

B. Public Improvements

2.20 The applicant shall design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area. Such public improvements may include, but not be limited to, the following:

IMPROVEMENT ITEMS	ROADWAY: AGOURA ROAD
Inverted Shoulder and Rolled Curb	<input checked="" type="checkbox"/> New: to line up with existing on upstream end <input type="checkbox"/> Replace Damaged <input type="checkbox"/> Remove existing & Relocate
AC Pavement	<input checked="" type="checkbox"/> Replace all damaged during construction <input checked="" type="checkbox"/> Widen: Agoura Road at driveway entrance to provide 20' turning radius and concrete curb
PCC Drive Approach	<input type="checkbox"/> New with rolled curb <input checked="" type="checkbox"/> Replacement with variable height concrete curb
Sidewalk	<input checked="" type="checkbox"/> New – meandering 5' wide walk linkage <input type="checkbox"/> Replacement
ADA Access Ramp	<input checked="" type="checkbox"/> New – at main driveway crossing with truncated domes per ADA regulations <input type="checkbox"/> Replacement
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (with irrigation)
Street Lights	<input checked="" type="checkbox"/> New – One new street light closer to the main driveway entrance <input type="checkbox"/> Relocation
Sewer Service	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral
All water appurtances are per LVMWD standards	<input checked="" type="checkbox"/> Yes – per intended commercial use
Storm Drain	<input type="checkbox"/> Remove, repair or realign <input checked="" type="checkbox"/> Inlets and storm drain pipe per approved plans
Traffic Signage and Striping	<input type="checkbox"/> New <input checked="" type="checkbox"/> Modification – per Traffic Engineer

IMPROVEMENT ITEMS	ROADWAY: AGOURA ROAD
Other Requirements	Install 2" PVC conduit with rope and necessary pull boxes from Ladyface Court to east side of the driveway as shown on the approved grading plans.

- 2.21 The following existing streets being cut for new services may require tee cap of rubberized asphalt concrete overlay: Agoura Road
- 2.22 This property is within the Las Virgenes Municipal Water District (LVMWD) service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
- 2.23 Other conditions: Slough and/or retaining walls shall be built on private property and are prohibited from being constructed in the public Right-of-way.

C. Sewer

- 2.30 The applicant shall connect to an 8-inch sewer line is available for connection by this project on Agoura Road.
- 2.31 Applicant shall use existing laterals, whenever provided, for connection to the public system.

D. Water

- 2.40 All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and the City.

E. Drainage/Hydrology

- 2.50 A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

F. Stormwater (NPDES)

- 2.60 Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices

(BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:

- Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
- Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.

2.61 Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Urban Stormwater Mitigation Plan (USMP) shall be submitted to and approved by, the Engineering Department. The USMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

2.62 SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

2.63 Other Conditions: A Best Management Practice (B.M.P.) Covenant and Deed Restriction shall be prepared and recorded with the Los Angeles

County Recorder's office by the applicant prior to issuance of a Certificate of Occupancy.

70. PRIOR TO CERTIFICATE OF OCCUPANCY

- 3.01 All remaining fees/deposits required by the Engineering Department must be paid in full.
- 3.02 All requirements including construction of improvements covered in Section 2 must be completed to the satisfaction of the City Engineer.
- 3.03 The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
- 3.04 The applicant shall *record a covenant for continued stormwater maintenance, using City-approved forms*, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.

BUILDING AND SAFETY DEPARTMENT CONDITIONS

Standard Conditions

71. The applicant shall provide a soils report for this project.
72. Per Section 903.2 of Chapter 1, Title VIII of Agoura Hills Municipal Code (AHMC), all new structures are required to be fire sprinklered. Plans for the required fire sprinkler system shall be submitted and approved by the Fire Department prior to the issuance of Building Permits.
73. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the AHMC.
74. Dual pane windows shall be utilized as required for VHFHSZ compliance.
75. As part of the permitting process and prior to permit issuance, two (2) full sets of construction plans including, Structural calculations needs to be submitted to Building and Safety Department for plan review and approval. Please be advised

that this is a preliminary review and does not constitute a final Building and Safety approval.

Special Conditions

76. If using a call box system for pick up and drop off disabled individuals and to access the site as a shuttle service, the applicant shall provide the information on the type of vehicle, the location the vehicle parks for pick up and drop off; flat landing location for this purpose and the business operation hours of this service.
77. All plans that are to be submitted to the Building and Safety Department shall comply with the most recently adopted codes and standards.

PLANNING CONDITIONS

78. On-site decorative paving shall be provided at the driveway entrance serving the site and the walking pathway around the proposed buildings. The color, materials and length of the decorative paving shall be subject to review and approval by the Director of Planning and Community Development prior to the issuance of a grading permit.
79. All transformers, other equipment, and refuse containers shall be screened from view. A plan showing this shall be reviewed and approved by the Director of Planning and Community Development prior to the issuance of a grading permit.
80. All parking stalls shall be pinstriped. A minimum of 51 parking spaces shall be provided for the project per the approved Site Plan.
81. In the event, that revisions to the plans required during the Plan Check process cause substantial changes to the project design as determined by the Director of Planning and Community Development, the project will be subject to additional review and approval by the Planning Commission.
82. No signs for the project and the building are approved with this permit. A sign program may be considered by the Director of Planning and Community Development.
83. A detailed Lighting and Photometric Plan shall be submitted for review and approval by the Director of Planning and Community Development, prior to issuance of a Building Permit.
84. A Conservation Easement required by the Santa Monica Mountain Conservation for the southern portion of the parcel must be secured before the issuance of a grading permit.

END

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF VARIANCE CASE NO. 10-VAR-001

Section I. An application was duly filed by Vinod Gupta with respect with the property located 29760 Agoura Road (A.P.N. 2061-033-015), requesting a recommendation of approval of a Variance Case No. 10-VAR-001 from the Ladyface Mountain Specific Plan Section IV.A.6. to reduce the minimum required front yard from 70 to 60 feet, and the minimum west side yard from 35 to 20 feet. This application for the Variance was considered in conjunction with Conditional Use Permit Case No. 07-CUP-009 and Oak Tree Permit Case No. 07-OTP-012. A public hearing was duly held on May 20, 2010 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California on the appeal. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. Pursuant to the Ladyface Mountain Specific Plan, the Planning Commission finds that:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Ladyface Mountain Specific Plan would deprive such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The parcel is unusually small by comparison to the other parcels in the Specific Plan. The proposed front and side setbacks would comply with the development standards of the BP-OR zone which is a zone intended primarily for office uses.
- B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. The parcel is the smallest parcel in the Ladyface Mountain Specific Plan and unlike many other parcels in the Specific Plan Area that are natural and ungraded, this property was graded some time ago. The landscaping within the front slope area helps reduce the visual prominence of the building potentially caused by the reduced setback.
- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in impractical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The lot is impacted by its size. The Specific Plan requirements were meant for all parcels regardless of their size. The location of the building on this lot will be compatible with neighboring properties and uses.
- D. The granting of the Variance will not be detrimental to the public health, safety or welfare or materially injurious to properties or improvements of the aesthetic value in the vicinity. The lot was pre-graded and the project is designed for minimal grading work,

and the preservation of the oak tree resources to the extent possible. The location of the building will not negatively impact light and air of the adjacent parcels as the buildings would be separated by 40 feet. The buildings will be constructed per City Building Code standards and the City Geotechnical Consultant's recommendations.

- E. The granting of the Variance will be consistent with the character of the surrounding area. By screening most of the parking from street views, with a terraced, two-story building and the project remains compatible with the development style in the area. The proposed front yard setback of 60 feet is greater than the setback of the existing building to the west which is setback 33.4 feet from the front property line. Also, the project proposes to setback the second floor an additional 55 feet from the front building wall thereby reducing the vertical mass as viewed from the front. In regard to the side yard setback, the offset second floor results in the first 55 feet with a one story element, thereby reducing the visual impact of the requested site yard reduction as seen from the street.

Section IV. In accordance with the California Environmental Quality Act, the City has prepared a Mitigated Negative Declaration for this project. Based upon the findings, public comments and the record before the Planning Commission, the Planning Commission finds that the Mitigated Negative Declaration does not worsen the potentially significant environmental effects for which feasible mitigation measures have been identified which will avoid or substantially lessen such effects. The Planning Commission has reviewed the information contained in the Mitigation Negative Declaration in considering the application and finds that it was prepared pursuant to the California Environmental Quality Act. The Planning Commission hereby recommends the City Council adopt the Mitigated Negative Declaration and the Mitigation Monitoring Program.

