

by the consultant to some of the review comments was not complete and required further clarifications. To expedite the review process, the reviewers contacted the consultant and discussed these remaining items. The consultant provided via e-mail a supplemental letter (attached) with the discussed clarifications. As such, the referenced reports are acceptable as presented with regard to planning and feasibility issues. We recommend the Planning Commission consider approval of Case Nos. 10-CUP-004/10-OTP-006 (Keith Blinkinsoph). Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

Notes to City:

- The consultant indicates that retaining walls up to 10 feet high are proposed. The city should determine if this element of the proposed development will comply with the intent of City regulations limiting retaining walls to heights of six feet.
- The consultant anticipates that very hard bedrock materials are potentially present within proposed foundation areas at the site. The consultant recommends that if such materials are encountered during foundation excavations, achieving the City of Agoura Hills slope to foundation setback will be very difficult, and requested a variance to reduce setback to a minimum of 15 feet from the face of competent materials on the face of the slope. It is our opinion that this request is reasonable; however, the City inspector should be informed when a reduction in setback is desired due to hard foundation excavation conditions. The City inspector should observe and approve this request prior to revising the planned depth of foundations. In addition, the consultant should provide in the final as-built report complete documentation of actual conditions encountered during foundation excavations.

Plan-Check Comments

1. The name, address, and phone number of the Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The following note must appear on the grading and foundation plans: *"All retaining wall excavations shall be reviewed by the project engineering geologist for the presence of adversely oriented joint surfaces. Adverse surfaces shall be evaluated and supported in accordance with recommendations of the project geotechnical engineer."*
3. The grading plan should include the limits and depths of overexcavation for the swimming pool, the road and flatwork areas as recommended by the Consultant.
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed by the project engineering geologist during excavation to document the materials encountered and the rates of drilling progress. All foundation excavations must be approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, and foundation plans shall be reviewed, signed, and wet stamped by the consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and location and elevation of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map."*

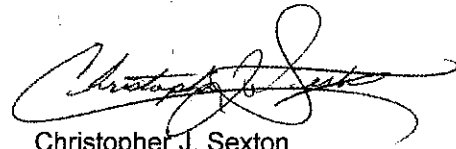
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

GeoDynamics, INC.

Ali A. Haq

Ali Abdel-Haq
Geotechnical Engineering Reviewer
GE 2308 (exp. 12/31/11)



Christopher J. Sexton
Engineering Geologic Reviewer
CEG 1441 (exp. 11/30/10)



**CONDITIONAL USE PERMIT CASE NO. 10-CUP-004,
OAK TREE PERMIT NO. 10-OTP-006,
TENTATIVE PARCEL MAP NO. 71447,
AND VARIANCE REQUEST CASE NO. 10-VAR-003**

**FOR THE PROPERTY LOCATED AT
28441 LEWIS PLACE, AGOURA HILLS**

EXHIBIT D

NOTICE OF EXEMPTION

Notice of Exemption

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, Ca 95814

From: City of Agoura Hills
30001 Ladyface Court
Agoura Hills, CA 91301

County Clerk
County of Los Angeles
Los Angeles County Clerk
12400 E. Imperial Hwy.
Norwalk, CA 90659

Project Title: Blinkinsoph Single-Family Residence
(Case #10-CUP-004)

Project Location-Specific: 28441 Lewis Place (APN 2061-022-023, 24, 25)

Project Location-City: City of Agoura Hills

Project Location-County: Los Angeles

Description of Nature, Purpose, and Beneficiaries of Project: The project consists of the construction of a 3,593 square-foot, two-story, single-family home, and a 633 square-foot attached, two-car garage. The request includes a Conditional Use Permit for hillside development, an Oak Tree Permit for encroachment into the protected zone of four on-site Oak trees, and a Variance for the front yard setback and front yard retaining walls. The three existing lots would be merged into one, 23,108 square-foot parcel and a portion of the alley and Lewis Place would be vacated.

Name of Public Agency Approving Project: City of Agoura Hills

Name of Person or Agency Carrying Out Project: Keith Blinkinsoph

Exempt Status: (Check One)

- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a))
- Emergency Project (14 Cal Code of Regs. Sec. 15269(b),(c), (d) and (e)). State subsection letter
- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.) State Statutory Number
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303, Class 3. New Construction or Conversion of Small Structures
- No possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3))

Reasons why project is exempt: The project consists of the construction of one single-family residence, deck and garage. The project would not result in any significant environmental impacts. The project site is not within: 1) an environmentally sensitive resource area; 2) a state designated scenic highway area; 3) a hazardous waste site; or 4) an historical resource area. There will be encroachment into the protected zone of four on-site Oak trees, but this is not considered a significant impact.

Lead Agency Contact Person: Renee Madrigal, Associate Planner, City of Agoura Hills

Area Code/Telephone/Extension: (818) 597-7339

Signature: Renee Madrigal Date: 11/9/10 Title: Associate Planner

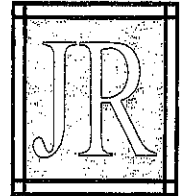


**CONDITIONAL USE PERMIT CASE NO. 10-CUP-004,
OAK TREE PERMIT NO. 10-OTP-006,
TENTATIVE PARCEL MAP NO. 71447,
AND VARIANCE REQUEST CASE NO. 10-VAR-003**

**FOR THE PROPERTY LOCATED AT
28441 LEWIS PLACE, AGOURA HILLS**

EXHIBIT E

REDUCED COPY OF PROJECT PLANS



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50 S. Delacey Ave., Suite 100
Pasadena, CA 91105
(626) 405-1822 Office
(626) 405-8005 Facsimile
JROBPE@AOL.COM E-MAIL



Project
BLINKINSOPH RESID.
LEWIS PLACE
AGOURA HILLS, CA.

