR COLORS
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR DETAILS
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR NOTES
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR CONDITIONS
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR TOLERANCES
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR QUALITY CONTROL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR MAINTENANCE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR SAFETY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR SECURITY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR ACCESSIBILITY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR ENERGY EFFICIENCY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR SUSTAINABILITY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR LEED CERTIFICATION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR HISTORIC PRESERVATION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR MONUMENTALITY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR ARTWORK
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR LANDSCAPE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR SIGNAGE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR LIGHTING
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR AUDIOVISUAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR FURNITURE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR FIXTURES
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR EQUIPMENT
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR UTILITIES
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR MECHANICAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR ELECTRICAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR PLUMBING
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR FIRE PROTECTION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR LIFE SAFETY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR TRANSPORTATION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR TELECOMMUNICATIONS
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR CONSTRUCTION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR OPERATIONS
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 - ◆ SEE ARCHITECTURAL SCHEDULE FOR ASSEMBLY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR STORAGE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR OFFICE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR LABORATORY
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR CLEAN ROOM
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR PHARMACEUTICAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR HOSPITAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR CLINICAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR RESEARCH
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR EDUCATION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR CULTURAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR RECREATION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR COMMERCIAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR RESIDENTIAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR INDUSTRIAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR INFRASTRUCTURE
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR TRANSPORTATION
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR UTILITIES
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 - ◆ SEE ARCHITECTURAL SCHEDULE FOR CLEAN ROOM
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 - ◆ SEE ARCHITECTURAL SCHEDULE FOR RESIDENTIAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR INDUSTRIAL
 - ◆ SEE ARCHITECTURAL SCHEDULE FOR INFRASTRUCTURE



WEST ELEVATION
SCALE: 1" = 8'-0"



NORTH-WEST ELEVATION
SCALE: 1" = 8'-0"

LOBBY ELEVATIONS



Heatjocote & Associates
Architecture
3398 Willow Lane
Westlake Village, CA 91386
Phone 805-457-4128

DATE ELEVATIONS
A4.4
SHEET

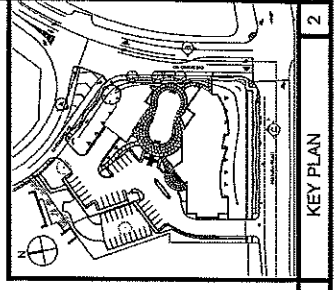


AGOURA MEDICAL PARTNERS LLC

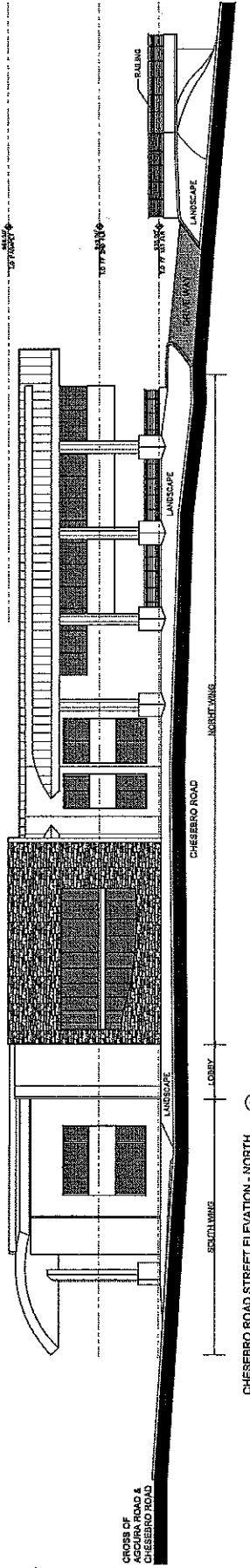
CORNER OF CHESBRO ROAD & AGOURA ROAD

Agoura Hills, CA

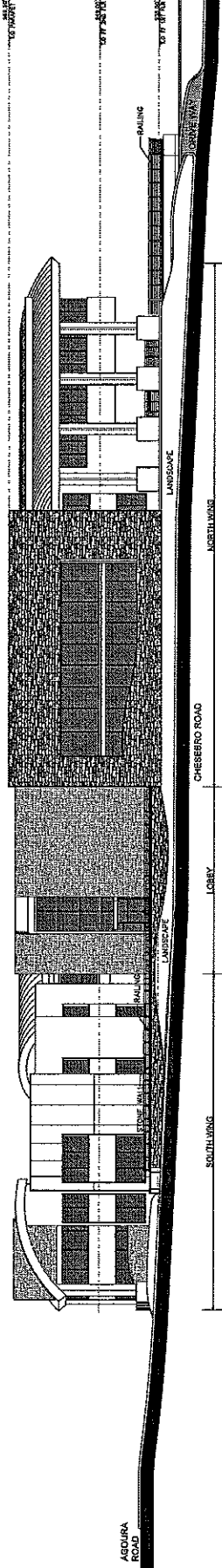
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APPROVED BY	DATE
DATE	DATE



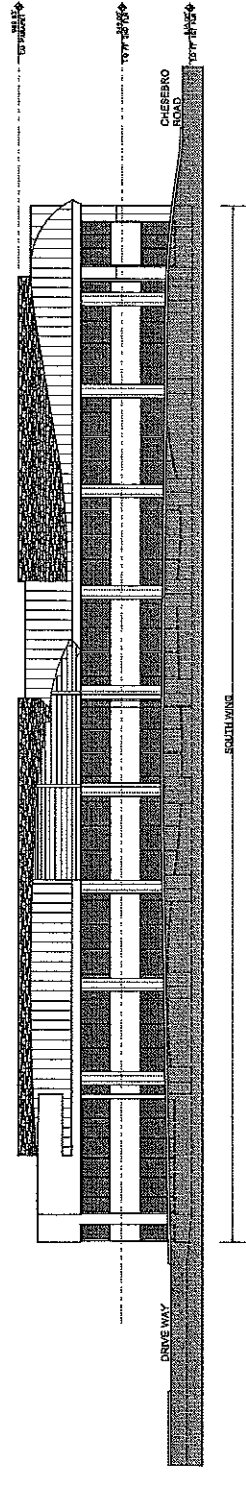
KEY PLAN
1 2



CHESBRO ROAD STREET ELEVATION - NORTH
SCALE 1" = 16'-0"



CHESBRO ROAD STREET ELEVATION - EAST
SCALE 1" = 16'-0"



AGOURA ROAD STREET ELEVATION
SCALE 1" = 16'-0"

STREET ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION



Heathcote Architecture & Associates
3398 Westlake Village
California 91361
Phone 805-457-4700

DATE: A4.5
PRELIMINARY GARAGE ELEVATION

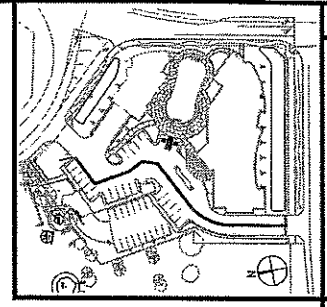


CORNER OF CHESEBRO ROAD & AGOURA ROAD

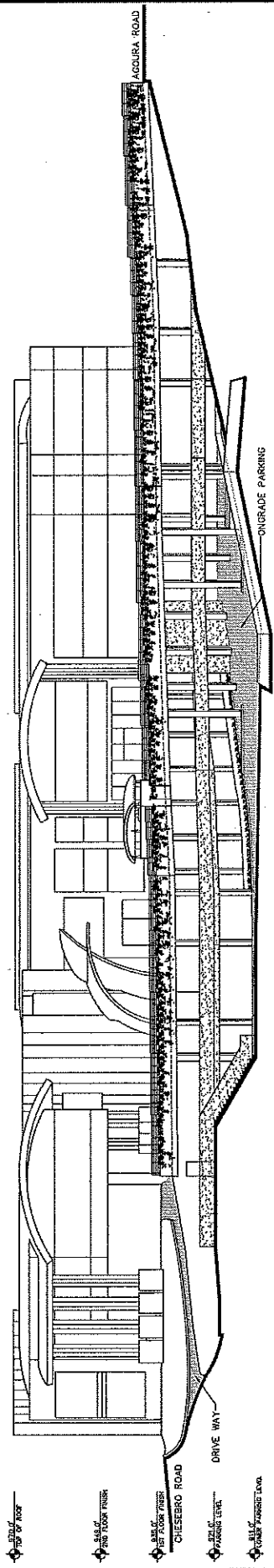
AGOURA MEDICAL PARTNERS LLC

DATE	07/14/09
BY	JK
PROJECT NO.	09-001
DESCRIPTION	AGOURA MEDICAL PARTNERS LLC
OWNER	AGOURA MEDICAL PARTNERS LLC
SCALE	AS SHOWN
PROJECT NO.	09-001
DATE	07/14/09

REVISION	
NO.	
DATE	
DESCRIPTION	
BY	
CHECKED	



KEY PLAN



DIAGRAMMATIC NORTH WEST GARAGE ELEVATION
SCALE: 1/8" = 1'-0"

- ◆ FINISH OF ROOF
- ◆ FINISH OF FIRST FLOOR FINISH
- ◆ FINISH OF SECOND FLOOR FINISH
- ◆ FINISH OF GARAGE FLOOR FINISH
- ◆ FINISH OF DRIVEWAY FINISH
- ◆ FINISH OF CONCRET PAVING FINISH

DIAGRAMMATIC GARAGE ELEVATION

1

2

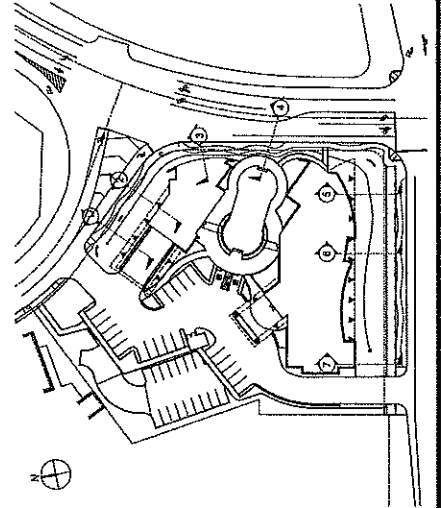


AGOURA MEDICAL PARTNERS LLC

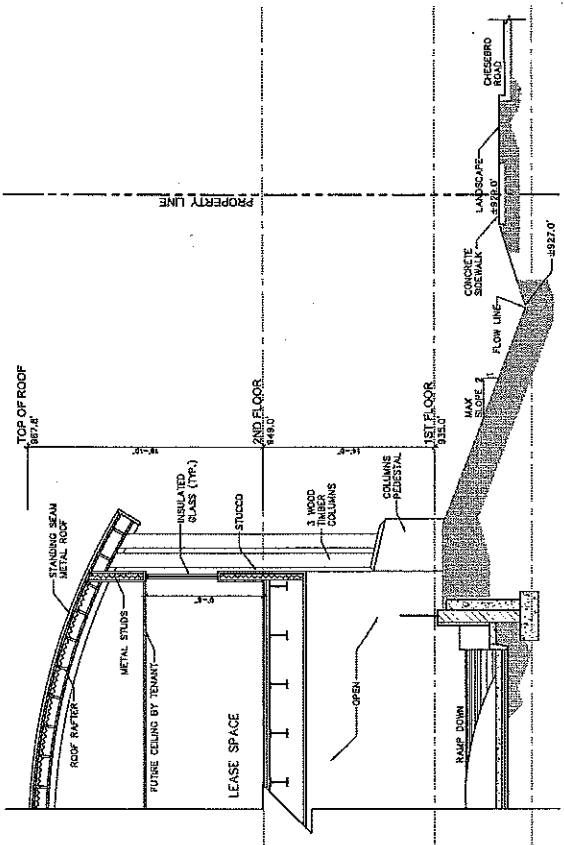
CORNER OF CHISBRO ROAD & AGOURA ROAD
 Agoura Hills, CA