Section V. Based on the aforementioned findings, the Planning Commission hereby recommends the City Council approve Variance Case No. 10-VAR-001 subject to the attached conditions, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 20th day of May, 2010, by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Steve Rishoff, Chairperson

Mike Kamino, Secretary

CONDITIONS OF APPROVAL (Case No. 10-VAR-001)

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the approved labeled exhibits (Site Plan; Elevation Plans; Floor Plans, Roof Plan, and Grading Plan) approved on May 20, 2010.
4. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
5. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
6. Unless the approval is used within two (2) years from the date of City approval, Case No. 10-VAR-001 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
7. The Variance, Case No. 10-VAR-001, is valid only in conjunction with Ladyface Mountain Specific Plan Amendment, Case No. 07-SPA-001, Conditional Use Permit, Case No. 07-CUP-009 and Oak Tree Permit, Case No. 07-OTP-012, and the approved Conditions of approval therein.

END



**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29760 AGOURA ROAD,
AGOURA HILLS**

**Specific Plan Amendment Case No. 07-SPA-001,
Conditional Use Permit Case No. 07-CUP-009,
Oak Tree Permit Case No. 07-OTP-012 and
Variance Case No. 10-VAR-001**

Exhibit 1

Photo-Simulation of the Project



RENDERINGS AND ANIMATIONS
805.494.0163

Gupta Corporate Center

Neal Scribner Architectur
Neal @NScribner.com

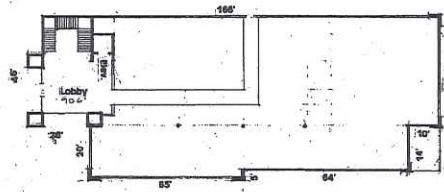


**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29760 AGOURA ROAD,
AGOURA HILLS**

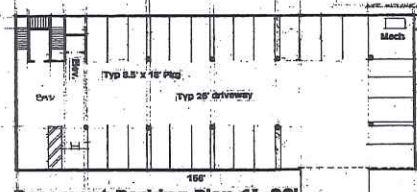
**Specific Plan Amendment Case No. 07-SPA-001,
Conditional Use Permit Case No. 07-CUP-009,
Oak Tree Permit Case No. 07-OTP-012 and
Variance Case No. 10-VAR-001**

Exhibit 2

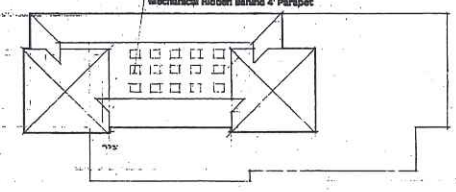
Photocopies of the Plans



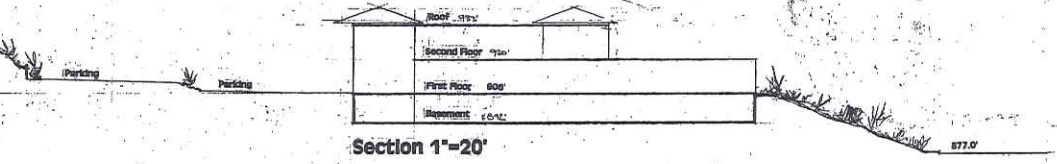
First Floor Plan 1"=20'



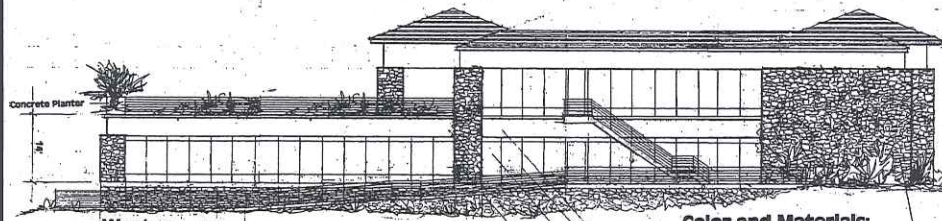
Basement Parking Plan 1"=20'



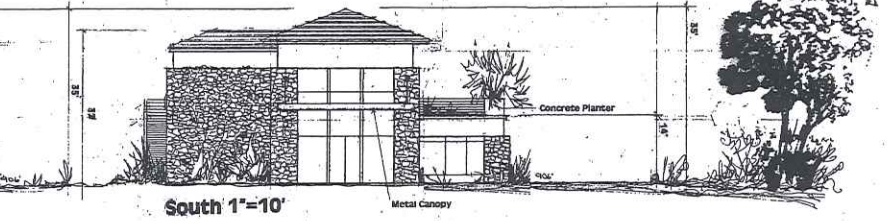
Roof Plan 1"=20'



Section 1"=20'



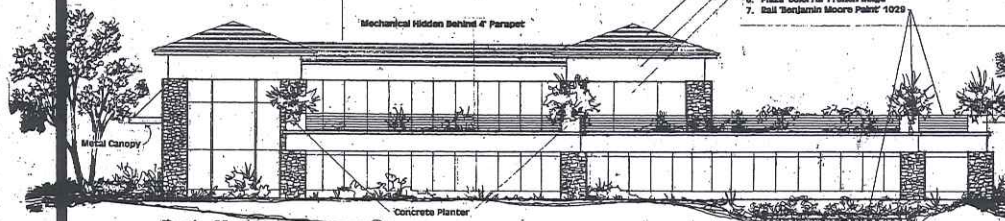
West 1"=10'



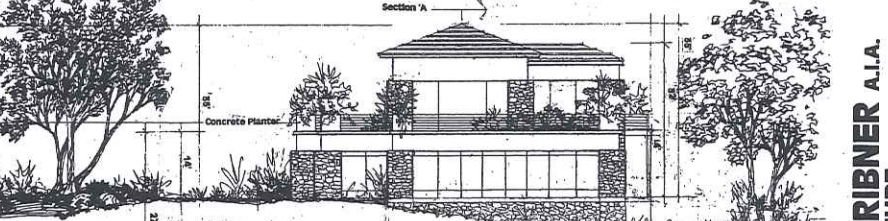
South 1"=10'

Color and Materials:

1. Roof Tile 'Eagle' 4546 Blend
2. 'Cultural Stone' Villa de Largo Dressed Fieldstone
3. Stucco 'Benjamin Moore Paint' 1087
4. Mullions 'Benjamin Moore Paint' 700
5. Glass 'Evergreen'
6. Plaza 'Colorful' French Beige
7. Rail 'Benjamin Moore Paint' 1029



East 1"=10'

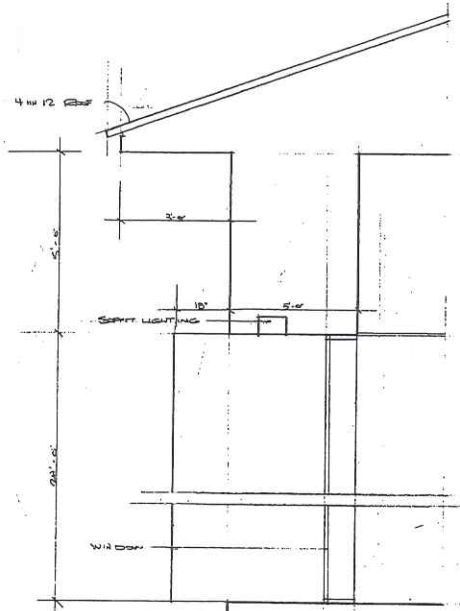


North 1"=10'

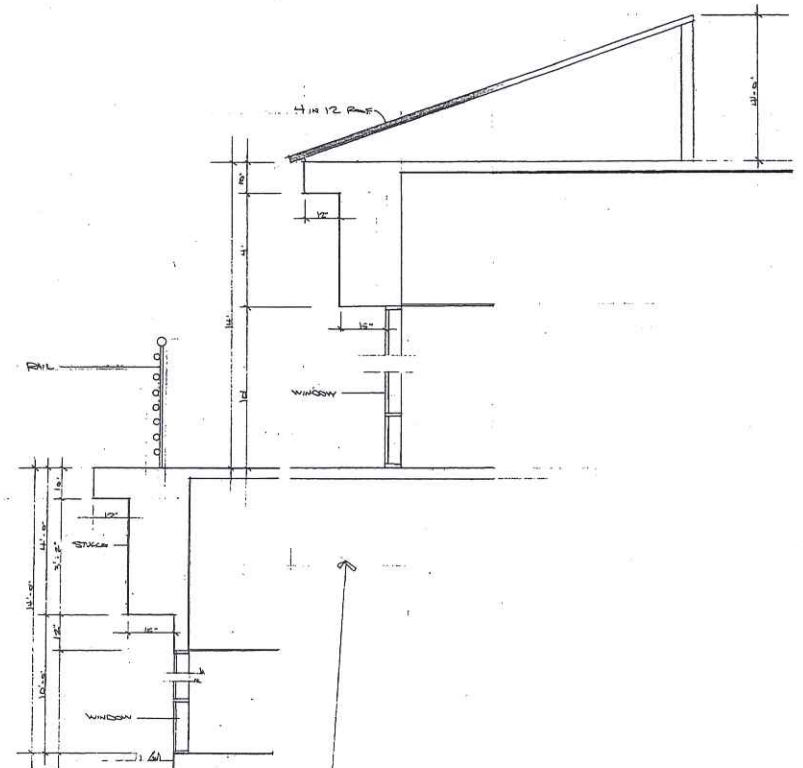
NEAL SCRIBNER A.I.A.
ARCHITECTURE

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ARCHITECTURE
2000 W. 10th Street, Suite 100
Tulsa, Oklahoma 74106
Gupta Corporate Offices