"PROPOSED CUSTOM HOME"

Sheet Title
TITLE SHEET

Consultant

Date Issue For:

Revision Date

Job No. 2010161 Sheet No. T-1

Drawn MAB

Checked JR

Date 2/1/02 of Sheets

BLINKINSOPH RESIDENCE

LEWIS PLACE

AGOURA HILLS, CA

"PROPOSED CUSTOM HOME"

ABBREVIATIONS	SYMBOLS
AS ANCHOR BOLT	100 INTERNATIONAL CONVENTION OF BUILDING SYMBOLS
AC ASPHALT CONCRETE	101 DIRECTIONAL DIMENSION
ACI AMERICAN CONCRETE INSTITUTE	102 BENCH
AFB FINISH FLOOR	103 FINISH
ASG AERIAL SURVEILLANCE OF STEEL CONSTRUCTION	104 JOINT
AL ALUMINUM	105 JOINT
ASCE AMERICAN SOCIETY OF CIVIL ENGINEERS	106 JOINT
ASTM AMERICAN SOCIETY OF TESTING AND MATERIALS	107 JOINT
ASD AMERICAN WELDING SOCIETY	108 JOINT
A WALL	109 JOINT
BA BRICK	110 JOINT
BL BLACK	111 JOINT
BUB BUBBLE	112 JOINT
BR BRICK	113 JOINT
BS BOTH SIDES	114 JOINT
BT BOTTOM	115 JOINT
CL CLAY PIER PER MANE	116 JOINT
CL CENTER LINE	117 JOINT
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PERMIT INFORMATION

- LICENSED GENERAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL PROPER PERMITS REQUIRED TO PERFORM THE WORK.
- A SEPARATE PERMIT IS REQUIRED FOR ALL PLUMBING, ELECTRICAL AND MECHANICAL WORK.
- AN APPROVED SEISMIC GAS SHUT-OFF SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE METER AND SHALL BE RIGIDLY ATTACHED TO THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.

PROJECT INFORMATION

OWNER:	JEFF BLINKINSOPH
LOCATION:	LEWIS PLACE AGOURA HILLS, CA
OCCUPANCY:	RS, U
ZONING:	R-1
CONSTRUCTION TYPE:	TYPE V - NR (2400 SQ. FT. ALLOWABLE AREA)
APPLICABLE CODES:	<ul style="list-style-type: none"> 2001 CALIFORNIA BUILDING CODE 2001 COUNTY OF LOS ANGELES ORDINANCES 2001 COUNTY OF LOS ANGELES PLUMBING CODE 2001 COUNTY OF LOS ANGELES ELECTRICAL CODE 2001 CALIFORNIA ENERGY CODE
PROPOSED NUMBER OF STORIES:	1 STORY
LOWER FLOOR LIVING AREA:	1417 SF
1ST FLOOR LIVING AREA:	1416 SF
GARAGE AREA:	470 SF
TOTAL LIVING AREA:	1987 SF
TOTAL FLOOR AREA:	2457 SF
LOT AREA:	2302 SF
LOT COVERAGE:	10%
MAX. BUILDING HEIGHT:	28'-0" FT.
OWN TREES:	1

SCOPE OF WORK

- PROPOSED TWO STORY CUSTOM HOME WITH SITE RETAINING WALLS.

LEGAL DESCRIPTION

LOT 21-25 IN BLOCK 1 OF TRACT # 8734 IN COUNTY OF LOS ANGELES STATE OF CALIFORNIA AS RECORDED IN MAP BOOK 140, PAGE 89 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APNs: 204-012-25, 204-012-24 & 204-012-25

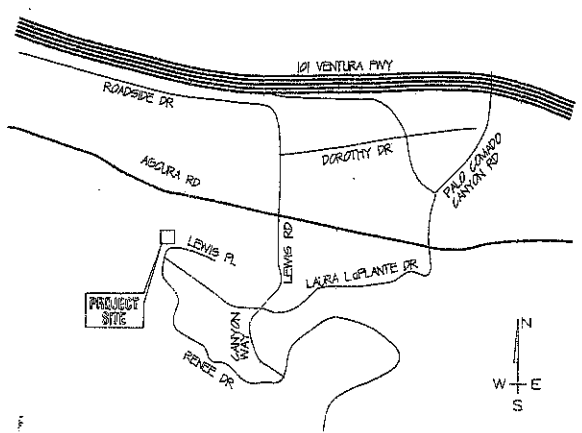
CONSULTANTS

DESIGN AND ENGINEERING JEFFREY A. ROBERTS 50 SOUTH DELACEY AVE. SUITE 100 PASADENA, CA 91105 (626) 405-1822 (626) 405-8005 FACSIMILE JROBPE@AOL.COM	GEO CONSULTANTS STRATUM GEOTECH 1026 E. FRONT STREET UNIT A VENTURA, CA 93001
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SHEET INDEX

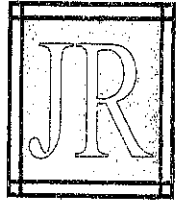
T-1	GENERAL NOTES, VICINITY MAP, SHEET INDEX
C-1	SITE PLAN
C-2	SITE SECTIONS
C-3	SITE SECTIONS
A-1	LOWER FLOOR PLAN
A-2	1ST FLOOR PLAN
A-3	ROOF PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS

VICINITY MAP



GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF ANY CONSTRUCTION WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL CODE REQUIREMENTS. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS AND ITEMS CALLED OUT ON PLANS, THE CODE OR CALL-OUT WHICH PRESCRIBES AND ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE AND BE COMPLIED WITH.
- DIMENSIONS TAKE PRECEDENCE. DIMENSIONS TYPICALLY TO FACE OF STOPS, CENTERLINE OF WALLS, OR AS INDICATED.
- CONSTRUCTION SHALL BE SCHEDULED AND PROPER BARRICADES AND DUST CONTROL PROVIDED. SCHEDULE SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
- ALL WORK LIMITS, MATERIALS DELIVERIES, ETC. SHALL BE ACCEPTABLE TO THE OWNER AND SUCH CONDITIONS CONSTRUED SHALL BE PART OF THIS CONTRACT.
- ELECTRICAL WORK SHALL BE COMPLETE AS REQUIRED FOR A WORKABLE SYSTEM. PERFORM ALL WORK AND PROVIDE MATERIALS IN ACCORDANCE WITH NECA STANDARDS OF INSTALLATION. NECA AND NATIONAL ELECTRICAL CODE.
- LICENSED CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND INSPECTIONS.
- CLEANUP SHALL BE DONE EACH DAY AFTER WORK BY CONTRACTOR AND SITES. ALL DEBRIS SHALL BE REMOVED FROM THE SITE.
- ALL WORK SHALL COMPLY WITH LOCAL BUILDING CODE, STATE OF CALIFORNIA BUILDING STANDARDS, FACILITIES ACCESS AND ENERGY REQUIREMENTS. DO NOT SCALE WORKING DRAWINGS. WORK TO DIMENSIONS AS SHOWN ON THE DWGS.
- VERIFY ALL DIMENSIONS, LOCATION OF EXISTING UTILITIES AND CONDITIONS ON THE JOB SITE PRIOR TO THE START OF WORK OR PORTIONS OF THE WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DWGS IS IN DOUBT, OR WHERE THERE IS A DISCREPANCY OR APPEARS TO BE AN ERROR IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ENGINEER SHALL BE NOTIFIED IN WRITING AS SOON AS POSSIBLE FOR PROCEDURE TO BE FOLLOWED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES. ENGINEER SHALL BE CONSULTED FOR CLARIFICATION OR CONFLICTING SITUATIONS PRIOR TO CONSTRUCTION INSTALLATION.
- DURING CONSTRUCTION CONTRACTOR SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT.
- CONDUCT ALL ROOF DRAINAGE DEVICES TO THE STREET IN APPROVED NON-EROSIVE DEVICES.
- PROVIDE FIRE BLOCKING AT MIDHEIGHT OF WALLS OVER 8'-0" IN HEIGHT.
- ALL EXISTING IMPROVEMENTS AND ALL EXISTING ACTIVE UTILITY LINES TO REMAIN (WHETHER ABOVE OR BELOW GROUND) WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING THE ENTIRE CONSTRUCTION PERIOD.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS AND SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DETAILS MARKED TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION. WATER TEST ALL UNDERGROUND PVC LEADER PIPE BEFORE BACKFILL.
- PROVIDE OUTSIDE GAS SHUTOFF VALVE CONSPICUOUSLY MARKED. SHUTOFF VALVE TO BE EQUIPPED WITH AN APPROVED EARTHQUAKE SHUTOFF DEVICE.
- ALL BATHROOMS, TOILET ROOMS, POWDER ROOMS, AND LAUNDRY ROOMS SHALL BE VENTILATED TO PROVIDE 3 MINUTE MINIMUM AIR CHANGES, AND CONNECTED DIRECTLY TO THE OUTSIDE. FAN SHALL BE OPERATED FROM A LIGHT SWITCH.
- ALL EXTERIOR OPENINGS SHALL BE FLASHED WITH WATER AND ICE SHIELD. PROVIDE FLASHING AND COUNTERFLASHING AS INDICATED ON WINDOW AND DOOR DETAILS. INSTALL WINDOWS, DOORS AND WINDOW WITH FLASHING AS REQUIRED BY MANUFACTURERS SPECIFICATIONS.
- ALL PLYWOOD WALL AND ROOF SHEATHING SHALL BE APPROVED BY THE BUILDING INSPECTOR BEFORE COVERING.



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Project
**BLINKINSOPH RESID.
LEWIS PLACE
AGOURA HILLS, CA.**

"PROPOSED CUSTOM HOME"