DESIGNED BY	
CHECKED BY	
DATE	
SCALE	
PROJECT NO.	
DATE	

REVISION	
NO.	
DATE	
DESCRIPTION	

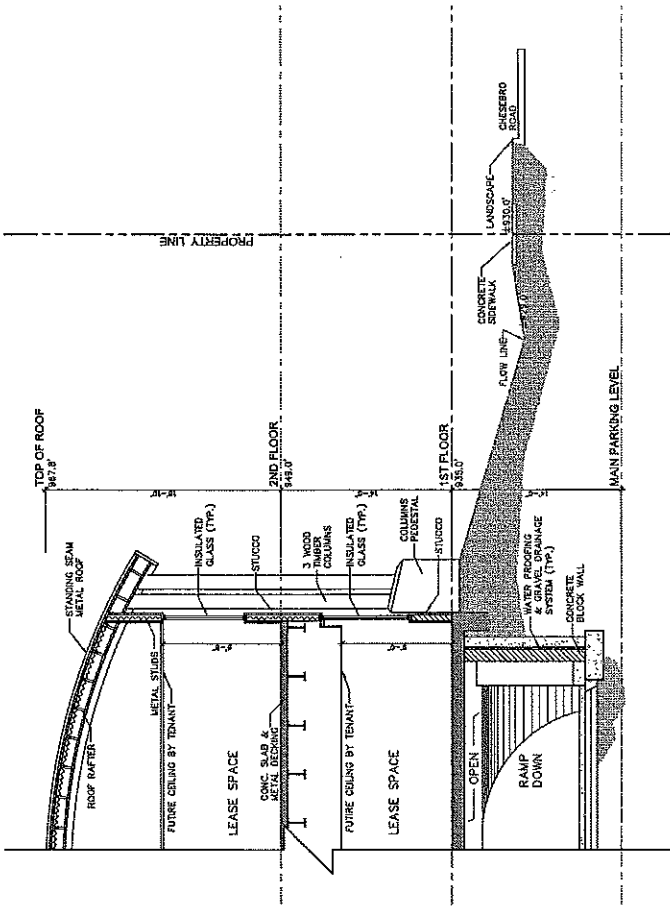


KEY PLAN



DIAGRAMATIC SECTION
 SCALE 1/4" = 1'-0"

SECTION



DIAGRAMATIC SECTION
 SCALE 1/4" = 1'-0"

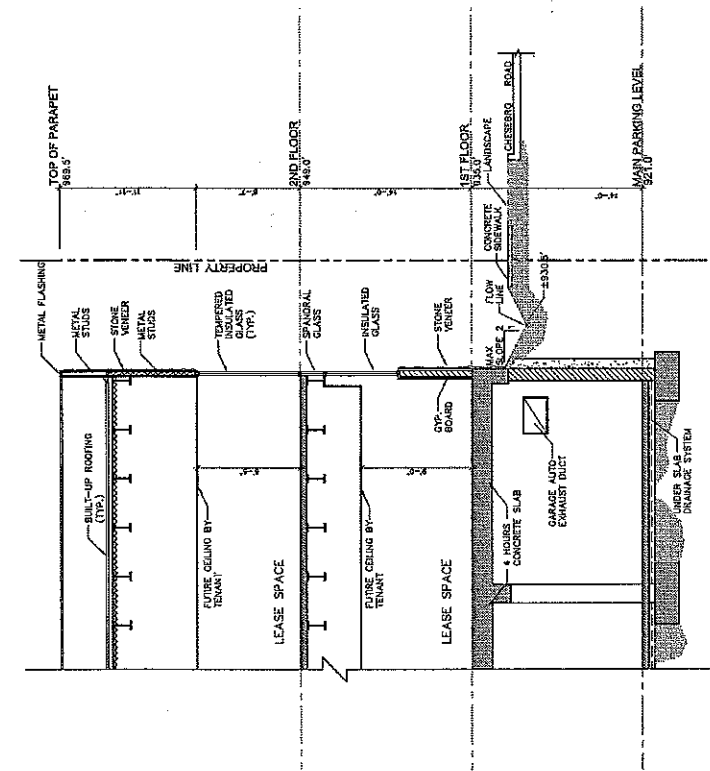
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2



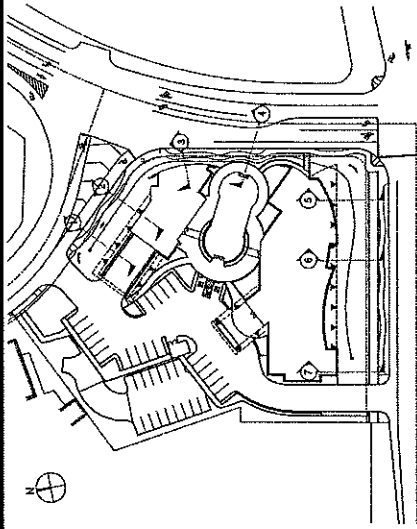
AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESTER ROAD & AGOURA ROAD

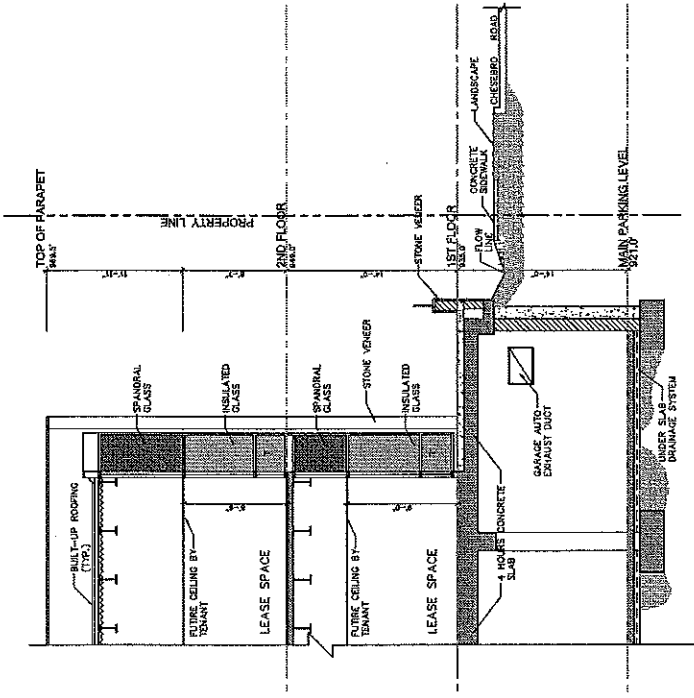


DIAGRAMMATIC SECTION
 SCALE 1/4" = 1'-0"

SECTION 3



KEY PLAN



DIAGRAMMATIC SECTION
 SCALE 1/4" = 1'-0"

SECTION 4

SECTION

REVISED	DATE	BY

DESIGN INFO
PROPERTY FILE
DATE
SCALE
DATE
BY

Agoura Medical Partners
 Agoura Medical Partners LLC
 3398 Willow Lane, Valley Forge, CA 94134
 Suite 208
 Phone 925-457-4720
 FAX 925-457-4720



HealthCote Architecture
3398 Willow Lane
Westlake, CA 91361
Phone 805-497-0100

DATE: A6.4
DRAWING SECTION



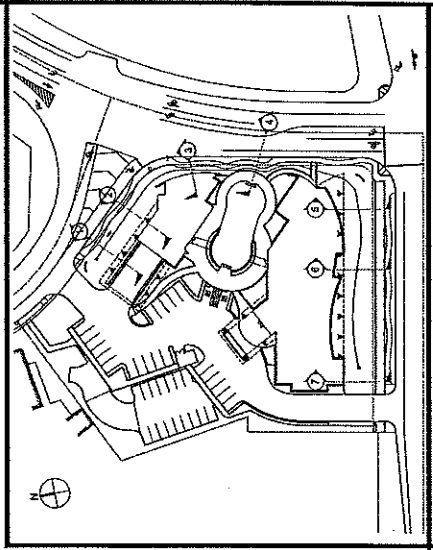
AGOURA MEDICAL PARTNERS LLC

CORNER OF CHEERING ROAD & AGOURA ROAD

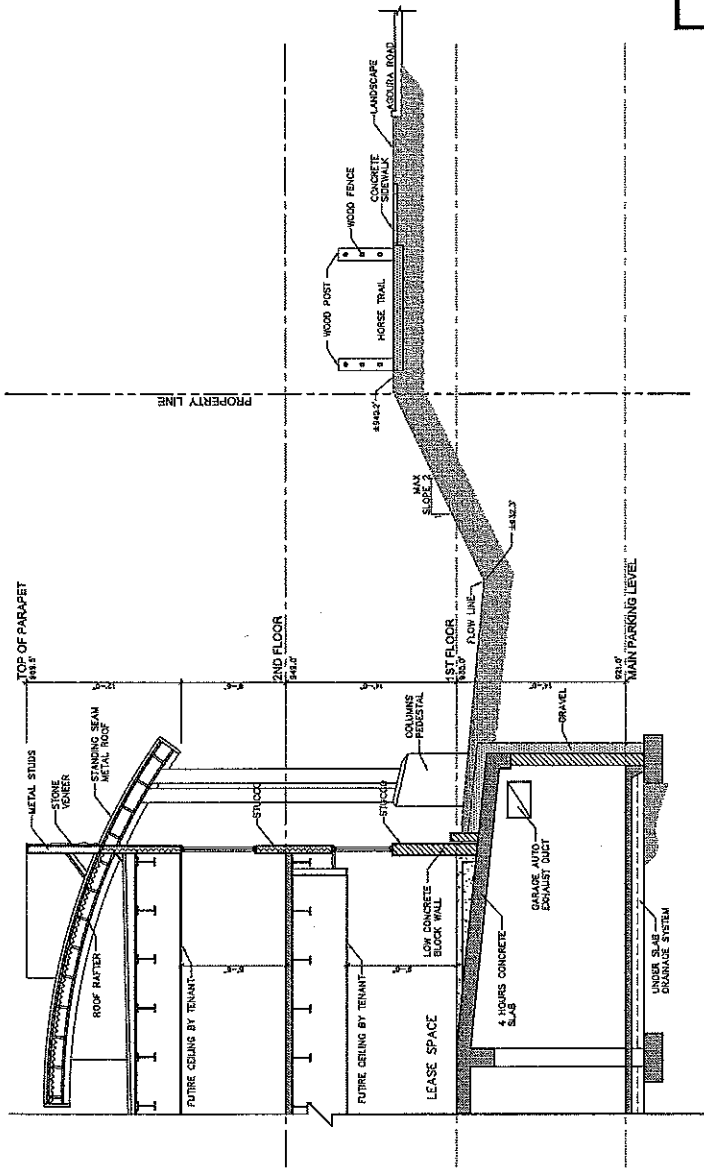
Agoura 188, CA

DATE:	08/14/15
SCALE:	AS SHOWN
PROJECT:	AGOURA MEDICAL PARTNERS LLC
DESIGNED BY:	AGOURA MEDICAL PARTNERS LLC
CHECKED BY:	AGOURA MEDICAL PARTNERS LLC
APPROVED BY:	AGOURA MEDICAL PARTNERS LLC

