

TO BE 3 IN.
TO THE CITY OF
AGOURA HILLS
78 100 PC 10

N81°33'00"E 865.14'
BASIS OF BEARINGS

CURVE DATA			
STATION	BEARING	RADIUS	ANGLE
11	S89°00'00"W	10.00'	25.62°
12	S41°30'00"W	32.40'	33.82°
13	S81°00'00"W	217.00'	82.87°

LEWIS ROAD

DOROTHY DRIVE

CHESEBRO ROAD

AGOURA ROAD

TRACT No. 8451

BLOCK 1

PARCEL D

PARCEL C

PARCEL B

PARCEL A

PARCEL 4

PARCEL 3

PARCEL 2

PARCEL 1

NOTE:
SEE SHEET 1 FOR LEGAL DESCRIPTIONS
AND TITLE REPORT NOTES

SCALE: 1"=20'

PREPARED UNDER THE DIRECTION OF:
DATE: 12/15/10

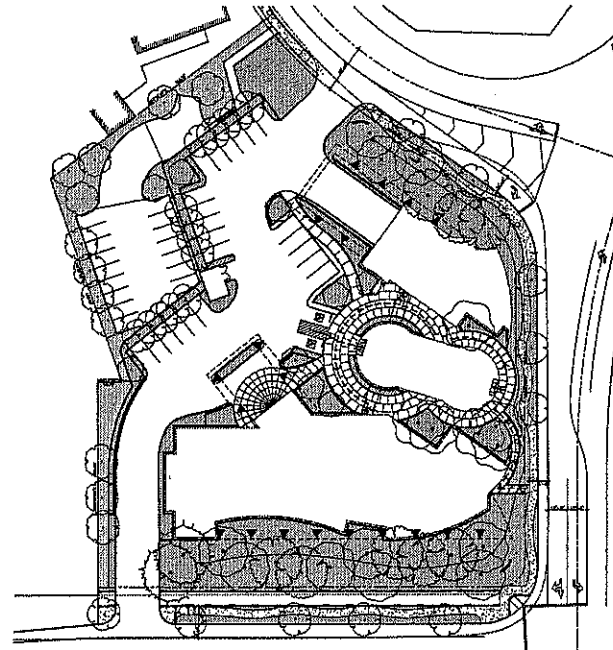
CIVIL ENGINEERS PLANNERS LAND SURVEYORS
24007 VENTURA BLVD., SUITE 102
CALABASAS, CA 91302 PHONE (818) 222-0301

MR. AL DICKENS
23845 CALABASAS ROAD, SUITE 111
CALABASAS, CA 91302

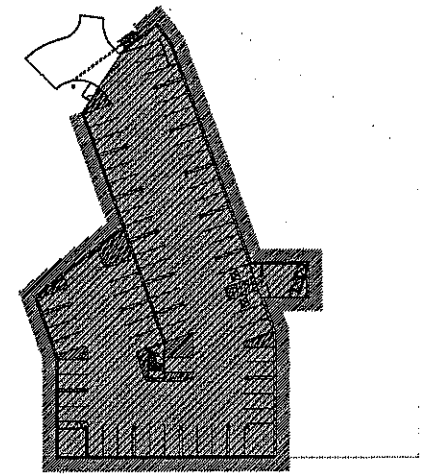
BOUNDARY AND TOPOGRAPHIC SURVEY
CHESBRO ROAD AND AGOURA ROAD
AGOURA HILLS, CALIFORNIA
SHEET 2 OF 2 SHEETS

HMK
ENGINEERING
INC.

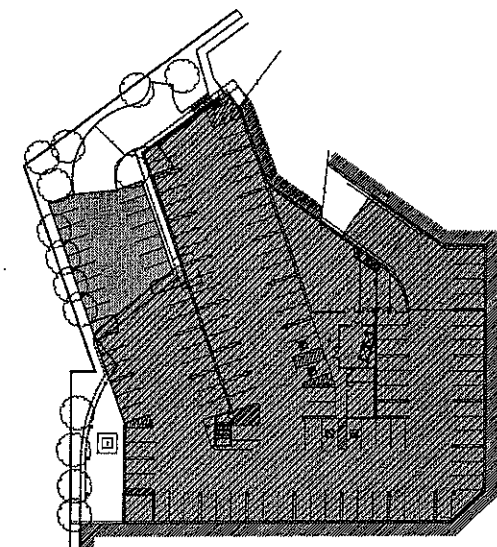




ON SITE PARKING:



LOWER LEVEL PARKING
 COVERED PARKING LOT AREA/ PARKING LOT AREA
 25,919 / 25,919 = 100%



INTERMEDIATE PARKING LEVEL
 COVERED PARKING LOT AREA/ PARKING LOT AREA
 44,794 / 45,065 = 99.4%

PARKING COVERAGE JUSTIFICATION

REVISION

DRAWING NO.
COMPUTER FILE
DATE
SCALE
JOB NO.
1718

Approved: _____
 August 18th, 2009

ACOURA MEDICAL PARTNERS LLC

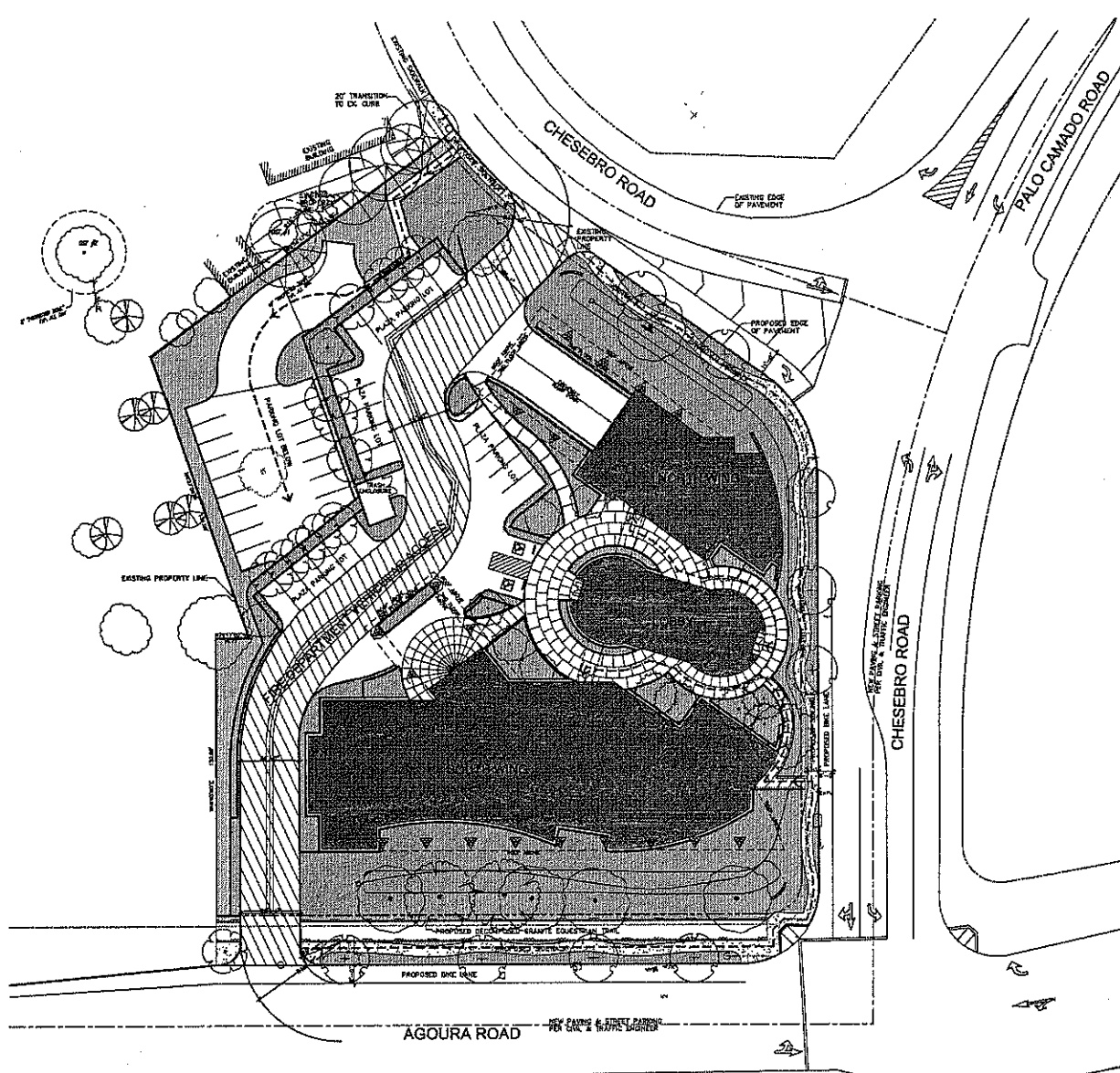
COUNTY OF CHESBOND ROAD & ACOURA ROAD



Heathcote & Associates
 Architecture
 3398 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

SHEET
T3
PARKING COVERAGE JUSTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION



DIAGRAMMATIC FIRE DEPARTMENT VEHICULAR ACCESS PLAN
SCALE: 1" = 20'-0"

LEGEND

---> FIRE PATH OF TRAVEL

[Hatched Box] ON-SITE FIRE DEPARTMENT VEHICULAR ACCESS

REVISIONS

DRAWING INFO
COMPUTER FILE
DATE
AUGUST, 2008
SCALE
BY NO.
1718

AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESEBRO ROAD & AGOURA ROAD

Approved 1/16/09

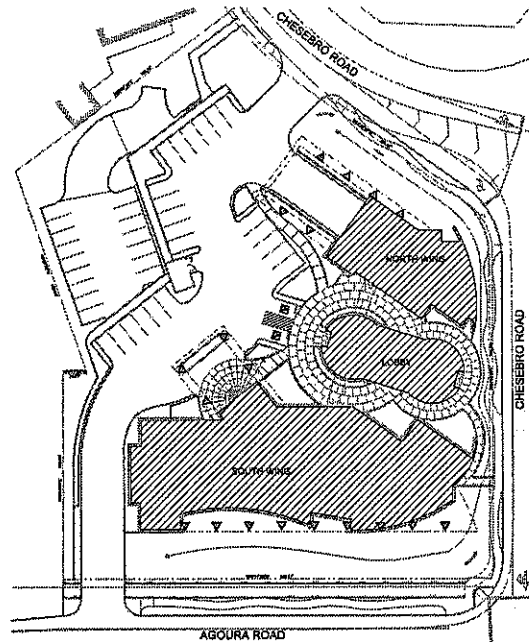


Heathcote & Associates
Architecture

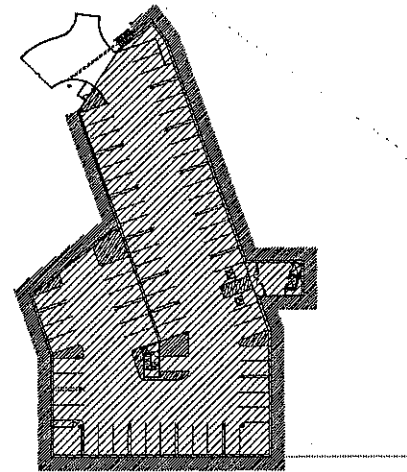
3396 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

SHEET
T4.0
FIRE VEHICULAR ACCESS

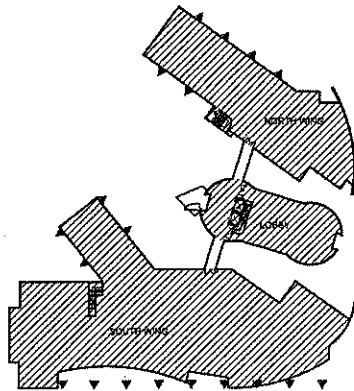
PRELIMINARY NOT FOR CONSTRUCTION



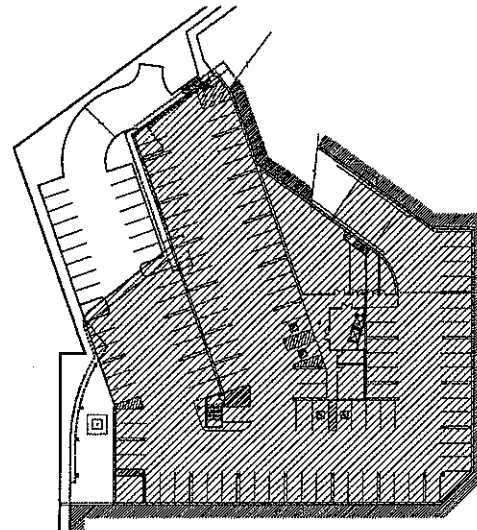
FIRST FLOOR
BUILDING FLOOR AREA: 19,268 SQ. FT.




LOWER LEVEL PARKING FLOOR:
BUILDING FLOOR AREA: 23,918 SQ. FT.



SECOND FLOOR
BUILDING FLOOR AREA: 22,343 SQ. FT.



INTERMEDIATE PARKING FLOOR
BUILDING FLOOR AREA: 44,764 SQ. FT.

 FLOOR BUILDING AREA

TYPE OF CONSTRUCTION:
MEDICAL
PARKING STRUCTURE: TYPE I, SPRINKLED

OCCUPANCY CLASSIFICATION:
GROUP B OCCUPANCY

BUILDING SQUARE FOOTAGE CALCULATIONS:

TOTAL 2 STORY MEDICAL OFFICE WITH A TWO STORY PARKING STRUCTURE.

1ST FLOOR BUILDING AREA:	19,268 SQ. FT.
1ST FLOOR TOTAL SQ. FT.	19,268 SQ. FT.
2ND FLOOR BUILDING AREA:	22,343 SQ. FT.
2ND FLOOR TOTAL SQ. FT.	22,343 SQ. FT.
PARKING LEVEL BUILDING AREA:	44,764 SQ. FT.
PARKING LEVEL TOTAL SQ. FT.	44,764 SQ. FT.
100% PARKING LEVEL BUILDING AREA:	23,918 SQ. FT.
LOWER PARKING LEVEL TOTAL SQ. FT.	23,918 SQ. FT.

REVISIONS

DRAWING INFO
COMPUTER FILE
DATE
AUGUST, 2008
SCALE
DATE
1/18

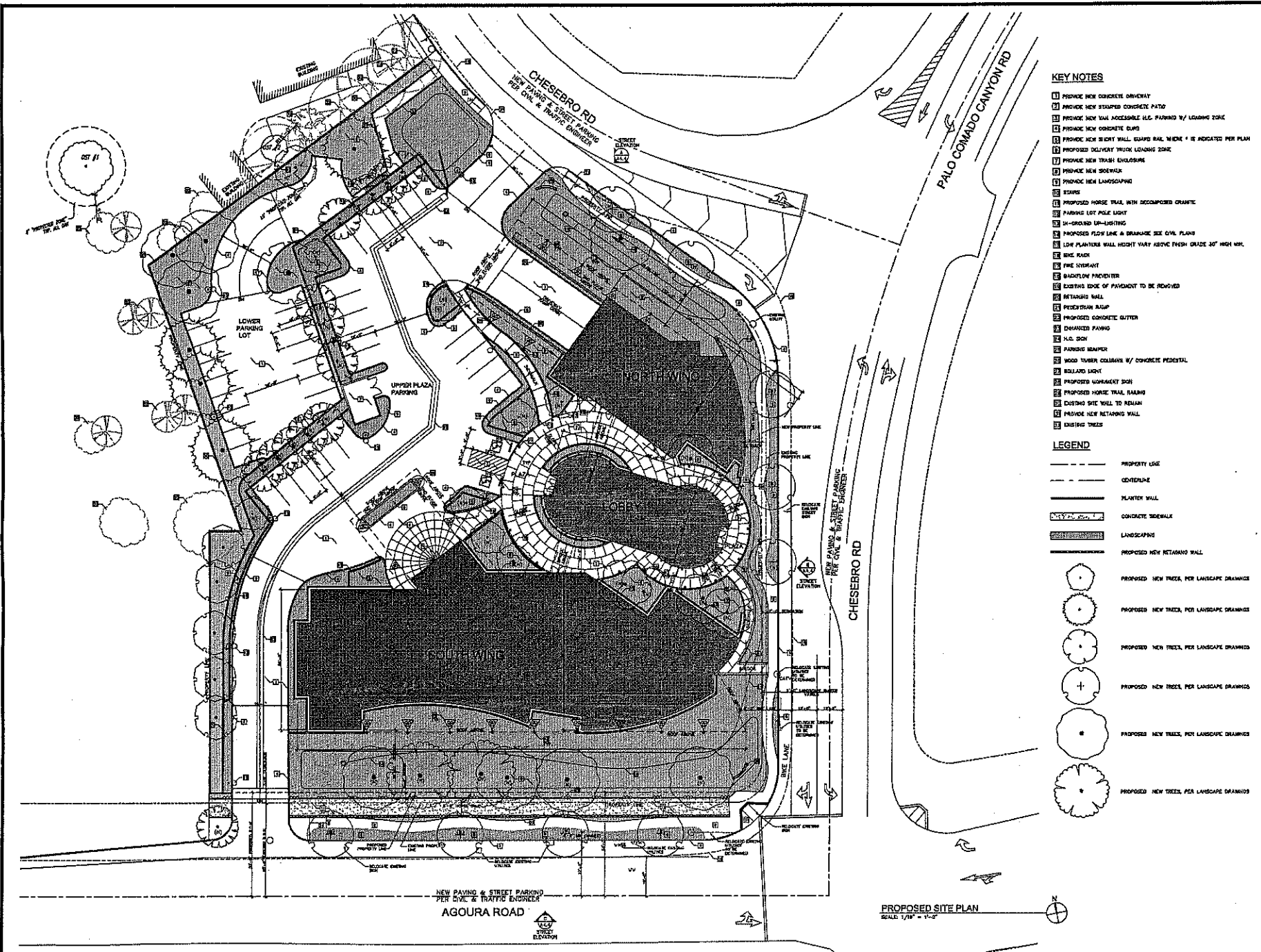
AGOURA MEDICAL PARTNERS, LLC
 CORNER OF CHESBRO ROAD & AGOURA ROAD
 AGOURA, MISS. USA



Heathcote & Associates
 Architecture
 3395 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

9403
T4.1
 BUILDING AREA
 JUSTIFICATION &
 PROJECT DATA

PRELIMINARY NOT FOR CONSTRUCTION



- KEY NOTES**
- 1 PROVIDE NEW CONCRETE DRIVEWAY
 - 2 PROVIDE NEW STAMPED CONCRETE PATIO
 - 3 PROVIDE NEW VAIL ACCESSIBLE I.L.C. PARKING W/ LOADING ZONE
 - 4 PROVIDE NEW CONCRETE CURB
 - 5 PROVIDE NEW SIGN WALL GUARD RAIL WITH # 4 IS INDICATED PER PLAN
 - 6 PROPOSED DELIVERY TRUCK LOADING ZONE
 - 7 PROVIDE NEW TRASH ENCLOSURE
 - 8 PROVIDE NEW SIDEWALK
 - 9 PROVIDE NEW LANDSCAPING
 - 10 STAIRS
 - 11 PROPOSED HORSE TRAIL WITH DECOMPOSED GRANITE
 - 12 PARKING LOT POLE LIGHT
 - 13 IN-GROUND UP-LIGHTING
 - 14 PROPOSED FLOW LINE & DRAINAGE SEE CIVIL PLAN
 - 15 LHM PLANTERS WALL HEIGHT VARY ABOVE FINISH GRADE 30" HIGH MIN.
 - 16 BIRD POCK
 - 17 FINE HYDRANT
 - 18 BASKETBALL PROTECTOR
 - 19 EXISTING EDGE OF PAVEMENT TO BE REMOVED
 - 20 RETAINING WALL
 - 21 PEDESTRIAN RAMP
 - 22 PROPOSED CONCRETE BUTTER
 - 23 DRAINAGE PAVING
 - 24 S.S. SIGN
 - 25 PARKING SIGNPOST
 - 26 WOOD TURNER COLUNNAE W/ CONCRETE PEDESTAL
 - 27 BOLLARD LIGHT
 - 28 PROPOSED SIGNMENT SIGN
 - 29 PROPOSED HORSE TRAIL, BARRIS
 - 30 EXISTING SITE WALL TO REMAIN
 - 31 PROVIDE NEW RETAINING WALL
 - 32 EXISTING TREES

- LEGEND**
- PROPERTY LINE
 - CENTERLINE
 - PLANTER WALL
 - CONCRETE SIDEWALK
 - LANDSCAPING
 - PROPOSED NEW RETAINING WALL
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE
 - PROPOSED NEW TREES, PER LANDSCAPE DRAINAGE

PROPOSED SITE PLAN
SCALE 1/8" = 1'-0"

NEW PAYING & STREET PARKING
PER CIVIL & TRAFFIC ENGINEER
AGOURA ROAD

SITE PLAN

REVISIONS

AGOURA MEDICAL PARTNERS LLC

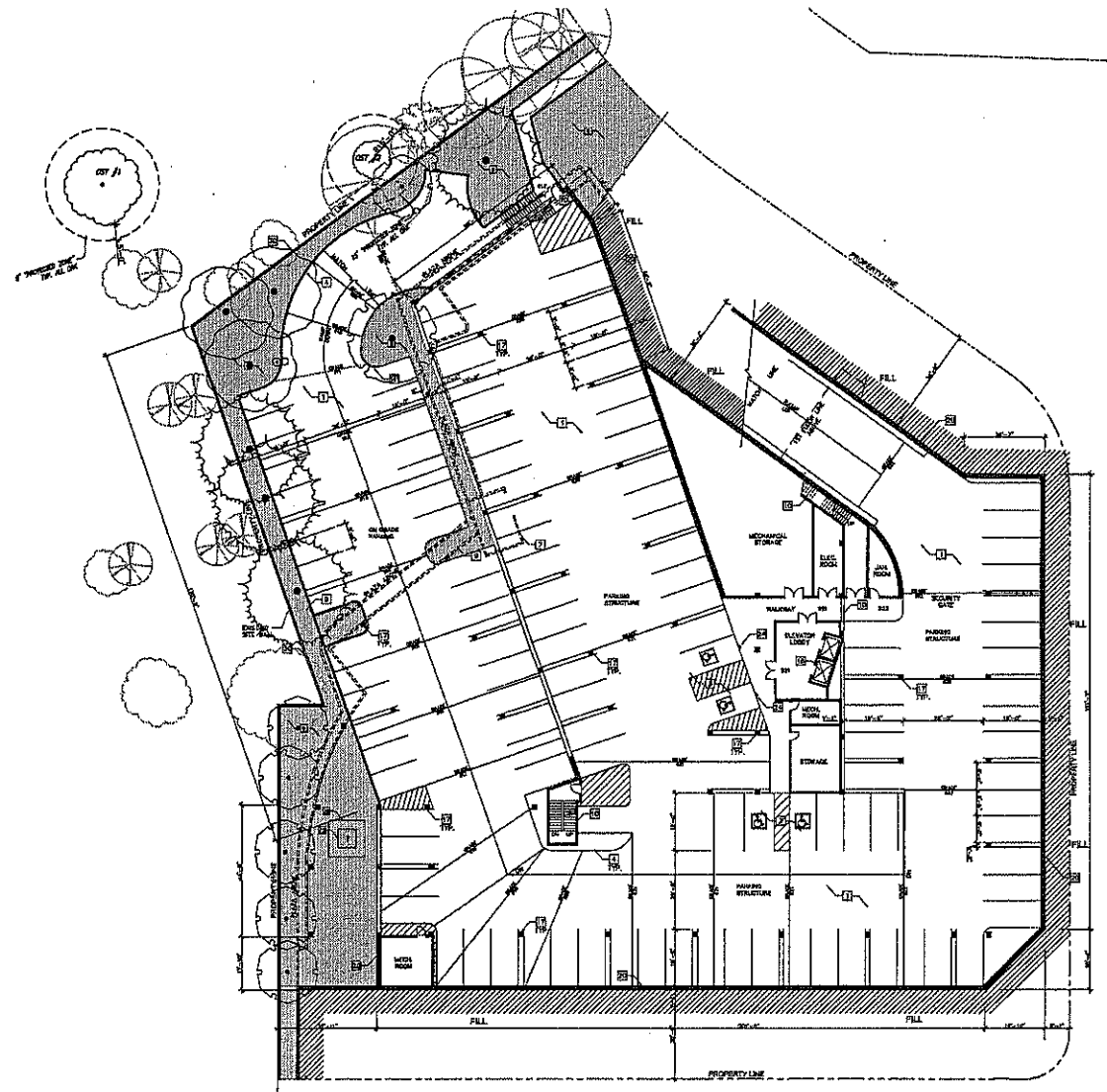
ENGINEER OF CHESEBRO ROAD & AGOURA ROAD



Heathcote & Associates
Architecture
3399 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