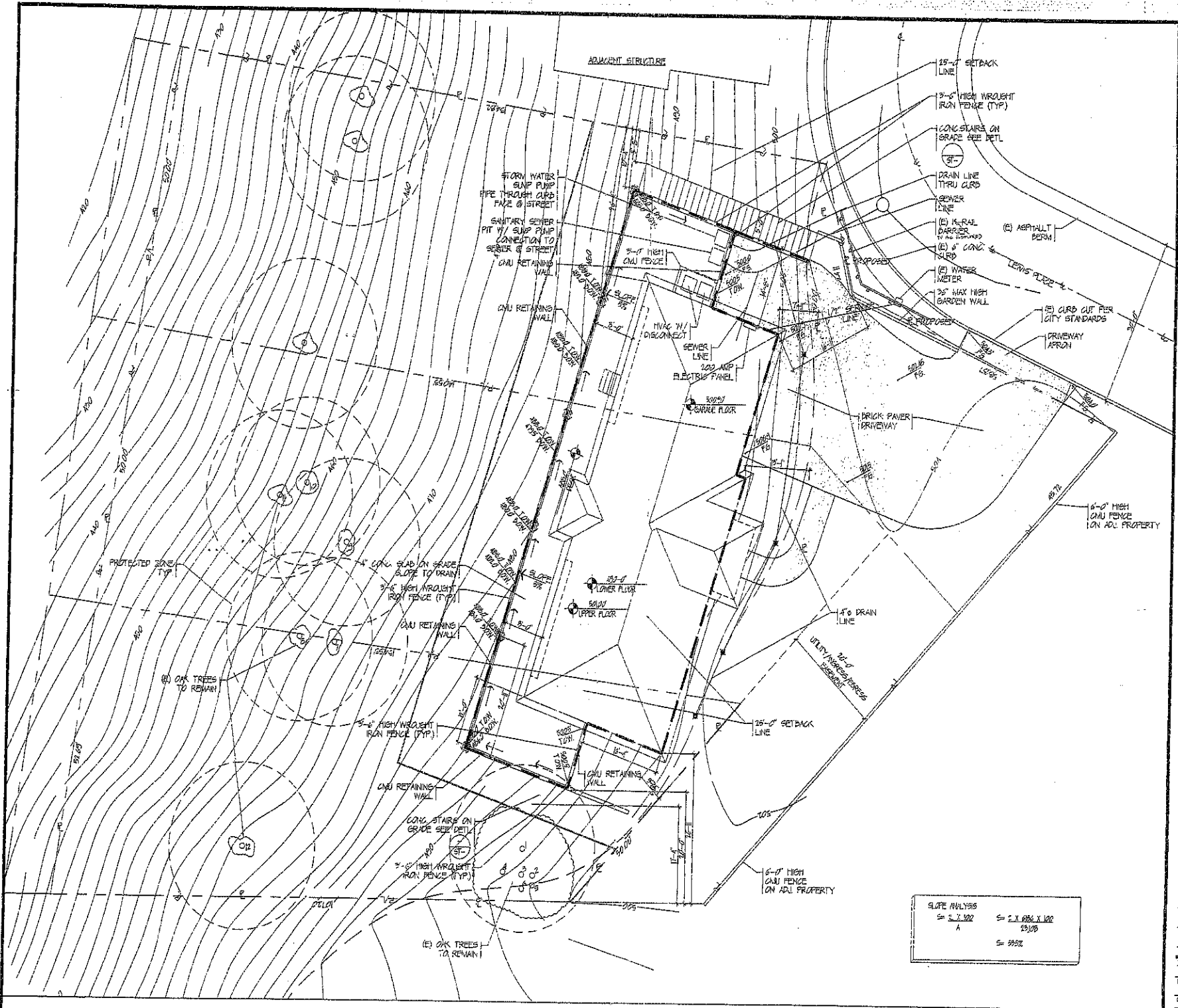
Sheet Title
SITE PLAN

Consultant

Date Issue For:

Revision	Date

Job No.	2010161	Sheet No.	C-1.1
Drawn	MMH	Checked	JR
Date			

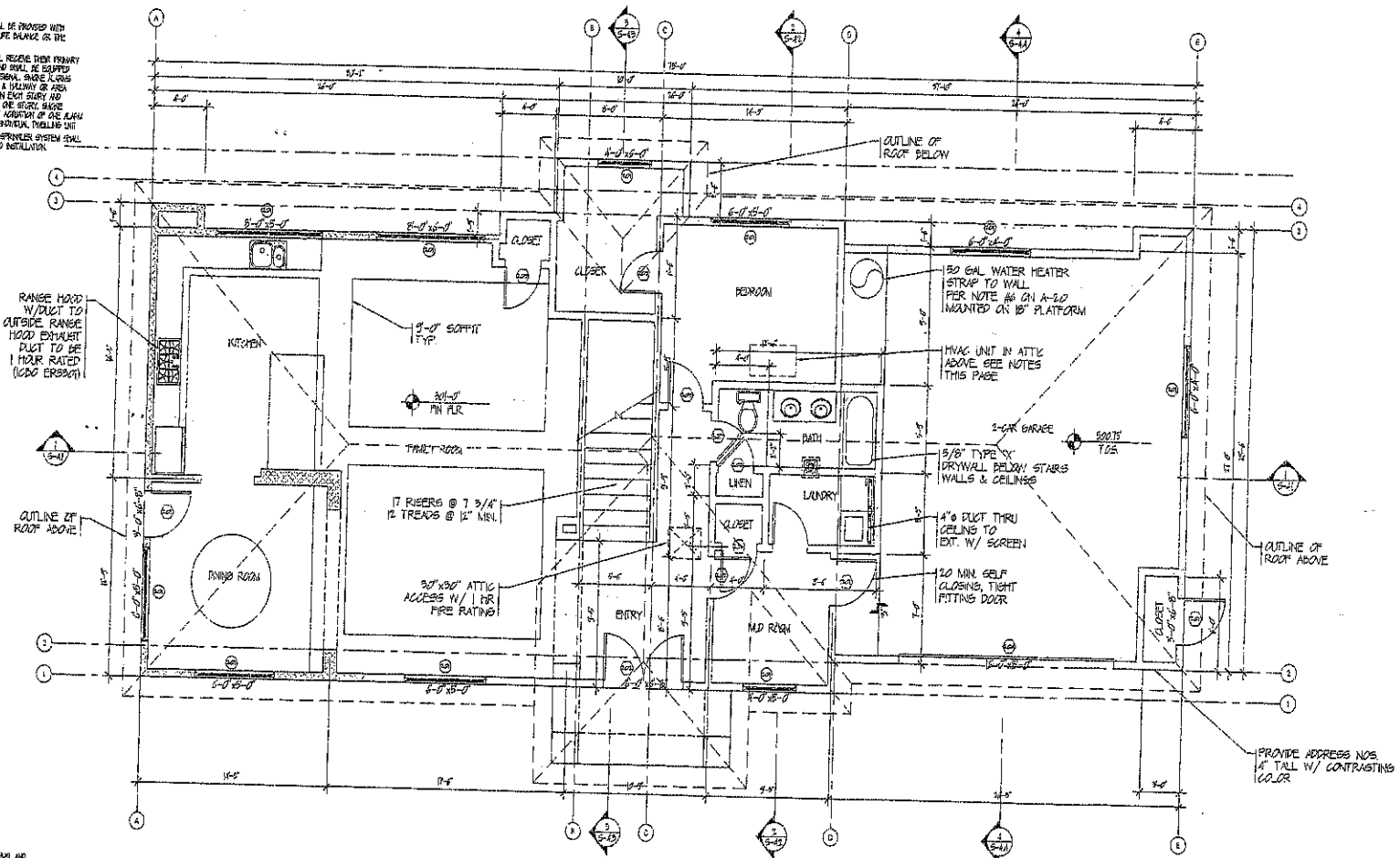


SLOPE ANALYSIS
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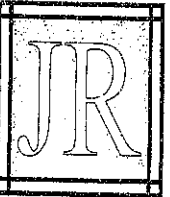
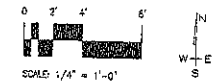
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- NOTE:**
- SEE SIDE PLAN FOR ALL EXTERIOR FINISHES AND GRADES.
 - SEE STRUCTURAL SHEETS FOR ALL FINISHES AND CONNECTIONS.
 - ALL WALLS ARE 2 1/2" STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
 - PROVIDE 80 POUNDATION TYPICAL IN ALL EXTERIOR WALLS.
 - PROVIDE 5/8" REBAR TYPICAL IN ALL EXTERIOR WALLS.
 - UNDER-SLAB VENTILATION SHALL BE NOT LESS THAN 1/8" @ EVERY FLOOR JOINT.
 - PROVIDE A MIN. OF 4" OF UNDER FLOOR ACCESS OPENING.
 - THE WATER HEATER SHALL BE STRAPPED AS PER UPC SECTION 503.11.1/12" WIDE @ 6" ON CENTER STRAPS @ 4' TO 10' FROM THE TOP AND ONE 1/2" FROM THE BOTTOM OF THE WATER HEATER.
 - THE PRESSURE RELIEF VALVE OF THE WATER HEATER SHALL BE OPEN TO THE OUTSIDE OF THE BUILDING WITH THE SUPPLY PIPE NOT LESS THAN 2" AND NOT LESS THAN 4' ABOVE THE GROUND PER UPC SECTION 503.11.2.
 - PROVIDE 1/2" THICK NON-BURNING GYPSUM BOARD TO BE ADJACENT TO BATHS AND APPROVED WATER-RESISTANT MATERIALS FOR SHOWERS.
 - PROVIDE ULTRA PURER WATER CLOSURES FOR ALL NEW CONSTRUCTION UNLESS OTHERWISE NOTED FOR ALL WATER CLOSURES. (2) SPINER KEYS AND TUBS MUST BE WATERTIGHT PER LOW WATER CONSTRUCTION.
 - PROVIDE 6" MIN. ACCESS FOR T.D.
 - SPINERS & TUB SHOWERS CONNECTIONS SHALL BE PROVIDED WITH MANUAL CONTROL VALVES OF THE PROPER SIZE AND THE INDICATING MOUNTED VALVE TYPE.
 - IN NEW CONSTRUCTION BATHS SHOWERS SHALL RECEIVE THEIR PRIMARY DRAINAGE FROM THE DRAINING TRAYS AND SHALL BE EQUIPPED WITH PATTERNS BACK UP AND LOW WATER TRAYS. DRAINAGE PLUMBS SHALL BE LOCATED IN EACH SLEEPER ROOM A HALLWAY OR AREA WHERE ACCESS TO A CLEANING ROOM OR ON EACH STORY AND SUFFICIENT FOR OVERLAPS WITH MORE THAN ONE STORY. SHOWERS SHALL BE INTERCONNECTED SO THAT A MINIMUM OF ONE PLUMB ALIAS SHALL BE AVAILABLE WITHIN THE ROOM. DRAINING UNIT SHALL BE APPROVED BY PLUMBING AGENCY PRIOR TO INSTALLATION.
 - PROVIDE FIRE SPROKERS THROUGHOUT. THE SPROKERS SYSTEM SHALL BE APPROVED BY PLUMBING AGENCY PRIOR TO INSTALLATION.

- ATTIC INSTALLED HVAC EQUIPMENT**
- PROVIDE 2" MIN. TYPE OF HVAC EQUIPMENT.
 - PROVIDE LEVEL WORKING PLATFORM ADJACENT TO CONTROLS.
 - CEILING LIGHTS SHALL BE PROVIDED WITH SHAW BRACKS PER MANUFACTURER'S REQUIREMENTS.
 - PROVIDE 12" x 12" ATTIC ACCESS AS REQUIRED SUCH THAT LENGTH OF PASSAGE SHALL NOT EXCEED 24" MIN. FROM ACCESS TO EQUIPMENT. PROVIDE A MIN. OF 2" CLEARANCE FLOORING.
 - PROVIDE LIGHT SWITCH ADJACENT TO ATTIC ACCESS.
 - PROVIDE PROGRAMMABLE SWITCH AND QUIET ACCESS TO EQUIPMENT.
 - THE HVAC EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - CONDENSATE DRAIN IF ANY SHALL BE CONVEYED TO AN APPROVED PLUMBING TRAP.



- LEGEND:**
- (S) NO. STUD WALL
 - (S) 2" HD. STUD WALL
 - (S) 2" HD. BATT WALL
 - (S) WALL TO BE REMOVED
 - (S) DOOR PER PLAN AND SCHEDULE
 - (S) WINDOW PER PLAN AND SCHEDULE
 - ALL BATHROOM TOILET ROOMS, POWDER ROOMS, AND LAUNDRY ROOMS SHALL BE VENTILATED TO PROVIDE SUFFICIENT AIR CHANGES PER HOUR AND VENTED TO THE OUTSIDE AIR SHALL BE DESIGNED FROM A LEAKY SHEATH.
 - (S) GROUND DETECTOR INDICATED BY DOTTED LINE



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Project:
BLINKINSOPH RESID.
LEWIS PLACE
AGOURA HILLS, CA.