NO.	DATE	DESCRIPTION



KEY PLAN



DIAGRAMATIC SECTION
SCALE: 1/4" = 1'-0"

SECTION

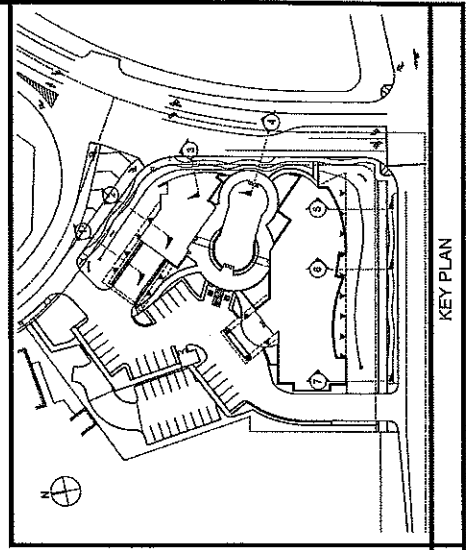


HealthGate Architecture
3398 Wilshire Lane
Suite 200
Chico, CA 95926
Phone 925-437-4700

AGOURA MEDICAL PARTNERS LLC
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AGOURA MEDICAL PARTNERS LLC

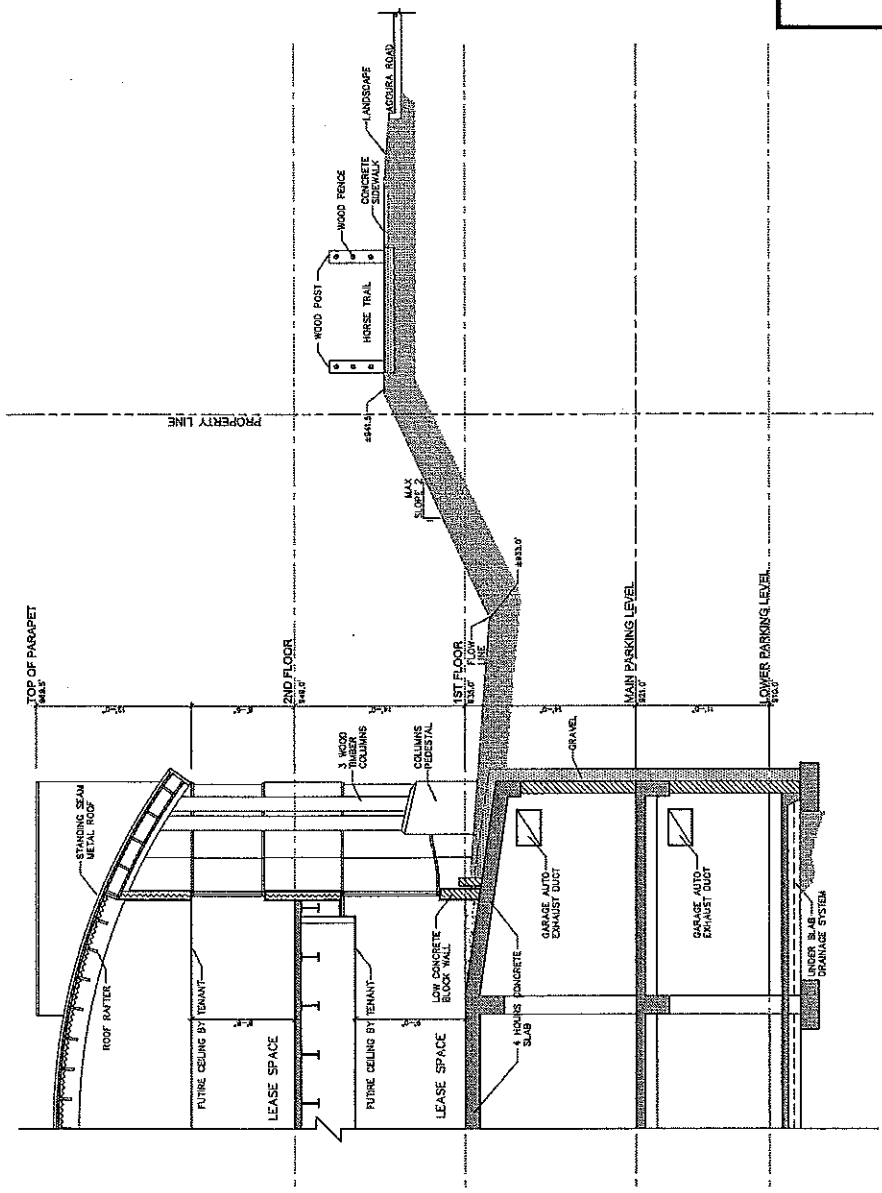


CORNER OF CHESTNUT ROAD & AGOURA ROAD
AGOURA MEDICAL PARTNERS LLC



KEY PLAN

6



DIAGRAMATIC SECTION
SCALE 1/4" = 1'-0"

SECTION



Heathcote
Architecture
& Associates
3398 Willow Lane
Village
Baltimore, MD 21208
Phone: 410-497-4100

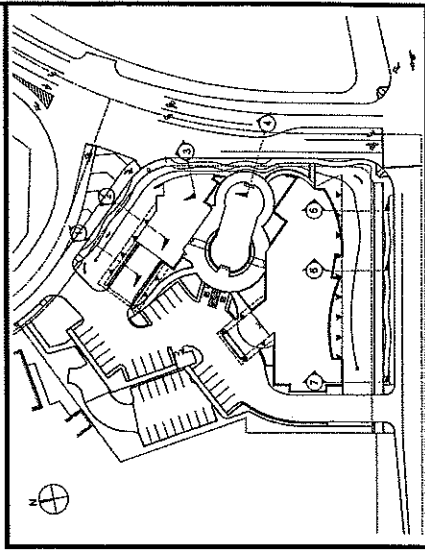
DATE: A6.6
DRAWING SECTION: 7



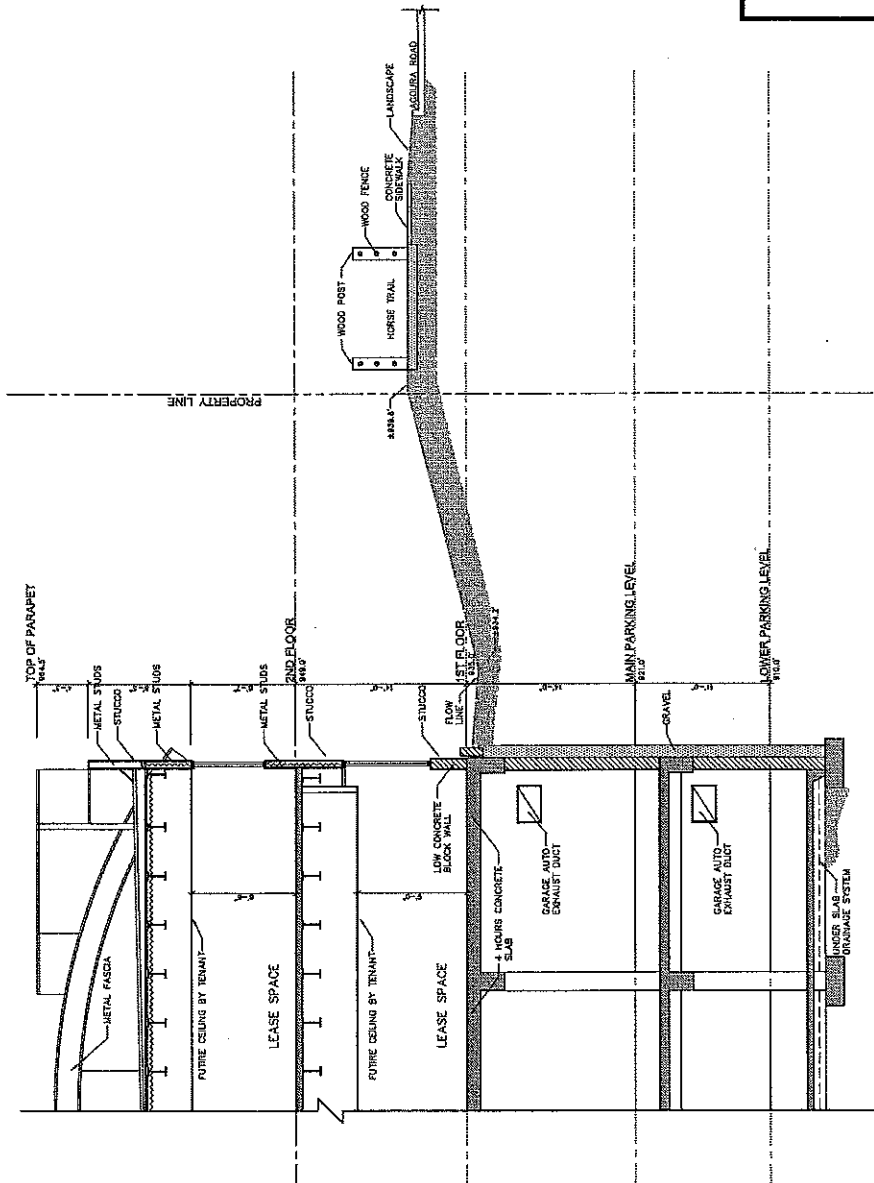
CORNER OF CHESTNUT ROAD & AGOURA ROAD
AGOURA MEDICAL PARTNERS LLC
Address No. CA

DATE: AUGUST 11, 2009
BY: [Signature]
CHECKED BY: [Signature]

PROJECT: [Blank]



KEY PLAN



DIAGRAMATIC SECTION 7
SCALE 1/4" = 1'-0"

SECTION

PRELIMINARY NOT FOR CONSTRUCTION
SCALE: AS SHOWN

A6.7

DATE:

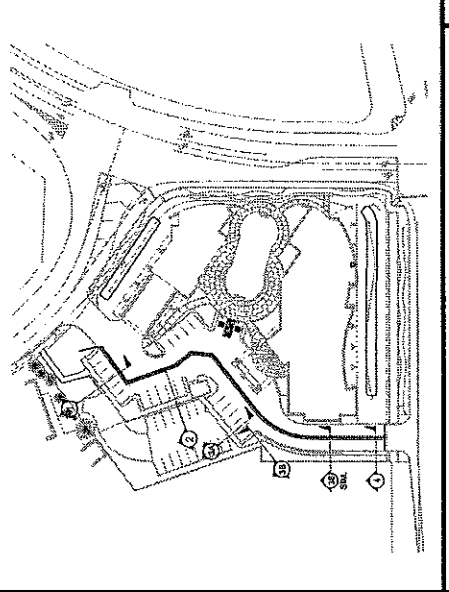
HealthCofe
Architecture
3398 Willow Lane
Village
Residence
Suite 300
Phone: 805-497-4700