SHEET
A1.1
SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION



INTERMEDIATE PARKING LEVEL PLAN
 SCALE: 1" = 10'-0"

KEY NOTES

- 1 PROVIDE NEW CONCRETE DRIVEWAY
- 2 PROVIDE NEW STAMPED CONCRETE PATIO (NOT APPLICABLE, SEE ADOT PLAN)
- 3 PROVIDE NEW VAN ACCESSIBLE H.G. PARKING W/ LOADING ZONE
- 4 PROVIDE NEW CONCRETE CURB
- 5 PROVIDE NEW SHORT WALL W/ 3/4" HIGH GUARD RAIL (NOT APPLICABLE, SEE ADOT PLAN)
- 6 PROPOSED DELIVERY TRUCK LOADING ZONE (NOT APPLICABLE, SEE ADOT PLAN)
- 7 PROVIDE NEW TRASH ENCLOSURE ABOVE
- 8 PROVIDE NEW SIDEWALK (NOT APPLICABLE, SEE ADOT PLANS)
- 9 PROVIDE NEW LANDSCAPING
- 10 STAIRS
- 11 PROPOSED NOISE TRAIL WITH DECOMPOSED GRANITE (NOT APPLICABLE, SEE ADOT PLANS)
- 12 PARKING LOT POLE LIGHT (NOT APPLICABLE, SEE ADOT PLANS)
- 13 IN-GROUND LIGHTING (NOT APPLICABLE, SEE ADOT PLANS)
- 14 PAVING (NOT APPLICABLE, SEE ADOT PLANS)
- 15 LOW PLANTINGS WALL HEIGHT VARY ABOVE FINISH GRADE (NOT APPLICABLE, SEE ADOT PLANS)
- 16 ELEVATOR
- 17 COLLARNS
- 18 BACKFLOW PREVENTER (NOT APPLICABLE, SEE ADOT PLANS)
- 19 TREE GRATE (NOT APPLICABLE, SEE ADOT PLANS)
- 20 RETAINING WALL BELOW GRADE
- 21 PEDESTRIAN RAMP (NOT APPLICABLE, SEE ADOT PLANS)
- 22 TRANSFORMER, ACTUAL DIMENSION TO BE DETERMINED BY MECHANICAL ENGINEER
- 23 ENHANCED PAVING (NOT APPLICABLE, SEE ADOT PLANS)
- 24 M.C. BOX
- 25 PARKING BUMPER (NOT APPLICABLE, SEE ADOT PLANS)
- 26 EXTERIOR WOOD BENCH COLLARNS W/ CONCRETE PEDESTAL (NOT APPLICABLE, SEE ADOT PLANS)
- 27 BOLLARD LIGHT (NOT APPLICABLE, SEE ADOT PLANS)
- 28 PROPOSED MOUNTAIN BOX (NOT APPLICABLE, SEE ADOT PLANS)
- 29 PROPOSED SCREEN WALL, ALSO SEE LANDSCAPE DRAWINGS
- 30 EXISTING SIDE WALL TO REMAIN

LEGEND:

- DOOR & FRAME
- WALL
- PROPOSED NEW TREES
- PROPOSED LANDSCAPE
- PROPOSED NEW RETAINING WALL

REVISION

DATE
SEPTEMBER, 2009
SCALE
AS SH.
1772

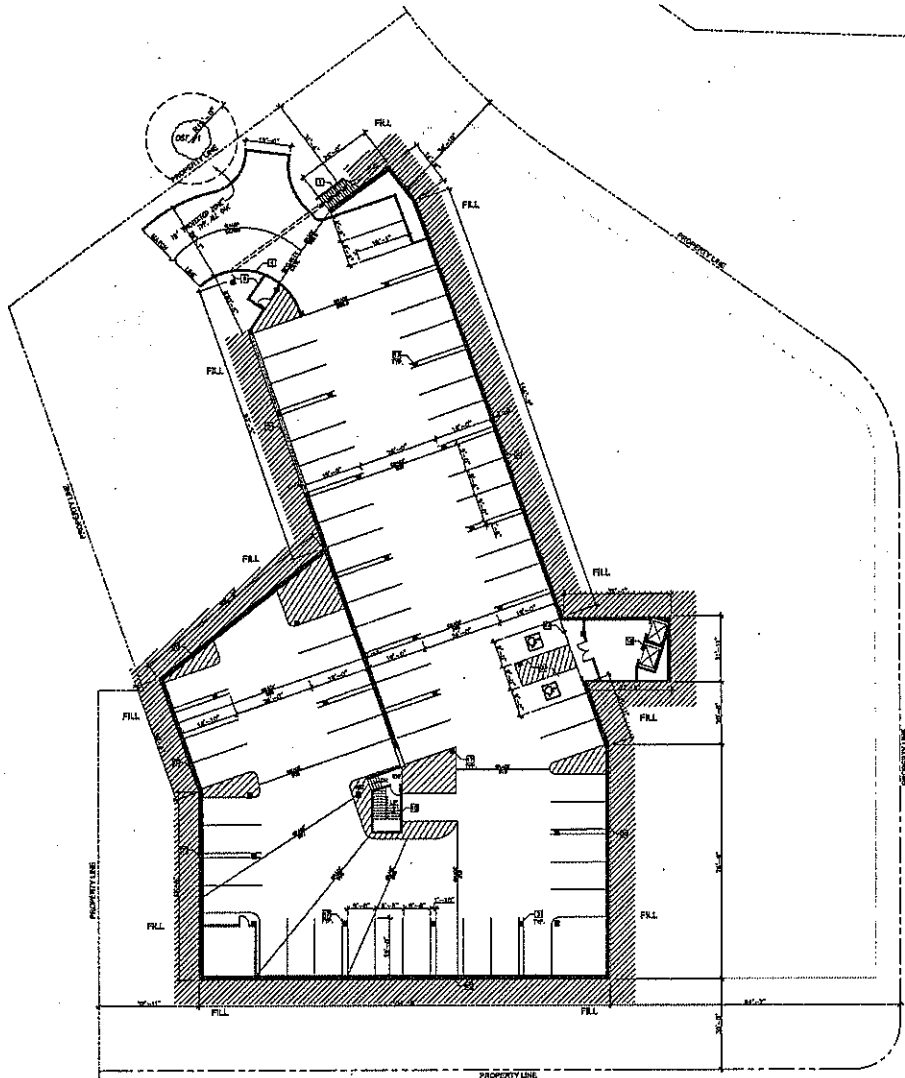
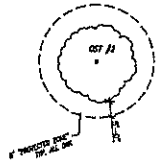
AGOURA MEDICAL PARTNERS LLC
 CORNER OF CHESSBIRD ROAD & AGOURA ROAD
 Agoura Hills, CA



Heathcote
 & Associates
 Architecture
 3396 Willow Lane
 Westlake, California 91361
 Suite 200
 Phone 805-497-4700

SIZE
A1.2
PARKING STRUCTURE

PRELIMINARY NOT FOR CONSTRUCTION



KEY NOTES:

- 1 PROVIDE NEW CONCRETE DRIVEWAY (NOT APPLICABLE, SEE ADD'L PLANS)
- 2 PROVIDE NEW STAMPED CONCRETE PATIO (NOT APPLICABLE, SEE ADD'L PLANS)
- 3 PROVIDE NEW VAN ACCESSIBLE A.C. PARKING W/ LOADING ZONE
- 4 PROVIDE NEW CONCRETE CURB
- 5 PROVIDE NEW SHORT WALL W/ 3" HIGH GLASS RAIL
- 6 PROPOSED DELIVERY TRUCK LOADING ZONE (NOT APPLICABLE, SEE ADD'L PLANS)
- 7 PROVIDE NEW WALK ENCLOSURE (NOT APPLICABLE, SEE ADD'L PLANS)
- 8 PROVIDE NEW BENCHES (NOT APPLICABLE, SEE ADD'L PLANS)
- 9 PROVIDE NEW LANDSCAPING
- 10 STAIRS
- 11 PROPOSED HORSE TRAIL WITH DECOMPOSED GRANITE (NOT APPLICABLE, SEE ADD'L PLANS)
- 12 PARKING LOT POLE LIGHT (NOT APPLICABLE, SEE ADD'L PLANS)
- 13 IN-GROUND LIGHTING (NOT APPLICABLE, SEE ADD'L PLANS)
- 14 PLANTS (NOT APPLICABLE, SEE ADD'L PLANS)
- 15 LOW PLANTERS WALL HEIGHT VARY ABOVE FINISH GRADE (NOT APPLICABLE, SEE ADD'L PLANS)
- 16 ELEVATOR
- 17 COLUMNS
- 18 BACKLASH PREVENTER (NOT APPLICABLE, SEE ADD'L PLANS)
- 19 TREE GRATE (NOT APPLICABLE, SEE ADD'L PLANS)
- 20 RETAINING WALL
- 21 PEDESTRIAN RAMP (NOT APPLICABLE, SEE ADD'L PLANS)
- 22 TRANSFORMER (NOT APPLICABLE, SEE ADD'L PLANS)
- 23 ENHANCED PAVING (NOT APPLICABLE, SEE ADD'L PLANS)
- 24 H.C. SIGN
- 25 PARKING WRAPPER
- 26 EXTERIOR WOOD TRIMMER DOUGLASS W/ CONCRETE PEDESTAL (NOT APPLICABLE, SEE ADD'L PLANS)
- 27 BOLLARD LIGHT (NOT APPLICABLE, SEE ADD'L PLANS)

LEGEND:



LOWER PARKING LEVEL PLAN
SCALE: 1" = 10'-0"



REVISIONS

DRAWING NO.
CONTRACT FILE
DATE
SEP 16/2008, 2008
SHEET
NO. OF SHEETS
17/18

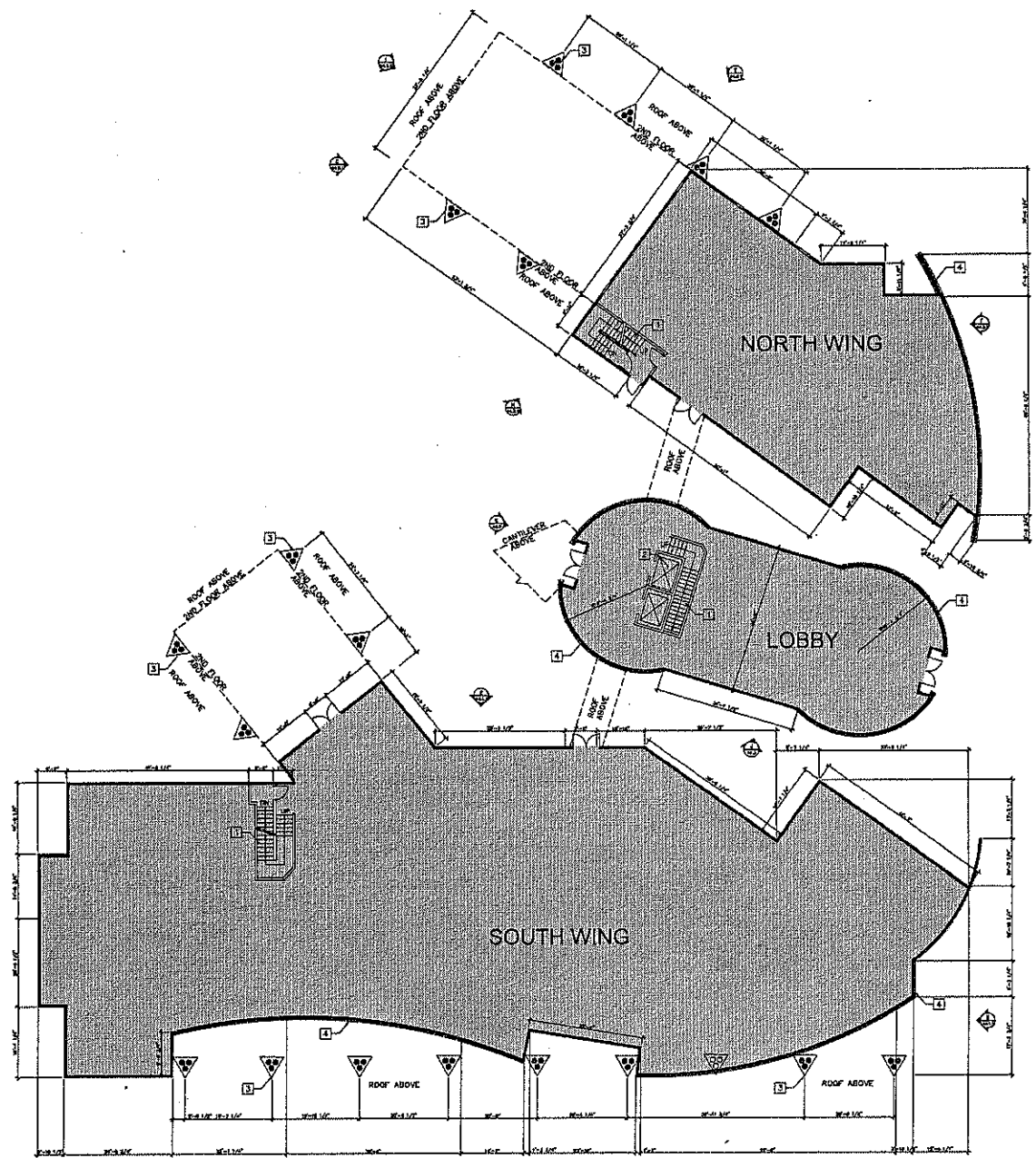
AGOURA MEDICAL PARTNERS, L.L.C.
 CORNER OF CHESTER ROAD & AGOURA ROAD
 APPROX. 1/4 MI. N. CA.



Heathcote & Associates
 Architects
 3391 Willow Lane
 Westlake, CA 91361
 Phone 805-457-4700

SHEET
A1.3
LOWER PARKING
STUDY PLAN

PRELIMINARY NOT FOR CONSTRUCTION



LEGEND:

- STOREROOM
- DOOR & FRAME
- WOOD & FRAME
- WALL

KEY NOTES

- STAIRS
- ELEVATOR
- WOOD TRUSS COLLARS W/ CONCRETE BASE
- STONE VENEER

FIRST FLOOR PLAN
SCALE: 1" = 10'-0"

FIRST FLOOR PLAN

REVISION

DRAWING NO.
DATE
SCALE
JOB NO.
TITLE

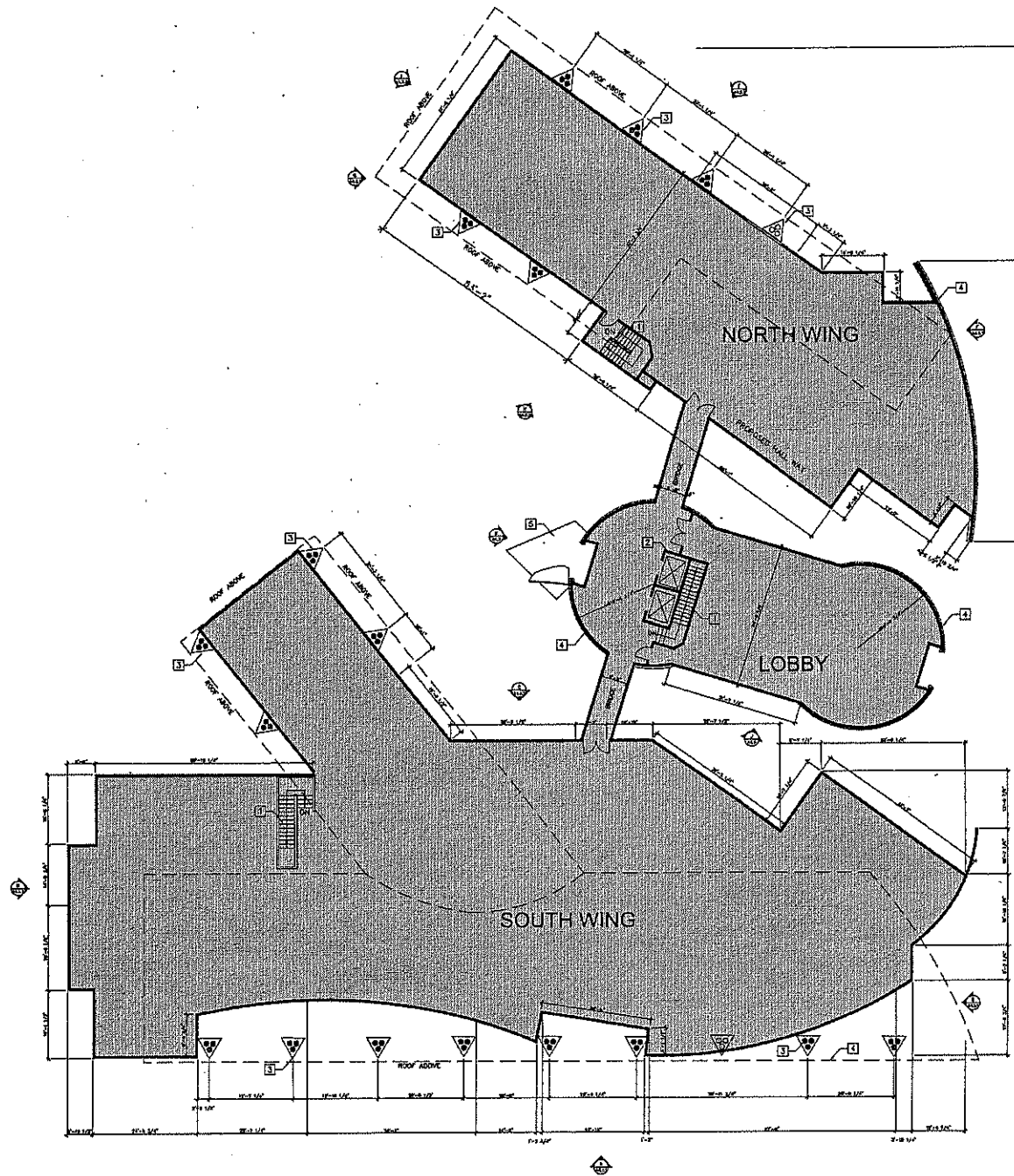
AGOURA MEDICAL PARTNERS, LLC
 CORNER OF CRESTBROOK ROAD & AGOURA ROAD
 APPROVED: [Signature]



Architecture
 1356 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

DATE
A2.1
FIRST FLOOR PLAN

PRELIMINARY NOT FOR CONSTRUCTION



KEY NOTES

- 1 STAIRS
- 2 ELEVATOR
- 3 WALLS
- 4 WINDOW VENEER
- 5 METAL DARTS/DOOR, ALSO SEE ELEVATION ON SHEET A1.2

LEGEND:

- STAIRFRONT
- DOOR & FRAME
- WINDOW & FRAME
- WALL

SECOND FLOOR PLAN
SCALE: 1" = 10'-0"



SECOND FLOOR PLAN

REVISION

DATE: 08/21/2009
PROJECT: A2.2
SCALE: 1" = 10'-0"
REV. NO. 1
DATE: 08/21/2009

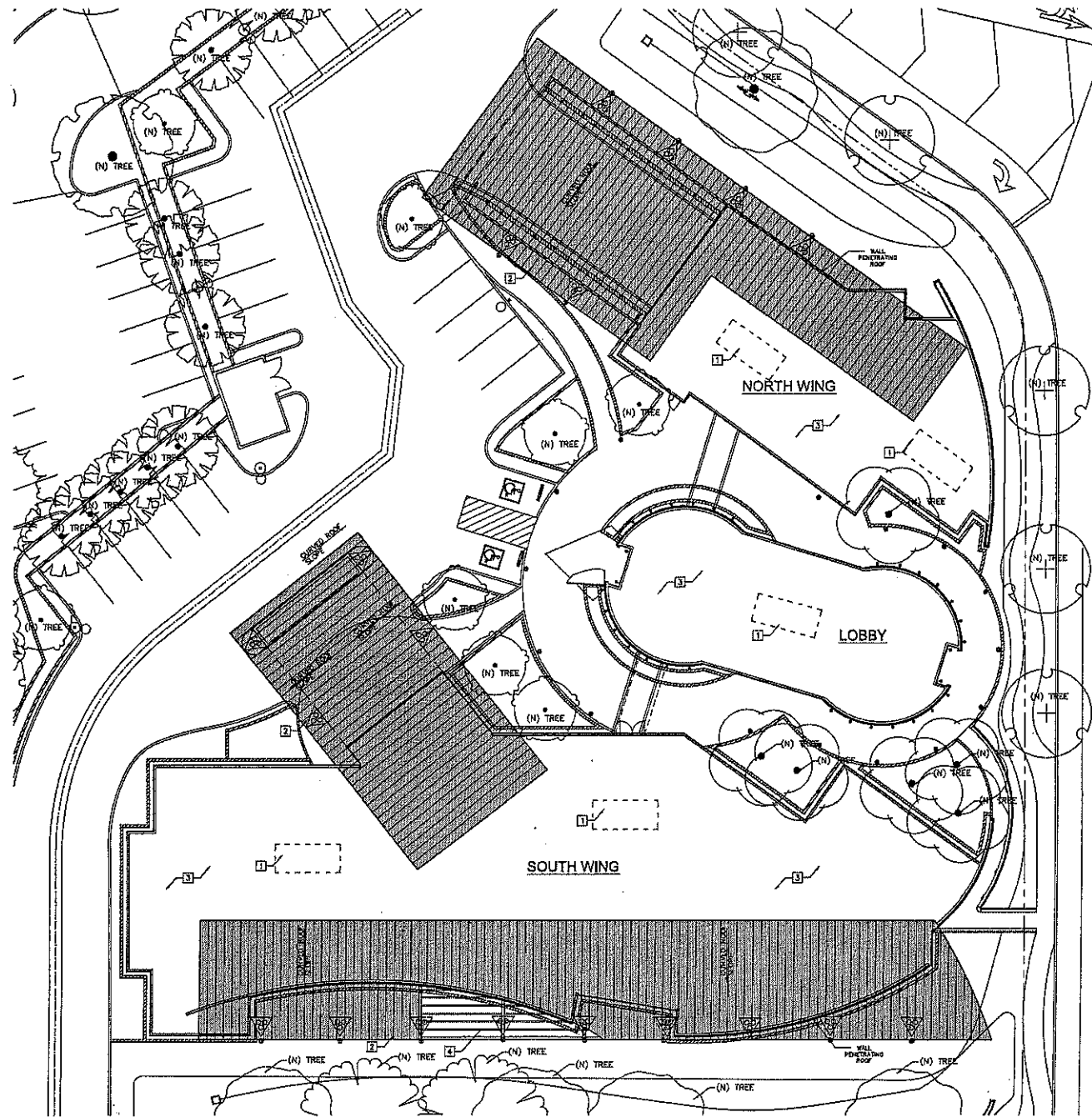
AGOURA MEDICAL PARTNERS LLC
 CORNER OF GIESBERG ROAD & AGOURA ROAD
 Agoura Hills, CA



Heathcote & Associates
 Architecture
 3398 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

NO. 1
A2.2
SECOND FLOOR PLAN

PRELIMINARY NOT FOR CONSTRUCTION



- KEY NOTES**
- 1 PROPOSED HVAC ROOF EQUIPMENT
 - 2 METAL ROOFING
 - 3 BUILT UP FLAT ROOF
 - 4 DIAPHRAGM TRUSSES

PROPOSED ROOF PLAN
SCALE: 1" = 10'-0"