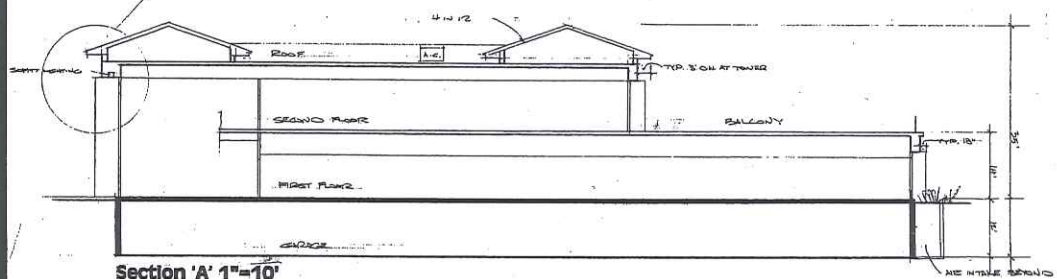
BUILDING ELEVATIONS 1"=10'



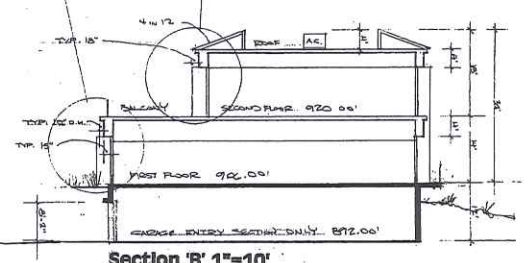
Section 3/4"=1'-0"



Section 3/4"=1'-0"



Section 'A' 1"=10'



Section 'B' 1"=10'

NEAL SCRIBNER A.I.A.
ARCHITECTURE

NEAL SCRIBNER A.I.A.
ARCHITECTURE

1000 WASHINGTON, THUNDERBOLT, CALIFORNIA 94516-2078

Gupta Corporate Offices

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 4 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBDRAINS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKDRAINS AND GUTTERS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

PUBLIC UTILITIES / SERVICES

- WATER:** LAS VIRGENES MUNICIPAL WATER DISTRICT
4325 LAS VIRGENES ROAD
CALA CASAS, CA 91302
(915) 860-4110
- ELECTRICAL:** SOUTHERN CALIFORNIA EDISON
3584 FOOTHILL DRIVE
THOUSAND OAKS, CA 91351
(805) 464-7016
- TELEPHONE:** SBC (PAC BELL)
1621 BAYVIEW STREET, #115
VAN NUYS, CA 91406
(915) 372-6809
- GAS:** SOUTHERN CALIFORNIA GAS
849 CARDALE AVENUE
CHATS WORTH, CA 91333
(915) 701-3234
- SEWER:** LA COUNTY, DEPT. OF PUBLIC WORKS
SEWER MAINTENANCE DIVISION
1909 B. FREMONT AVENUE, BLDG AS EAST
ALHAMBRA, CA 91805
(626) 260-5026
- CABLE:** TIME WARNER CABLE
721 MAULHARDT AVENUE
OXNARD, CA. 93030
- CABLE:** CHARTER COMMUNICATIONS
388 CROSBREEK ROAD
MALIBU, CA 90265
(310) 466-0910
- CALTRANS:** CALTRANS
690 RESEDA BOULEVARD
TARZANA, CA 91356
(805) 348-4524



SPECIAL NOTES:

- This Grading Plan includes the limits and depths of over excavation of the building pad and flatwork areas as recommended by the Consultant.
- Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly.
- Excavations shall be made in compliance with CALIFORNIA Regulations.
- Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
- Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
- An As-Built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all sub-drains and flow line elevations, and location and elevation of all retaining wall back-drains and outlets. Geologic conditions exposed during grading must be depicted on an As-Built Geologic Map.

ENGINEER'S DISCLOSURE:

- This firm does not practice or consult in the field of safety engineering. We do not direct the contractor's operations, and we are not responsible for other than our personnel on the site. Therefore the safety of others is the responsibility of the contractor. The contractor should notify the owner if he considers any of the recommended actions presented herein to be unsafe.
- The engineer shall not have control over or charge of and shall not be responsible for construction means, methods, sequences, procedures or for safety precautions and programs in connection with the work, since these are solely the contractor's responsibility under the contract for construction. The engineer shall not be responsible for the contractor's schedule or failure to carry out the work in accordance with the contractor's documents. The engineer shall not have control over or charge of acts or omissions of the contractor, subcontractor or their agents or employees, or any of the persons performing portions of the work.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

- | | |
|-------------------------|----------------------------|
| AC - ASPHALTIC CONCRETE | NG - NATURAL GROUND |
| BF - BOTTOM OF FOOTING | NTS - NOT TO SCALE |
| CB - CATCH BASIN | PL - PROPERTY LINE |
| CC - CURB FACE | POB - POINT OF BEGINNING |
| C - CENTERLINE | SDMH - STORM DRAIN MANHOLE |
| CLF - CHAIN LINK FENCE | SMH - SEWER MANHOLE |
| CO - CLEAN CUT | SB - SANITARY SEWER |
| DB - DEBRIS BASIN | TB - TOP OF BERM |
| DL - DAYLIGHT | TC - TOP OF CURB |
| EG - EDGE OF GUTTER | TF - TOP OF FOOTING |
| EP - EDGE OF PAVEMENT | TG - TOP OF GRATE |
| FP - FINISHED FLOOR | TW - TOP OF WALL |
| FG - FINISHED GRADE | TYP - TYPICAL |
| FH - FIRE HYDRANT | WW - WATER METER |
| FL - FLOWLINE | WV - WATER VALVE |
| FD - FINISH SURFACE | |
| HC RAMP - HANDICAP RAMP | |
| HP - HIGH POINT | |
| INV - INVERT | |

LEGEND AND SYMBOLS

- | | |
|---------------------------|------------|
| PROJECT BOUNDARY | ————— |
| EXISTING GRADE CONTOUR | ————— 1100 |
| PROPOSED GRADE CONTOUR | ————— 1100 |
| SPOT ELEVATION | × 1100 |
| PROPOSED SLOPE PER PLAN | ————— |
| RETAINING WALL | ————— |
| DAYLIGHT CUTFILL LINE | ————— |
| DIRECTION OF FLOW (SLOPE) | ————— |
| CONSTRUCTION NOTE NUMBER | ① |

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION-CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND DEPICT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (919) 987-7356, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

LEGAL DESCRIPTION

PARCEL 1 ON PARCEL MAP NO. 761 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 18, PAGE 96 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

INDEX OF DRAWINGS			
SHEET NO.	DESCRIPTION		
1	COVER SHEET		
2	GRADING LIMITS		
3	SECTIONS		
4	DRAINAGE PLAN		
5	DRAINAGE DETAILS		

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	180.0 CY	ESTIMATED EXPORT:	0.0 CY
ESTIMATED FILL:	180.0 CY	ESTIMATED IMPORT:	0.0 CY
ESTIMATED OVER-EXCAVATION:	7.50 CY		

BENCHMARK:			
DESCRIPTION:	BM NO. S.B.T AT E.B.C.	ELEVATION:	878.40
		SURVEY DATE:	10/20/07

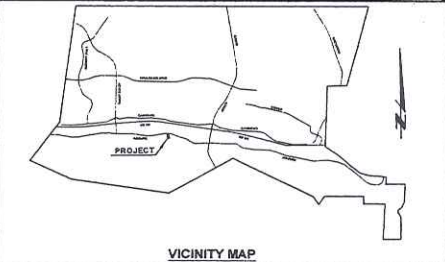
OWNER
NAME: Dr. Vinod K. Gupta CR Operation Co.
ADDRESS: 28600 Agoura Rd. Ste. 106, AH, CA 91301
REPRESENTATIVE: Dr. Vinod K. Gupta
TELEPHONE: (818) 879-0111 Ext. 16