COVER OF CHESTNUT ROAD & AGOURA ROAD
AGOURA MEDICAL PARTNERS LLC
Agoura Hills, CA

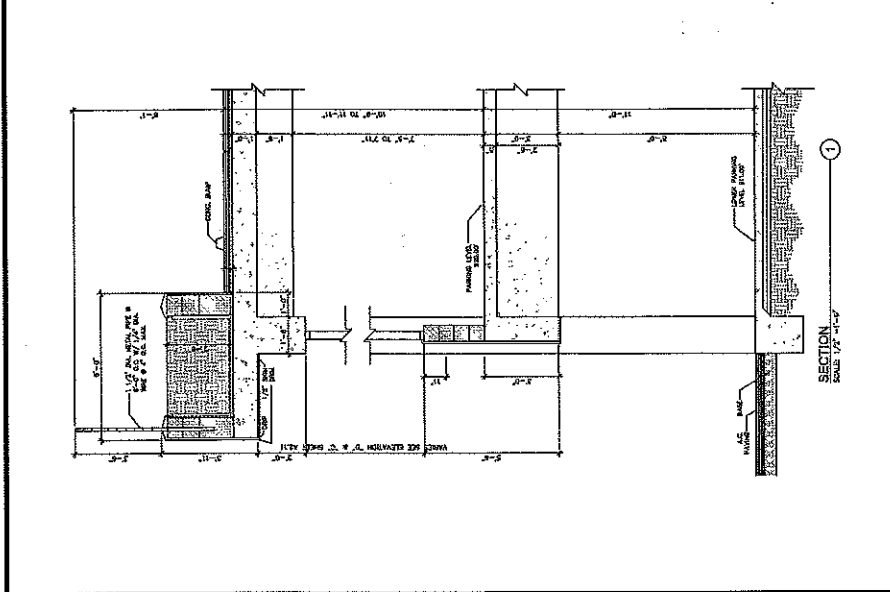
REVISION
DATE
BY
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PROJECT
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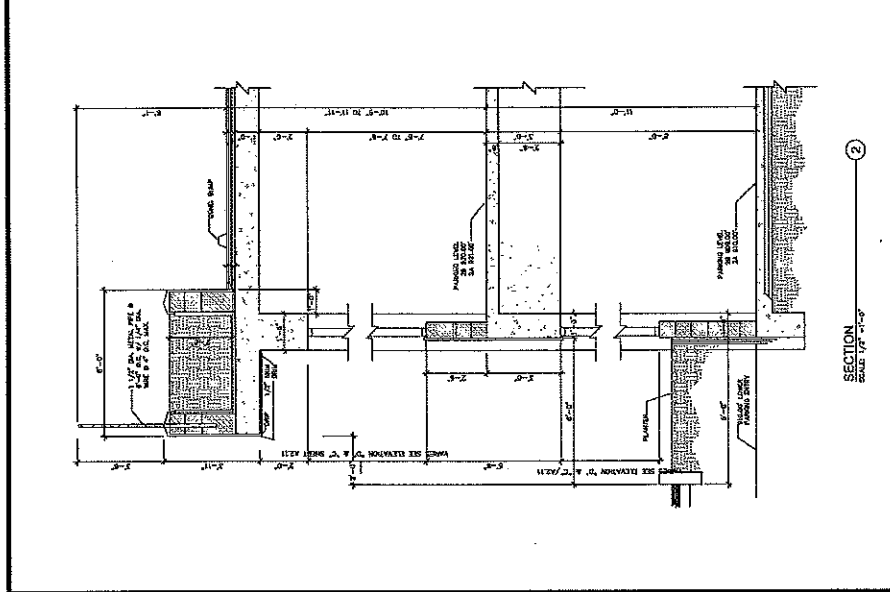
KEY PLAN

SECTION 1
SCALE: 1/8" = 1'-0"

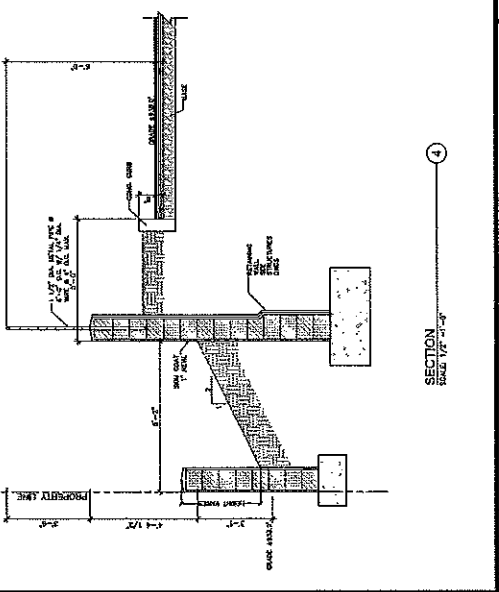


SECTION 2

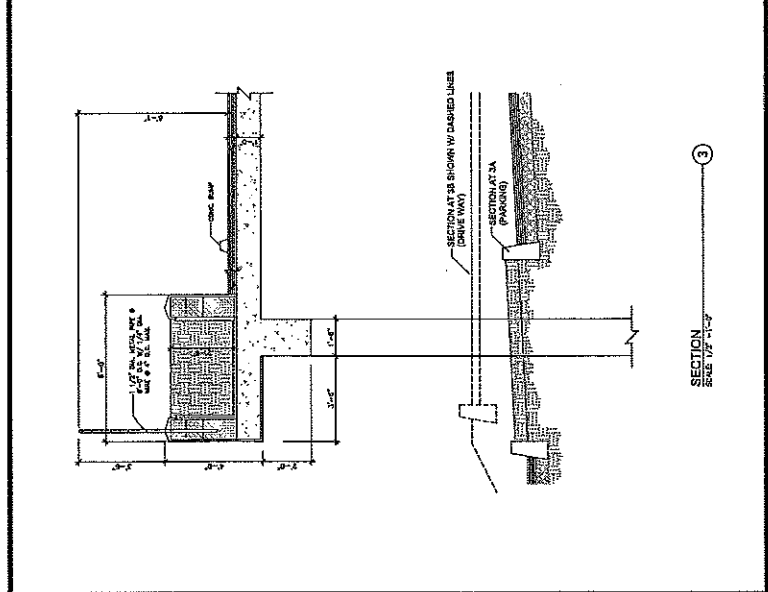
SECTION 2
SCALE: 1/8" = 1'-0"



SECTION 4



SECTION 3A & 3B





Heathcote
Architecture
& Associates
3388 Wilshire Lane
Westlake Village, CA 91361
Phone: 805-497-4700

PROJECT NO. A7.0
DATE: 08/27



CORNER OF OLISEMO ROAD & AGOURA ROAD

AGOURA MEDICAL PARTNERS LLC

Agoura Hills, CA

PROJECT NO.	A7.0
DATE	08/27
PROJECT NAME	AGOURA MEDICAL PARTNERS LLC
ARCHITECT	HEATHCOTE ARCHITECTURE & ASSOCIATES

KEYNOTES

LEGEND:

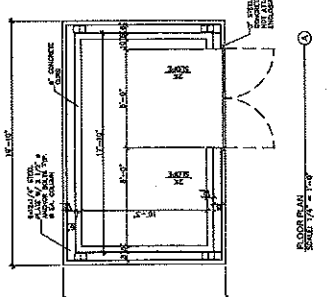
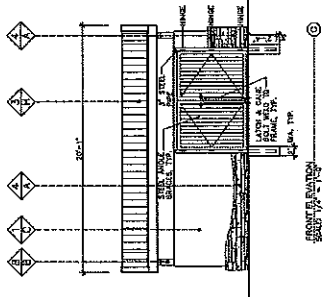
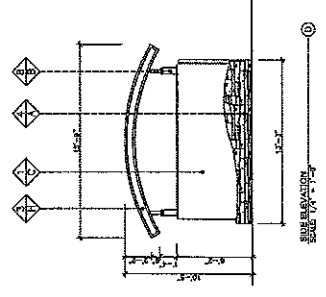
- ① SEE DRAWING SHEET
- ② SEE COLOR / PAINT SCHEDULE

MATERIALS:

- ③ BRICK
- ④ ALUMINUM PANEL
- ⑤ ALUMINUM PANEL
- ⑥ ALUMINUM PANEL
- ⑦ ALUMINUM PANEL
- ⑧ ALUMINUM PANEL
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COLOR/FINISHES:

- ① POLYURETHANE PAINT
- ② POLYURETHANE PAINT
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HealthCote & Associates
Architecture
3398 Willow Lane
Westlake Village, CA 91381
Phone: 805-497-4500

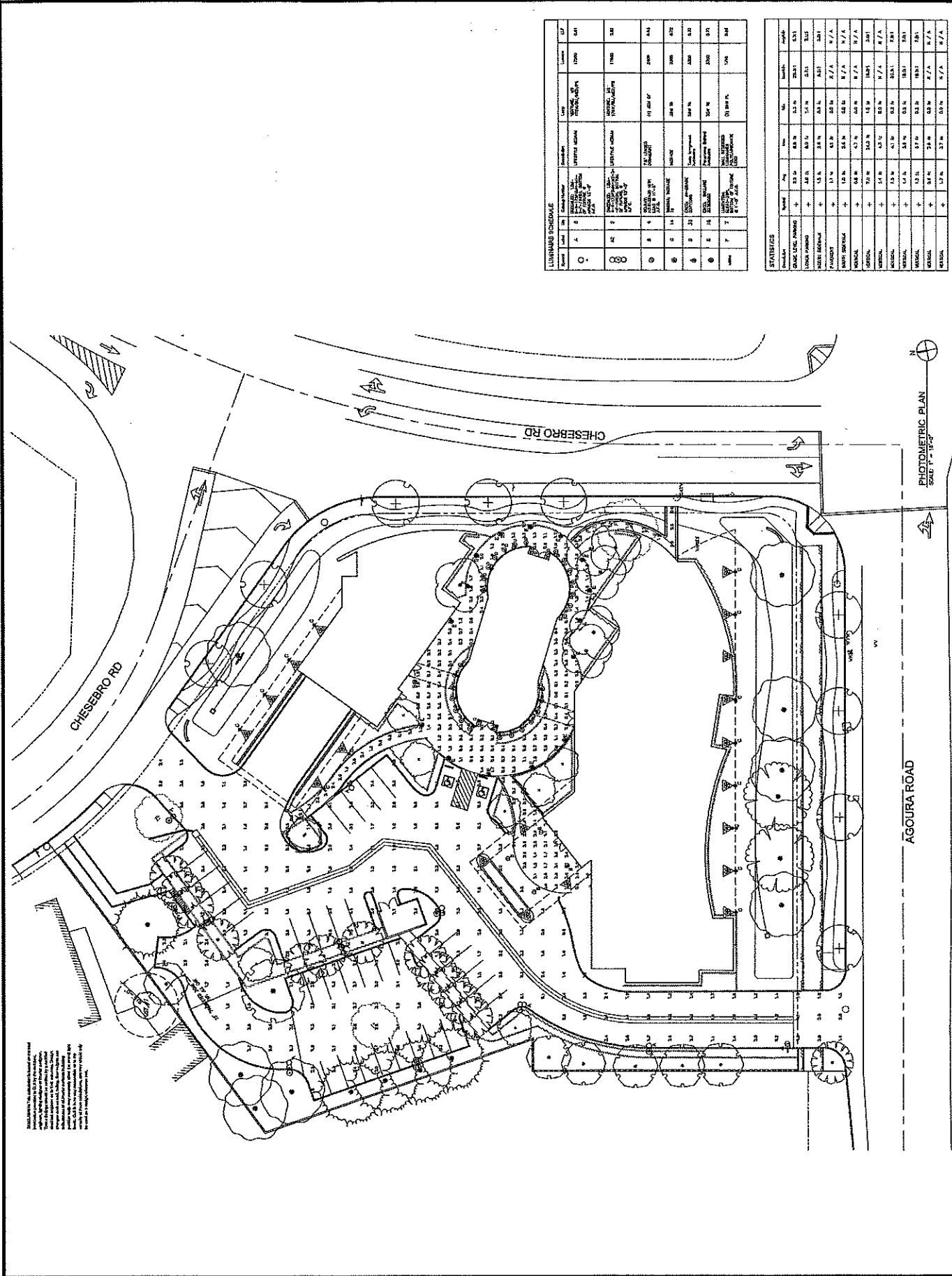
E1
NOTITMATIC PLAN



AGOURA MEDICAL PARTNERS LLC
CORNERS OF CHESEBRO ROAD & AGOURA ROAD
Agoura Hills, CA

DATE: 11/11/11
BY: [Signature]
PROJECT: [Signature]