BUILDING ROOF PLAN

1

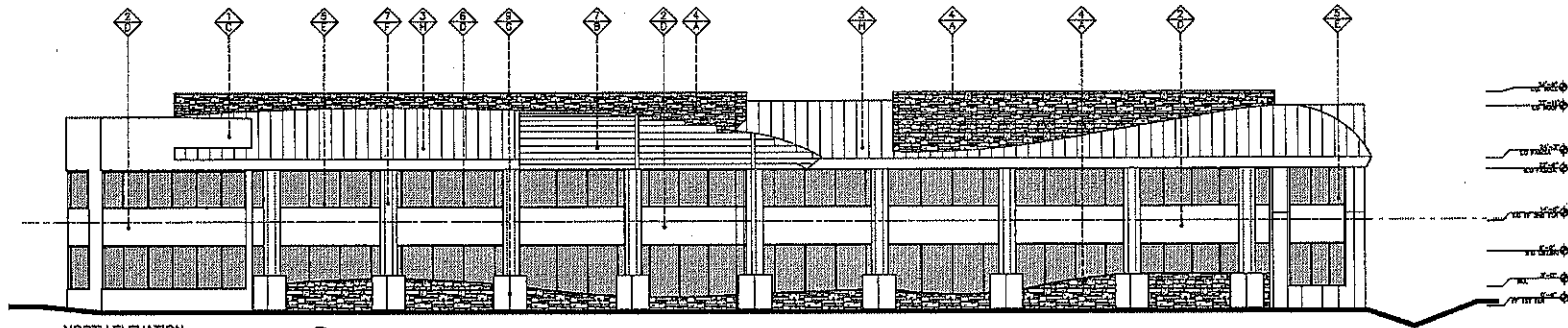
AGOURA MEDICAL PARTNERS LLC
CORNER OF CRENSHAW ROAD & AGOURA ROAD
AGOURA HILLS, CA



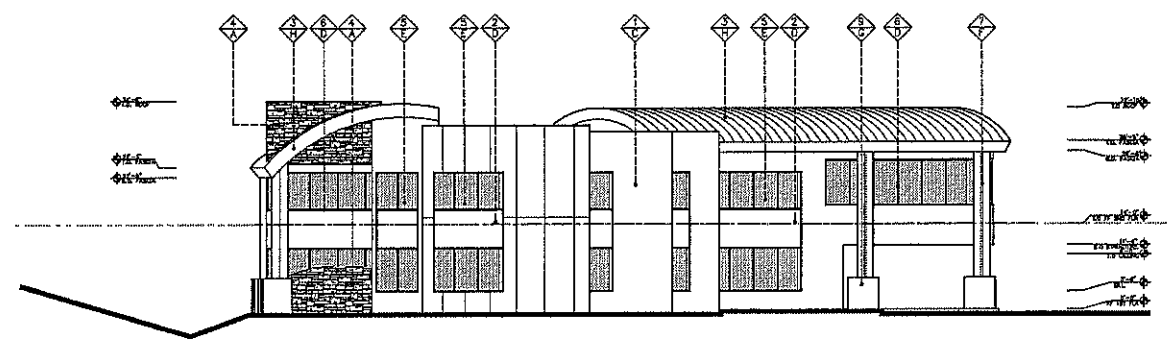
Architecture
3398 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

SHEET
A2.3
ROOF PLAN

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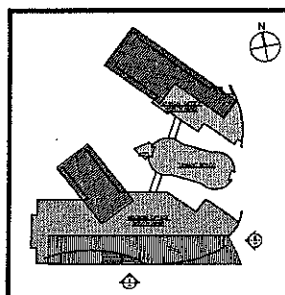


NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

KEYNOTES	
LEGEND:	
◆	SEE MATERIAL SCHEDULE
◆	SEE COLOR / FINISH SCHEDULE
MATERIALS:	
◆	STUCCO
◆	METAL ROOFING
◆	STONE VENEER
◆	GLASS
◆	ALUMINUM FINISHWORK
◆	WOOD (CONCRETE OR STEEL)
◆	METAL
◆	CONCRETE
COLOR/FINISHES:	
◆	FIELDING STONE "MILK" COUNTRY LEVERSTONE
◆	PINK EDWARDS "TRUCKY" GRASS
◆	DARK EDWARDS "COLUMBIAN HONEY" GRASS
◆	KAWNEER ALUMINUM FINISH APPROX "MORON PRAC" (SEE SPEC)
◆	CLEAR GLASS WITH GREEN TINT
◆	METAL TRUCK FINISH OF MATCH THICKY PRAC
◆	NATURAL COLOR
◆	PRESTONE LAM-CLAD W/ WARM B&B STEEL "MORON PRAC" (SEE SPEC)



KEY PLAN

SOUTH WING ELEVATIONS

1

2

REVISION

PROJECT INFO
COMPUTER FILE
DATE
APPROVED: 2005
DRAWN
DATE: 12/16

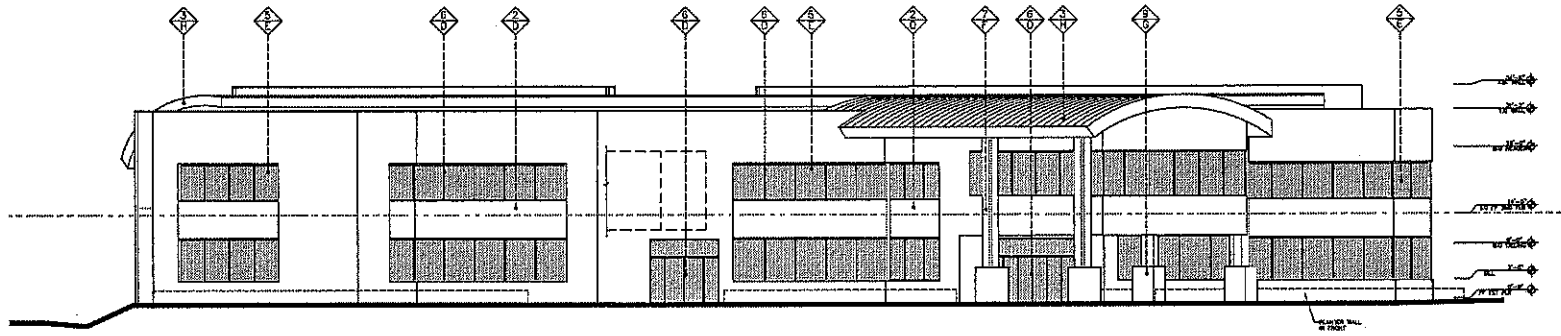
AGOURA MEDICAL PARTNERS LLC
 CONSIST OF CHEERING ROAD & AGOURA ROAD
 Agoura Hills, CA



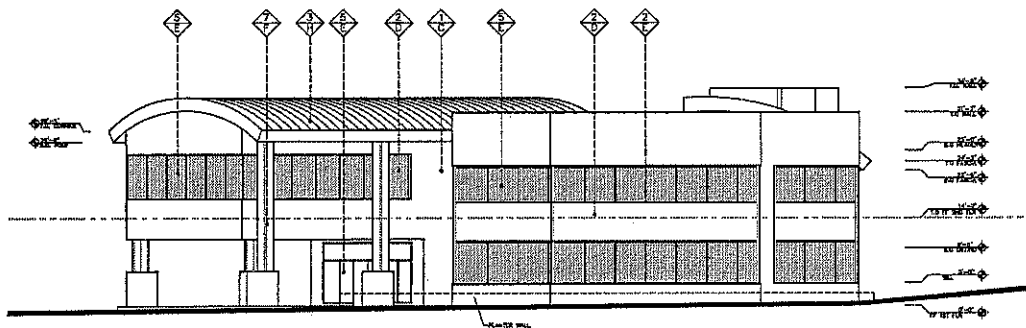
Heathcote & Associates
 Architecture
 3396 Willow Lane
 Westlake, California
 Suite 200
 Phone 805-497-4700

SHEET
A4.1.1
ELEVATIONS-1 20.04.2005

PRELIMINARY NOT FOR CONSTRUCTION

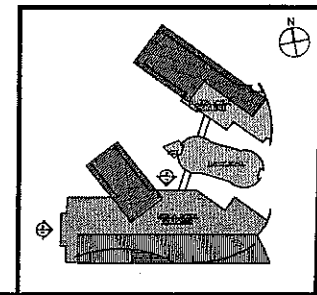


SOUTH ELEVATION
SCALE 1/8" = 1'-0" C



WEST ELEVATION
SCALE 1/8" = 1'-0" D

KEYNOTES	
LEGEND:	
— SEE MATERIAL SCHEDULE — SEE COLOR / FINISH SCHEDULE	— SEE MATERIAL SCHEDULE — SEE COLOR / FINISH SCHEDULE
MATERIALS:	
STEEL	METAL
METAL BOVAC	CONCRETE
METAL ROOFING	
STONE VENEER	
GLASS	
ALUMINUM STOREFRONT	
WOOD (SHAKE) ON STEEL	
COLOR/FINISHES:	
POLISHED STONE "WALNUT" COUNTRY LEOGESTONE (200-3004)	DUAN EDWARDS "FRODO" BEANZ
DUAN EDWARDS "WOODLAND HONEY" BEANZ	DANESH ALUMINUM FINISH ALUMINUM "DESIGN BRIDGE"
DANESH ALUMINUM FINISH ALUMINUM "DESIGN BRIDGE"	CLEAR GLASS WITH DROWN TINT
NATURAL THICK FINISH OR WATER THICK FINISH	NATURAL OILS
FINISHING UNPAINTED STEEL FOR STEEL "DESIGN BRIDGE"	



REVISION

DRAWING NO. 030
 COMPUTER FILE
 DATE
 AUGUST 2009
 SCALE
 JOB NO.
 1776

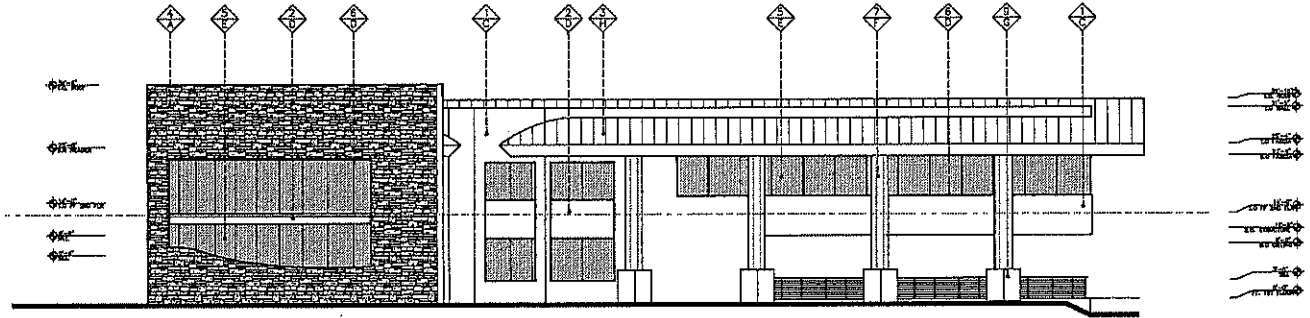
AGOURA MEDICAL PARTNERS LLC
 CORNER OF CHESTER ROAD & AGOURA ROAD
 AGOURA, CALIF.



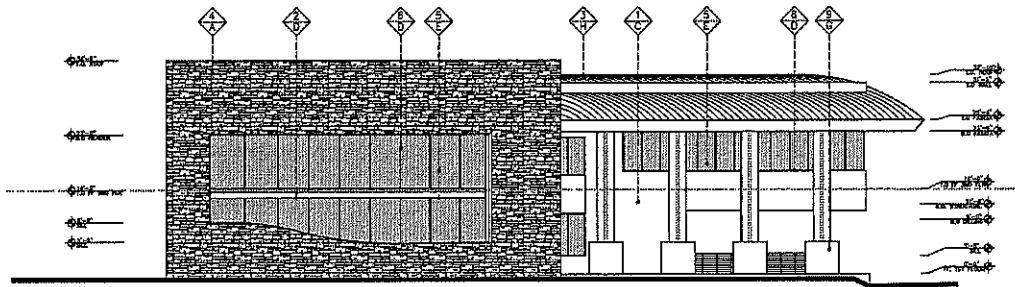
Heathcote & Associates
 Architecture
 3398 Willow Lane
 Westlake, California 91391
 Suite 200
 Phone 805-497-4700

SHEET
A4.1.2
 ELEVATIONS-A SOUTH WING

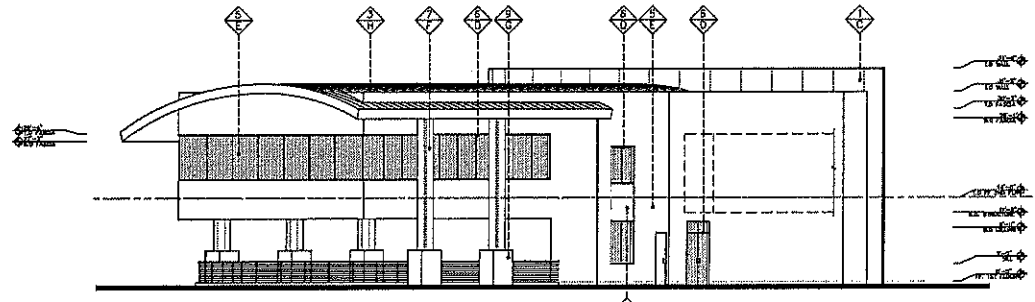
PRELIMINARY NOT FOR CONSTRUCTION



NORTH-EAST ELEVATION
SCALE: 1/8" = 1'-0"



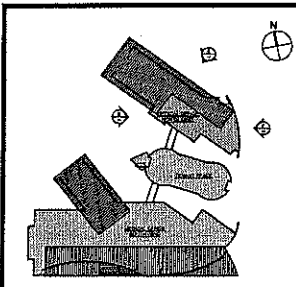
EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

NORTH WING ELEVATIONS

LEGEND:		COLOR/FINISHES:	
◆ SEE MATERIAL SCHEDULE	◆ SATIN STONE "WALNUT" COUNTRY LINGSTONE (203-2048)	◆ BROWN EDWARDS "TRUCKEE" GRAY	◆ BROWN EDWARDS "CONCRETE FORMER" DESIGN
◆ SEE COLOR / FINISH SCHEDULE	◆ BROWN EDWARDS "CONCRETE FORMER" DESIGN	◆ BROWN EDWARDS "CONCRETE FORMER" DESIGN	◆ BROWN EDWARDS "CONCRETE FORMER" DESIGN
MATERIALS:	◆ METAL	◆ CONCRETE	◆ CONCRETE
◆ STUCCO	◆ METAL PANEL	◆ METAL PANEL	◆ METAL PANEL
◆ METAL ROOFING	◆ ZINC PANEL	◆ GLASS	◆ ALUMINUM EXPANDED
◆ ZINC PANEL	◆ GLASS	◆ ALUMINUM EXPANDED	◆ WOOD (GRAND) OR STEEL
◆ GLASS	◆ ALUMINUM EXPANDED	◆ WOOD (GRAND) OR STEEL	
◆ ALUMINUM EXPANDED	◆ WOOD (GRAND) OR STEEL		
◆ WOOD (GRAND) OR STEEL			



KEY PLAN

ELEVATION	
DATE	
BY	
CHECKED	
DATE	
AUGUST, 2019	
SCALE	
OR AS SHOWN	

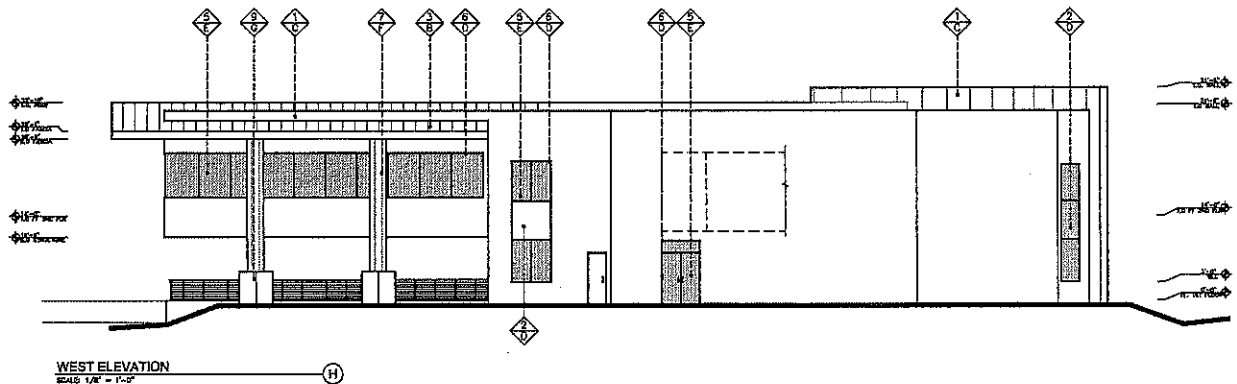
AGOURA MEDICAL PARTNERS LLC
CORNER OF CHESSBO ROAD & AGOURA ROAD



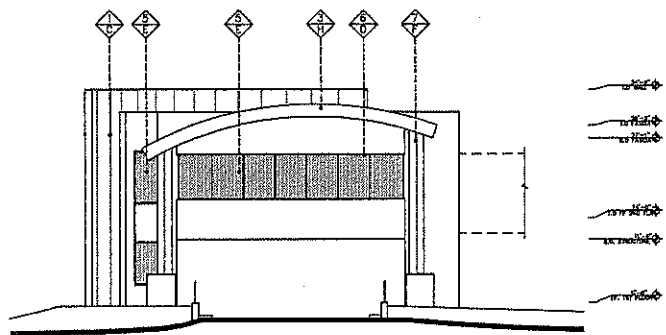
Heathcote
Architects
3356 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

A4.2.1
ELEVATIONS - NORTH WING

PRELIMINARY NOT FOR CONSTRUCTION

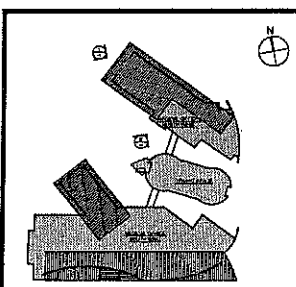


WEST ELEVATION
SCALE 1/8" = 1'-0"



NORTH-WEST ELEVATION
SCALE 1/8" = 1'-0"

KEYNOTES	
LEGEND:	
◆ SEE MATERIAL SCHEDULE	◆ SEE COLOR/FINISH SCHEDULE
MATERIALS:	
◆ BRICK	◆ METAL
◆ METAL ROOFING	◆ CONCRETE
◆ METAL ROOFING	
◆ STONE VENEER	
◆ GLASS	
◆ ALUMINUM STOREFRONT	
◆ WOOD (UNLESS BY SPEC)	
COLOR/FINISHES:	
◆ CLEAR/STAINED WOOD "HUNTER GREEN" VENEER (201-1004)	◆ BURN EDWARDS "TRUCKEE" DECK
◆ BURN EDWARDS "SUNSET HONEY" DECK	◆ BURN EDWARDS "SUNSET HONEY" DECK
◆ BURN EDWARDS "SUNSET HONEY" DECK	◆ CLEAR GLASS WITH GREEN TINT
◆ CLEAR GLASS WITH GREEN TINT	◆ NATURAL TONER FINISH OR MATCH TONER FINISH
◆ NATURAL TONER FINISH OR MATCH TONER FINISH	◆ NATURAL COLOR
◆ NATURAL COLOR	◆ FINISHING WALL-CLEAN SURFACE AND FINISH
◆ FINISHING WALL-CLEAN SURFACE AND FINISH	◆ FINISHING WALL-CLEAN SURFACE AND FINISH



REVISIONS

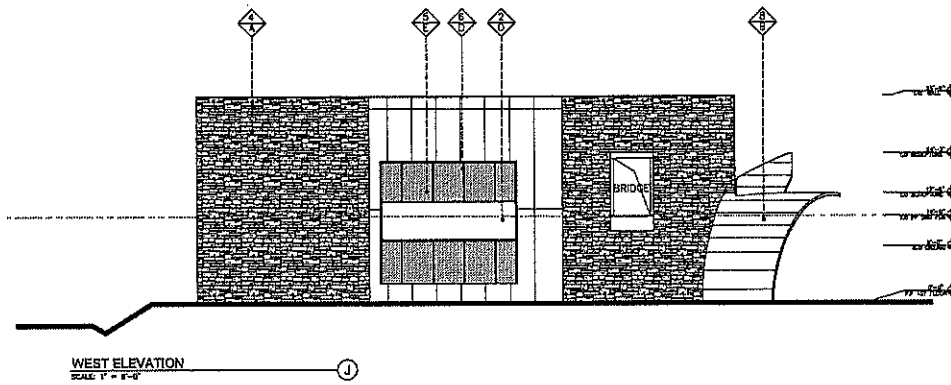
ACOURA MEDICAL PARTNERS LLC
 CORNER OF CHEERING ROAD & ARDMORE ROAD
 APPROX. 100' DIA.



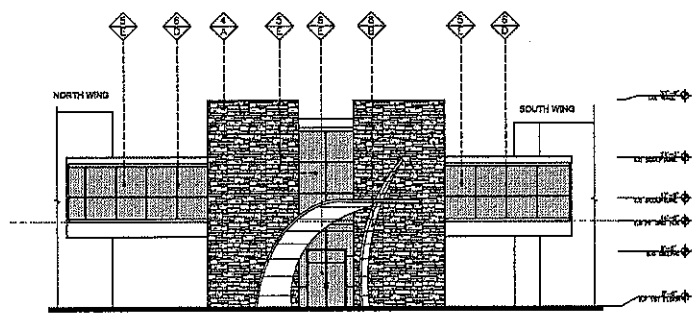
Architecture
 3396 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

SKETCH
 A4.2.2

REVISIONS
 1

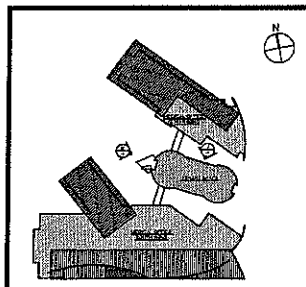


WEST ELEVATION
SCALE 1" = 8'-0"



NORTH-WEST ELEVATION
SCALE 1" = 8'-0"

KEYNOTES	
LEGEND:	
◆	SEE MATERIAL SCHEDULE
◆	SEE DRAWING / FINISH SCHEDULE
MATERIALS:	
◆	STONE
◆	METAL PANEL
◆	METAL ROOFING
◆	STONE VENEER
◆	GLASS
◆	ALUMINUM STRUCTURE
◆	WOOD (TRUCK) OR STEEL
◆	METAL
◆	CONCRETE
COLOR/FINISHES:	
◆	QUARRIED STONE "PALMIST" COUNTY LEONTOPIA (2011-2012)
◆	SEMI EDGED "ROCKY" DESIG
◆	SEMI EDGED "ORANGE" HONEY" DESIG
◆	ENHANCED ALUMINUM FINISH ACROSTIA "ROCK" FINISH
◆	CLEAR GLASS WITH BRUSH FIN
◆	NATURAL TRUNK FINISH ON MATCH TRUNK FINISH
◆	NATURAL OIL ON
◆	TEXTURED GALV-CLAD STEEL WITH 500 STEEL WOOD FINISH



KEY PLAN

LOBBY ELEVATIONS

1

2

REVISIONS

DRAWING NO.	
COMPUTER FILE	
DATE	AUGUST 2009
SCALE	
JOB NO.	0718

ACCURA MEDICAL PARTNERS LLC
 CORNER OF GARDEN ROAD & AGADIRIA ROAD
 Agoura Hills, CA

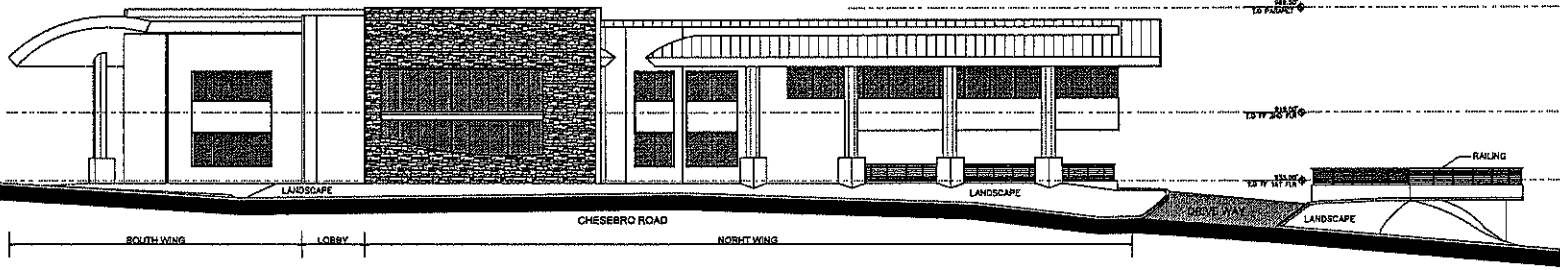


Heathcote & Associates
 Architecture
 3396 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