CIVIL ENGINEER
NAME: CVE Engineering, Inc.
ADDRESS: P.O. Box 7206, Thousand Oaks, CA 91360
REPRESENTATIVE: Frank R. Lussler, Sr.
TELEPHONE: (85) 496-2282

GEOTECHNICAL ENGINEER
NAME: Gorlan & Associates
ADDRESS: 3595 Old Conejo Rd., Thousand Oaks, CA 91320
REPRESENTATIVE: Jerome Blunk, P.E.
TELEPHONE: (805) 375-8262

RECORD DRAWING STATEMENT			
I, JOHN TRACY HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. 1, THROUGH _____ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.			
REGISTERED CIVIL ENGINEER	DATE	RCE NO.	EXP. DATE
15566	6/30/09		

SOILS APPROVAL			
THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED _____			
REGISTERED GEOLOGIST	DATE	RCE NO.	EXP. DATE
REGISTERED GEOTECHNICAL ENGINEER	DATE	RCE NO.	EXP. DATE

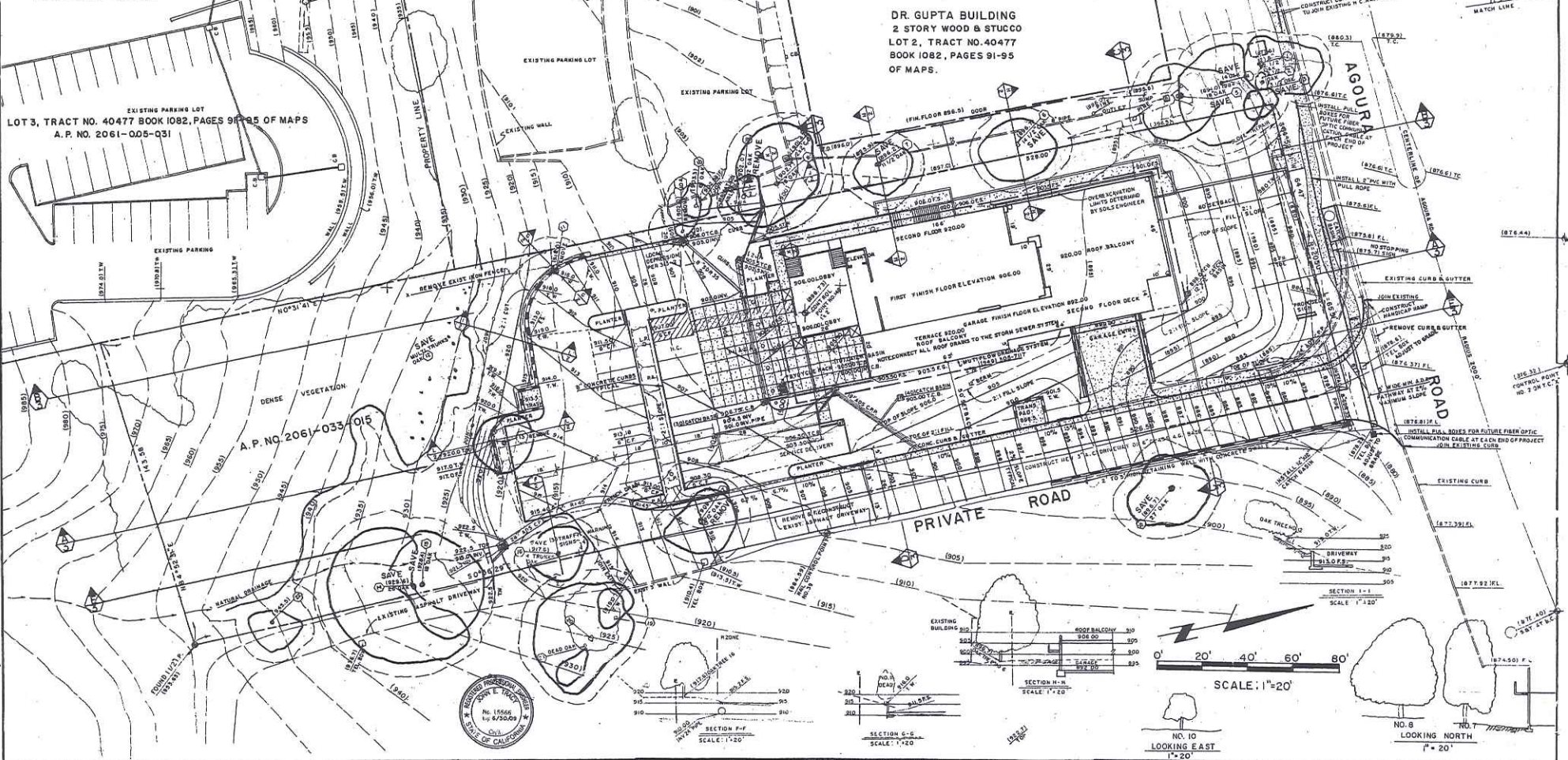
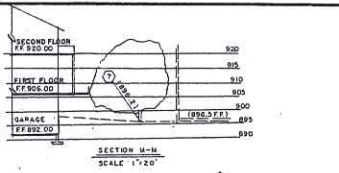
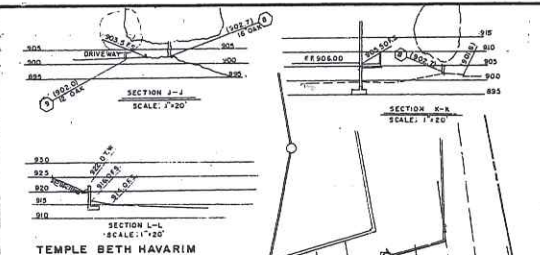


<p>PREPARED BY: CVE ENGINEERING INC. P.O. BOX 7206 THOUSAND OAKS CA 91360 W.O. 3128</p> <p>PROJECT ENGINEER: John E. Tracy DATE: 10/15/07</p> <p>JOHN E. TRACY RCE 15566</p>	<p>CITY OF AGOURA HILLS APPROVAL</p>	<p>FOR A TWO STORY OFFICE BUILDING ON APN NO.2061-033-015 A PROFESSIONAL BUILDING FOR DR. GUPTA COVER SHEET</p> <p>AGOURA HILLS, CALIFORNIA PROJECT NO. 07-CUP-009</p>	<p>SHEET 1 OF _____</p> <p>CITY OF AGOURA HILLS DWG. NO. _____</p>																						
<table border="1" style="width:100%"> <thead> <tr> <th>REV</th> <th>SYMBOL</th> <th>DESCRIPTION OF CHANGE</th> <th>RCE</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE						<table border="1" style="width:100%"> <thead> <tr> <th>REVIEWED BY</th> <th>DATE</th> <th>RAMIRO S. ADEVA III CITY ENGINEER</th> <th>DATE</th> <th>RCE NO.</th> <th>EXP. DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVIEWED BY	DATE	RAMIRO S. ADEVA III CITY ENGINEER	DATE	RCE NO.	EXP. DATE								<p>AGOURA HILLS, CALIFORNIA PROJECT NO. 07-CUP-009</p>
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE																					
REVIEWED BY	DATE	RAMIRO S. ADEVA III CITY ENGINEER	DATE	RCE NO.	EXP. DATE																				

C:\Documents and Settings\Frank Lussler\Local Settings\Temp\1776\COAH 3rd Border Sheets (New 2008)\24 x 36 Grading Plans Cover Sheet.dwg, 11/8/2008 7:49:51 PM

SPECIAL NOTES:

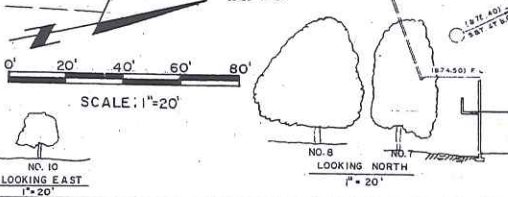
- The Grading Plan includes the limits and depths of over excavation of the building pad and flatwork areas as recommended by the Consultant.
- Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly.
- Excavations shall be made in compliance with CALIFORNIA Regulations.
- Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
- Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
- An As-Built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map showing the limits of fill, locations of all family tests, outline and elevations of all existing lot lines, location and bottom elevations, locations of all sub-drains and flow line elevations, and location and elevation of all retaining wall back-drains and outlets. Geologic conditions exposed during grading must be depicted on an As-Built Geologic Map.