REVISIONS



LUMINAIRE SCHEDULE

Symbol	Location	Quantity	Wattage	Beam Angle	Height	Notes
○	Office	1000	100W	120°	10'	Office lighting
○	Reception	100	100W	120°	10'	Reception area lighting
○	Waiting	100	100W	120°	10'	Waiting area lighting
○	Exam	100	100W	120°	10'	Exam room lighting
○	Procedure	100	100W	120°	10'	Procedure room lighting
○	Pharmacy	100	100W	120°	10'	Pharmacy lighting
○	Medical	100	100W	120°	10'	Medical office lighting
○	General	100	100W	120°	10'	General office lighting
○	Reception	100	100W	120°	10'	Reception area lighting
○	Waiting	100	100W	120°	10'	Waiting area lighting
○	Exam	100	100W	120°	10'	Exam room lighting
○	Procedure	100	100W	120°	10'	Procedure room lighting
○	Pharmacy	100	100W	120°	10'	Pharmacy lighting
○	Medical	100	100W	120°	10'	Medical office lighting
○	General	100	100W	120°	10'	General office lighting

STATISTICS

Category	Symbol	Quantity	Wattage	Beam Angle	Height	Notes
Office	○	1000	100W	120°	10'	
Reception	○	100	100W	120°	10'	
Waiting	○	100	100W	120°	10'	
Exam	○	100	100W	120°	10'	
Procedure	○	100	100W	120°	10'	
Pharmacy	○	100	100W	120°	10'	
Medical	○	100	100W	120°	10'	
General	○	100	100W	120°	10'	
Reception	○	100	100W	120°	10'	
Waiting	○	100	100W	120°	10'	
Exam	○	100	100W	120°	10'	
Procedure	○	100	100W	120°	10'	
Pharmacy	○	100	100W	120°	10'	
Medical	○	100	100W	120°	10'	
General	○	100	100W	120°	10'	

PHOTOMETRIC PLAN



Architecture
3385 Willow Lane
Westlake Village, CA 91361
Phone 805-437-1700

AGOURA PARTNERS
E3



AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESTER ROAD & AGOURA ROAD

Agoura Hills, CA

DATE: 01/21/13
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: [Scale]
SHEET NO.: [Number]

PROJECT: [Project Name]

ERCO Tesis In-ground luminaire

Model: [Model Name]

Dimensions: [Dimensions]

Weight: [Weight]

Material: [Material]

Finish: [Finish]

Notes: [Notes]

ERCO Tesis In-ground luminaire

Model: [Model Name]

Dimensions: [Dimensions]

Weight: [Weight]

Material: [Material]

Finish: [Finish]

Notes: [Notes]

ERCO Tesis In-ground luminaire

Model: [Model Name]

Dimensions: [Dimensions]

Weight: [Weight]

Material: [Material]

Finish: [Finish]

Notes: [Notes]

ERCO Panorama Bollard luminaire

Model: [Model Name]

Dimensions: [Dimensions]

Weight: [Weight]

Material: [Material]

Finish: [Finish]

Notes: [Notes]

ERCO Panorama Bollard luminaire

Model: [Model Name]

Dimensions: [Dimensions]

Weight: [Weight]

Material: [Material]

Finish: [Finish]

Notes: [Notes]

ERCO Panorama Bollard luminaire

Model: [Model Name]

Dimensions: [Dimensions]

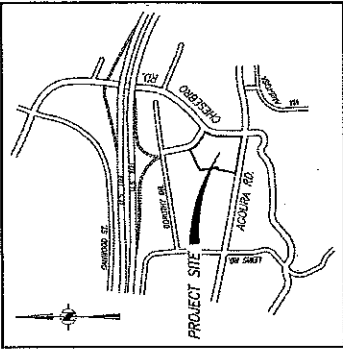
Weight: [Weight]

Material: [Material]

Finish: [Finish]

Notes: [Notes]

VICINITY MAP



OWNER/DEVELOPER:
AGOURA MEDICAL PARTNERS, LLC
23945 CALABASKS ROAD, SUITE 111
CALABASKS, CA 91302
CALIFORNIA STATE LICENSE # 44602
PHONE: (916) 722-5599
FAX: (916) 722-5511

ENGINEER:
HMK ENGINEERING, INC.
1552 18th STREET
SANTA MONICA, CA 90404
ATFIC #000214947
PHONE: (310) 449-5511

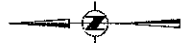
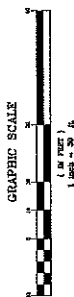
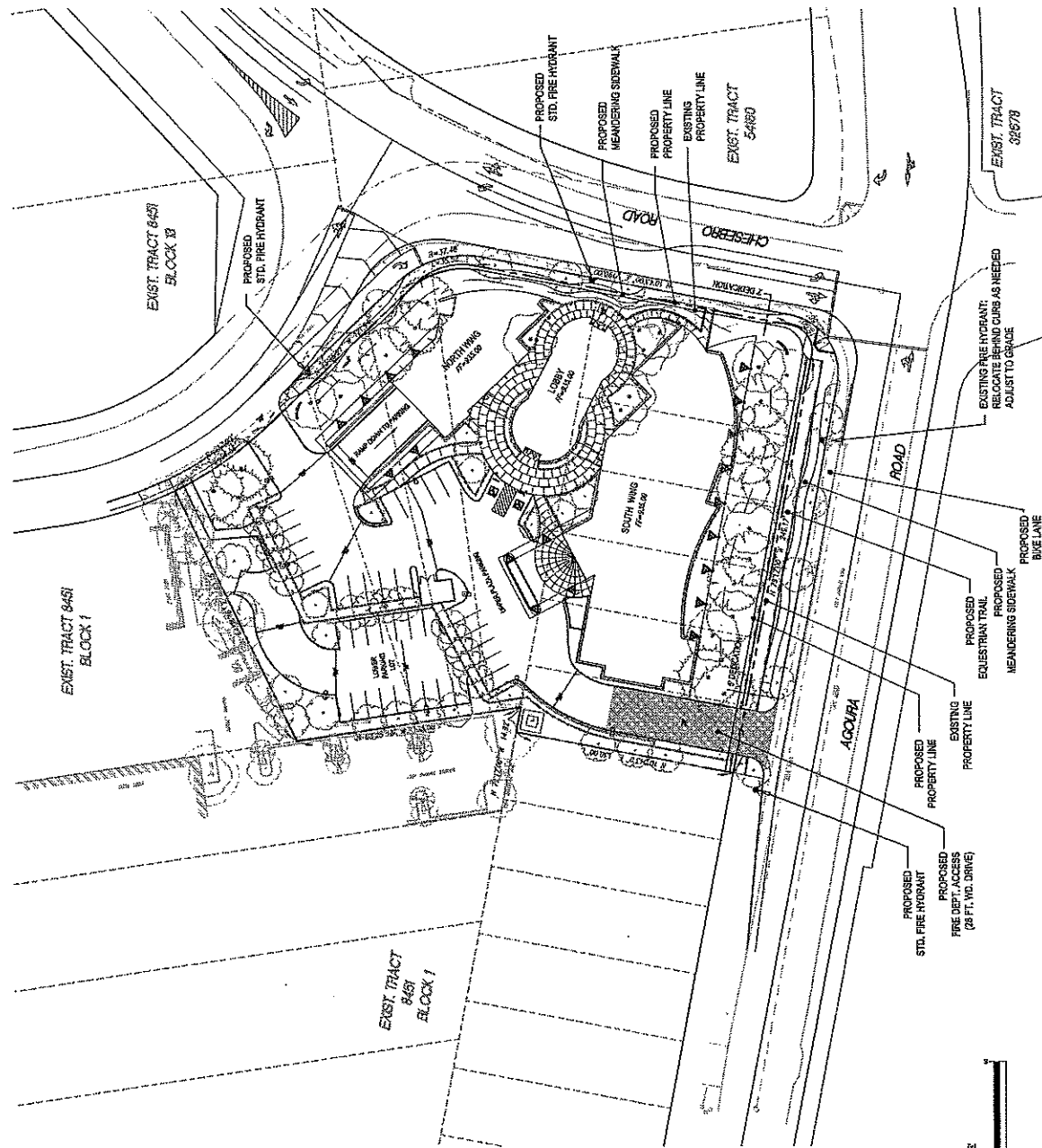
BENCHMARK:
35+1.88 = 1.00 ON THE CORNER OF A 100'X100' LOT.
35+2.28 = 5.00 ON THE CORNER OF A 100'X100' LOT.
35+2.72 = 8.00 ON THE CORNER OF A 100'X100' LOT.
35+3.16 = 11.00 ON THE CORNER OF A 100'X100' LOT.
35+3.60 = 14.00 ON THE CORNER OF A 100'X100' LOT.
35+4.04 = 17.00 ON THE CORNER OF A 100'X100' LOT.

PROPOSED LAND USAGE AND AREAS:

PROPOSED LAND USES: TWO STORY MEDICAL OFFICE BUILD. & TWO STORY PARKING STRUCTURE
TOTAL NUMBER OF LOTS: 1
GROSS AREA: TRAP SF (1.28 AC)
NET AREA: 72,308 SF (1.28 AC)
PARKING: PAVED PAVED = 24 SPACES
ASPHALT DRIVE = 118 SPACES
TOTAL = 142 SPACES

ZONING INFORMATION:

CORNER ZONING: OMS, OSM, OSM-AP/PC
HARRIS ZONING: UNDESIGNATED
HARRIS GENERAL PLANNING OFFICIAL
HARRIS GENERAL PLANNING OFFICIAL/RESA



PREPARED BY: **HMK ENGINEERING INC.**
CIVIL ENGINEERS PLANNERS LAND SURVEYORS
1552 18th STREET
SANTA MONICA, CA 90404 PHONE (310) 449-5511

PREPARED FOR: **AGOURA MEDICAL PARTNERS, LLC**
OWNER/DEVELOPER
23945 CALABASKS ROAD, SUITE 111
CALABASKS, CA 91302
(916) 722-5599

PLAN TITLE: **FIRE DEPARTMENT SITE PLAN**
TENTATIVE PARCEL MAP 70096
MEDICAL OFFICE BUILDING

SHEET NO.	DATE
2 OF 2 SHEETS	

P.L.D. No. 832

PRELIMINARY GRADING PLAN AGOURA MEDICAL PARTNERS, LLC. MEDICAL OFFICE BUILDING SWC OF AGOURA RD AND CHESEBRO RD. AGOURA HILLS, CALIFORNIA

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES 1 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY DEPARTMENTS.
- ALL EXISTING MATERIAL SHALL BE RECLAIMED TO A SITE APPROVED BY THE CITY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR OR SUBCONTRACTOR AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- ANY CHANGES IN THE WORK SEASON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSULTANT OVERSIGHT AND SUPERVISION TO ASSURE COMPLIANCE WITH ALL CITY AND STATE REQUIREMENTS AND THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - SOILS REPORT: PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A SOILS REPORT SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW. THE SOILS REPORT SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN.
 - FINAL GRADING REPORT: PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW. THE REPORT SHALL INCLUDE ALL GRADING DETAILS, EROSION CONTROL MEASURES, AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND SHALL INCLUDE ALL GRADING DETAILS, EROSION CONTROL MEASURES, AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO ENSURE THAT THE FOUNDATION AND SLAB PLANS SHOULD BE DESIGNED IN ACCORDANCE WITH ALL CITY AND STATE REQUIREMENTS AND THE AGOURA HILLS MUNICIPAL CODE.
- EXCAVATORS SHALL BE MARKED IN COMPLIANCE WITH CALIFORNIA REGULATIONS. THE LOCATION OF ALL EXCAVATIONS SHALL BE AVAILABLE TO THE CITY ENGINEER AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OWNED LANDS.