SECTION
A4.3
ELEVATIONS - 8
0007

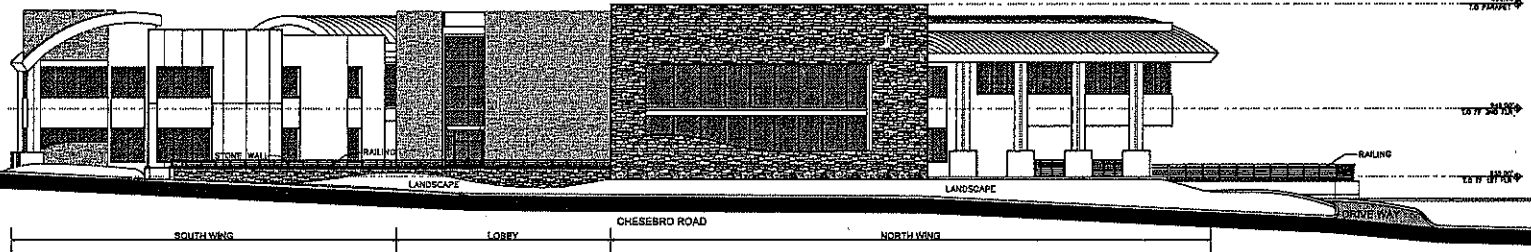
PRELIMINARY NOT FOR CONSTRUCTION

CROSS OF
AGOURA ROAD &
CHESEBRO ROAD



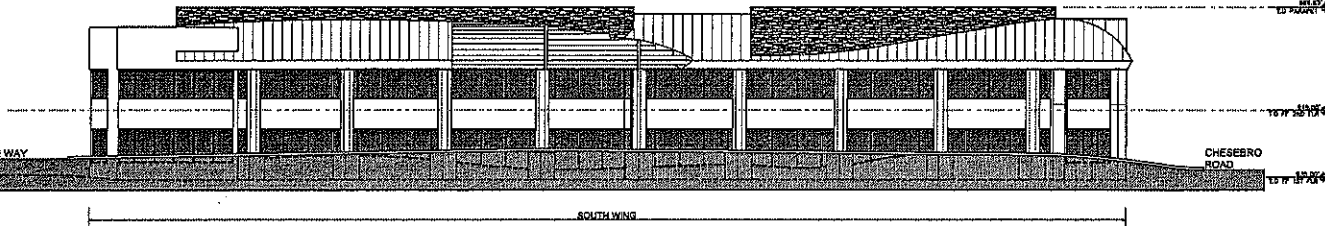
CHESEBRO ROAD STREET ELEVATION - NORTH
SCALE: 1" = 10'-0"

AGOURA
ROAD

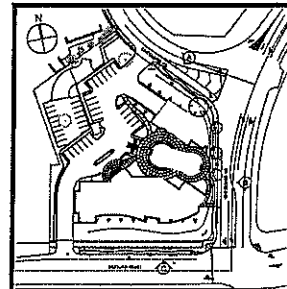


CHESEBRO ROAD STREET ELEVATION - EAST
SCALE: 1" = 10'-0"

DRIVE WAY



AGOURA ROAD STREET ELEVATION
SCALE: 1" = 10'-0"



REVISIONS

DRAWING INFO
COMPUTER FILE
DATE
AUGUST, 2018
SCALE
1/8" = 1'-0"

AGOURA MEDICAL PARTNERS, LLC

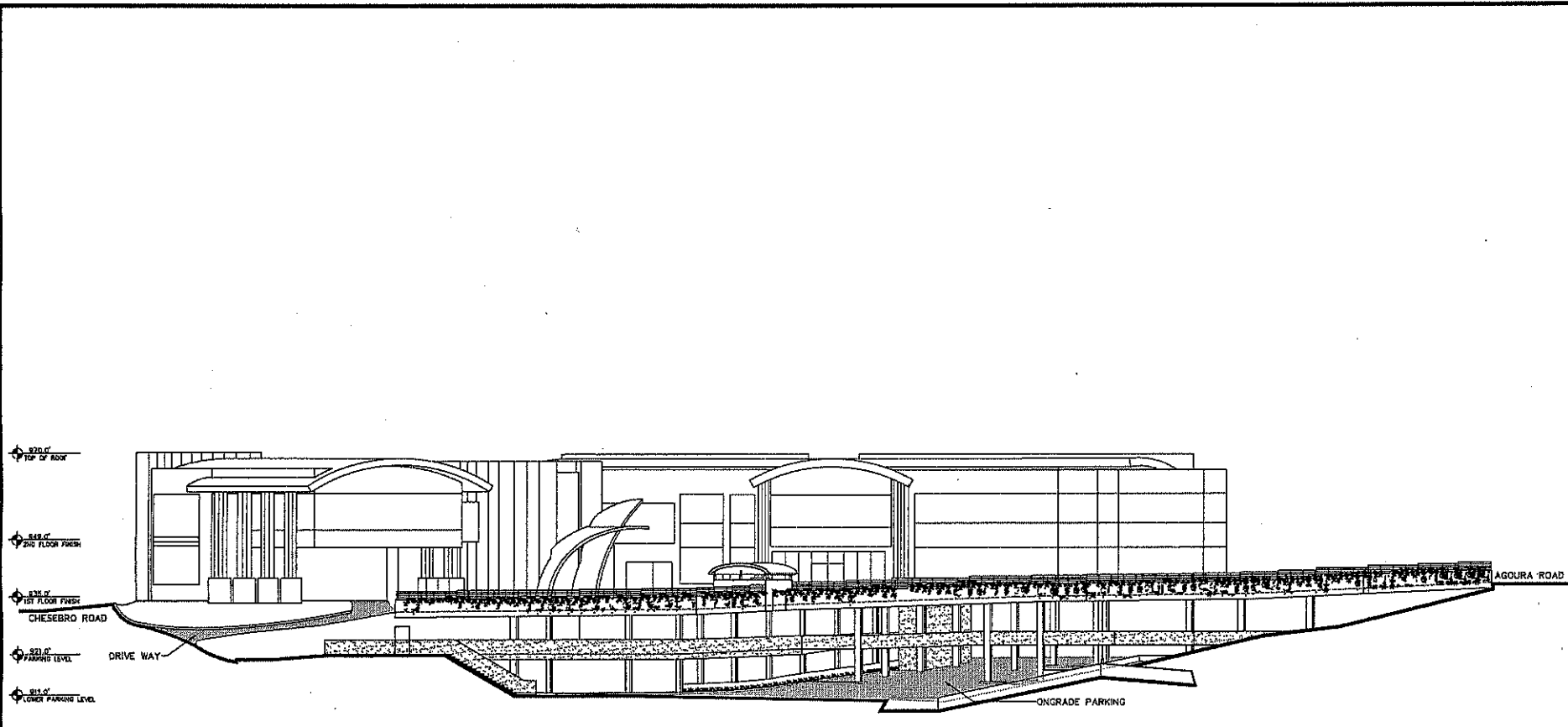
CENTER OF CHESEBRO ROAD & AGOURA ROAD



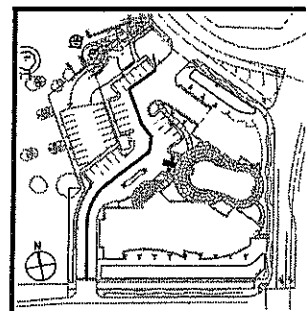
Architecture
3396 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

SHEET
A4.4
STREET ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION



DIAGRAMMATIC NORTH WEST GARAGE ELEVATION
SCALE 1" = 12'-0" A



DIAGRAMMATIC GARAGE ELEVATION

1

KEY PLAN

2

REVISION

DRAWING INFO
COMPIRE FILE
DATE
SEP 20/05, 2008
SCALE
REV NO
1/18

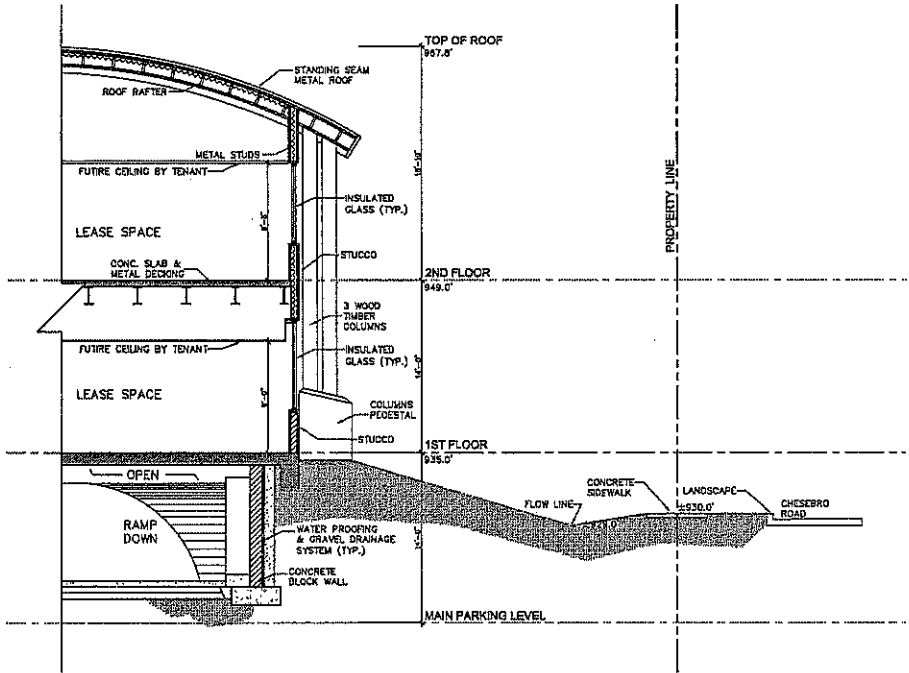
AGOURA MEDICAL PARTNERS LLC
 CORNER OF CHESEBRO ROAD & AGOURA ROAD
 Agoura Hills, CA



Heathcote & Associates
 Architecture
 3398 Willow Lane
 Westlake Village
 California - Suite 205
 Phone 805-497-4700

SHEET
A4.5
DIAGRAMMATIC GARAGE ELEVATION

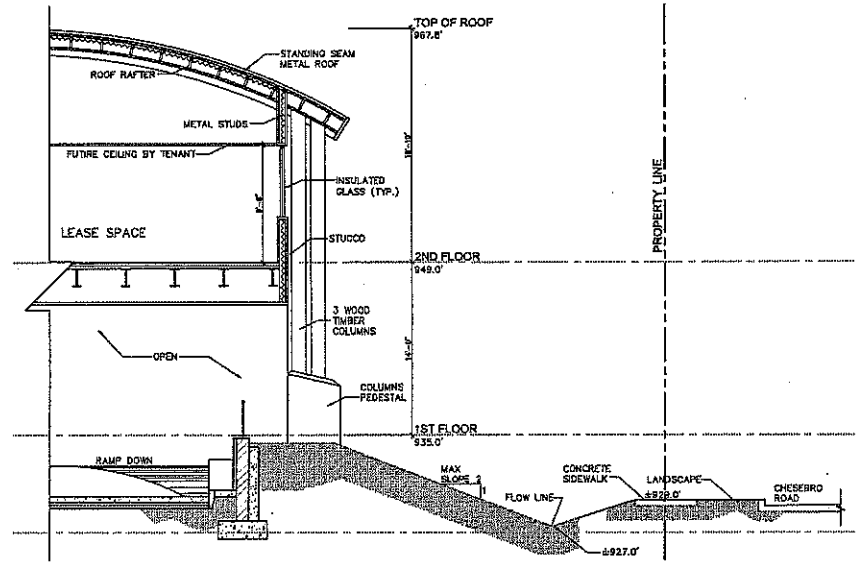
PRELIMINARY NOT FOR CONSTRUCTION



DIAGRAMATIC SECTION
SCALE 1/4" = 1'-0" ②

SECTION

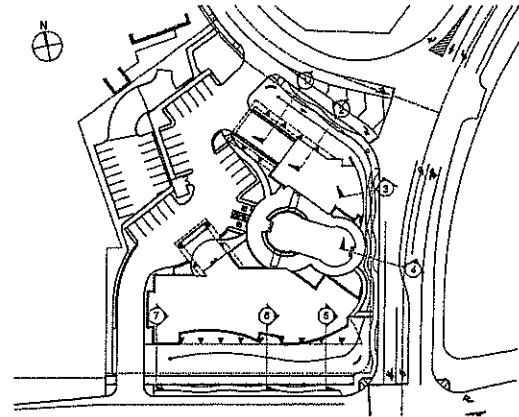
2



DIAGRAMATIC SECTION
SCALE 1/4" = 1'-0" ①

SECTION

1



KEY PLAN

REVISIONS

GRAPHIC INFO
COMPUTER FILE
DATE: AUGUST, 2008
SCALE
24 IN 1/4" = 1'-0"

AGOURA MEDICAL PARTNERS LLC

Agoura INC. CO.

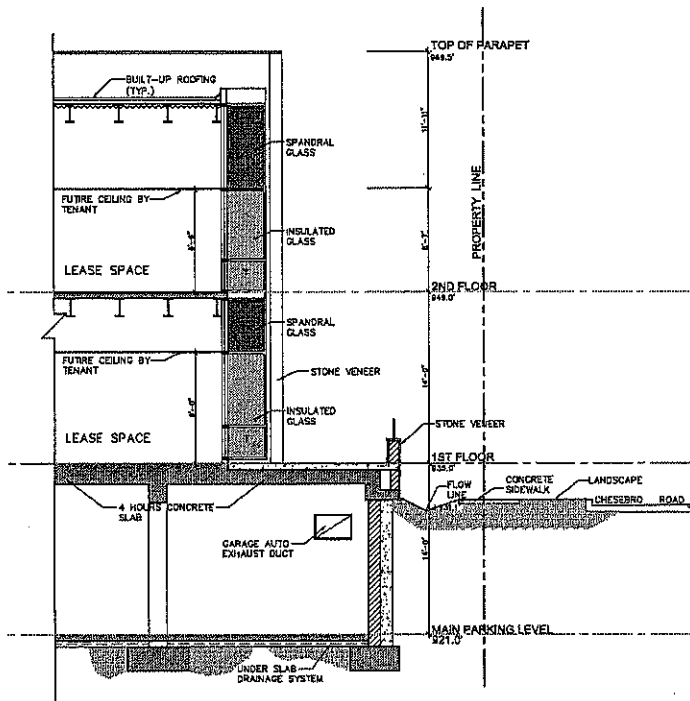
CORNER OF CHESEBRO ROAD & AGOURA ROAD



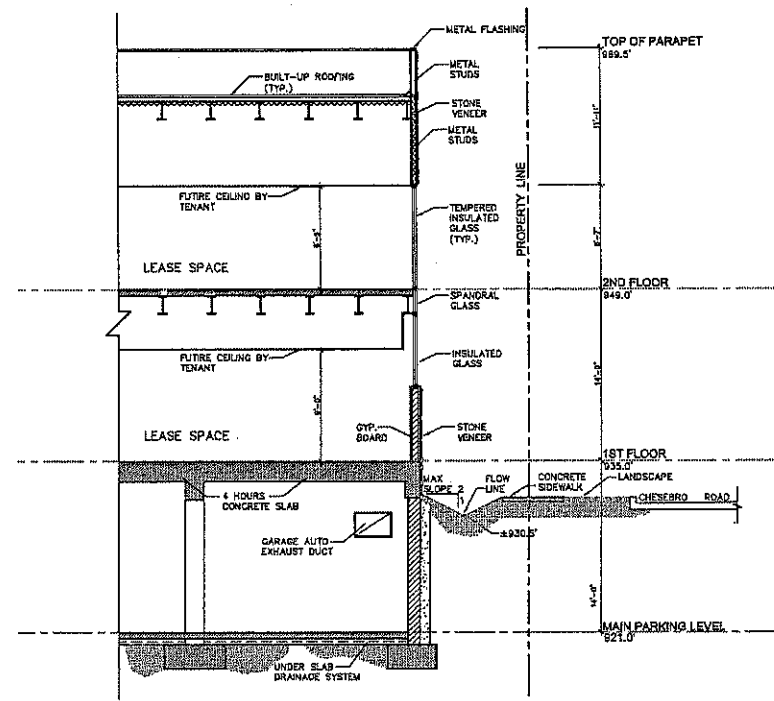
Architecture
3398 Willow Lane
Westlake Village
California 91361
Phone 805-497-4700

SHEET
A6.2
BUILDING SECTIONS

PRELIMINARY NOT FOR CONSTRUCTION



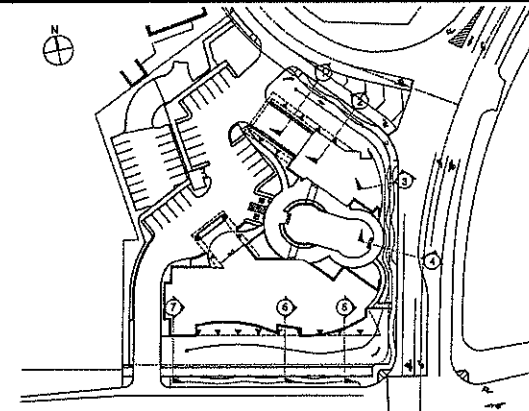
DIAGRAMATIC SECTION 4
SCALE: 1/4" = 1'-0"



DIAGRAMATIC SECTION 3
SCALE: 1/4" = 1'-0"

SECTION

3



KEY PLAN

SECTION

4

REVISIONS

DRAWING INFO
COMPILED BY: JAC
DATE: AUGUST, 2020
SCALE: 1/4" = 1'-0"
JOB NO: 1718

Agoura 186, CA

AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESEBRO ROAD & AGOURA ROAD



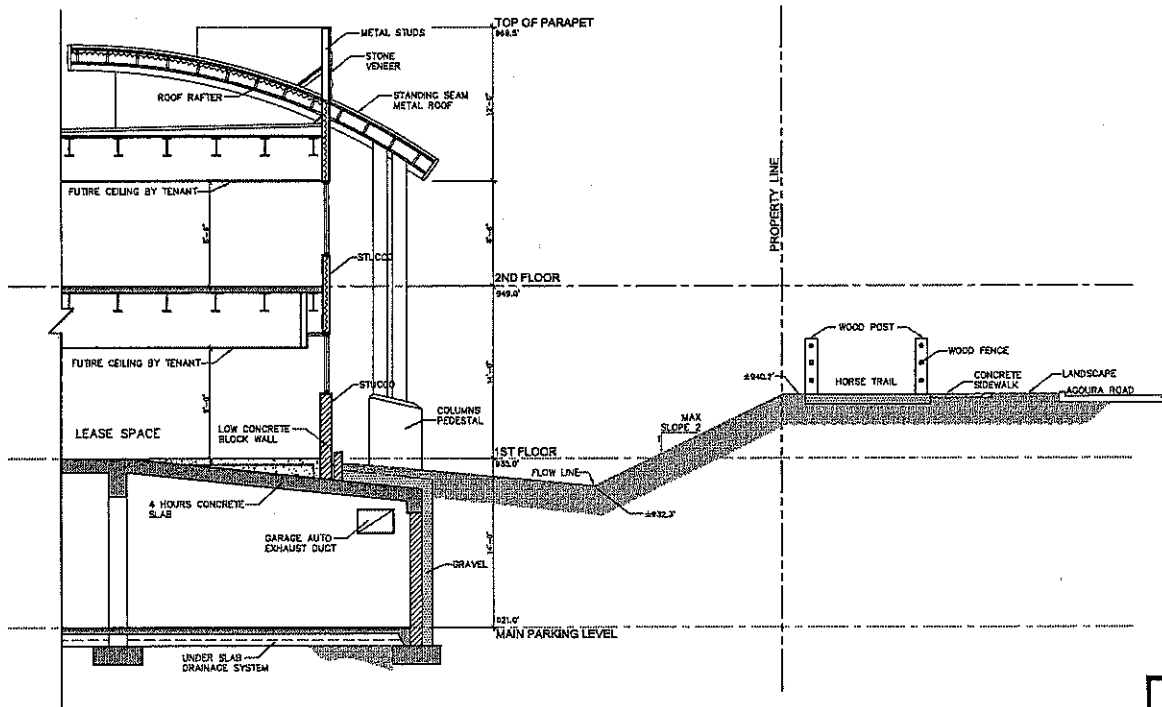
Heathcote & Associates

Architecture

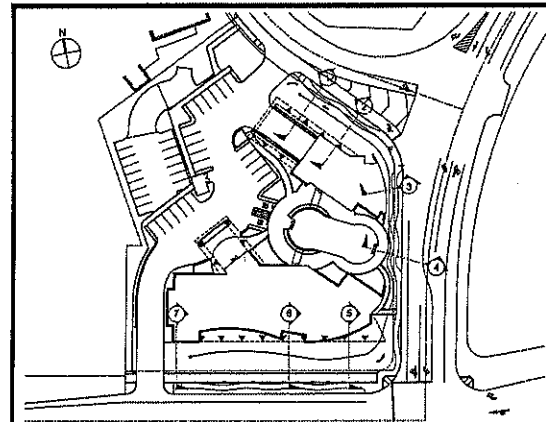
3395 Willow Lane
Westlake, CA 91371
California Suite 200
Phone 805-497-4700

Sheet
A6.3
BUILDING SECTIONS

PRELIMINARY NOT FOR CONSTRUCTION



DIAGRAMATIC SECTION
SCALE: 1/4" = 1'-0" ⑥



SECTION

5

KEY PLAN

REVISIONS

DRAWING NO.
CONTRACT NO.
DATE
AUGUST, 2008
SHEET
OF 22
1112

AGOURA MEDICAL PARTNERS, LLC

Agoura Hill, CA

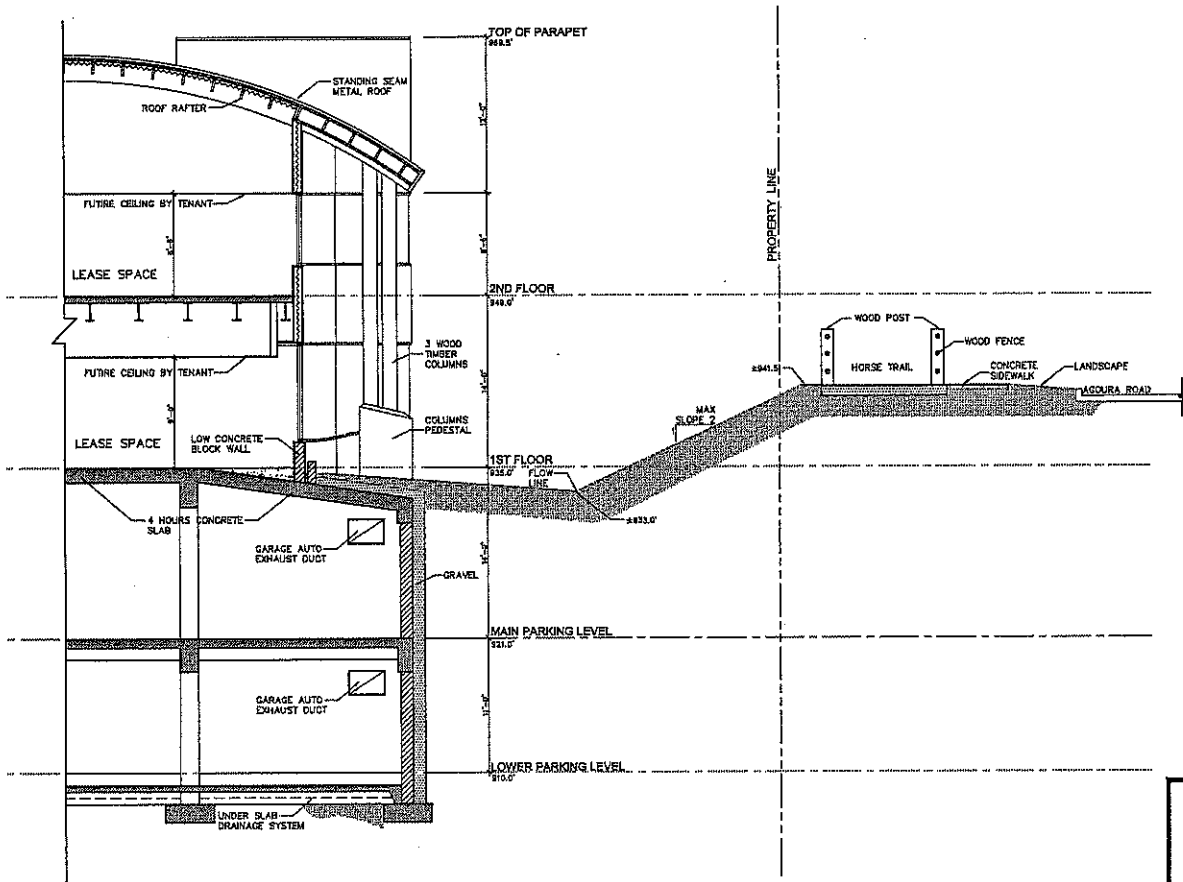
CORNER OF CHESBRO ROAD & AGOURA ROAD



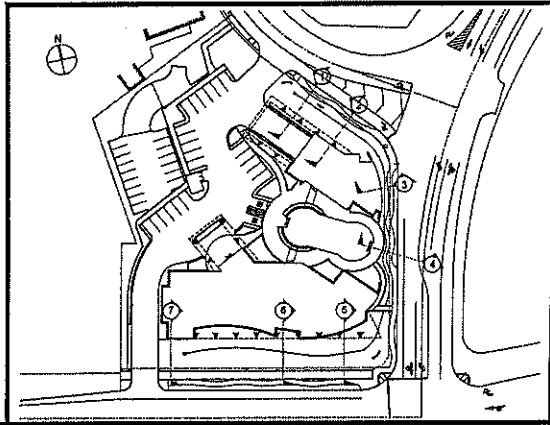
Architecture
3396 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