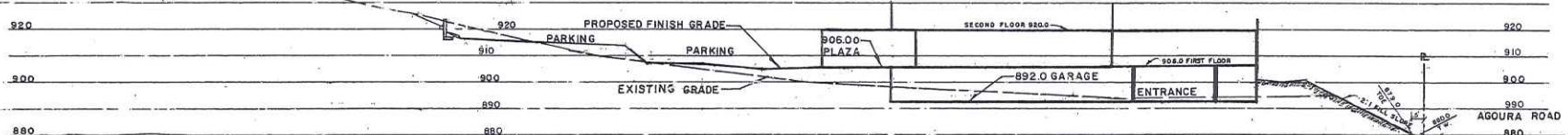
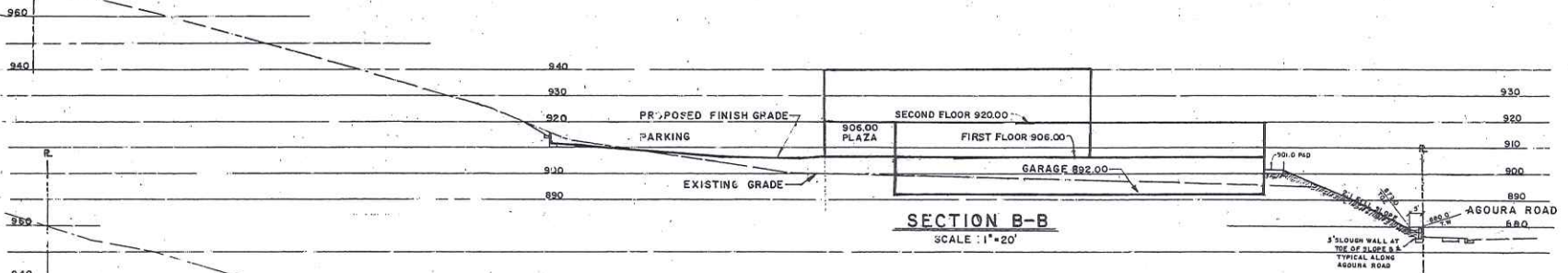
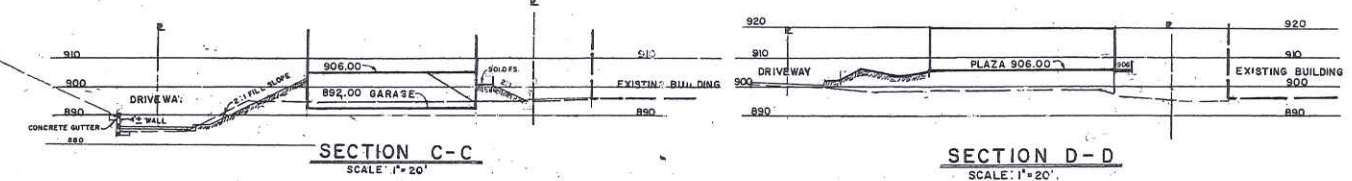
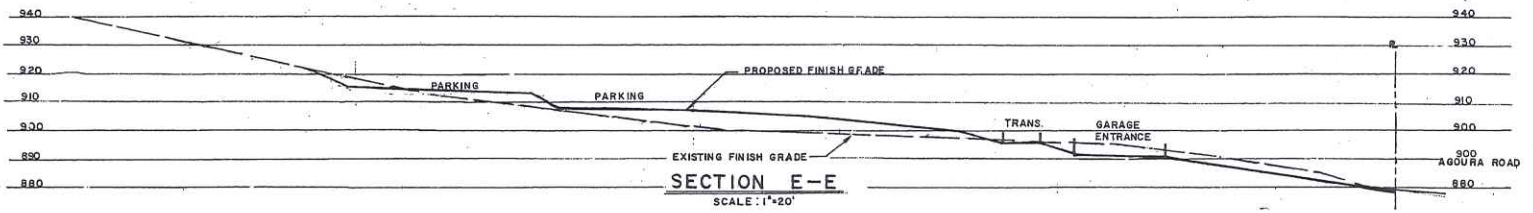
DR. GUPTA BUILDING
2 STORY WOOD & STUCCO
LOT 2, TRACT NO. 40477
BOOK 1082, PAGES 91-95
OF MAPS.

LOT 3, TRACT NO. 40477 BOOK 1082, PAGES 91-95 OF MAPS
A.P. NO. 2061-005-Q31

A.P. NO. 2061-033-015



PREPARED BY: CVE ENGINEERING INC. W.O. 3128 P.O. BOX 7208 THOUSAND OAKS CA 91320 W.O. 3128 <i>John E. Tracy</i> 10/15/07 PROJECT ENGINEER JOHN E. TRACY RCE 15666				CITY OF AGOURA HILLS APPROVAL REVIEWED BY: _____ DATE: _____ RAMIRO S. ADEVA III CITY ENGINEER DATE: _____ RCE NO. _____ EXP. DATE _____				CITY OF AGOURA HILLS AGOURA HILLS, CALIFORNIA PROJECT NO. 07-CA-009		FOR A TWO STORY OFFICE BUILDING ON APN NO. 2061-033-015 A PROFESSIONAL BUILDING FOR DR. GUPTA GRADING PLAN SHEET 2 OF 2	
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE		



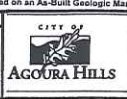
- SPECIAL NOTES:**
1. This Grading Plan includes the limits and depths of over excavation of the building pad and footer areas as recommended by the Consultant.
 2. Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly.
 3. Excavations shall be made in compliance with CALIFORNIA Regulations.
 4. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
 5. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
 6. An As-Built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all sub-drains and flow line elevations, and location and elevation of all retaining wall back-drains and outlets. Geologic conditions exposed during grading must be depicted on an As-Built Geologic Map.



PREPARED BY:
CVE ENGINEERING INC.
 P.O. BOX 7208 THOUSAND OAKS CA 91320
 W.O. 3128
 PROJECT ENGINEER: *John E. Tracy*
 JOHN E. TRACY RCE 15566

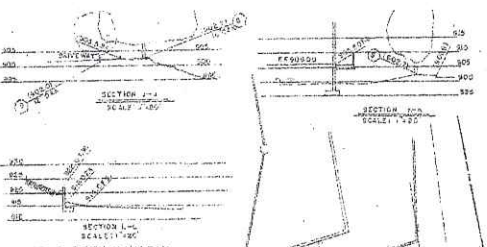
CITY OF AGOURA HILLS APPROVAL

REVIEWED BY: _____ DATE: _____
 RAMIRO S. ADEVA III
 CITY ENGINEER



FOR A TWO STORY OFFICE BUILDING ON APN NO. 2061-033-015
A PROFESSIONAL BUILDING FOR DR. GUPTA
 SECTIONS
 AGOURA HILLS, CALIFORNIA
 PROJECT NO. 07-CUP-002
 SHEET 3 OF 3

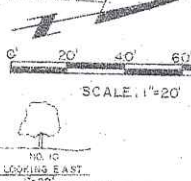
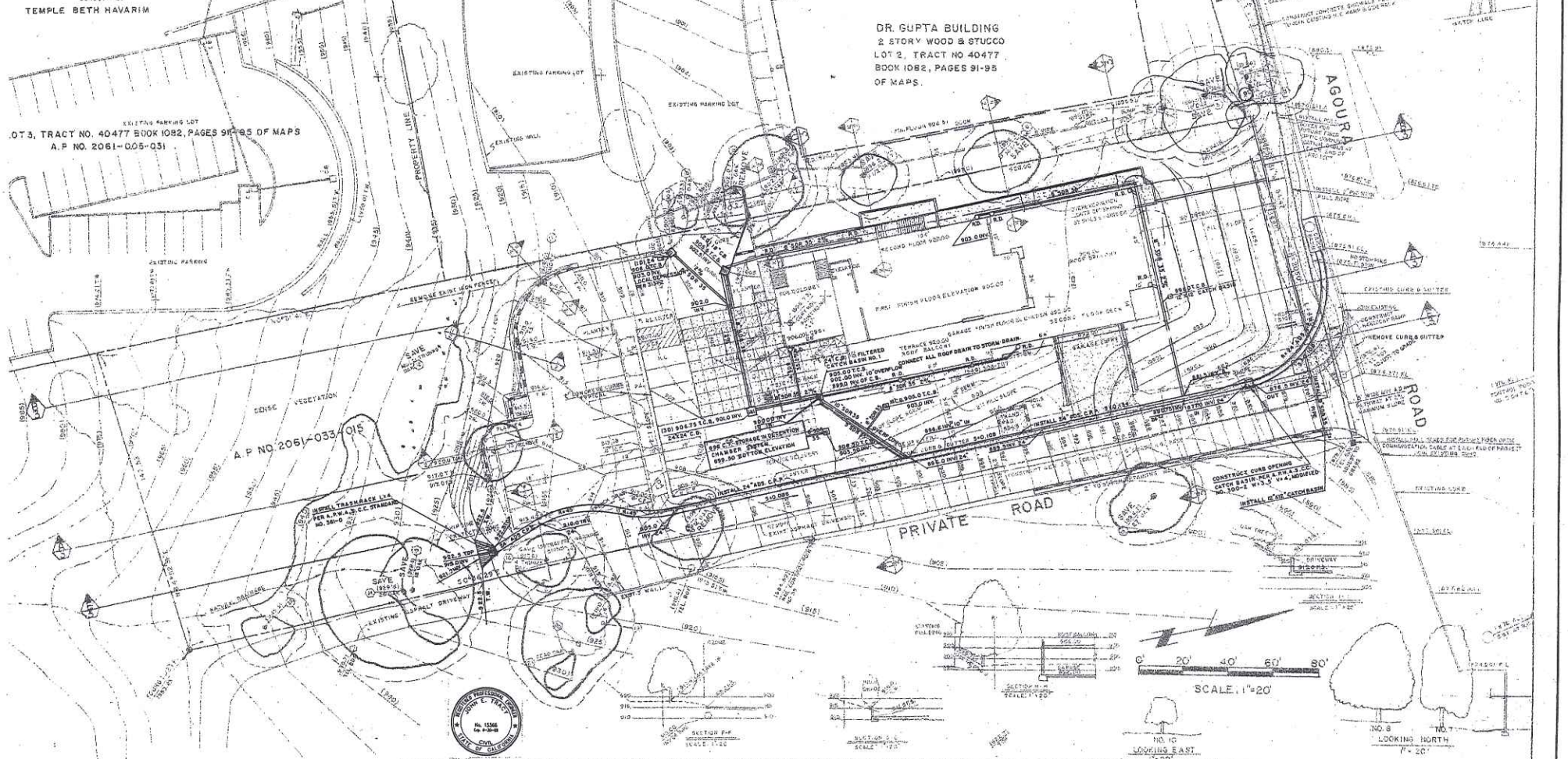
REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE



- SPECIAL NOTES:**
- This Grading Plan includes the truth and degree of over excavation of the building pad and basement areas as recommended by the Geotechnical Engineer.
 - Tests shall be performed prior to starting footings and slabs to determine the appropriate index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Engineer and revised, if necessary, accordingly.
 - Excavations shall be made in compliance with CALIFORNIA Regulations.
 - Drainage plans depicting all surface and subsurface non-retention drainage devices, flow lines, and catch basins shall be included on the building plan.
 - Final grading, drainage, and foundation plans shall be reviewed, signed, and stamped by the Geotechnical Engineer.
 - An As-Built report shall be submitted to the City for review. This report prepared by the Geotechnical Engineer shall include the results of all inspection tests as well as a map indicating the levels of fill, locations of all density tests, outlines and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all set-backs and flow line elevations and location and elevation of all retaining wall back-slopes and outlets. Geologic conditions associated during grading must be depicted on an As-Built Geologic Map.

- LEGEND:**
- R.D. ROOF DRAIN
 - F.D. FLOOR DRAIN
 - A.C.P.P. ADS CORRUGATED POLYETHYLENE PIPE
 - C.B. CATCH BASIN
 - T.C.B. TOP OF CATCH BASIN
 - INV. INVERT ELEVATION
 - W. WIDTH IN FEET
 - D. DEPTH IN FEET

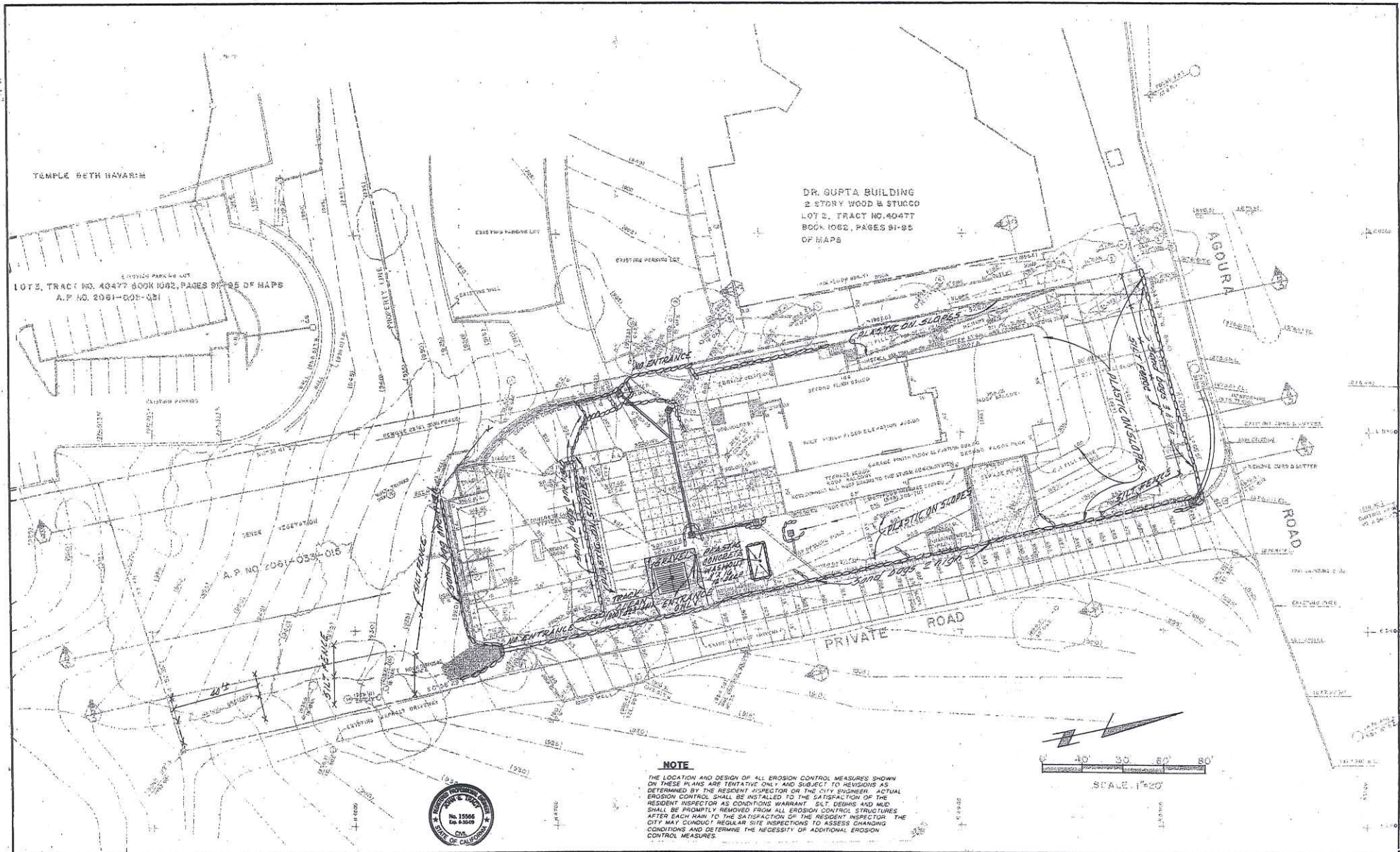
DR. GUPTA BUILDING
 2 STORY WOOD & STUCCO
 LOT 2, TRACT NO 40477
 BOOK 1082, PAGES 91-95
 OF MAPS.



PREPARED BY: CVE Engineering, Inc. 12425 Brentwood, Suite 100, Los Alamitos, CA 92646 P.O. Box 7524, Thousand Oaks, CA 91320 (714) 441-2282, (800) 441-2282 www.cve-engineering.com				CITY OF AGOURA HILLS APPROVAL							
PROJECT ENGINEER: John C. Taylor JOHN C. TAYLOR, R.C.E. 15366		DATE: 3/14/09		REVIEWED BY: RAMIRO S. ADEVA III CITY ENGINEER							
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE



FOR A TWO STORY OFFICE BUILDING ON APN NO.2061-033-015
A PROFESSIONAL BUILDING FOR DR. GUPTA
DRAINAGE PLAN
 AGOURA HILLS, CALIFORNIA
 PROJECT NO. 07-GUP-002



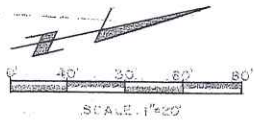
DR. GUPTA BUILDING
2 STORY WOOD & STUCCO
LOT 2, TRACT NO. 40477
BOOK 1062, PAGES 91-92
OF MAPS

LOT 5, TRACT NO. 40477 BOOK 1062, PAGES 91-92 OF MAPS
A.P. NO. 2061-005-031

A.P. NO. 2061-033-015

NOTE

THE LOCATION AND DESIGN OF ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE TENTATIVE ONLY AND SUBJECT TO REVISIONS AS DETERMINED BY THE RESIDENT INSPECTOR OR THE CITY ENGINEER. ACTUAL EROSION CONTROL SHALL BE INSTALLED TO THE SATISFACTION OF THE RESIDENT INSPECTOR AS CONDITIONS WARRANT. SILT DEWNS AND WEEDS SHALL BE PROMPTLY REMOVED FROM ALL EROSION CONTROL STRUCTURES AFTER EACH RAIN TO THE SATISFACTION OF THE RESIDENT INSPECTOR. THE CITY MAY CONDUCT REGULAR SITE INSPECTIONS TO ASSESS CHANGING CONDITIONS AND DETERMINE THE NECESSITY OF ADDITIONAL EROSION CONTROL MEASURES.