PUBLIC UTILITIES / SERVICES

WATER: 422 LAS VEGAS ROAD, FURNACE CREEK, CA 91302

ELECTRICAL: SOUTHERN CALIFORNIA Edison, 3000 POTTER LANE, IRVINE, CA 92614

TELEPHONE: BELL (P.O. BOX 100), 15001 BARKER STREET, #108, AGOURA HILLS, CA 91301

GAS: SOUTHERN CALIFORNIA GAS, 8800 SOUTHWEST AVENUE, IRVINE, CA 92618

SEWER: LA COUNTY DEPT. OF PUBLIC WORKS, 10001 BARKER STREET, #108, AGOURA HILLS, CA 91301

CABLE: TIME WARNER CABLE, 10001 BARKER STREET, #108, AGOURA HILLS, CA 91301

CABLE: CALTECH COMMUNICATIONS, 10001 BARKER STREET, #108, AGOURA HILLS, CA 91301

GULLY: CALTECH, 10001 BARKER STREET, #108, AGOURA HILLS, CA 91301

UNDERGROUND SERVICE ALERT

CALL 811 FOR THE
1-800-487-3800

THE MISSING DAYS BEFORE YOU DIG

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR STORMWATER POLLUTION CONTROL (SWPC) MEASURES AS REQUIRED BY THE SWPC ACT AND LOCAL ORDINANCES. SWPC MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SWPC ACT AND LOCAL ORDINANCES. SWPC MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SWPC ACT AND LOCAL ORDINANCES.
- A SWPC PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS PLAN SHALL BE IN ACCORDANCE WITH THE SWPC ACT AND LOCAL ORDINANCES. SWPC MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SWPC ACT AND LOCAL ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SWPC MEASURES THROUGHOUT CONSTRUCTION. SWPC MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SWPC ACT AND LOCAL ORDINANCES.

DAK TREE NOTES

- APPLICANT MUST CONTACT CITY TREE CONSULTANT PRIOR TO ANY TREE REMOVAL OR TRIMMING. TREE REMOVAL OR TRIMMING SHALL BE PERMITTED ONLY AFTER OBTAINING NECESSARY PERMITS FROM THE CITY ENGINEER.

LEGEND AND SYMBOLS

PROJECT BOUNDARY
EXISTING GRADE CONTOUR
PROPOSED GRADE CONTOUR
SLOPE ELEVATION
PROPOSED SLOPE PER PLAN
REINFORCING WALL
DRAINAGE CURB/CHANNEL
DIRECTION OF FLOW (ARROW)
CONSTRUCTION NOTE NUMBER

REVISION #	SYMBOL	APPROVED	DATE	PROJECT ENGINEER	REVIEWED BY	DATE
1			08-15-05			
2			08-22-05			
3			09-12-05			
4			11-02-05			
5			11-02-05			

LEGAL DESCRIPTION: THE PART OF LOT 14, BLOCK 1, TRACT NO. 8401, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, RECORDED AS FOLLOWS: [REPEATING LEGAL DESCRIPTION]

INDEX OF DRAWINGS: SHEET NO. 1, TITLE SHEET; SHEET NO. 2, PRELIMINARY GRADING PLAN; SHEET NO. 3, STREET IMPROVEMENTS EXHIBIT (FOR REFERENCE)

ESTIMATED EARTHWORK QUANTITIES: ESTIMATED CUT: 15,824 CF; ESTIMATED FILL: 2,822 CF; ESTIMATED OVERCUT: 2,822 CF

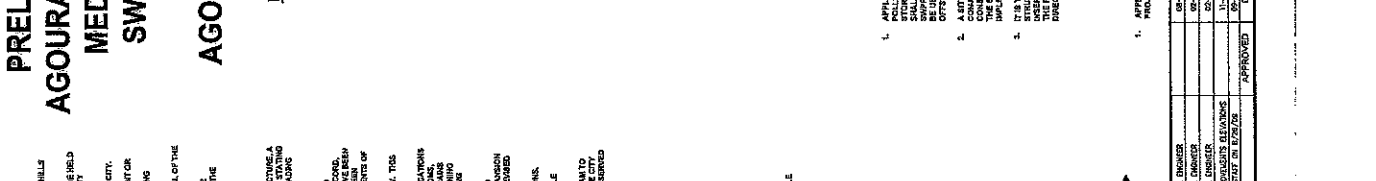
RECORD DRAWING STATEMENT: I, [NAME], CIVIL ENGINEER, REGISTERED PROFESSIONAL ENGINEER, STATE OF CALIFORNIA, LICENSE NO. [NUMBER], CERTIFICATE NO. [NUMBER], DO HEREBY CERTIFY THAT THE ABOVE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE REQUIREMENTS AND THE AGOURA HILLS MUNICIPAL CODE.

OWNER: AGOURA MEDICAL PARTNERS, LLC. ADDRESS: 32845 CALABASAS ROAD, SUITE 111, CALABASAS, CA 91302. TELEPHONE: (818) 272-1531

CIVIL ENGINEER: NAME: HAIL R. FORDHAM, INC. ADDRESS: 6524 VALCANT AVENUE, VAN NUYS, CA 91411. TELEPHONE: (818) 703-2198

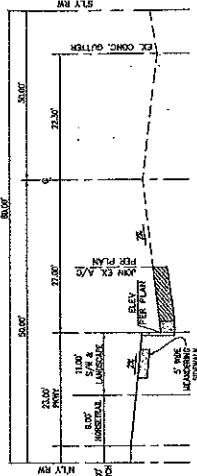
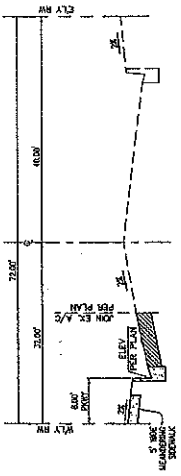
GEOTECHNICAL ENGINEER: NAME: GEOTECHNICAL CONSULTANTS, INC. ADDRESS: 6524 VALCANT AVENUE, VAN NUYS, CA 91411. TELEPHONE: (818) 703-2198

VICINITY MAP: 07 - SPR - 015 - XXXXX AGOURA ROAD. TITLE SHEET. SHEET 1 OF 1.

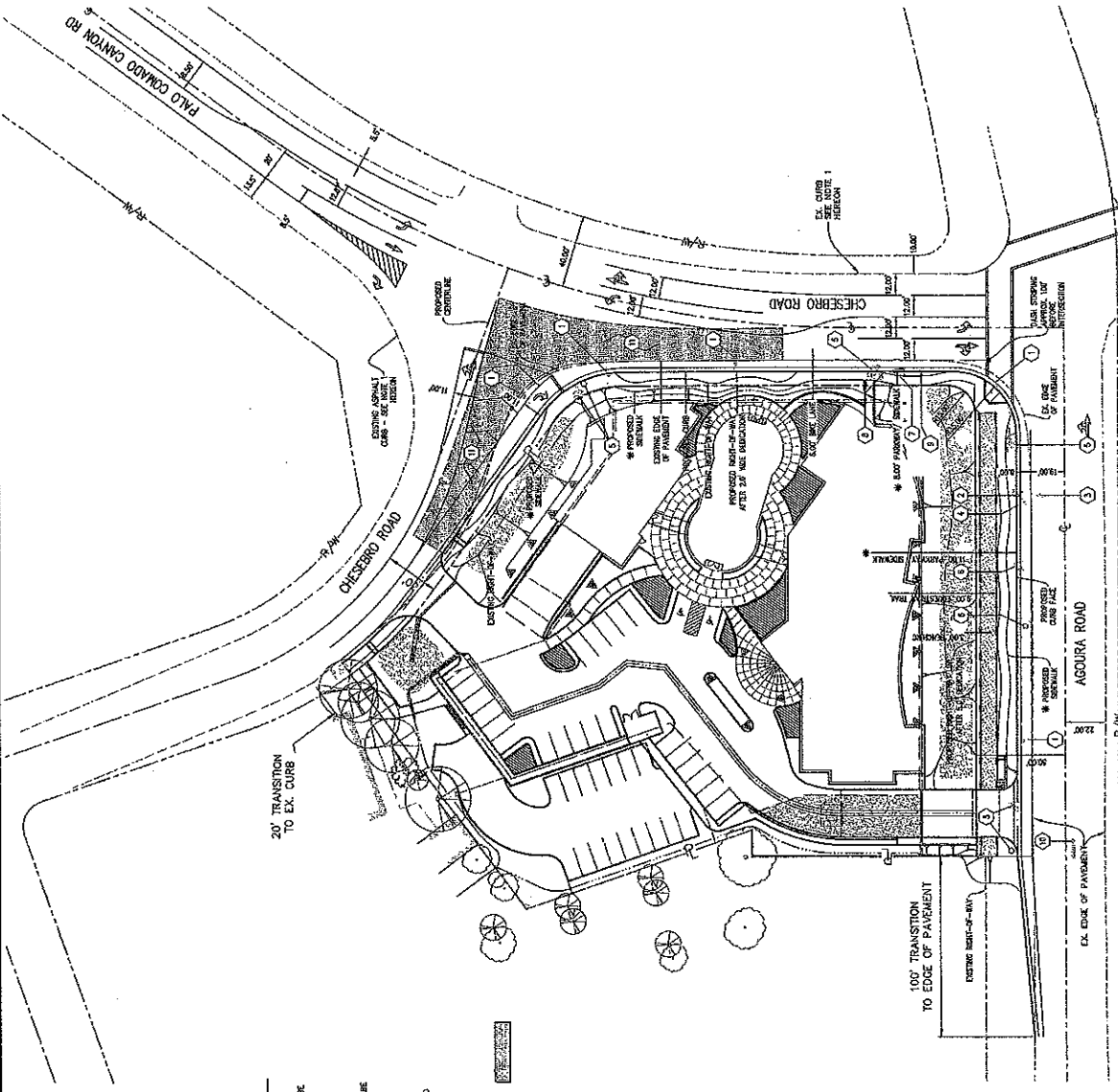
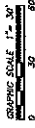


AGOURA HILLS CITY ENGINEER APPROVAL: [Signature and Stamp]

AGOURA MEDICAL PARTNERS, LLC
 MEDICAL OFFICE BUILDING
 NWC OF AGOURA RD. &
 CHESEBRO RD.
 AGOURA HILLS, CALIFORNIA



NOTE 1: ALL EXISTING EDGE OF PAVEMENT CURBS AND UTILITY LOCATIONS INFORMATION HAS BEEN PROVIDED BY PINK ENGINEERING, DATED 8-28-08