DATE
A6.4
BUILDING SECTIONS

PRELIMINARY NOT FOR CONSTRUCTION



DIAGRAMATIC SECTION
SCALE 1/4" = 1'-0" (8)



SECTION

8

KEY PLAN

REVISIONS

DRAWN BY
COMPUTER FILE
DATE
AUGUST, 2008
SCALE
JOB NO.
1716

AGOURA MEDICAL PARTNERS, LLC

CORNER OF CHESTNUT ROAD & AGOURA ROAD

Agoura Hill, CA

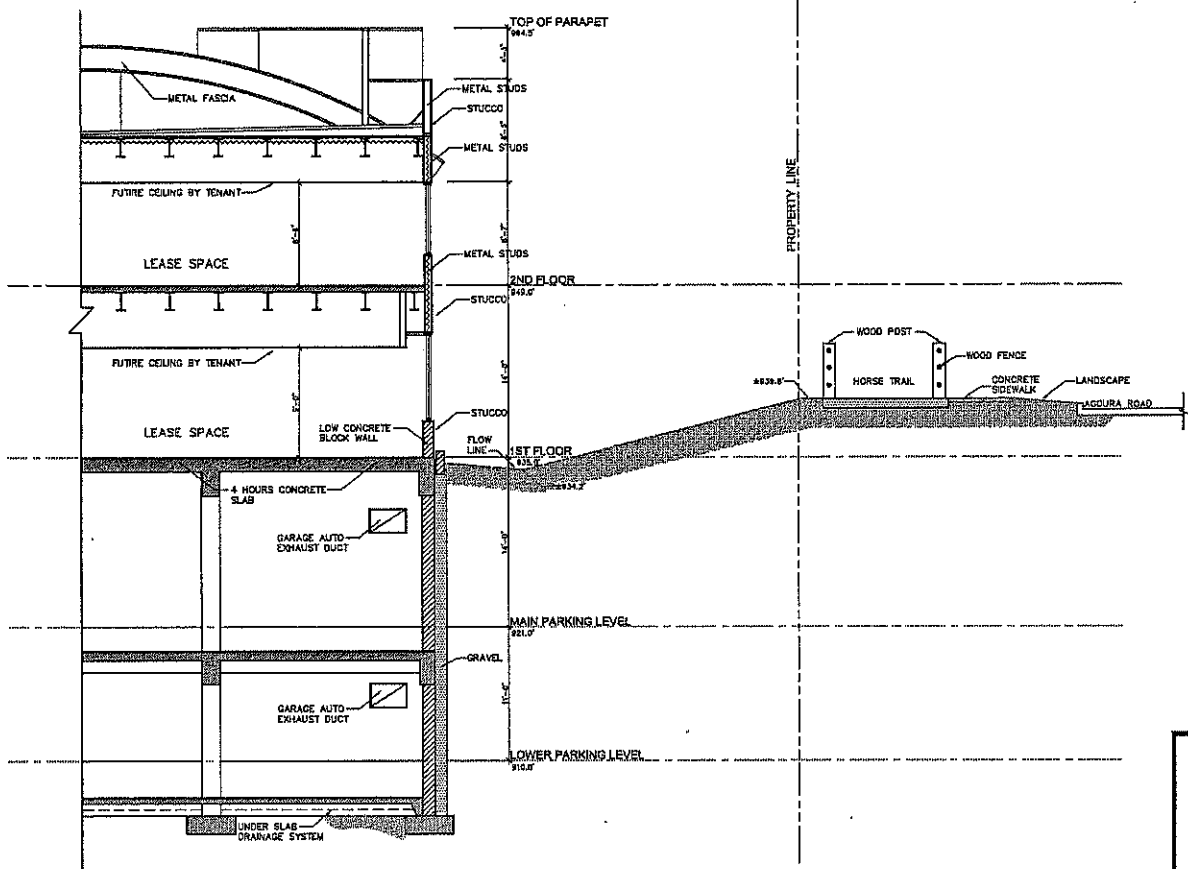


Heathcote & Associates
Architecture

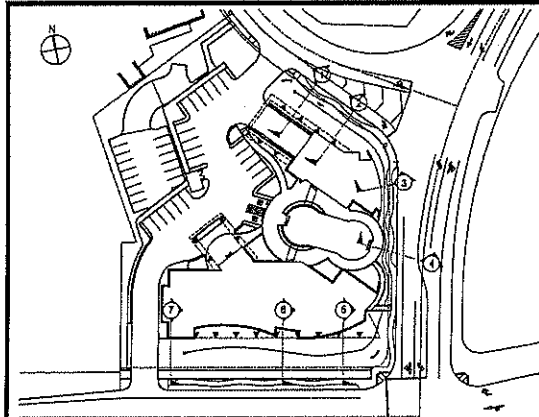
3398 Willow Lane
Westlake, Village
California Suite 200
Phone 805-497-4700

SKETCH
A6.5
BUILDING SECTIONS

PRELIMINARY NOT FOR CONSTRUCTION



DIAGRAMATIC SECTION
SCALE 1/4" = 1'-0" (7)



SECTION

7

KEY PLAN

REVISIONS

DRAWING INFO
DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: [blank]
SCALE: [blank]
JOB NO.: [blank]
TITLE: [blank]

AGOURA MEDICAL PARTNERS LLC

CORNER OF COLLESTERO ROAD & AGOURA ROAD

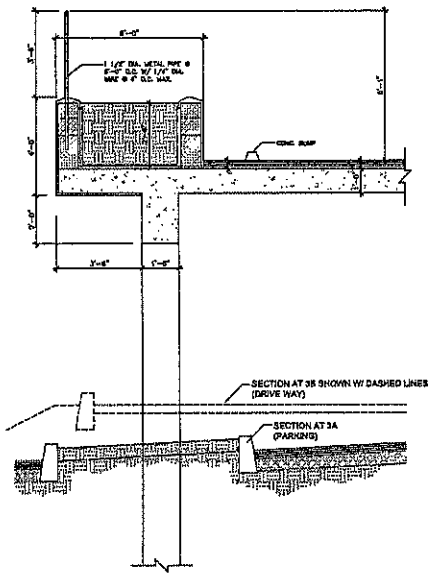
Agoura Hills, CA



Heathcote & Associates
Architecture
3356 Willow Lane
Westlake Village
California Suite 200
Phone 805-497-4700

SCALE
A6.6
BUILDING SECTIONS

PRELIMINARY NOT FOR CONSTRUCTION

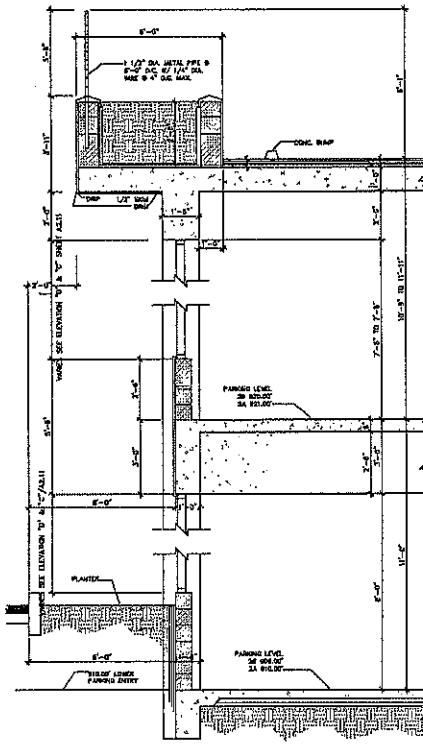


SECTION
SCALE 1/2" = 1'-0"

3

SECTION 3A & 3B

3

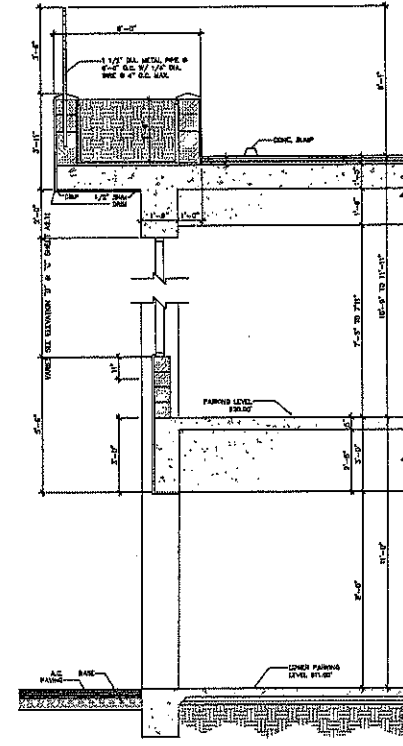


SECTION
SCALE 1/2" = 1'-0"

2

SECTION 2

2

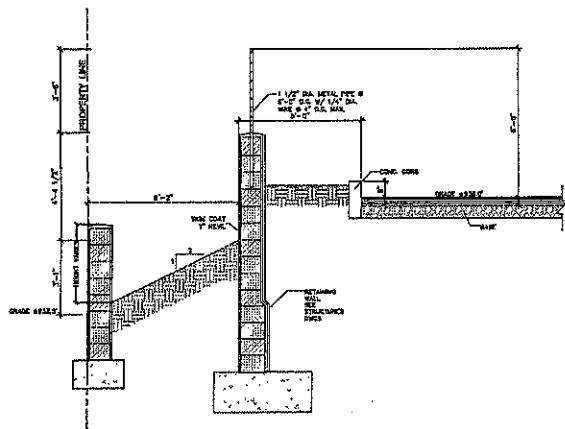


SECTION
SCALE 1/2" = 1'-0"

1

SECTION 1

1

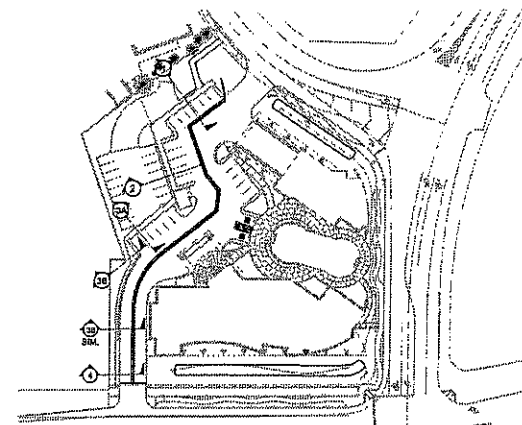


SECTION
SCALE 1/2" = 1'-0"

4

SECTION 4

4



KEY PLAN

5

REVISIONS

DRAWING INFO
COMPUTER FILE
DATE
AUGUST 2009
SCALE
1/2" = 1'-0"
JOB NO.
1718

AGOURA MEDICAL PARTNERS, LLC

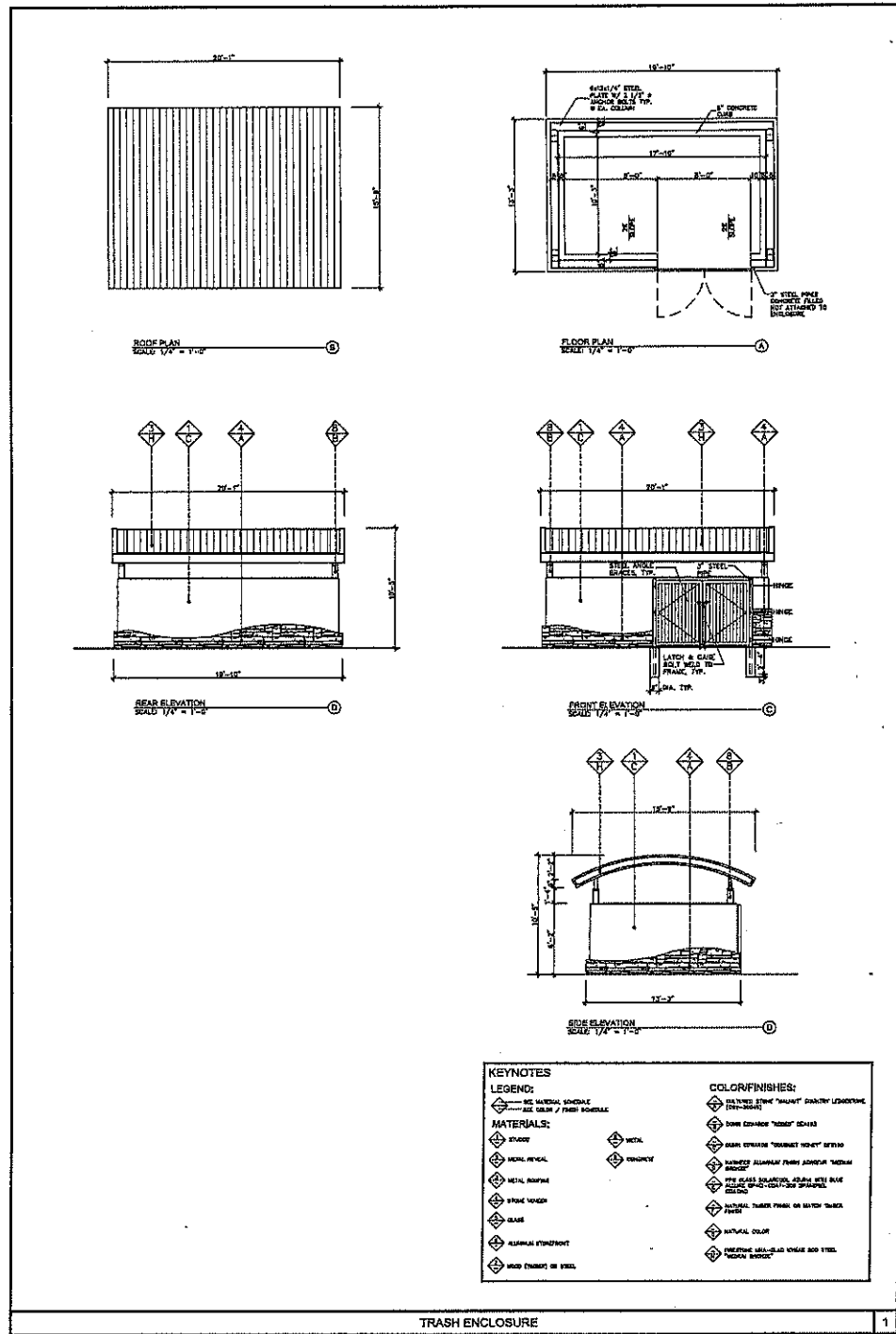
CORNER OF CHESTER ROAD & AGOURA ROAD



Heathcote & Associates
Architecture
3395 Willow Lane
Westlake, CA 91361
California Suite 200
Phone 805-497-4700

SHEET
A6.7
CARAGE SECTIONS

PRELIMINARY NOT FOR CONSTRUCTION



KEYNOTES

LEGEND:
 - SEE MATERIAL SCHEDULE
 - SEE COLOR / FINISH SCHEDULE

MATERIALS:

◊ STUCCO	◊ METAL
◊ METAL PANEL	◊ FINISH
◊ METAL ROOFING	
◊ STONE VENEER	
◊ GLASS	
◊ ALUMINUM STRUCTURE	
◊ WOOD FINISH ON STEEL	

COLOR/FINISHES:

◊ BELLEVILLE STONE "MOUNTAIN COUNTRY LEONORINE" (EWH-2008)	◊ DOWN EXHAUSTER "TODAY" SCH413
◊ BROWN EXHAUSTER "TODAY" SCH413	◊ BROWN EXHAUSTER "TODAY" ROBERTS
◊ BROWN EXHAUSTER "TODAY" ROBERTS	◊ BLUE GRASS BALLASTLESS GRANITE (BLS BLUE GRASS)
◊ BLUE GRASS BALLASTLESS GRANITE (BLS BLUE GRASS)	◊ NATURAL TRUCK FINISH ON MATCH TRUCK FINISH
◊ NATURAL TRUCK FINISH ON MATCH TRUCK FINISH	◊ NATURAL COLOR
◊ NATURAL COLOR	◊ FINISHING WEA-GLASS UNISEL AND STEEL "TODAY" ROBERTS

TRASH ENCLOSURE

1

REVISIONS

DRAWING FILE: 3117
 SYSTEMS: 2008
 SCALE: 1/4" = 1'-0"
 JOB NO.: 1718

AGOURA MEDICAL PARTNERS LLC

CORNER OF CHESTERWOOD ROAD & AGOURA ROAD
 AGOURA HILLS, CA

AGOURA MEDICAL PARTNERS LLC

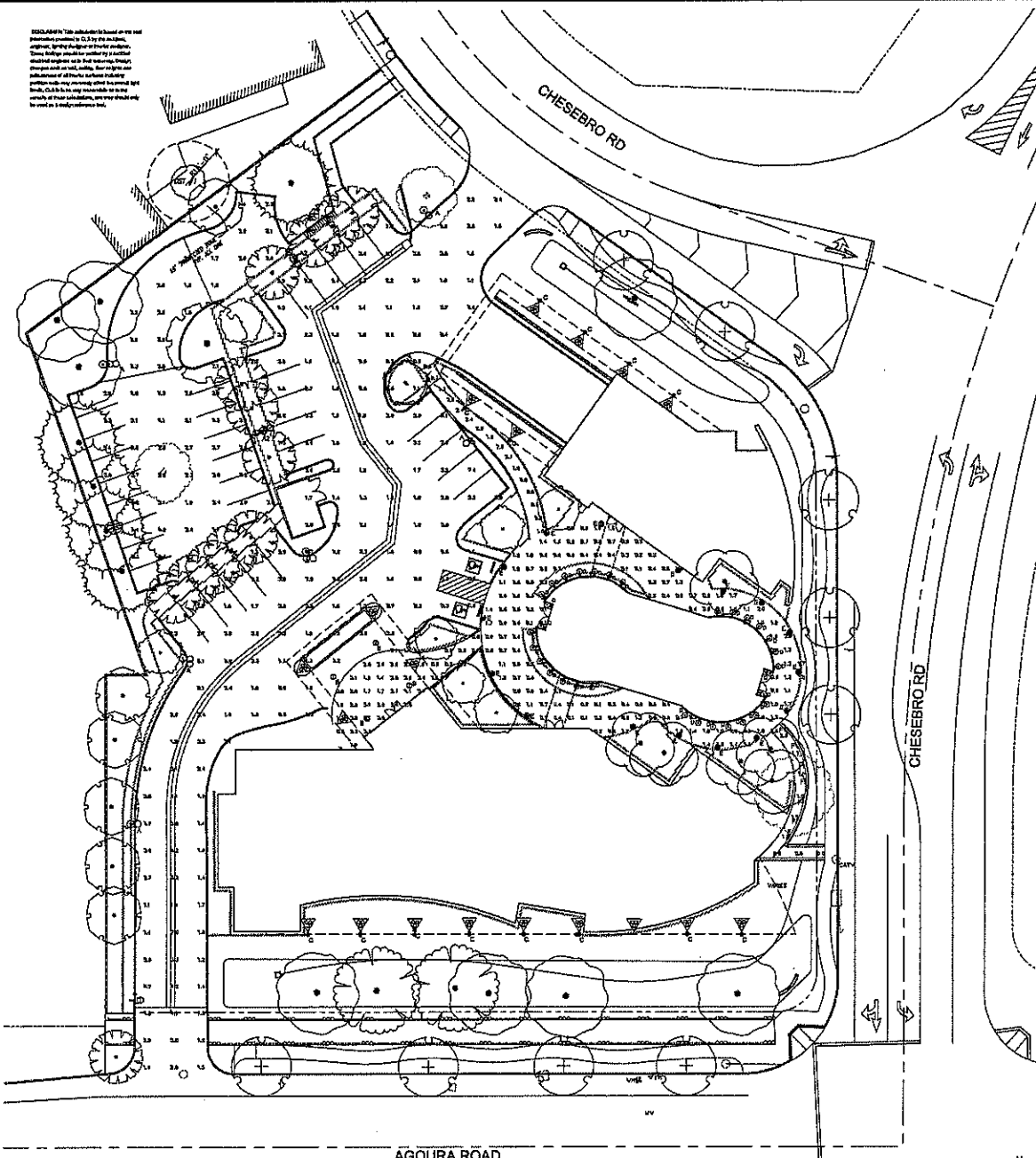
REGISTERED ARCHITECT
 No. C611856
 STATE OF CALIFORNIA

Heathcote & Associates
 Architecture
 3396 Willow Lane
 Westlake Village
 California Suite 200
 Phone 805-497-4700

PRELIMINARY NOT FOR CONSTRUCTION

1
 A7.0
 TRASH ENCLOSURE

DISCLAIMER: This calculation is based on the most accurate information available to the author. The author is not a professional lighting designer. The author is not responsible for the accuracy of the calculations or the resulting lighting design. The author is not responsible for any errors or omissions in this calculation, and the user should consult a professional lighting designer for more information.



LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Description	Wattage	Location	LFY
○	A	2	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	ENTRANCE, OFF CORRIDOR, LOBBY	0.80
○	B	2	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	CORRIDOR, OFF	0.80
○	B	4	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	OFF CORRIDOR	0.80
○	C	14	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	HALLWAY	0.75
○	D	23	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	HALLWAY	0.75
○	E	16	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	HALLWAY	0.75
○	F	7	RECESSED, 120-WATT, 4-FOOT, 2-FITTING, UTLIKE, FLUSH-MOUNTED, 2-4' TYPICAL SPACING, 0-1' TYPICAL SPACING 12"-0"	120W	OFFICE	0.80

STATISTICS							
Direction	Symbol	Height	Beam	Beam	Beam	Beam	Beam
GRADE LEVEL, PARKING	○	4.5 ft	0.5 ft	0.5 ft	0.5 ft	25.0 ft	0.5 ft
LOWER PARKING	○	1.8 ft	0.2 ft	1.4 ft	0.7 ft	0.7 ft	0.5 ft
HOTEL BENCH	○	1.5 ft	0.2 ft	0.8 ft	0.5 ft	0.5 ft	0.5 ft
PARKING	○	1.1 ft	0.2 ft	0.8 ft	N/A	N/A	N/A
DRIVE DRIVEWAY	○	1.8 ft	0.2 ft	0.8 ft	N/A	N/A	N/A
VERTICAL	○	6.8 ft	4.7 ft	0.0 ft	N/A	N/A	N/A
VERTICAL	○	7.8 ft	3.3 ft	1.8 ft	16.5 ft	0.5 ft	N/A
VERTICAL	○	2.4 ft	0.2 ft	1.8 ft	N/A	N/A	N/A
VERTICAL	○	1.8 ft	0.2 ft	0.5 ft	25.0 ft	0.5 ft	N/A
VERTICAL	○	1.4 ft	0.2 ft	0.5 ft	18.0 ft	0.5 ft	N/A
VERTICAL	○	1.3 ft	0.2 ft	0.2 ft	18.0 ft	0.5 ft	N/A
VERTICAL	○	0.6 ft	0.2 ft	0.3 ft	N/A	N/A	N/A
VERTICAL	○	1.7 ft	0.2 ft	0.5 ft	N/A	N/A	N/A

PHOTOMETRIC PLAN
SCALE: 1" = 18'-0"

PHOTOMETRIC PLAN

REVISIONS

DRAWING NO. 2009-01
DATE: NOVEMBER 2009
SCALE:

AGOURA MEDICAL PARTNERS LLC

COUNTY OF CHESEBRO ROAD & AGOURA ROAD

Agoura Hills, CA



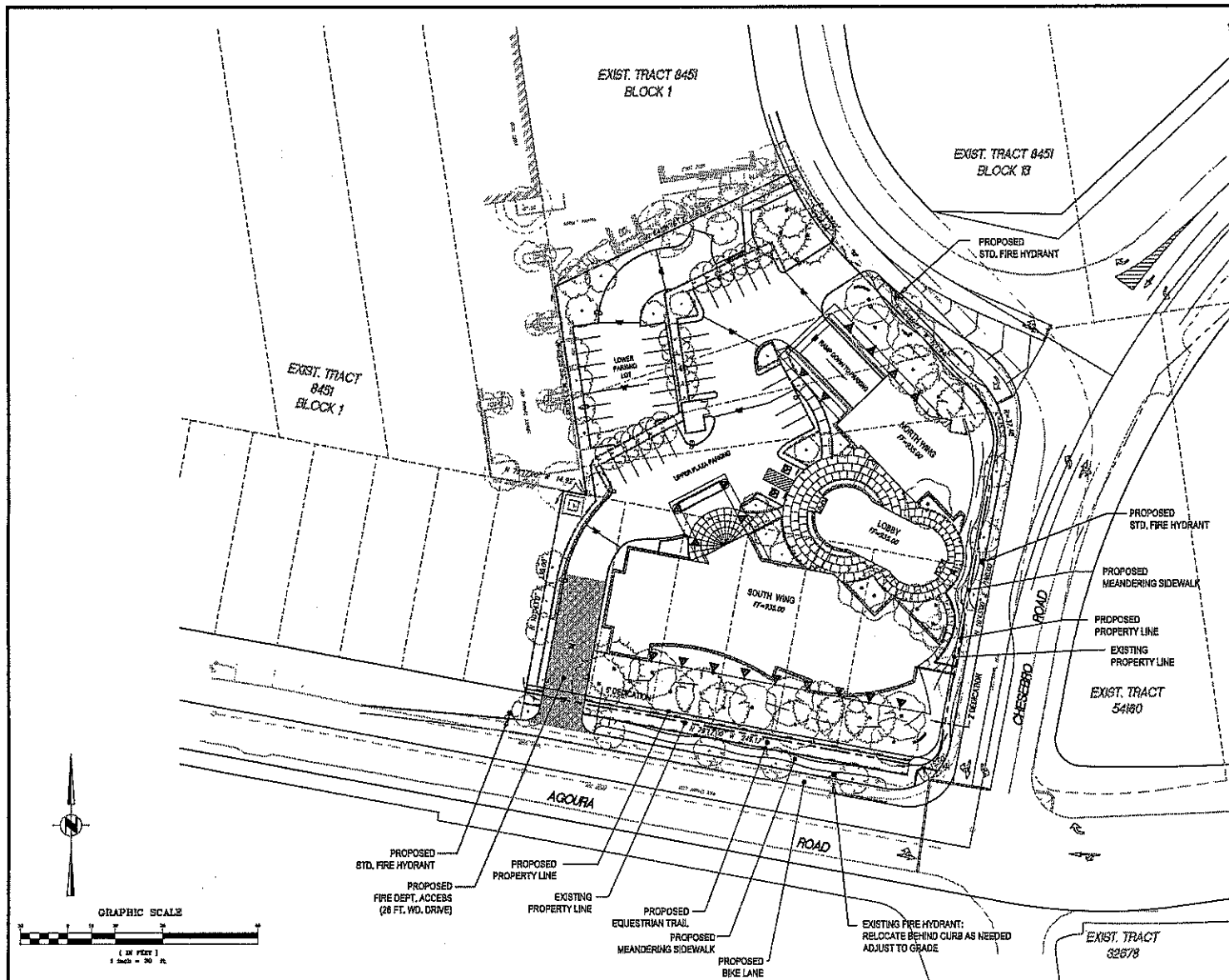
Heathcote & Associates
Architecture

3395 Willow Lane
Westlake Village, California
Suite 206
Phone 805-497-4760

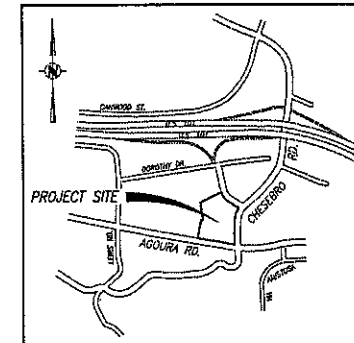
PRELIMINARY NOT FOR CONSTRUCTION

PHOTOMETRIC PLAN

E1



VICINITY MAP



OWNER/DEVELOPER:

AGOURA MEDICAL PARTNERS, LLC
 23945 CALABASAS ROAD, SUITE 111
 CALABASAS, CA 91302
 PHONE: (818) 222-4930
 FAX: (818) 222-4331

ENGINEER:

HMK ENGINEERING, INC.
 1552 18th STREET
 SANTA MONICA, CA 90404
 4770 WALK HUNTER
 PHONE: (310) 448-5511

BENCHMARK:

BURN TAG IN CORNER OF COR LAURA LA PLANTE DR & AGOURA RD
 46 FT E & 32 FT S/O C&A MET (4 FT S/O B&S)
 BM 201 10127 ELEV=936.845 1990

PROPOSED LAND USAGE AND AREAS:

PROPOSED LAND USES: TWO STORY MEDICAL OFFICE BLDG. W/ TWO TIERED PARKING STRUCTURE

TOTAL NUMBER OF LOTS: 1
 GROSS AREA: 76,194 SF (1.80 AC)
 NET AREA: 77,388 SF (1.78 AC)
 PARKING: PLAZA LEVEL = 24 SPACES
 PARKING LEVEL = 118 SPACES
 LOWER PARKING GARAGE = 66 SPACES
 TOTAL = 208 SPACES

ZONING INFORMATION:

EXISTING ZONING: GEN. PLAN, OFFICE/RESIDENTIAL
 PROPOSED ZONING: UNDEVELOPED
 EXISTING GENERAL PLAN: OFFICE/RESIDENTIAL
 PROPOSED GENERAL PLAN: OFFICE/RESIDENTIAL



PREPARED BY: **HMK ENGINEERING INC.**
 CIVIL ENGINEERS PLANNERS LAND SURVEYORS
 1552 18th STREET
 SANTA MONICA, CA 90404 PHONE (310) 448-5511

PREPARED FOR: OWNER/DEVELOPER
AGOURA MEDICAL PARTNERS, LLC
 23945 CALABASAS ROAD, SUITE 111
 CALABASAS, CA 91302
 (818) 222-4930

PLAN TITLE: **FIRE DEPARTMENT SITE PLAN**
TENTATIVE PARCEL MAP 70096
 MEDICAL OFFICE BUILDING
 SHEET 2 OF 2 SHEETS

NO.	REVISION DESCRIPTION	DATE

W.D. No. 822

LEGAL DESCRIPTION (LOT 13):

PANEL A:
 THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE ALONG THE WESTERLY LINE THEREOF NORTH 8° 27' WEST 18.41 FEET; THENCE SOUTH 82° 37' 15" EAST 202.13 FEET TO A POINT IN THE CURVED EASTERLY LINE OF SAID LOT; DISTANT NORTHWESTERLY 23.02 FEET ALONG SAID CURVE FROM THE SOUTHWESTERLY TERMINUS OF THAT CURVED CURVE SHOWN ON SAID MAP AS HAVING A RADIUS OF 33.16 FEET AND A CURVE LENGTH OF 32.52 FEET; A RADIAL LINE TO SAID LAST MENTIONED POINT BEARS NORTH 82° 29' 57" EAST; THENCE SOUTHWESTERLY ALONG SAID CURVE 28.52 FEET TO SAID SOUTHWESTERLY TERMINUS; THENCE CONTINUING ALONG THE EASTERLY LINE OF SAID LOT; SOUTH 10° 41' WEST 78.02 FEET TO THE MOST SOUTHWESTLY CORNER OF SAID LOT; THENCE SOUTH 7° 17' WEST 24.82 FEET TO THE POINT OF BEGINNING.

PANEL B:
 THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 8° 27' WEST 18.41 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 87° 37' 15" EAST 202.13 FEET TO A POINT IN THE CURVED EASTERLY LINE OF SAID LOT; DISTANT NORTHWESTERLY 23.02 FEET ALONG SAID CURVE FROM THE SOUTHWESTERLY TERMINUS OF THAT CURVED CURVE SHOWN ON SAID MAP AS HAVING A RADIUS OF 33.16 FEET AND A CURVE LENGTH OF 32.52 FEET; A RADIAL LINE TO SAID LAST MENTIONED POINT BEARS NORTH 82° 29' 57" EAST; THENCE SOUTHWESTERLY ALONG SAID CURVE 18.59 FEET TO THE END OF SAID CURVE; THENCE ALONG THE NORTHWESTERLY LINE OF SAID LOT; NORTH 43° 33' 27" WEST 34.49 FEET; THENCE SOUTH 10° 41' WEST 78.02 FEET TO A POINT IN THE WESTERLY LINE OF SAID LOT; DISTANT NORTH 8° 27' WEST 18.33 FEET FROM THE POINT OF BEGINNING; THENCE SOUTH 8° 27' EAST 18.33 FEET TO THE POINT OF BEGINNING.

PANEL C:
 THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 8° 27' WEST 18.37 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 87° 37' 15" EAST 202.13 FEET TO A POINT IN THE CURVED EASTERLY LINE OF SAID LOT; DISTANT NORTHWESTERLY 23.02 FEET ALONG SAID CURVE FROM THE SOUTHWESTERLY TERMINUS OF THAT CURVED CURVE SHOWN ON SAID MAP AS HAVING A RADIUS OF 33.16 FEET AND A CURVE LENGTH OF 32.52 FEET; THENCE ALONG SAID NORTHWESTERLY LINE NORTH 43° 33' 27' WEST 34.50 FEET; THENCE SOUTH 10° 41' WEST 78.02 FEET TO A POINT IN SAID WESTERLY LINE; DISTANT NORTH 8° 27' WEST 24.82 FEET FROM THE POINT OF BEGINNING.

PANEL D:
 THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 8° 27' WEST 18.37 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 87° 37' 15" EAST 202.13 FEET TO A POINT IN THE CURVED EASTERLY LINE OF SAID LOT; DISTANT NORTHWESTERLY 23.02 FEET ALONG SAID CURVE FROM THE SOUTHWESTERLY TERMINUS OF THAT CURVED CURVE SHOWN ON SAID MAP AS HAVING A RADIUS OF 33.16 FEET AND A CURVE LENGTH OF 32.52 FEET; THENCE ALONG SAID NORTHWESTERLY LINE NORTH 43° 33' 27' WEST 34.50 FEET; THENCE SOUTH 10° 41' WEST 78.02 FEET TO A POINT IN SAID WESTERLY LINE; DISTANT NORTH 8° 27' WEST 24.82 FEET FROM THE POINT OF BEGINNING.

PANEL E:
 THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 8° 27' WEST 18.37 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 71° 42' 45" EAST 208.84 FEET TO A POINT IN THE NORTHWESTERLY LINE OF SAID LOT; DISTANT NORTH 43° 33' 27' WEST 34.48 FEET FROM THE NORTHWESTERLY TERMINUS OF A CURVE IN SAID LINE SHOWN ON SAID MAP AS HAVING A RADIUS OF 37.48 FEET AND A LENGTH OF 32.52 FEET; THENCE ALONG SAID NORTHWESTERLY LINE NORTH 43° 33' 27' WEST 34.50 FEET; THENCE SOUTH 10° 41' WEST 78.02 FEET TO A POINT IN SAID WESTERLY LINE; DISTANT NORTH 8° 27' WEST 24.82 FEET FROM THE POINT OF BEGINNING.

LEGAL DESCRIPTION (LOTS 14-18):

PANEL 1:
 LOT 14, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;
 EXCEPT AN ENHANCED ONE-HALF OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED DECEMBER 5, 1982, AS DOC. NO. 18827 OF OFFICIAL RECORDS.

PANEL 2:
 LOT 15 AND 16, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

PANEL 3:
 LOT 17 AND 18, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;
 EXCEPT AN ENHANCED ONE-HALF OF ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED DECEMBER 5, 1982, AS DOC. NO. 18827 OF OFFICIAL RECORDS.

PANEL 4:
 LOT 19, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;
 EXCEPT THE SOUTHERLY 5 FEET THEREOF.

LOT AREAS:

LOT 13 = 44,901 SF (1.03 AC)
 LOT 14 = 2,293 SF (0.19 AC)
 LOT 15 = 5,520 SF (0.13 AC)
 LOT 16 = 5,200 SF (0.12 AC)
 LOT 17 = 5,200 SF (0.12 AC)
 LOT 18 = 5,200 SF (0.12 AC)
 LOT 19 = 5,200 SF (0.12 AC)
 TOTAL = 79,184 SF GROSS AREA
 OR 1.82 ACRES

BASIS OF BEARINGS:

THE BEARING NORTH 87° 33' 00" EAST BEING THE CENTERLINE OF DORRITY DRIVE PER TRACT NO. 8451, AS RECORDED IN BOOK 104, PAGE 80 OF MAPS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

BENCHMARK:

ROBIN TAG IN CE # SE COR LAURA LA PLANTE DR & AGOURA RD
 41 FT E & 32 FT S/O C/O, 01 (1 FT C/O DECI)
 ON 07/10/17 0.017+433.618 1990

EASEMENTS (LOT 13):

THE STREETS OF EASEMENTS SHOWN IN CHICAGO TITLE COMPANY POLICY NO. 4401074-01, DATED FEB. 8, 2004, ARE SHOWN HEREON UNLESS OTHERWISE NOTED:
 (1) AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED IN BOOK 8168, PAGE 112 OF OFFICIAL RECORDS, AFFECTS SAID LAND.
 (2) AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED IN BOOK 17294, PAGE 78 OF OFFICIAL RECORDS, AFFECTS THE SOUTHWESTLY 4 FEET OF SAID LAND.
 THE EFFECTS OF JAMES ASSASSINATIONS, WATER RIGHTS, COVENANTS, EASEMENTS, OIL AND GAS LEASES, COVENANT AND AGREEMENTS, PROMISSORY UNRECORDED LEASES, RESOURCES, CLAIMS OR INTERESTS, AND OTHERS OF TRUST AS DISCLOSED BY ITEM NO'S 1 THROUGH 4 AND 7 THROUGH 15 INCLUSIVE, ARE INDETERMINABLE AND THEREFORE NOT SHOWN ON THIS SURVEY.

EASEMENTS (LOTS 14-19):

THE EFFECTS OF EASEMENTS SHOWN IN CHICAGO TITLE COMPANY POLICY NO. 4401074-01, DATED MAR. 23, 2004, ARE SHOWN HEREON UNLESS OTHERWISE NOTED:
 (1) AN EASEMENT FOR PUBLIC UTILITIES RECORDED JUNE 13, 1975, IN BOOK 3814, PAGE 316 OF OFFICIAL RECORDS, AFFECTS LOTS 17 AND 18.
 (2) AN EASEMENT FOR PUBLIC UTILITIES RECORDED APRIL 28, 1976, IN BOOK 8509, PAGE 218 OF OFFICIAL RECORDS, AFFECTS LOTS 15 AND 16.
 (3) AN EASEMENT FOR SANITARY SEWER RECORDED APRIL 22, 1968, AS DOCUMENT NO. 1972 OF OFFICIAL RECORDS, AFFECTS THE NORTHERLY 10 FEET OF LOT 19 OF SAID LAND.
 (4) AN EASEMENT FOR SANITARY SEWER RECORDED APRIL 22, 1968, AS DOCUMENT NO. 1974 OF OFFICIAL RECORDS, AFFECTS THE NORTHERLY 10 FEET OF LOT 14, 17, AND 18 OF SAID LAND.
 (5) AN EASEMENT FOR SANITARY SEWER RECORDED APRIL 24, 1968, AS DOCUMENT NO. 2488 OF OFFICIAL RECORDS, AFFECTS THE NORTHERLY 10 FEET OF LOT 15 AND 16 OF SAID LAND.
 (6) AN EASEMENT FOR PUBLIC ROAD AND HIGHWAY RECORDED JUNE 17, 1969 AS DOCUMENT NO. 80-58909 OF OFFICIAL RECORDS, AFFECTS A PORTION OF LOT 14 5 FEET OF LOT 17 AND 18.
 THE EFFECTS OF TRUSTS, ASSESSMENTS, WATER RIGHTS, COVENANTS, OIL AND GAS LEASES, COVENANT AND AGREEMENTS, PROMISSORY UNRECORDED LEASES, RESOURCES, CLAIMS OR INTERESTS WHOSE EFFECTS OF TRUST AS DISCLOSED BY ITEM NO'S 1 THROUGH 8, 15, AND 16 THROUGH 19 INCLUSIVE, ARE INDETERMINABLE AND THEREFORE NOT SHOWN ON THIS SURVEY.

SEISMIC HAZARD ZONE NOTES:

THE CALIFORNIA DIVISION OF MINES AND GEOLOGY UNDER THE SEISMIC HAZARD MAPPING ACT HAS PREPARED MAPS INDICATING ZONES OF POTENTIAL SEISMIC HAZARDS. THE LOCATION FOR THIS ACT MAY BE FOUND IN THE CALIFORNIA PUBLIC RESOURCES CODE, DIVISION 2, CHAPTER 218, SECTIONS 21800-21896 AND CHAPTER 8, ARTICLE 16, SECTIONS 3720-3723. THE PURPOSE OF THE ACT IS TO PROVIDE CITIES AND COUNTIES WITH ZONES WHERE SITE-SPECIFIC GEOTECHNICAL STUDIES ARE REQUIRED PRIOR TO DEVELOPMENT. LOCAL AGENCIES MUST IDENTIFY MOST TYPES OF DEVELOPMENT PROJECTS LOCATED WITHIN THE ZONES. THE CURRENTLY AVAILABLE OFFICIAL MAPS OF SEISMIC HAZARD ZONES CONTAIN ZONES FOR THE SEISMIC HAZARDS OF LIQUEFACTION AND EARTHQUAKE-INDUCED LAWSLIDES FOR LIMITED GEOGRAPHIC AREAS ONLY. HOWEVER, FUTURE MAPS MAY COVER ADDITIONAL SEISMIC HAZARDS AND MAY COVER THE ENTIRE STATE. OUR SEARCH INDICATES WHETHER A PROJECT IS SITUATED OR NOT SITUATED WITHIN A SHAPED SEISMIC HAZARD ZONE. IF THE PROJECT IS NOT LOCATED IN AN AREA MAPPED BY THE STATE SEISMIC HAZARD MAPPING PROGRAM, OUR REPORT ASSURES THAT THE MAP FOR THE SITE HAS NOT YET BEEN RELEASED BY THE STATE. DUE TO THE LIMITATIONS OF THE STATE SEISMIC HAZARD MAPPING PROGRAM, LES REPORTS, INC. RECOMMENDS HIRING A CERTIFIED ENGINEERING GEOLOGIST TO ADDRESS ANY CONCERNS REGARDING THE SEISMIC HAZARD PORTION OF THE SUBJECT SITE.
 THE LIQUEFACTION HAZARD ZONES DEFINED AREAS WHERE LIQUEFACTION HAS BEEN PRECEDED IN THE PAST AND AREAS WHERE LOCAL SOIL AND GROUNDWATER CONDITIONS INDICATE A POTENTIAL FOR FUTURE GROUND DECOMPRESSION FROM LIQUEFACTION THAT WOULD INCREASE VIBRATION. SEE SPECIFIC GEOTECHNICAL STUDIES AS REQUIRED PRIOR TO NEW DEVELOPMENT. LIQUEFACTION IS A PROCESS WHERE SATURATED, UNCONSOLIDATED, SANDY SOILS, TEMPORARILY BECOME LIQUEFIED AS A RESULT OF STRONG GROUND SHAKING. LIQUEFACTION IS CONSIDERED MOST LIKELY WHEN THE GROUND WATER TABLE IS LOCATED LESS THAN 30 FEET BELOW THE GROUND SURFACE. GROUND DECOMPRESSION MAY OCCUR AND BUILDINGS MAY BE DAMAGED AS A RESULT OF LIQUEFACTION.
 EARTHQUAKE-INDUCED LAWSLIDE ZONES INCLUDE AREAS WHERE GEOLOGIC MATERIALS ARE CONSIDERED SUSCEPTIBLE TO SLOPE FAILURE DURING STRONG EARTHQUAKE GROUND SHAKING. ALSO INCLUDES AREAS WITH IDENTIFIED STEEP SLOPES UNDERMINED AND FEELS WITH STRONG EARTHQUAKE-INDUCED SLOPE FAILURE DURING HISTORIC EARTHQUAKES. SEE SPECIFIC GEOTECHNICAL STUDIES AS REQUIRED PRIOR TO NEW DEVELOPMENT.

IT SHOULD BE NOTED THAT THE MAPS MAY NOT SHOW ALL AREAS OF POTENTIAL LIQUEFACTION OR EARTHQUAKE-INDUCED LAWSLIDING. IN ADDITION, THE SHAPED AREAS WHICH EACH ZONE WILL NOT BE AFFECTED UNIFORMLY DURING AN EARTHQUAKE. AS NOTED ON THE MAPS, LIQUEFACTION ZONES MAY ALSO CONTAIN AREAS SUSCEPTIBLE TO THE EFFECTS OF EARTHQUAKE-INDUCED LAWSLIDING. THIS SITUATION TYPICALLY EXISTS AT OR NEAR THE TOE OF EXISTING LANDSLIDES. DRAINAGE FROM NEARBY OR EXISTING FLOW SOURCE AREAS, OR ADJACENT TO OTHER STREAM BEDS.
 NOTE: FOR ANY ADDITIONAL CONCERNS REGARDING THIS PROPERTY'S SEISMIC CONDITIONS REFER TO THE SOILS REPORT BY GEO-SOIL CONSULTANTS DATED DEC. 16, 2004.