PREPARED BY:

CITY OF AGOURA HILLS APPROVAL

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	RAMIRO S. ADEVA III CITY ENGINEER	DATE	RCE NO.	EXP DATE



FOR A TWO STORY OFFICE BUILDING ON APN NO. 2061-033-015
**A PROFESSIONAL BUILDING FOR DR. GUPTA
GRADING PLAN**
AGOURA HILLS, CALIFORNIA
PROJECT NO. 07-001-002
SHEET 1 OF 2
CITY OF AGOURA HILLS DWG. NO. _____

EROSION CONTROL PLAN NOTES

IN CASE OF EMERGENCY, CALL DR. VINOD K. GUPTA AT (619) 879-0111 EXT. 197

A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOV. 1 TO APR. 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EROSION CONTROL MEASURES.

EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THERE IS NO LONGER A NEED.

GRADES ADJUSTED TO FULL SLOPES LOCATED AT THE SITE PERMITTER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND DISPOSED PROPERLY.

A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE GUARD SHALL BE OBTAINED OF PLUMBED GRY WITHIN 24 HOURS AFTER EACH RAINSTORM.

EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKDAYS WITHIN THE 5 DAY RAIN FORECAST EXCEEDS ONE INCH.

ALL LOOSE SOIL AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFF SITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.

THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.

DESIGNING BASINS MAY NOT BE REMOVED OR MADE IMPROPERLY BETWEEN NOV. 1 AND APRIL 15 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE GRADING INSPECTOR.

EROSION CONTROL DEVICES WILL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES, AND PLANS OF THESE CHANGES SUBMITTED FOR APPROVAL AS REQUIRED.

ADD THE FOLLOWING NOTES (OR SIMILAR) TO THE PLANS TO DEFINE THE CURRENT STATE OF CONSTRUCTION.

a. STORM DRAINS AND CATCH BASINS ARE (NOT) CONSTRUCTED.

b. STREETS ARE (NOT) PAVED, EXCEPT AS NOTED ON THE EROSION CONTROL PLANS.

c. DRAINAGE DEVICES ARE (NOT) CONSTRUCTED, EXCEPT AS NOTED ON PLANS.

STORMWATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED INTO EROSION CONTROL PLANS PER TITLE 26, SECTION 7010 OF THE COUNTY CODE FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 AND APRIL 15.

THE FOLLOWING NOTES (OR SIMILAR) AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TREATMENT TECHNOLOGY EVALUATION, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED APPROPRIATE BY THE INSPECTOR).

a. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALE, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

b. STOCKPILES OF EARTH AND OTHER CONSTRUCTION MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

c. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATING THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO DRAINAGE SYSTEM.

d. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.

e. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND AIRBORNE BY WIND.

f. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

g. ANY SLOPES WITH DISTURBED SOILS OR DEVOIDS OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

CA001 - DEMATERING OPERATIONS
CA002 - PAVING OPERATIONS
CA003 - STRUCTURE CONSTRUCTION AND PAINTING
CA004 - MATERIAL DELIVERY AND STORAGE
CA010 - MATERIAL USE
CA011 - SPILL PREVENTION AND CONTROL
CA020 - SOLID WASTE MANAGEMENT
CA021 - HAZARDOUS WASTE MANAGEMENT
CA022 - CONTAMINATED SOIL MANAGEMENT
CA023 - CONCRETE WASTE MANAGEMENT
CA030 - VEHICLE AND EQUIPMENT CLEANING
CA040 - VEHICLE AND EQUIPMENT FUELING
CA032 - VEHICLE AND EQUIPMENT MAINTENANCE
CA033 - EMPLOYEE/SUBCONTRACTOR TRAINING
ES001 - SCHEDULING
ES002 - PROTECTION OF EXISTING VEGETATION
ES010 - SEEDING AND PLANTING
ES011 - MULCHING
ES012 - GEOTEXTILES AND MATS
ES013 - DIRT
ES022 - TEMPORARY STREAM CROSSING
ES023 - CONSTRUCTION ROAD STABILIZATION
ES024 - STABILIZED CONSTRUCTION ENTRANCE
ES030 - SLOPE PROTECTION
ES031 - TEMPORARY DRAINS AND SWALES
ES032 - SLOPE PROTECTION
ES040 - OUTLET PROTECTION
ES041 - CHECK DAMS
ES042 - SLOPE ROUGHENING/TERRACING
ES050 - SLOPE PROTECTION
ES051 - STRAW BALE BARRIERS
ES052 - SAND BAG BARRIERS
ES053 - BRUSH OR ROCK FILTER
ES054 - SLOPE PROTECTION
ES055 - SEDIMENT TRAP
ES056 - SEDIMENT BASH

ADDITIONAL GENERAL NOTES

1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
3. WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
4. VELOCITY CHECK DAMS SHALL BE PROVIDED ACROSS THE OUTLETS OF ALL LOTS DRAINING INTO STREET.
5. ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGE OF THE FILL.
6. STANDBY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORM.
7. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PROVED TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD. TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADS AND TAILS. THE INTERVALS PRESCRIBED BETWEEN SANDBAGS BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERNAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	150 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

8. VELOCITY CHECK DAMS SHALL BE PROVIDED IN ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED ABOVE. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF SANDBAGS, TRUNKS OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE INSPECTOR, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTRALLINE. EACH DAM MAY NOT BE USED AS VELOCITY CHECK DAMS.
9. VELOCITY CHECK DAMS SHALL BE PROVIDED IN ALL UNPAVED CHANNELS AT THE INTERVALS INDICATED BELOW.

GRADE OF CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

10. AFTER SEWER AND UTILITY TRENCHES ARE BACK FILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE POUNDED SLIGHTLY TO PREVENT CHANGING OF WATER IN THE TRENCH. CARE SHOULD BE EXERCISED TO PROMOTE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT IN THE CENTERLINE OF A CLOSURE STREET.
11. ALL BASINS AND CHECK DAMS SHALL HAVE THE DEBRIS AND SILT REMOVED AFTER EACH STORM TO RESTORE THEIR CAPACITY.
12. SANDBAGS SHALL BE STOCKPILED IN THE PARKWAY READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST OR WHEN INSPECTOR SO DIRECTS.
13. BRUSH AND GROUND COVER MAY NOT BE REMOVED MORE THAN 10 FEET ABOVE FILLS BETWEEN DECEMBER 1 AND APRIL 15.
14. ALL CUT & FILL SLOPES SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING TO BE HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDROSEEDED).

CONSTRUCTION DUST CONTROL

DUST CONTROL MEASURES ARE USED TO STABILIZE SOIL FROM WIND EROSION, AND TO REDUCE DUST GENERATED BY CONSTRUCTION ACTIVITIES.

AVOID OVER WATERING WHEN WATER IS USED FOR DUST CONTROL. OVER WATERING MAY CAUSE EROSION.

CONTACT THE LOCAL AGENCY FOR APPROVAL WHEN USING DUST CONTROL MEASURES OTHER THAN WATER.

MINIMIZE THE IMPACT OF DUST BY ANTI-CIPING THE DIRECTION OF PREVAILING WINDS AND PROVIDE COVERS FOR HAUL TRUCKS TRANSPORTING MATERIALS THAT CONTRIBUTE TO THE DUST.

CONTROL DUST FROM HAUL ROADS, PARKING AND STAGING AREAS. REDUCE SPEED AND TRIP FREQUENCY ON UNPAVED ROADS.

ASPHALT AND BITUMINOUS PRODUCTS

PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM ASPHALT AND BITUMINOUS OPERATIONS, BY PREVENTING RUN-ON AND RUN-OFF DURING THE OPERATION, PROPERLY DISPOSING OF WASTES, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

AVOID PRIME OR TACK COATING DURING WET WEATHER.