"PROPOSED CUSTOM HOME"

Sheet Title:
PROPOSED FLOOR PLAN

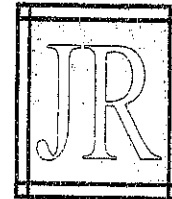
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Date Issue For:

Revision	Date

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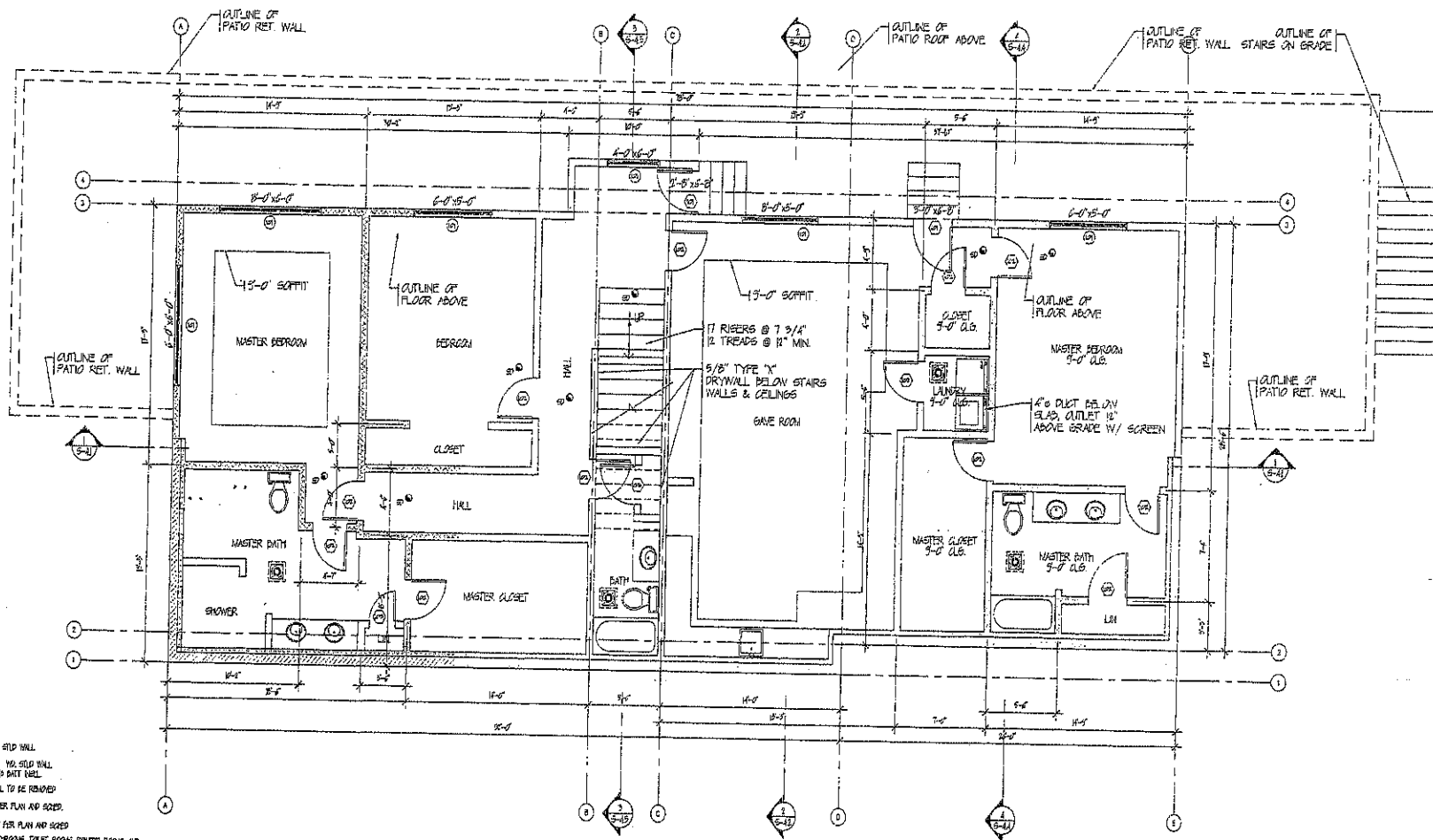
Consultant

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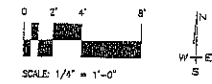
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Revision	Date

Job No. 201016
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Date: _____
Sheet No. **A-2.2**



- LEGEND:
- 12" NO. 410 WALL
 - 8" X 12" NO. 20 SOLID WALL
 - 1/2" 5/8" PART WALL
 - WALL TO BE REMOVED
 - DOOR PER PLAN AND SIZES
 - WINDOW PER PLAN AND SIZES
 - ALL BATHROOM TOILET ROOMS, FRONT PORCH, AND LAUNDRY ROOMS SHALL BE VENTILATED TO PROVIDE 5 MINIMUM AIR CHANGES PER HOUR, AND VENTED TO THE OUTSIDE. FAN SHALL BE OPERATED FROM A LIGHT SWITCH.
 - NO SMOKE DETECTOR INDICATED BY BATTERY POWER