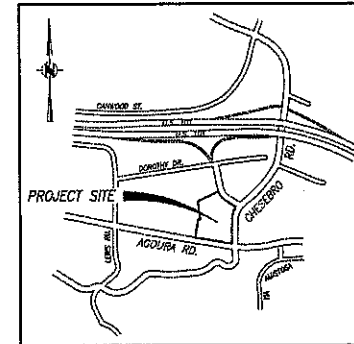
PROPOSED LAND USAGE AND AREAS:

PROPOSED LAND USES: TWO STORY MEDICAL OFFICE BLDG. W/ TWO BORED PARKING STRUCTURE
 TOTAL NUMBER OF LOTS: 1
 GROSS AREA: 79,184 SF (1.82 AC)
 NET AREA: 77,200 SF (1.78 AC)
 PARKING: PLAZA LEVEL = 24 SPACES
 PARKING LEVEL = 119 SPACES
 LOWER PARKING GARAGE = 66 SPACES
 TOTAL = 209 SPACES

ZONING INFORMATION:

EXISTING ZONING: G1, P204, B7/D1/D1/C1/C2
 PROPOSED ZONING: UNDESIGNED
 EXISTING GENERAL PLAN: BFOR/METAL
 PROPOSED GENERAL PLAN: OFFICE/MEDICAL

VICINITY MAP



OWNER/DEVELOPER:

AGOURA MEDICAL PARTNERS, LLC
 23945 CALABASAS ROAD, SUITE 111
 CALABASAS, CA 91302
 PHONE: (818) 222-4190
 FAX: (818) 222-4131

ENGINEER:

HMK ENGINEERING, INC.
 24007 VENTURA BLVD., STE 102
 CALABASAS, CA 91302
 ATTN: MARK HARTBY
 PHONE: (818) 222-0391



MARK HARTBY L.S. 540 EXP. 05/20/10 DATE

PREPARED BY:
HMK ENGINEERING INC.
 CIVIL ENGINEERS PLANNERS LAND SURVEYORS
 24007 VENTURA BLVD., SUITE 102
 CALABASAS, CA 91302 PHONE (818) 222-0301

PREPARED FOR:
AGOURA MEDICAL PARTNERS, LLC
 OWNER/DEVELOPER
 23945 CALABASAS ROAD, SUITE 111
 CALABASAS, CA 91302
 (818) 222-4190

PLANTITLE:
TENTATIVE PARCEL MAP 70096
 SHEET 1 OF 2 SHEETS

NO.	REVISION DESCRIPTION	DATE

W.O. No. 032

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 6 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EROSION MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS NOTED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT'S SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A REGISTERED PROFESSIONAL ENGINEER SHALL BE IN RESPECTIVE IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT: PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT: PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THIS REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL BENCHMARK TESTS, CUTLINE AND ELEVATIONS OF ALL ORIGINAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBSURFACE AND FLOWLINE INDICATORS, AND LOCATION AND ELEVATION OF ALL RETAINING WALLS, BACKFILLS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 0.8, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

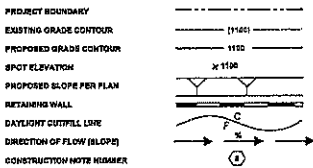
INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

- | | |
|---------------------------|-----------------------------|
| AG - ASPHALT CONCRETE | NO - NATURAL GRADING |
| BF - BOTTOM OF FOOTING | NTS - NOT TO SCALE |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CF - CURB FACE | POB - POINT OF BEGINNING |
| C - CENTERLINE | SDMI - STORM DRAIN MAINHOLE |
| CLP - CLEAN LINK PAVEMENT | SMH - SEWER MAINHOLE |
| CO - CLEAN OUT | SB - SANITARY SEWER |
| DB - DEBRIS BASIN | TD - TOP OF DRAIN |
| DL - DAYLIGHT | TF - TOP OF CURB |
| ES - EDGE OF OUTER | TF - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TF - TOP OF GRADE |
| FF - FINISHED FLOOR | TW - TOP OF WALL |
| FG - FINISHED GRADE | TT - TYPICAL |
| FW - FIRE HYDRANT | WV - WATER VALVE |
| FL - FLOWLINE | WW - WATER VALVE |
| FS - FINISH SURFACE | |
| HC - HANDICAP RAMP | |
| HP - HOOP POINT | |
| INV - INVERT | |

LEGEND AND SYMBOLS



**PRELIMINARY GRADING PLAN
AGOURA MEDICAL PARTNERS, LLC.
MEDICAL OFFICE BUILDING
SWC OF AGOURA RD AND
CHESEBRO RD.
AGOURA HILLS, CALIFORNIA**

PUBLIC UTILITIES / SERVICES

WATER:	LAS VEGAS/DES MOINES MUNICIPAL WATER DISTRICT 4355 LAS VEGAS/DES MOINES ROAD CALABASAS, CA 91302 (818) 990-4110
ELECTRICAL:	SOUTHERN CALIFORNIA Edison 5388 FOOTBALL DRIVE THOUSAND OAKS, CA 91320 (805) 464-2916
TELEPHONE:	800 (DIAL 800) 1825 PALMYRA STREET, #116 VAN NUYS, CA 91406 (818) 233-4388
GAZ:	SOUTHERN CALIFORNIA GAS 8405 DAKOTA AVENUE CHATTWORTH, CA 91313 (818) 791-0334
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1000 E. FREMONT AVENUE, BLDG AS EAST ALHAMBRA, CA 91803 (626) 396-3028
CABLE:	TIME WARNER (CABLE) 7233 TULLER ROAD NEWBURY PARK, CA 91320 (805) 378-8513
CABLE:	CHARTER COMMUNICATIONS 3806 CROSSCREEK ROAD MILLTUL, CA 90068 (818) 468-8010
CALTRANS:	CALTRANS 6400 REBEKA BLDG TAYLOR, CA 91788 (951) 388-1428



STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORMWATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITH THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF OBSCURE POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE STEPS TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPOT THEIR LOCATIONS RELATIVE TO THIS SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED AT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (818) 847-7360, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES"

LEGAL DESCRIPTION

(LOT 13)

PARCEL A:

THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT; THENCE ALONG THE WESTERLY LINE THEREOF NORTH 27° WEST 18.61 FEET; THENCE NORTH 69° 37' 15" EAST 264.13 FEET TO A POINT IN THE CURVED EASTERLY LINE OF SAID LOT; DISTANT NORTHERLY 35.00 FEET ALONG SAID CURVE; FROM THE SOUTHWEST CORNER SHOWN ON SAID MAP AS HAVING A RADIUS OF 37.48 FEET AND A TOTAL LENGTH OF 35.00 FEET; A RADIAL LINE TO SAID LAST MENTIONED POINT BEARS NORTH 62° 29' 57" EAST; THENCE NORTHERLY ALONG SAID CURVE, 10.82 FEET TO THE END OF SAID CURVE; THENCE ALONG THE NORTHERLY LINE OF SAID LOT; NORTH 43° 35' 27" WEST 33.48 FEET; THENCE SOUTH 78° 17' WEST 242.25 FEET TO THE POINT OF BEGINNING.

PARCEL B:

THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 27° WEST 18.61 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 69° 37' 15" EAST 264.13 FEET TO A POINT IN THE CURVED EASTERLY LINE OF SAID LOT, DISTANT NORTHERLY 35.00 FEET ALONG SAID CURVE; FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 62° 29' 57" EAST; THENCE NORTHERLY ALONG SAID CURVE, 10.82 FEET TO THE END OF SAID CURVE; THENCE ALONG THE NORTHERLY LINE OF SAID LOT; NORTH 43° 35' 27" WEST 33.48 FEET; THENCE SOUTH 78° 17' WEST 233.32 FEET TO A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 27° WEST 18.61 FEET FROM THE POINT OF BEGINNING; THENCE SOUTH 27° EAST 18.30 FEET TO THE POINT OF BEGINNING.

PARCEL C:

THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 27° WEST 36.71 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 76° 53' 37" EAST 233.32 FEET TO A POINT IN THE NORTHERLY LINE OF SAID LOT, DISTANT NORTH 43° 35' 27" WEST 33.48 FEET FROM THE NORTHERLY TERMINUS OF A CURVE IN SAID LINE SHOWN ON SAID MAP AS HAVING A RADIUS OF 37.48 FEET AND A LENGTH OF 35.00 FEET; THENCE ALONG SAID NORTHERLY LINE NORTH 43° 35' 27" WEST 33.48 FEET; THENCE SOUTH 77° 42' 45" WEST 202.68 FEET TO A POINT IN SAID WESTERLY LINE; DISTANT NORTH 27° WEST 24.08 FEET FROM THE POINT OF BEGINNING; THENCE SOUTH 27° EAST 24.08 FEET TO THE POINT OF BEGINNING.

PARCEL D:

THAT PORTION OF LOT 13, BLOCK 1, TRACT NO. 8451, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 80 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID LOT, DISTANT NORTH 27° WEST 60.79 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 71° 42' 45" EAST 204.24 FEET TO A POINT IN THE NORTHERLY LINE OF SAID LOT, DISTANT NORTH 43° 35' 27" WEST 33.48 FEET FROM THE NORTHERLY TERMINUS OF A CURVE IN SAID LINE SHOWN ON SAID MAP AS HAVING A RADIUS OF 37.48 FEET AND A LENGTH OF 35.00 FEET; THENCE ALONG SAID NORTHERLY LINE NORTH 43° 35' 27" WEST 33.48 FEET TO THE BEGINNING OF A CURVE; THENCE NORTHERLY ALONG SAID CURVE, 10.82 FEET TO THE WEST NORTHERLY CORNER OF SAID LOT; THENCE SOUTH 27° WEST 72.29 FEET TO THE POINT OF BEGINNING.

(LOTS 14-19)

PARCEL 1:

LOT 14, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

EXCEPT AN UNMAPPED ONE-HALF OF ALL GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED DECEMBER 5, 1982, AS DOC. NO. 1982 OF OFFICIAL RECORDS.

PARCEL 2:

LOT 15 AND 16, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

EXCEPT AN UNMAPPED ONE-HALF OF ALL GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED DECEMBER 5, 1982, AS DOC. NO. 1982 OF OFFICIAL RECORDS.

PARCEL 3:

LOT 17 AND 18, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

EXCEPT AN UNMAPPED ONE-HALF OF ALL GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE OF SAID LAND, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED DECEMBER 5, 1982, AS DOC. NO. 1982 OF OFFICIAL RECORDS.

PARCEL 4:

LOT 19, BLOCK 1, TRACT NO. 8451, IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 104, PAGE 79 TO 80, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY;

EXCEPT THE SOUTHERLY 5 FEET THEREOF.

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1.	TITLE SHEET
2.	PRELIMINARY GRADING PLAN
3.	STRUCTURE IMPROVEMENTS EXHIBIT (FOR REFERENCE)

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	10,881 CY	ESTIMATED EXPORT:	8,055 CY
ESTIMATED FILL:	2,537 CY	ESTIMATED IMPORT:	0 CY
ESTIMATED OVER-EXCAVATION:	2,632 CY		

BENCHMARK			
DESCRIPTION:	BM NO.	DT	ELEVATION
	10127		935.645
			BURIED DATE 08/03/07

RECORD DRAWING STATEMENT

I, ANDREW W. FOREMAN, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. 1 THROUGH 3, HEREBY AS "PROPOSED DRAWINGS" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER	DATE	C43881	09-30-08
		RCE NO.	EXP. DATE

SOILS APPROVAL

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____

REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP. DATE

OWNER

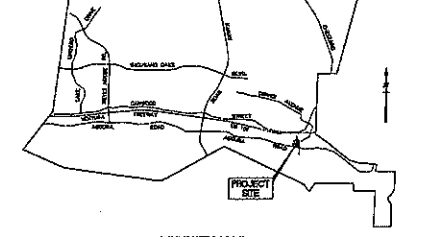
NAME: AGOURA MEDICAL PARTNERS, LLC
ADDRESS: 23945 CALABASAS ROAD, SUITE 111, CALABASAS, CA 91302
REPRESENTATIVE: AL DICKENS
TELEPHONE: (818) 222-4331

CIVIL ENGINEER

NAME: HALL & FOREMAN, INC.
ADDRESS: 25197 SPRINGFIELD COURT, SUITE 350, SANTA CLARITA, CA 91355
REPRESENTATIVE: ANDREW J. WILKRODT, P.E., LEED AP
TELEPHONE: (818) 284-7453

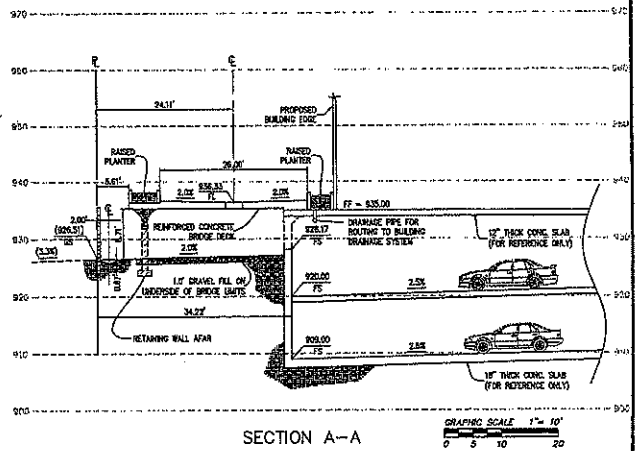
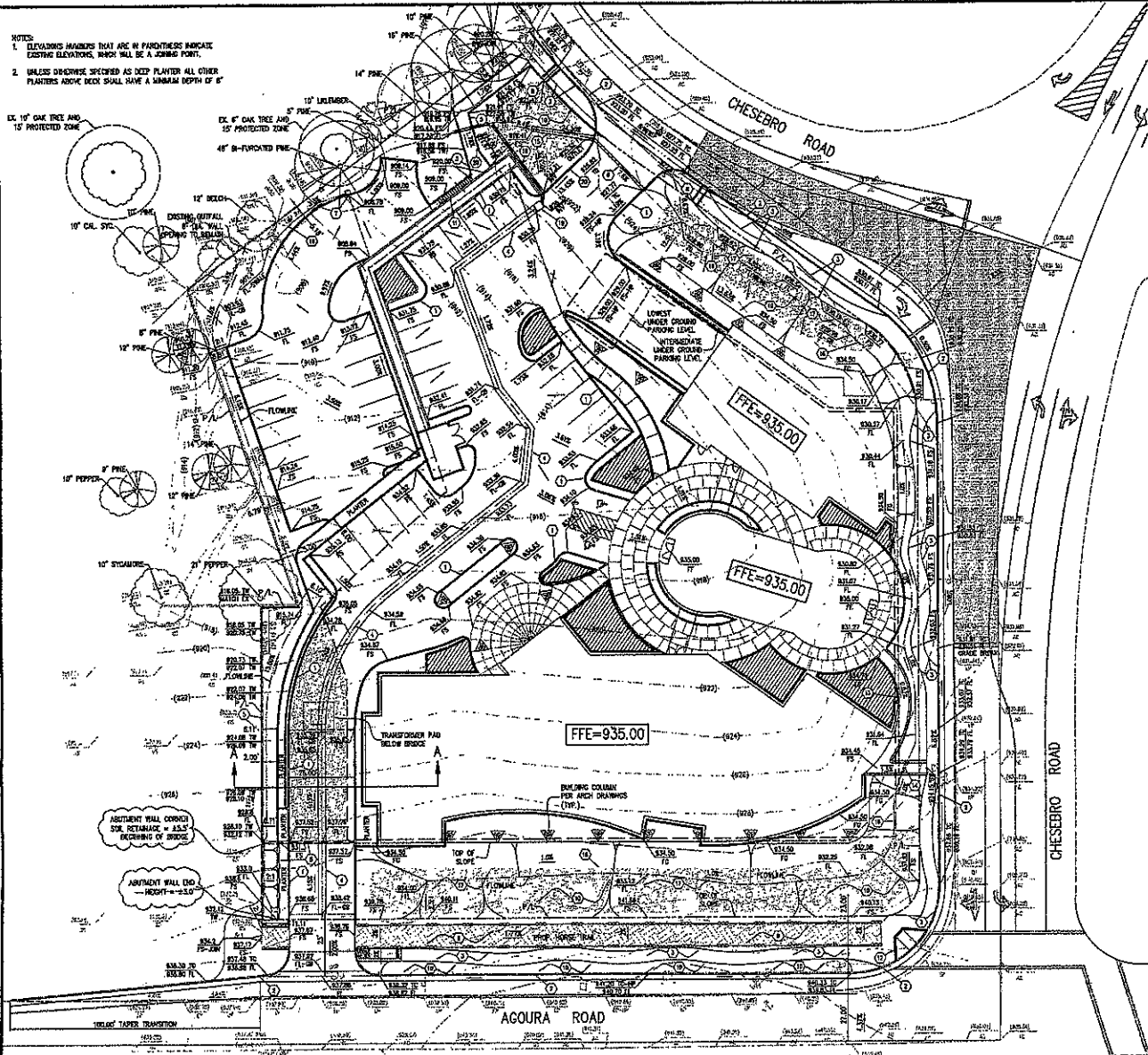
GEOTECHNICAL ENGINEER

NAME: GEOTECH CONSULTANTS, INC.
ADDRESS: 6634 VALJEAN AVENUE, VAN NUYS, CA 91406
REPRESENTATIVE: MASOOD S. BANA, P.E.
TELEPHONE: (818) 285-7158



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY:	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAISING ABOVE BY CITY ENGINEER	DATE	6886 RCE NO.	08/20/10 EXP DATE
1		UPDATED PER COMMENTS BY JAY PATIL-SDMI CIV. ENGINEER		08-06-09										
2		UPDATED PER COMMENTS BY JAY PATIL-SDMI CIV. ENGINEER		09-27-09										
3		UPDATED PER COMMENTS BY JAY PATIL-SDMI CIV. ENGINEER		02-17-09										
4		UPDATED PER SITE PLAN CHANGES & PROP. ST. IMPROVEMENTS ELEVATIONS		11-27-08										
5		REVISION PER COMMENTS BY CITY OF AGOURA HILLS STAFF ON 8/25/09		08-25-09										

**PRELIMINARY GRADING PLAN
 AGOURA MEDICAL PARTNERS, LLC.
 MEDICAL OFFICE BUILDING
 SWC OF AGOURA RD AND CHESEBRO RD.
 AGOURA HILLS, CALIFORNIA**



CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE CURB
2. CONSTRUCT CURB AND GUTTER
3. CONSTRUCT SIDEWALK
4. CONSTRUCT CONCRETE VALLEY GUTTER
5. CONSTRUCT RETAINING WALL
6. INSTALL TRENCH DRAIN
7. INSTALL SWALE GARD BY KRISTAL GRASSY SWALE PRE-FILTER (SUSIP BAP)
8. CONSTRUCT 2" WIDE PARKWAY DRAIN (FOR GREATER THAN 50 YEAR STORM EVENT)
9. CONSTRUCT EXPOSE TRAIL PER THE CITY OF AGOURA HILLS REQUIREMENTS
10. LANDSCAPE AREA PER LANDSCAPE PLAN
11. CONSTRUCT CONCRETE STAIRS PER ARCHITECTURAL DRAWINGS
12. CONSTRUCT HANDICAP RAMP PER THE CITY OF AGOURA HILLS STANDARD
13. CONSTRUCT HANDICAP ACCESS RAMP
14. INSTALL 10" PIPE DRAINAGE CLAYVT
15. INSTALL 24" WIDE CONCRETE GUTTER
16. FORM SWALE
17. CONSTRUCT INFILTRATION TRENCH (5,000 SF) (20% SW + 80% INFILTRATION)
18. INSTALL 12" PIPE
19. CONSTRUCT 36"x36" KRISTAL FLOW GUARD CATCH BASIN (20% SW + 80% INFILTRATION)
20. INSTALL 12" HIGH HAND RAIL ALONG CENTER LINE OF WALK/GURB

LEGEND

- | | |
|------|---------------------------------|
| FFE | FINISH FLOOR ELEVATION |
| FS | FINISH SURFACE |
| TG | TOP OF CURB |
| FL | FLOW LINE |
| BW | BACK OF WALK |
| EP | EDGE OF PAVEMENT |
| AC | ASPHALTED CONCRETE |
| INV | INVERT ELEVATION |
| TW | TOP OF WALL |
| GS | GROUND SURFACE |
| BLOG | BUILDING ELEVATION |
| TQ | TOP OF GRATE ELEVATION |
| HP | HIGH POINT |
| --- | INDICATES FLOW DIRECTION |
| 2.5% | INDICATES FINISH SURFACE SLOPE |
| SSM | SEWER MANHOLE |
| WM | WATER METER |
| WV | WATER VALVE |
| PP | POWER POLE |
| --- | SIGN |
| FH | FIRE HYDRANT |
| --- | CITY WIRE |
| CATV | CABLE TV BOX |
| --- | PROPOSED 32" DEEP SOIL PLANTERS |



Hall & Foreman, Inc.
 A Civil Engineering - Planning - Surveying - Public Works
 22000 Agoura Hills Blvd., Suite 100, Agoura Hills, CA 91301-1400 • (818) 251-1818
 DATE: 9-9-09

SEE ARCHITECTURAL DRAWINGS A1.2 & A1.3 FOR FINISH FLOOR ELEVATIONS OF THE UNDERGROUND PARKING GARAGE STRUCTURE.

07 - SPR - 015 --- XXXXX AGOURA ROAD GRADING PLAN SHEET 2 OF 3		CITY OF AGOURA HILLS APPROVAL RAMIRO ADEVA III CITY ENGINEER
PREPARED BY: PROJECT ENGINEER: _____ DATE: _____ REVIEWED BY: _____ DATE: _____	68885 RCE NO. 09/30/10 EXP DATE	CITY OF AGOURA HILLS DIV. NO.

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE
1		UPDATED PER COMMENTS BY JAY PATIL - SENIOR CIVIL ENGINEER		08-26-09
2		UPDATED PER COMMENTS BY JAY PATIL - SENIOR CIVIL ENGINEER		09-27-09
3		UPDATED PER COMMENTS BY JAY PATIL - SENIOR CIVIL ENGINEER		09-17-09
4		UPDATED PER SITE PLAN CHANGES & PROP. ST. DIMENSIONS ELEVATIONS		11-07-09
5		REVISION PER COMMENTS BY CITY OF AGOURA HILLS STAFF ON 8/23/10		08-23-10

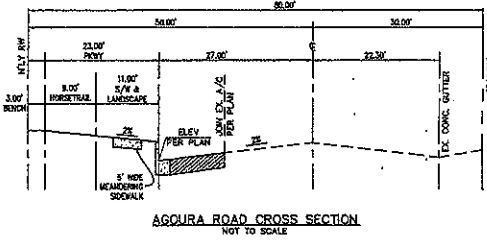
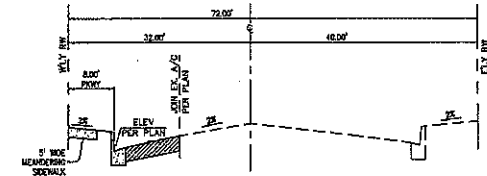
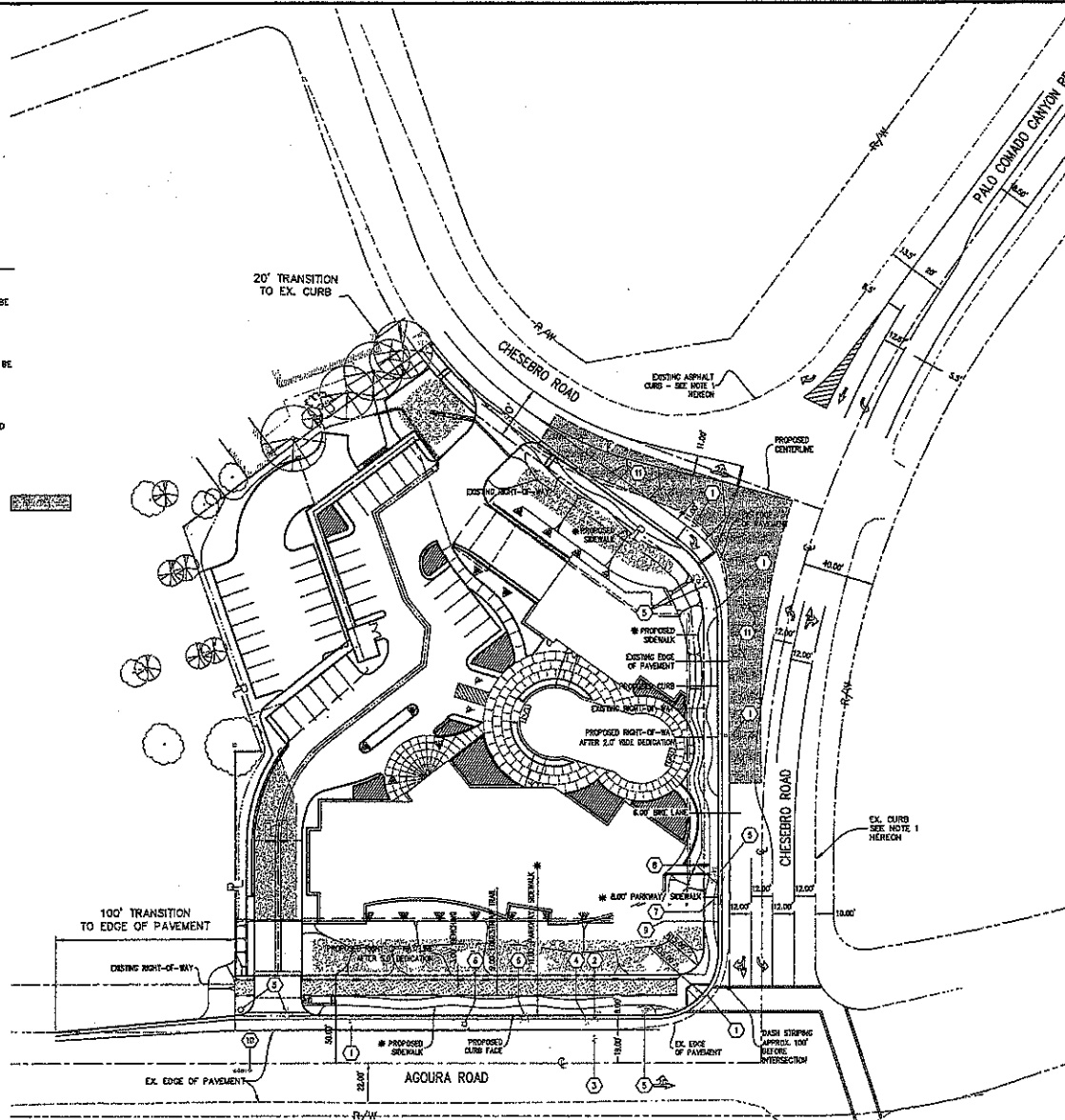
AGOURA MEDICAL PARTNERS, LLC
 MEDICAL OFFICE BUILDING
 NWC OF AGOURA RD. &
 CHESEBRO RD.
 AGOURA HILLS, CALIFORNIA