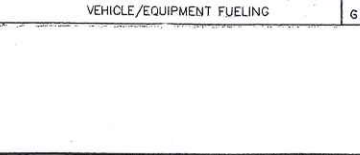
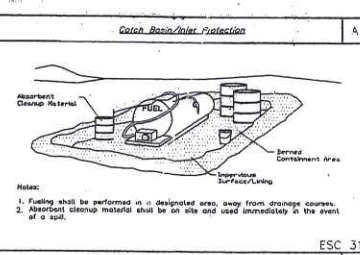
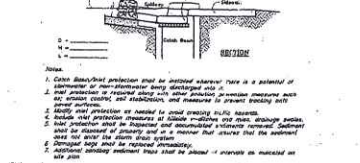
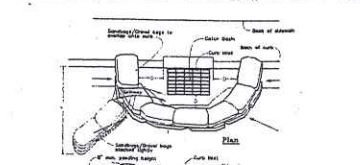
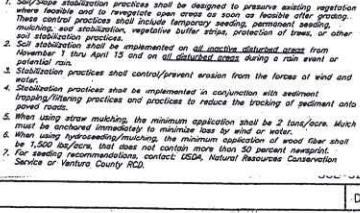
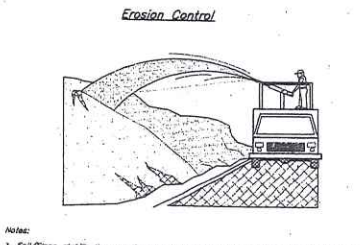
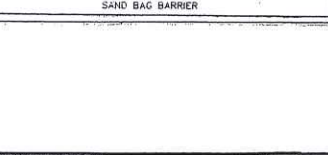
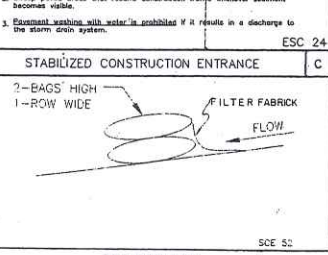
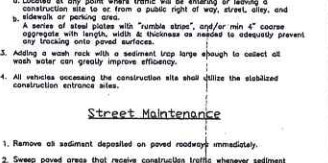
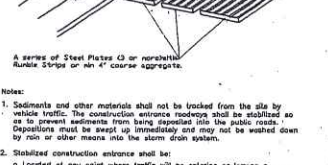
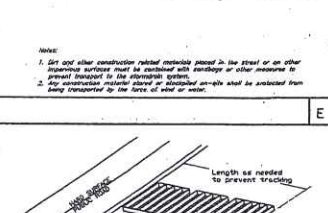
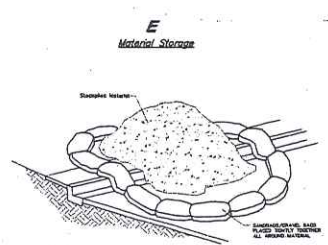
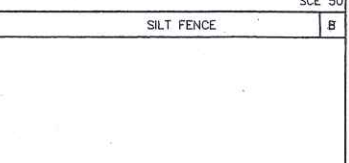
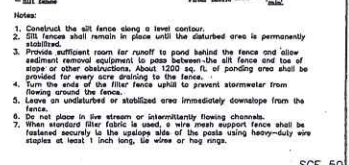
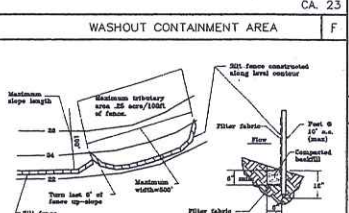
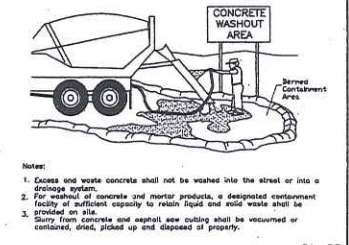
STORE MATERIALS AWAY FROM DRAINAGE COURSES TO PREVENT MATERIAL FROM ENTERING THE RUN-OFF.

COVER CATCH BASINS AND MANHOLES WHEN APPLYING SEAL COAT, TACK COAT, SLURRY SEAL, POG SEAL, ETC.

MAKE SURE SAND OR GRAVEL PLACED OVER NEW ASPHALT DOESN'T WASH INTO STORM DRAINS, STREETS, OR CREEKS.

DISPOSE OF OLD ASPHALT PROPERLY. COLLECT AND REMOVE ALL BROKEN ASPHALT FROM THE SITE AND RECYCLE WHENEVER POSSIBLE. DO NOT DISPOSE OF ASPHALT PRODUCTS INTO WATERSHEDS.

FOLLOW THE STORM WATER PERMITTING REQUIREMENTS FOR INDUSTRIAL ACTIVITIES IF PAVING INVOLVES AN ON-SITE MIXING PLANT.



REV		SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	DATE	REVIEWED BY	DATE	DATE	RCE NO.	EXP DATE

PREPARED BY: CVE ENGINEERING INC. P.O. BOX 7208 THOUSAND OAKS CA 91360
John E. Tracy, R.C.E. 19566 Exp. 08 30 07

CITY OF AGOURA HILLS APPROVAL
RAMIRO S. ADEVA III CITY ENGINEER

CITY OF AGOURA HILLS
FOR A TWO STORY OFFICE BUILDING ON APN NO. 2061-033-015
A PROFESSIONAL BUILDING FOR DR. GUPTA
GRADING PLAN
AGOURA HILLS, CALIFORNIA
PROJECT NO. 07-CUP-002

SHEET 2 OF 2
CITY OF AGOURA HILLS DWG. NO.



**OFFICE DEVELOPMENT
FOR THE PROPERTY LOCATED
AT 29760 AGOURA ROAD,
AGOURA HILLS**

**Specific Plan Amendment Case No. 07-SPA-001,
Conditional Use Permit Case No. 07-CUP-009,
Oak Tree Permit Case No. 07-OTP-012 and
Variance Case No. 10-VAR-001**

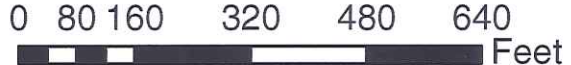
Exhibit 3

Vicinity/Zoning Map



Vicinity/Zoning
Map

- CONDITIONAL USE PERMIT -
CASE NO. 07-CUP-009
- OAK TREE PERMIT -
CASE NO. 07-OTP-012
- SPECIFIC PLAN AMENDMENT -
CASE NO. 07-SPA-001
- VARIANCE REQUEST -
CASE NO. 10-VAR-001





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Variance Case No. 10-VAR-001**

Exhibit 4

**Photographs of the Site
&
Color and Material Board**

LADYFACE MOUNTAIN SPECIFIC PLAN AMENDMENT—CASE NO. 07-SPA-001
CONDITIONAL USE PERMIT—CASE NO. 07-CUP-009
OAK TREE PERMIT—CASE NO. 07-OTP-012
VARIANCE 10-VAR-001

Northeast View



East View



North View



South View



LADYFACE MOUNTAIN SPECIFIC PLAN AMENDMENT—CASE NO. 07-SPA-001
CONDITIONAL USE PERMIT—CASE NO. 07-CUP-009
OAK TREE PERMIT—CASE NO. 07-OTP-012
VARIANCE 10-VAR-001



Southwest View



Northwest View



North View



Transition between
Properties

Level 2

Level 1

LADYFACE MOUNTAIN SPECIFIC PLAN
AMENDMENT—CASE NO. 07-SPA-001
CONDITIONAL USE PERMIT—CASE NO. 07-CUP-009
OAK TREE PERMIT—CASE NO. 07-OTP-012
VARIANCE 10-VAR-001

LADYFACE MOUNTAIN SPECIFIC PLAN AMENDMENT—CASE NO. 07-SPA-001
CONDITIONAL USE PERMIT—CASE NO. 07-CUP-009
OAK TREE PERMIT—CASE NO. 07-OTP-012
VARIANCE 10-VAR-001

GUPTA CORPORATE OFFICES
NEAL SCRIBNER ARCHITECTURE



3 STUCCO



7 RAIL



1 ROOF



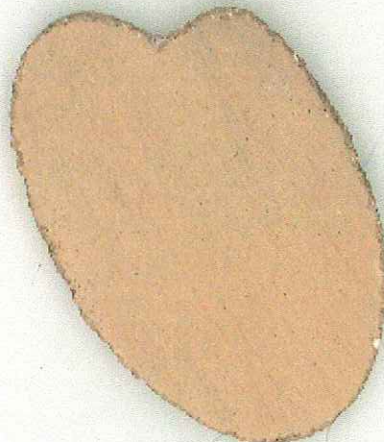
4 MULLIONS



5 GLASS



2 STONE



6 PLAZA

07 CUP-009



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Exhibit 5

Negative Mitigated Declaration

(Attached Report)