- CONSTRUCTION NOTES**
1. EXISTING SIGN TO BE RELOCATED AS REQUIRED
 2. EXISTING FIRE HYDRANT PROTECTED WITH BOLLARDS, TO BE RELOCATED AS REQUIRED
 3. EXISTING WATER VALVE TO BE RELOCATED AS REQUIRED
 4. EXISTING WATER METER TO BE RELOCATED AS REQUIRED
 5. EXISTING POWER POLE AND OVERHEAD ELECTRIC LINE TO BE RELOCATED AS SHOWN.
 6. EXISTING AIR RELEASE VALVE ON CONCRETE PAD, TO BE RELOCATED AS REQUIRED
 7. EXISTING ELECTRIC VAULT TO BE RELOCATED AS REQUIRED
 8. EXISTING CABLE TV TO BE RELOCATED AS REQUIRED
 9. EXISTING SBY WIRE TO BE RELOCATED AS REQUIRED
 10. EXISTING SANITARY SEWER MANHOLE TO REMAIN
 11. REMOVE EXISTING PAVEMENT AND OVERLAY WITH NEW PAVEMENT IN ACCORDANCE WITH LA COUNTY STANDARDS

- LEGEND**
- PROP. STREET CURB
 - PROP. STREPS
 - EX. STREET CURB / EDGE OF PAVEMENT
 - EX. RW
 - PROPOSED FOR
 - PROPOSED RECONSTRUCTED DRIVE
 - CONSTRUCTION TRAIL



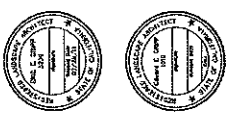
Hall & Foreman, Inc.
 Engineering, Surveying, Planning, Landscape Architecture
 2500 WEST 10TH STREET, SUITE 100, WEST GARDEN, CA 91301
 PREPARED UNDER THE SUPERVISION OF:
 Q. C. CHEN, P.E., P.L.C.
 LICENSE NO. 44187, STATE OF CALIFORNIA

AGOURA MEDICAL PARTNERS, LLC
 MEDICAL OFFICE BUILDING
 STREET IMPROVEMENT
 SHEET NO. 3 OF 3

* 5' SIDEWALK TO ADJACENT TRUCK PARKINGWAY, SIDEWALK CORRIDOR AND BUMP PAVEMENT PROPERTY OF SEVERAL AGENCIES

REVISIONS

NO.	DATE	DESCRIPTION
1	08/10/08	Initial Design
2	08/10/08	Final Design
3	08/10/08	Final Design
4	08/10/08	Final Design
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99	08/10/08	Final Design
100	08/10/08	Final Design



PRELIMINARY
 NOT FOR CONSTRUCTION

CLIENT AND PROJECT
 Medical Office Building
 Agoura Medical Plaza
 Agoura, CA
OWNER
 Agoura Medical Partners L.L.C.

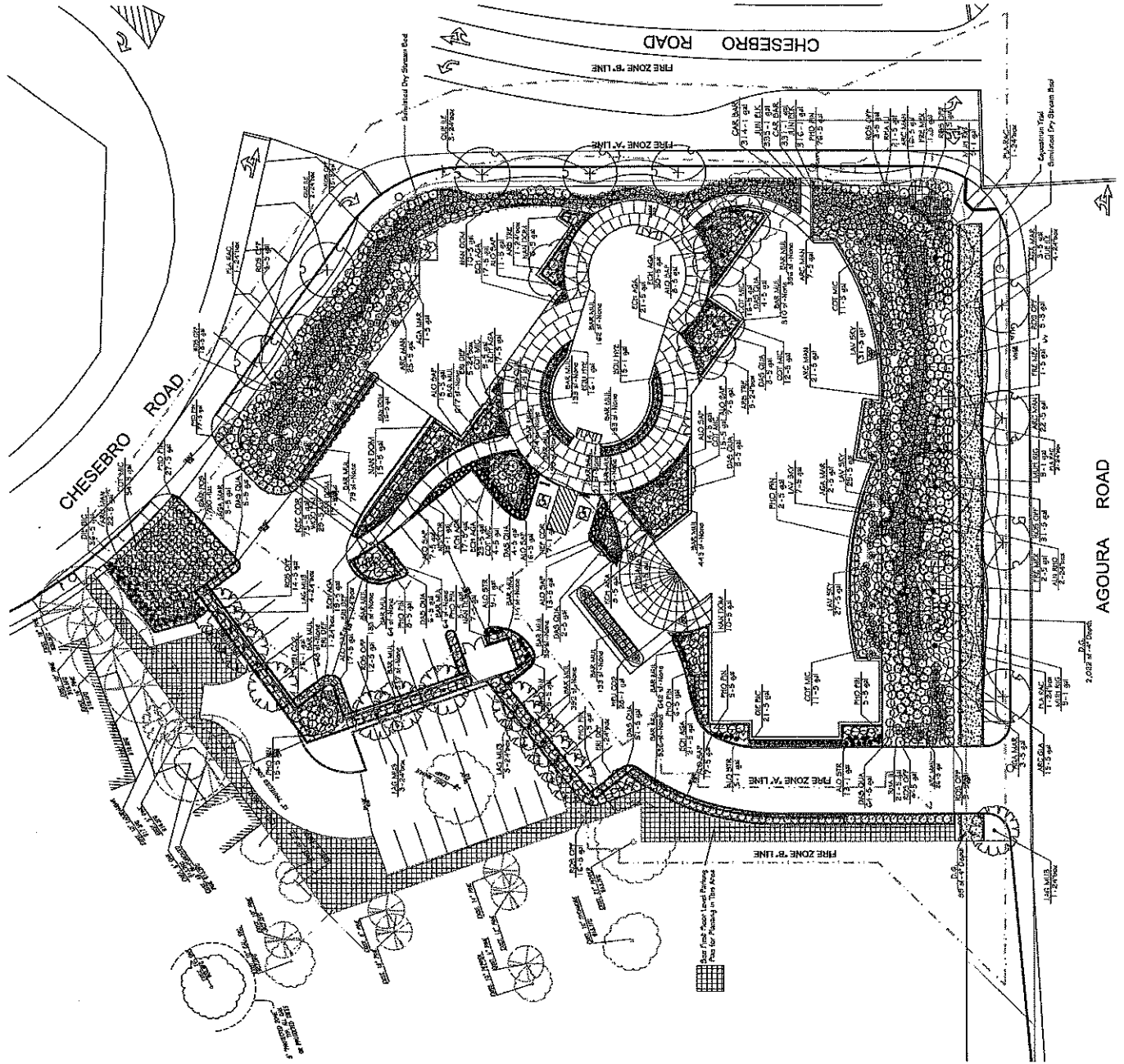
PROJECT INFORMATION
 Planting Plan (Sht. 1 of 2)
 Plaza Level

DATE 08/10/08
SCALE 1" = 8' 11"
DRAWN BY Eric Grippi
CHECKED BY

PL-1.1
of 2

PLANT SCHEDULE

SYMBOL	PLANT NAME	QUANTITY	NOTES
1	Asclepias tuberosa	10	10' x 10' spacing
2	Asclepias tuberosa	10	10' x 10' spacing
3	Asclepias tuberosa	10	10' x 10' spacing
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100	Asclepias tuberosa	10	10' x 10' spacing



NO.	DATE	REVISIONS
1	07/12/20	Initial Design
2	07/12/20	Final Design
3	07/12/20	Final Design
4	07/12/20	Final Design
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47	07/12/20	Final Design
48	07/12/20	Final Design
49	07/12/20	Final Design
50	07/12/20	Final Design



PRELIMINARY
 NOT FOR CONSTRUCTION

CLIENT AND PROJECT:
 Agoura Medical Building
 Agoura Medical Center
 11000 Agoura Road
 Agoura Hills, CA
 Agoura Medical Partners, L.L.C.

PROJECT DESCRIPTION:
 Planting Plan (Sht. 2 of 2)
 First Floor Parking Level

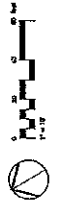
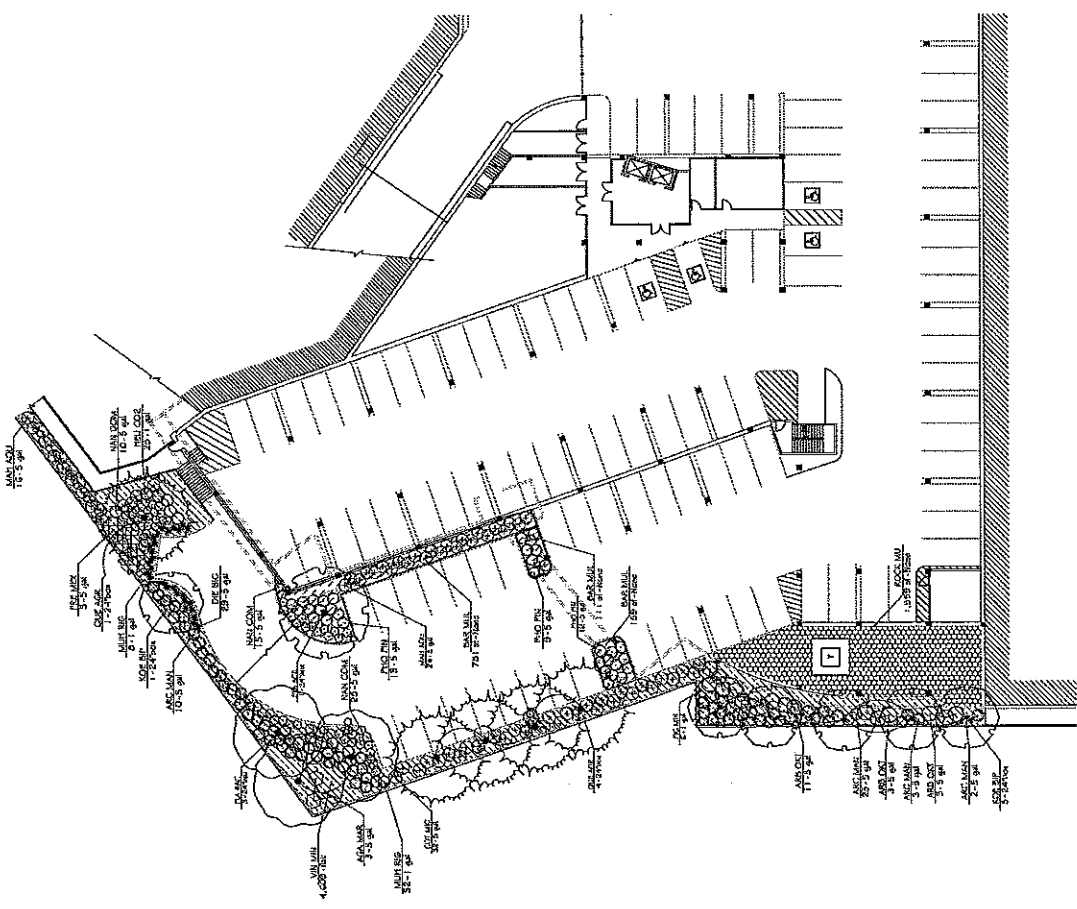
DATE: 07/12/20
SCALE: 1" = 10'
SHEET NUMBER: E.L.G. 002

PL-12
 of 2

PLANT SCHEDULE

SYMBOL	PLANT NAME	QUANTITY
1	AGOURA PALM	10
2	AGOURA PALM	10
3	AGOURA PALM	10
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47	AGOURA PALM	10
48	AGOURA PALM	10
49	AGOURA PALM	10
50	AGOURA PALM	10

NOTES:
 1. ALL PLANTS TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
 2. ALL PLANTS TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
 3. ALL PLANTS TO BE WATERED AND FERTILIZED AS NEEDED.
 4. ALL PLANTS TO BE PRUNED AS NEEDED.
 5. ALL PLANTS TO BE REPLACED AS NEEDED.
 6. ALL PLANTS TO BE PROTECTED FROM VANDALISM AND DAMAGE.
 7. ALL PLANTS TO BE PROTECTED FROM WEATHER AND CLIMATE.
 8. ALL PLANTS TO BE PROTECTED FROM PESTS AND DISEASE.
 9. ALL PLANTS TO BE PROTECTED FROM TRAFFIC AND COLLISION.
 10. ALL PLANTS TO BE PROTECTED FROM LIGHTNING AND FIRE.
 11. ALL PLANTS TO BE PROTECTED FROM OTHER HAZARDS.
 12. ALL PLANTS TO BE PROTECTED FROM UNLAWFUL ACTS.
 13. ALL PLANTS TO BE PROTECTED FROM OTHER UNLAWFUL ACTS.
 14. ALL PLANTS TO BE PROTECTED FROM OTHER UNLAWFUL ACTS.
 15. ALL PLANTS TO BE PROTECTED FROM OTHER UNLAWFUL ACTS.