CONSTRUCTION NOTES

- 1 EXISTING SIGN TO BE RELOCATED AS REQUIRED
- 2 EXISTING FIRE HYDRANT PROTECTED WITH BOLLARDS, TO BE RELOCATED AS REQUIRED
- 3 EXISTING WATER VALVE TO BE RELOCATED AS REQUIRED
- 4 EXISTING WATER METER TO BE RELOCATED AS REQUIRED
- 5 EXISTING POWER POLE AND OVERHEAD ELECTRIC LINE TO BE RELOCATED AS SHOWN
- 6 EXISTING AIR RELEASE VALVE ON CONCRETE PAD, PROTECTED WITH BOLLARDS, TO BE RELOCATED AS REQUIRED
- 7 EXISTING ELECTRIC VALVE TO BE RELOCATED AS REQUIRED
- 8 EXISTING CABLE TV TO BE RELOCATED AS REQUIRED
- 9 EXISTING CUT WIRE TO BE RELOCATED AS REQUIRED
- 10 EXISTING SANITARY SEWER MANHOLE TO REMAIN
- 11 REMOVE EXISTING PAVEMENT AND OVERLAY WITH NEW PAVEMENT IN ACCORDANCE WITH LA COUNTY STANDARDS

LEGEND

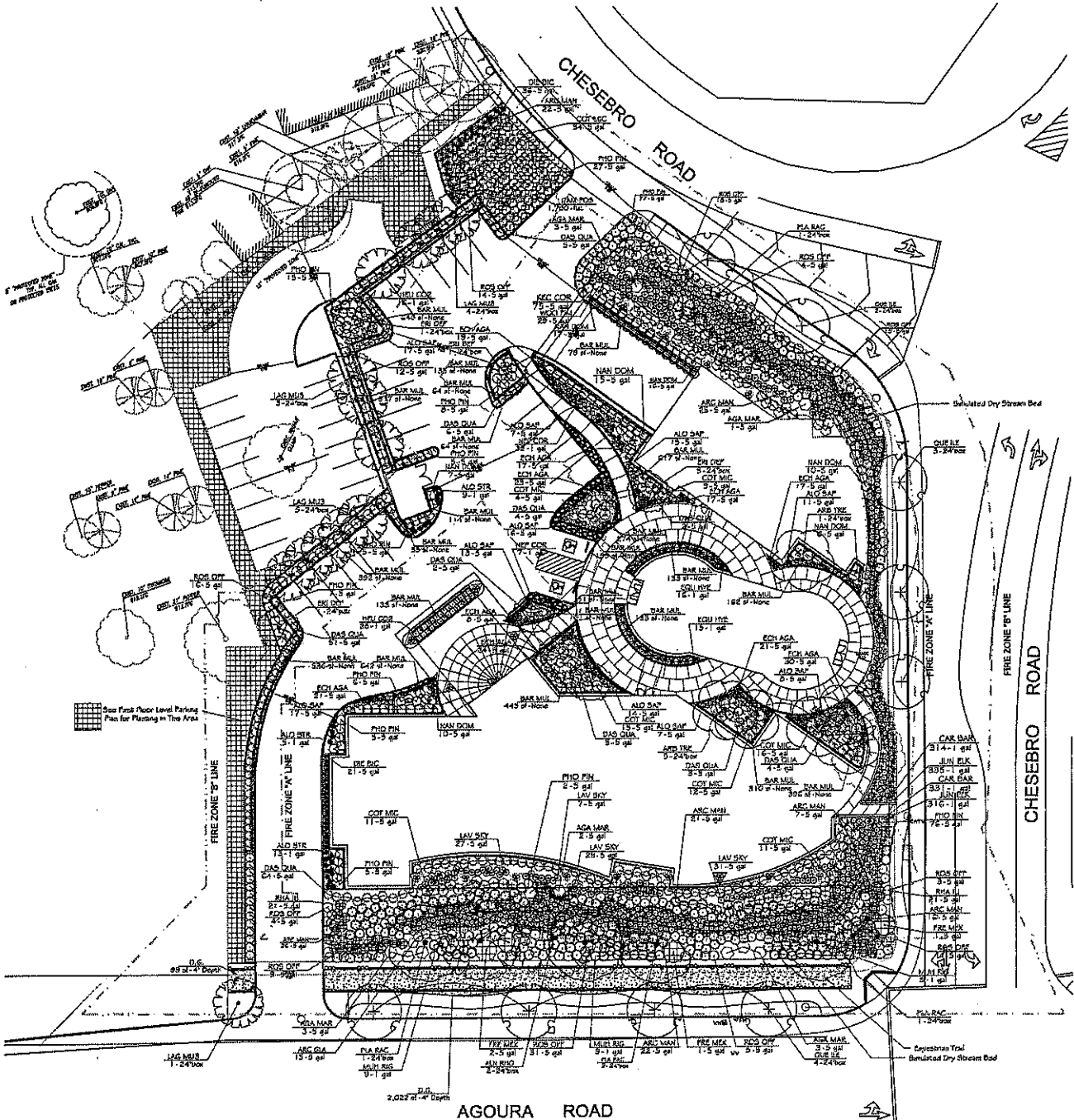
- PROP. STREET CURB
- PROP. STOPPING
- EX. STREET CURB/ EDGE OF PAVEMENT
- EX. ROW
- PROPOSED ROW
- PROPOSED RECOMPOSED GRANITE PEDESTRIAN TRAIL



NOTE 1: ALL EXISTING EDGE OF PAVEMENT, CURB, BOUNDARY, RIGHT-OF-WAY AND STRIPING INFORMATION HAS BEEN PROVIDED BY H&F ENGINEERING, DATED 6-30-08

5' SIDEWALK TO MEANDER THRU PARKWAY/ SIDEWALK CORRIDOR AND ONTO PARCEL PROPERTY IN SEVERAL INSTANCES

	Hall & Foreman, Inc. Engineering-Surveying-Planning-Landscape Architecture 2550 MARKET CENTER LANE, SUITE 110 • WOODLAND HILLS, CA 91367 • 818-251-1220 PREPARED UNDER THE SUPERVISION OF: J. J. [Signature] 9.21.09 LICENSED PROFESSIONAL ENGINEER, No. C43891		AGOURA MEDICAL PARTNERS, LLC MEDICAL OFFICE BUILDING STREET IMPROVEMENT	
	DRAWN BY: JC CHECKED BY: JC DESIGNED BY: JC APPROVED BY: AW CITY PROJECT:	SCALE: 1" = 30' DATE: 08-02-09 SHEET NO.: 3 of 3		



PLANT SCHEDULE

PLANT CODE	PLANT NAME	SIZE	QTY
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2
MAN DOM	Manochea (Manochea) Plant	10-5 qt	2
MAN MAR	Manochea (Manochea) Plant	18-5 qt	2

LEGEND:

- Grass / Turf (Hatched Pattern)
- Plantings (Various Symbols)
- Hardscape / Concrete (Grid Pattern)
- Water Feature / Stream (Wavy Line)
- Fire Zone 'A' Line (Dashed Line)
- Fire Zone 'B' Line (Dashed Line)

E.G.L.A.
LANDSCAPE ARCHITECTURE
 Eric Gripp
 1594 BANCROFT PARKWAY
 COSTA MESA, CA 92626
 (714) 440-1111
 FAX (714) 440-1112
 www.egla.com

REVISIONS:

NO.	DATE	DESCRIPTION



PRELIMINARY NOT FOR CONSTRUCTION

CLIENT AND PROJECT:
 Medical Office Building
 S.W.C. Cheesbro Road & Agoura Road
 Agoura Hills, CA
 FOR:
 Agoura Medical Partners L.L.C.

SHEET DESCRIPTION:
 Planting Plan (Sht. 1 of 2)
 Plaza Level

DATE: 08/10/08
SCALE: 1" = 10'
DRAWN BY: Eric Gripp
CHECKED BY:

PL-11
of 2



**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

**Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002**

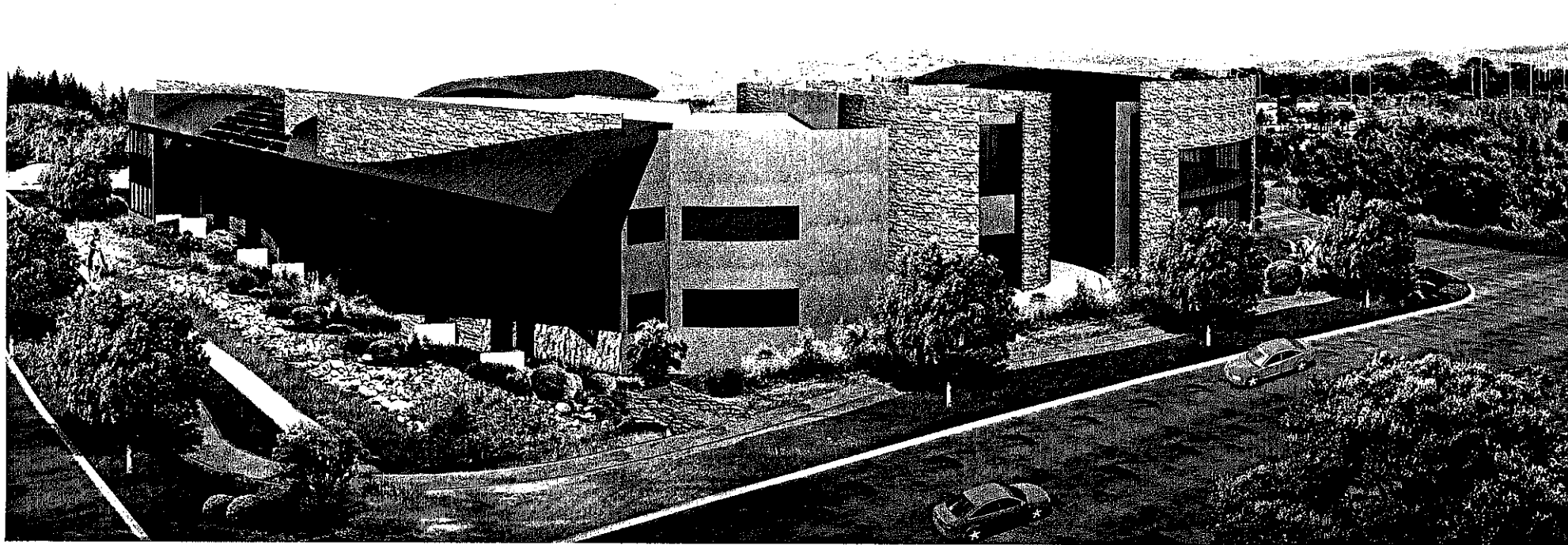
EXHIBIT D

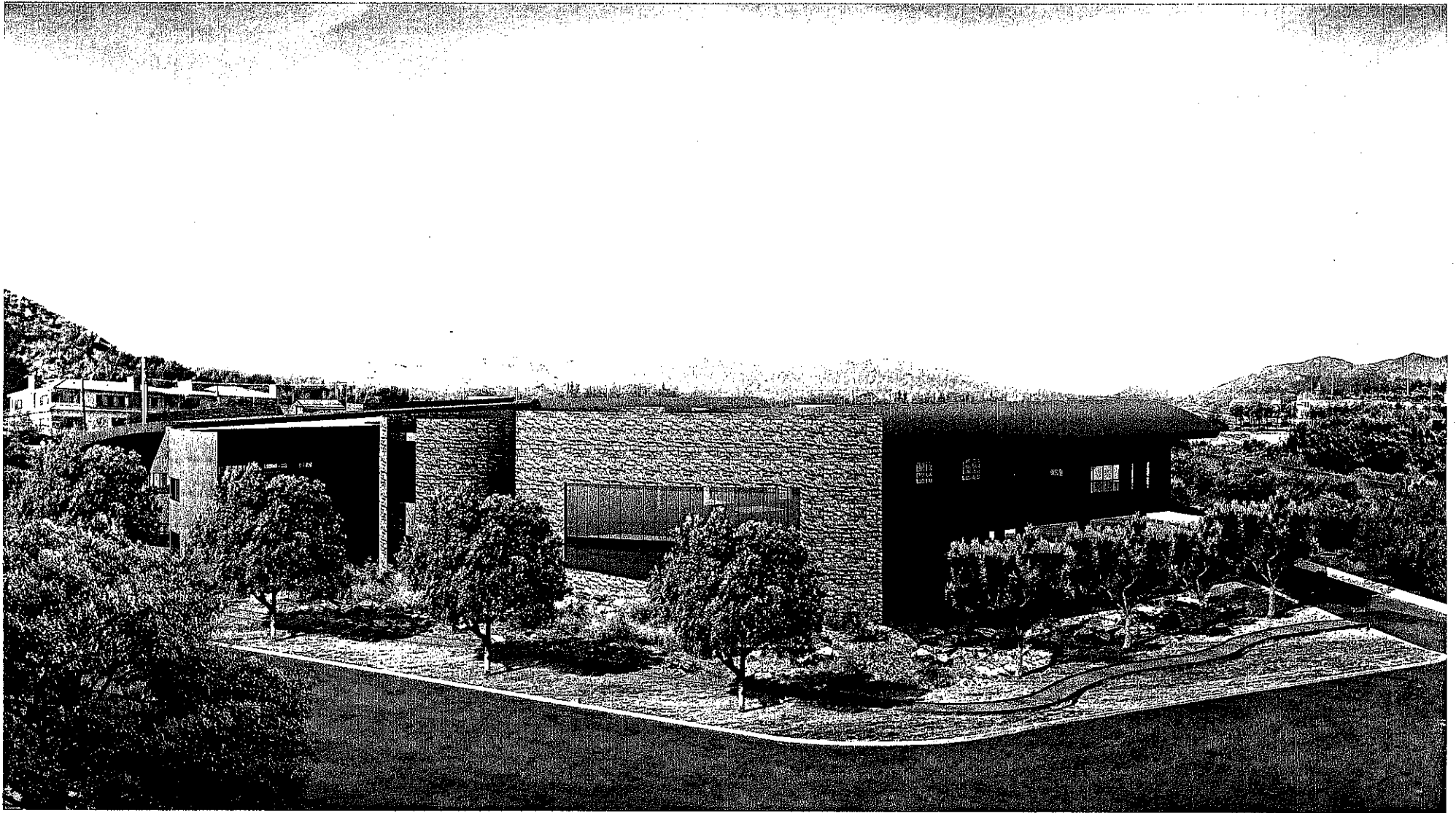
Photo-Simulations



**KS
HA** HEATHCOTE
& ASSOCIATES
ARCHITECTURE
3395 WILLOW LANE, SUITE 200
WESTLAKE VILLAGE, CA 91361
PHONE 805-497-4700

AGOORA MEDICAL PARTNERS LLC
ARTIST CONCEPT





HA HEATHCOTE
& ASSOCIATES
ARCHITECTURE
3396 WILLOW LANE, SUITE 200
WESTLAKES VILLAGE, CA 91361
PHONE 805-497-4700

AGOURA MEDICAL PARTNERS LLC
ARTIST CONCEPT



**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

**Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002**

EXHIBIT E

**Photographs of the Site
&
Color Copy of the Color and Material Board**



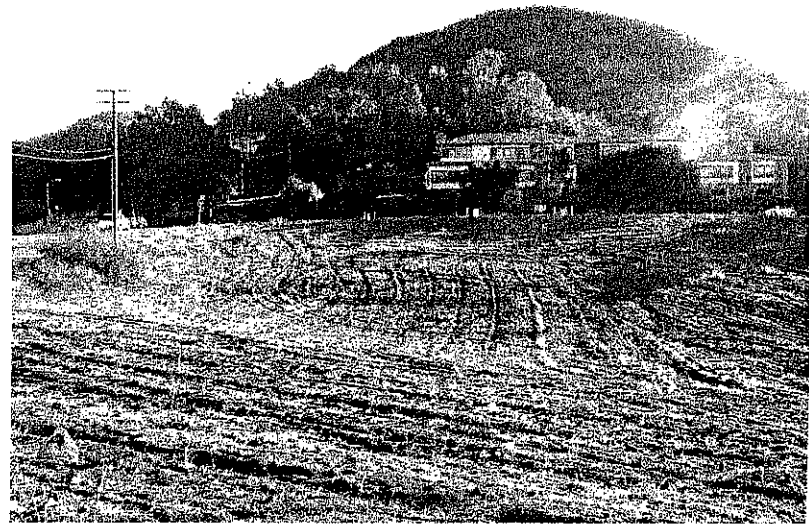
Looking North



Looking Northeast



Looking West



Looking South



METAL

PPG *IdeaScapes*
Glass • Coatings • Paint

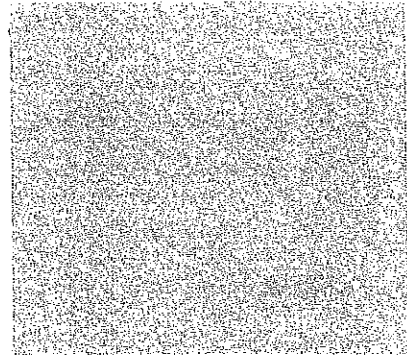
SOLARCOOL® (2) CARIBIA® Float Glass

	SHGC	Shading Coefficient	Visible Light	Winter U-Value	Summer U-Value
Monolithic 1/4"	0.38	0.44	26%	1.03	0.93
Insulating Unit	0.25	0.30	24%	0.48	0.50
Insulating Unit with <i>Sungate</i> ® 500 (3) Glass	0.21	0.24	22%	0.35	0.35
Insulating Unit with <i>Sungate</i> ® 100 (3) Glass	0.18	0.21	21%	0.31	0.30
Insulating Unit with <i>Solarban</i> ® 60 (3) Glass	0.17	0.19	20%	0.29	0.28

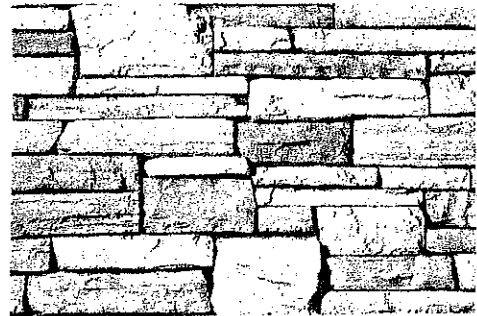
Data based on NFRC methodology using LBL Window 5.2 software. One-inch insulating glass units with two pieces of 1/4" glass and a half-inch air space. See literature or visit www.ppgglazing.com for additional data.

GL 1

PT1: PAINT



PT2: PAINT



SV 1



**MEDICAL OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT THE NORTHWEST CORNER OF
AGOURA ROAD AND CHESEBRO ROAD
AGOURA HILLS**

Case Nos. 07-GPA-002

07-ZC-002

07-SPR-015

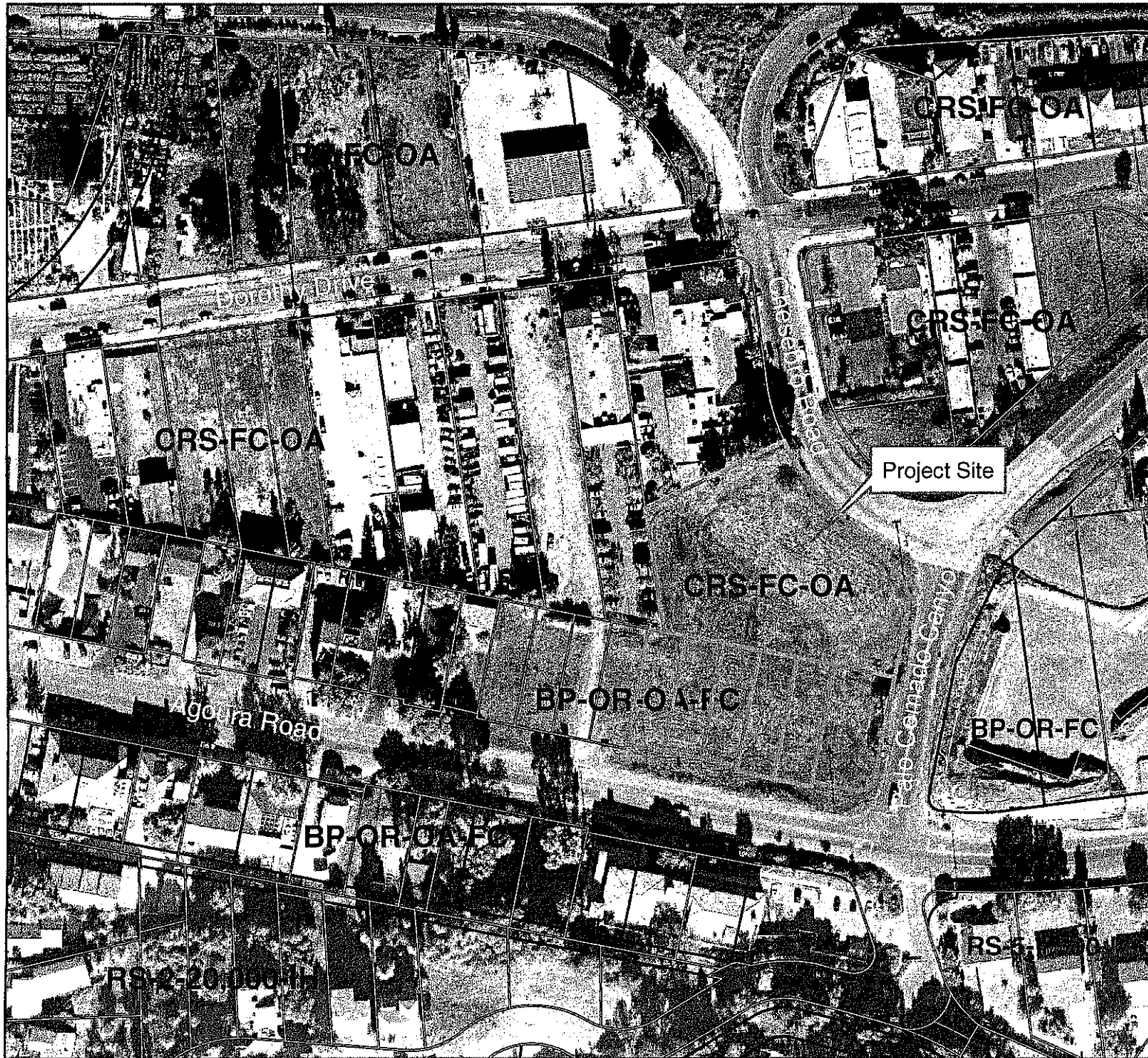
09-OTP-019

TPM 70096

09-VAR-002

EXHIBIT F

**Mitigated Negative Declaration and Mitigation Monitoring Program
(attached report)**



Case Nos. 07-GPA-002
07-ZC-002
07-SPR-015
09-OTP-019
TPM 70096
09-VAR-002

Vicinity/Zoning
Map