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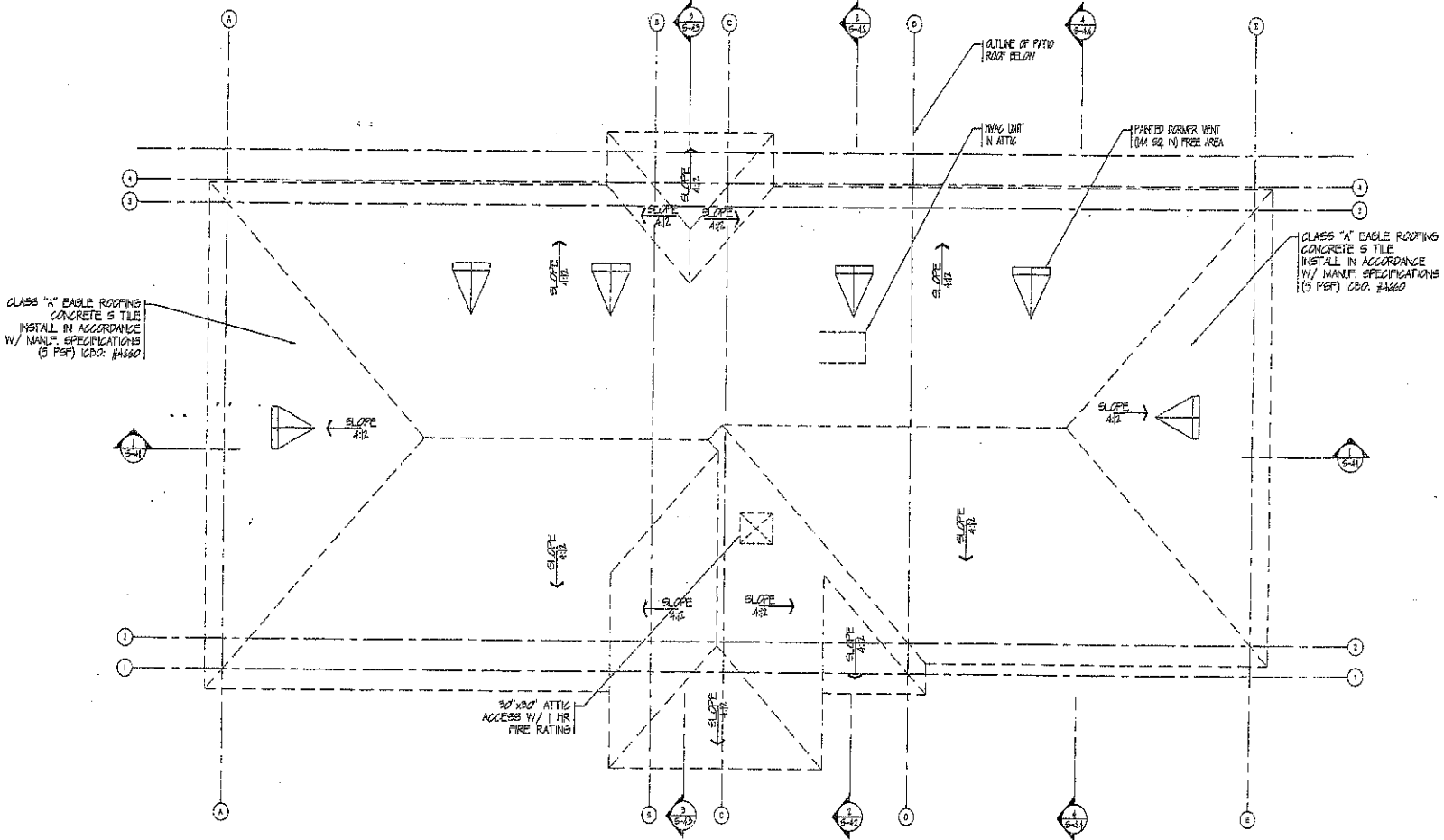
ROOF VENTILATION NOTES

- SEE TYPICAL EDGE DETAIL FOR SIZE AND LOCATION OF ROOF VENT.
- TOTAL ATTIC VENTILATION SHALL NOT BE LESS THAN 1/60th OF THE AREA TO BE VENTILATED. INSTALL 1/2" OF FINISHED VENTS LOCATED IN THE UPPER PORTION, AT LEAST 3'-0" ABOVE THE EAVE, AND 1/2" OF REGULAR VENTS IN THE GABLE OR EAVE.
- ROOFER VENTS SHALL NOT EXCEED 30 SQ. FEET EACH AREA PER SECTION. TOTAL AREA OF ROOFER VENT SHALL PROVIDE A NET FREE AREA OF 1/60th OF THE AREA BEING VENTILATED.
- ROOFER VENTS SHALL BE PROVIDED THROUGHOUT THE ROOF AREA TO PROVIDE A MINIMUM NET FREE AREA OF 1/60th OF THE AREA BEING VENTILATED. ROOFER VENTS SHALL BE LOCATED A MINIMUM OF 1'-0" ABOVE THE EAVE. ROOFER VENTS SHALL BE PROVIDED TO MATCH ROOF TILES. SIZE OF VENTS SHALL NOT EXCEED 18" SQ. FEET.
- ALL VENTS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH A MINIMUM OPENING OF 1/8".
- WHERE ROOFER VENTS ARE INSTALLED, BALLAST SHALL NOT BLOCK THE FLOW OF FREE AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE BALLAST AND THE ROOF STRUCTURE.
- INSTALL ALL FLASHING AND GROUND FLASHING PER ROOF MANUF. WRITTEN SPEC.

ATTIC VENTILATION CALC.