**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

**Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002**

EXHIBIT D

Photo-Simulations



AGOURA MEDICAL PARTNERS LLC
ARTIST CONCEPT

HA HEATHCOTE
& ASSOCIATES
ARCHITECTURE
3396 WILLOW LANE SUITE 200
IRVINE, CALIFORNIA 92614
PHONE 949-497-9900



AGOURA MEDICAL PARTNERS LLC
ARTIST CONCEPT

IRB HEATHCOTE
& ASSOCIATES
ARCHITECTURE
3384 WILLOW LAKE SUITE 200
WESTLAKEVILLE, CA 91361
PHONE 800-497-4700



AGOURA MEDICAL PARTNERS LLC
ARTIST CONCEPT

HA HEATHCOTE
& ASSOCIATES
ARCHITECTURE
3995 WILLOW LAKE SUITE 200
WEST LAKE VILLAGE, CA 91361
PHONE 661-497-4910



**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

**Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002**

EXHIBIT E

**Photographs of the Site
&
Color Copy of the Color and Material Board**



**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

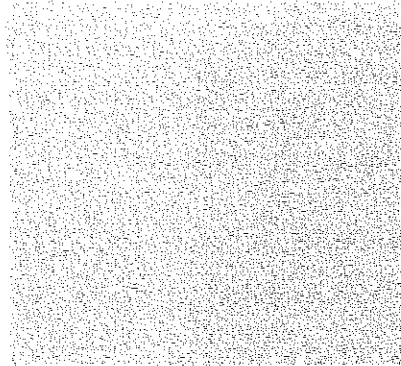
**Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002**

EXHIBIT F

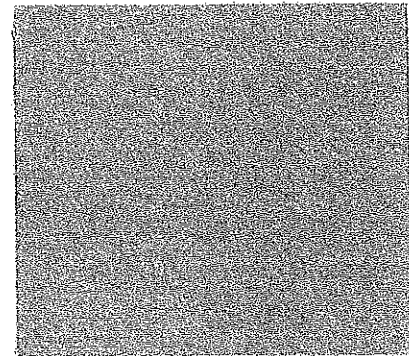
**Mitigated Negative Declaration and Mitigation Monitoring Program
(attached report)**



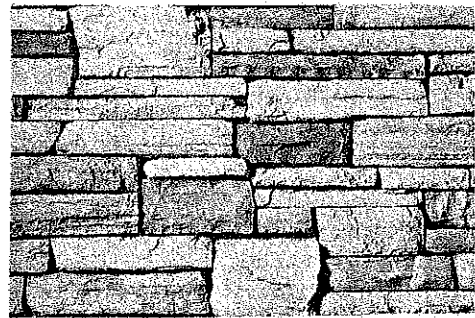
METAL



PT1: PAINT



PT2: PAINT



SV 1

PPG Ideascapes
Glass • Coatings • Paint

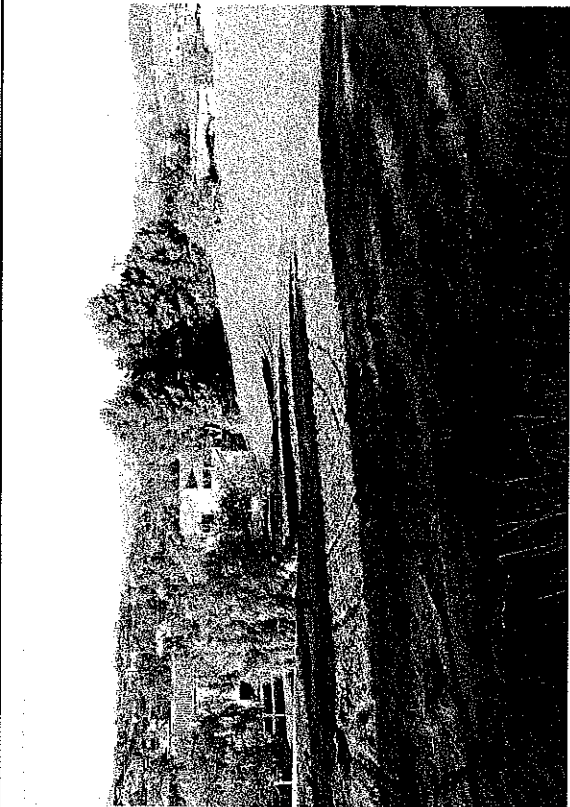
SOLARCOOL® (2) CARIBIA® Float Glass

	SHGC	Shading Coefficient	Visible Light	Winter U-Value	Summer U-Value
Monolithic 1/4"	0.38	0.44	26%	1.03	0.93
Insulating Unit	0.25	0.30	24%	0.48	0.50
Insulating Unit with Sungate® 500 (3) Glass	0.21	0.24	22%	0.35	0.35
Insulating Unit with Sungate® 100 (3) Glass	0.18	0.21	21%	0.31	0.30
Insulating Unit with Solarban® 60 (3) Glass	0.17	0.19	20%	0.29	0.28

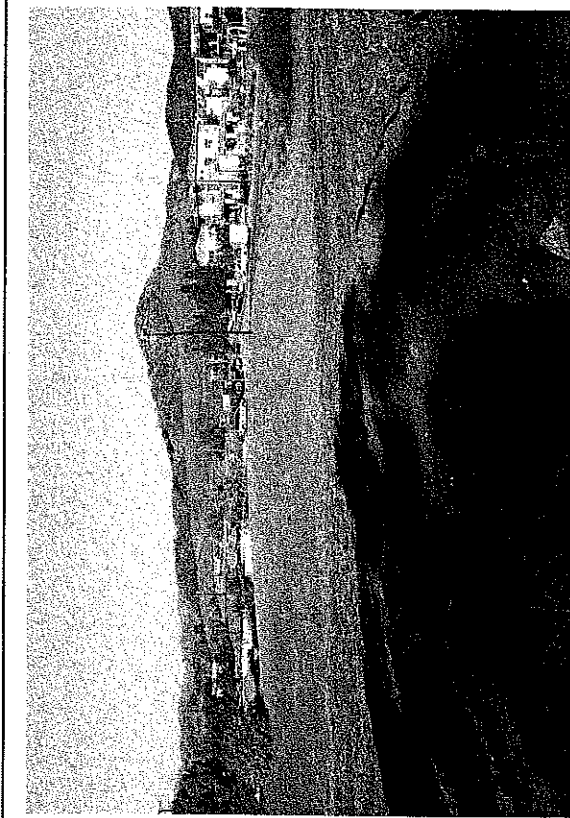
Data based on NFRC methodology using LBL Window 5.2 software. One-inch insulating glass units with two pieces of 1/4" glass and a half-inch air space. See literature or visit www.ppgglazing.com for additional data.

GL 1

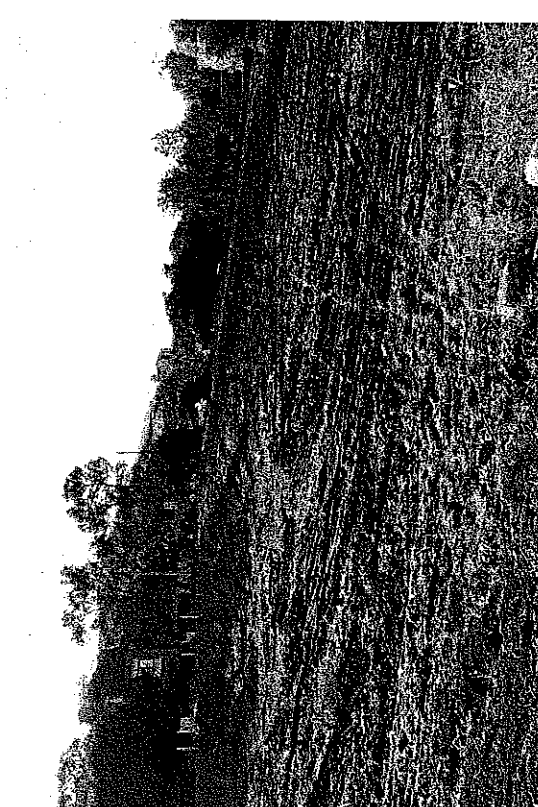
Case Nos. 07-GPA-002, 07-ZC-002, 07-SPR-015, 09-OTP-019
TPM 70096 , & 09-VAR-002



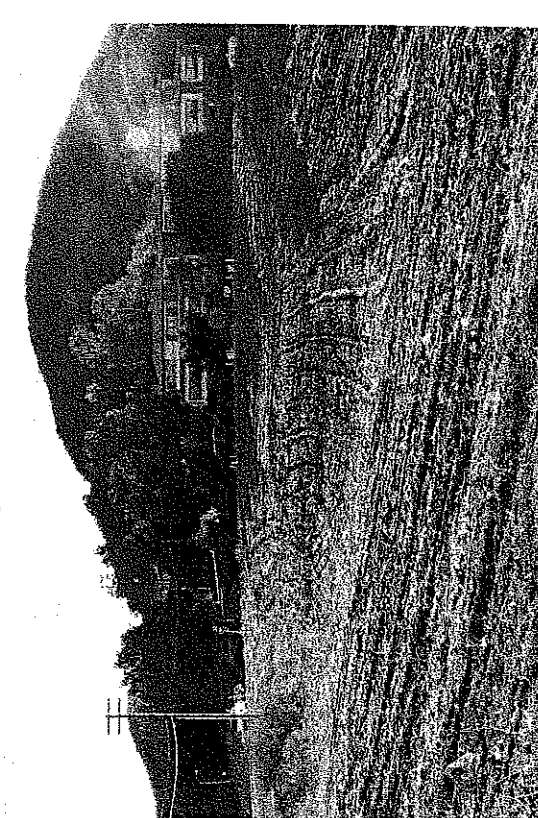
Looking North



Looking Northeast



Looking West



Looking South