FREE AREA ATTIC VENT

ATTIC AREA - 1250 SQ FT	
TOTAL AREA OF VENTS REQD: 20.83 SQ FT	1250 SQ FT / 60 = 20.83 SQ FT
AREA OF ROOFER VENTS REQD: 10.42 SQ FT	20.83 SQ FT / 2 = 10.42 SQ FT
FREE AREA OF ROOFER VENT	10.42 SQ FT (18" SQ FT)
ROOFER VENT 18" SQ FT	1.00000000
AREA OF ROOFER VENT REQD: 10.42 SQ FT	10.42 SQ FT (18" SQ FT)
FREE AREA OF 2" X 6" GABLE VENT	51.56 SQ FT (208 SQ FT)
PROVIDE 2 X 6" GABLE VENT	2.50000000



JEFF A. ROBERTS & ASSOCIATES, INC.
 Engineering Consulting Services
 50 S. Delaney Ave., Suite 100
 Pasadena, CA 91105
 (626) 405-1822 Office
 (626) 405-3005 Facsimile
 JROBPE@AOL.COM E-MAIL



Project
BLINKINSOPH RESID.
LEWIS PLACE
AGOURA HILLS, CA.

"PROPOSED CUSTOM HOME"

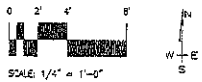
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PROPOSED ROOF PLAN

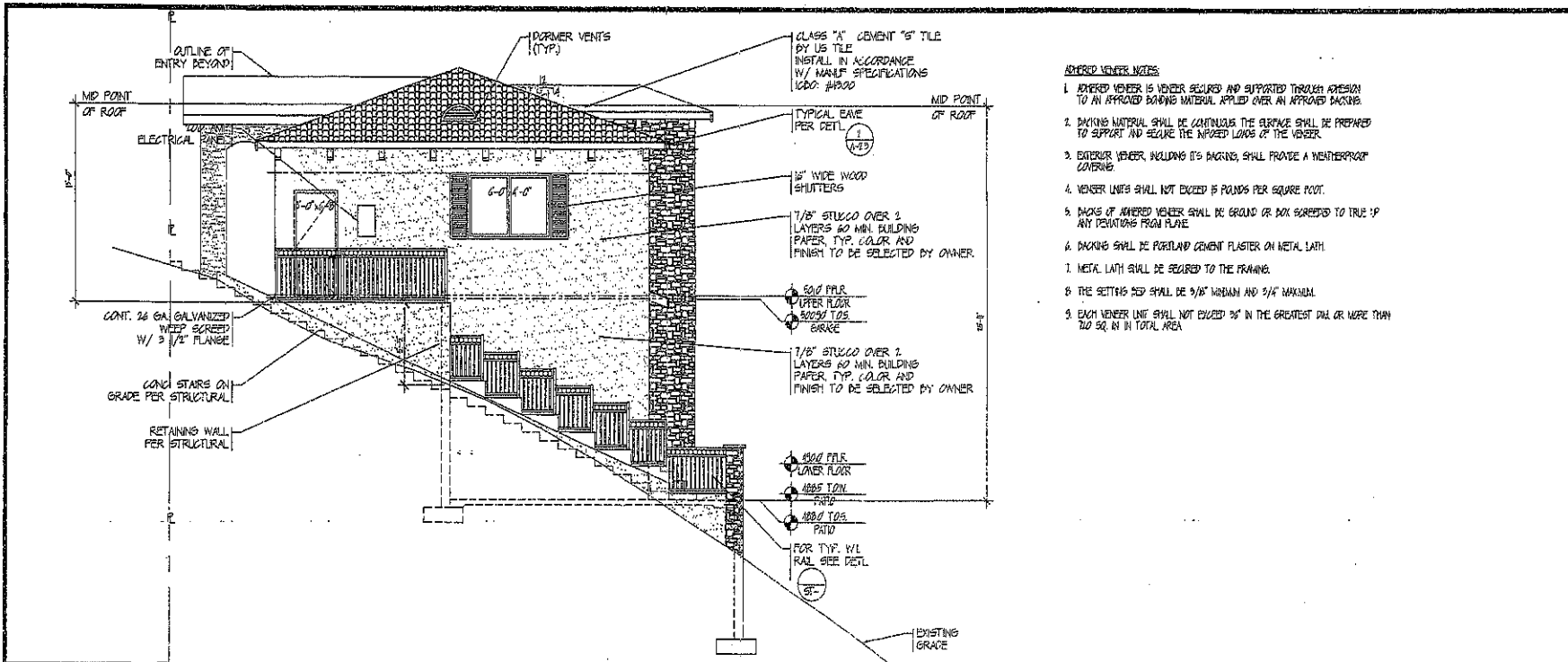
Consultant

Date Issue For:

Revision	Date

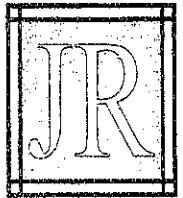
Job No. 20 (016) Sheet No. **A-2.3**
 Drawn MMR
 Checked JR
 Date





ADHERED VENEER NOTES:

1. ADHERED VENEER IS VENEER SECURED AND SUPPORTED THROUGH ADHESION TO AN APPROVED BACKING MATERIAL APPLIED OVER AN APPROVED BACKING.
2. BACKING MATERIAL SHALL BE CONTINUOUS THE SURFACE SHALL BE PREPARED TO SUPPORT AND SECURE THE IMPROVED LAYS OF THE VENEER.
3. EXTERIOR VENEER, INCLUDING ITS BACKING, SHALL PROVIDE A WEATHERPROOF COVERING.
4. VENEER UNITS SHALL NOT EXCEED 8 POUNDS PER SQUARE FOOT.
5. BACKS OF ADHERED VENEER SHALL BE GRIND OR BOX SCAINED TO TRUE IF ANY DEVIATIONS FROM FLAT.
6. BACKING SHALL BE PORTLAND CEMENT PLASTER ON METAL LATH.
7. METAL LATH SHALL BE SECURED TO THE FRAMING.
8. THE SETTING BED SHALL BE 3/8" MINIMUM AND 3/4" MAXIMUM.
9. EACH VENEER UNIT SHALL NOT EXCEED 36" IN THE GREATEST DIA OR MORE THAN 20 SQ. IN IN TOTAL AREA.



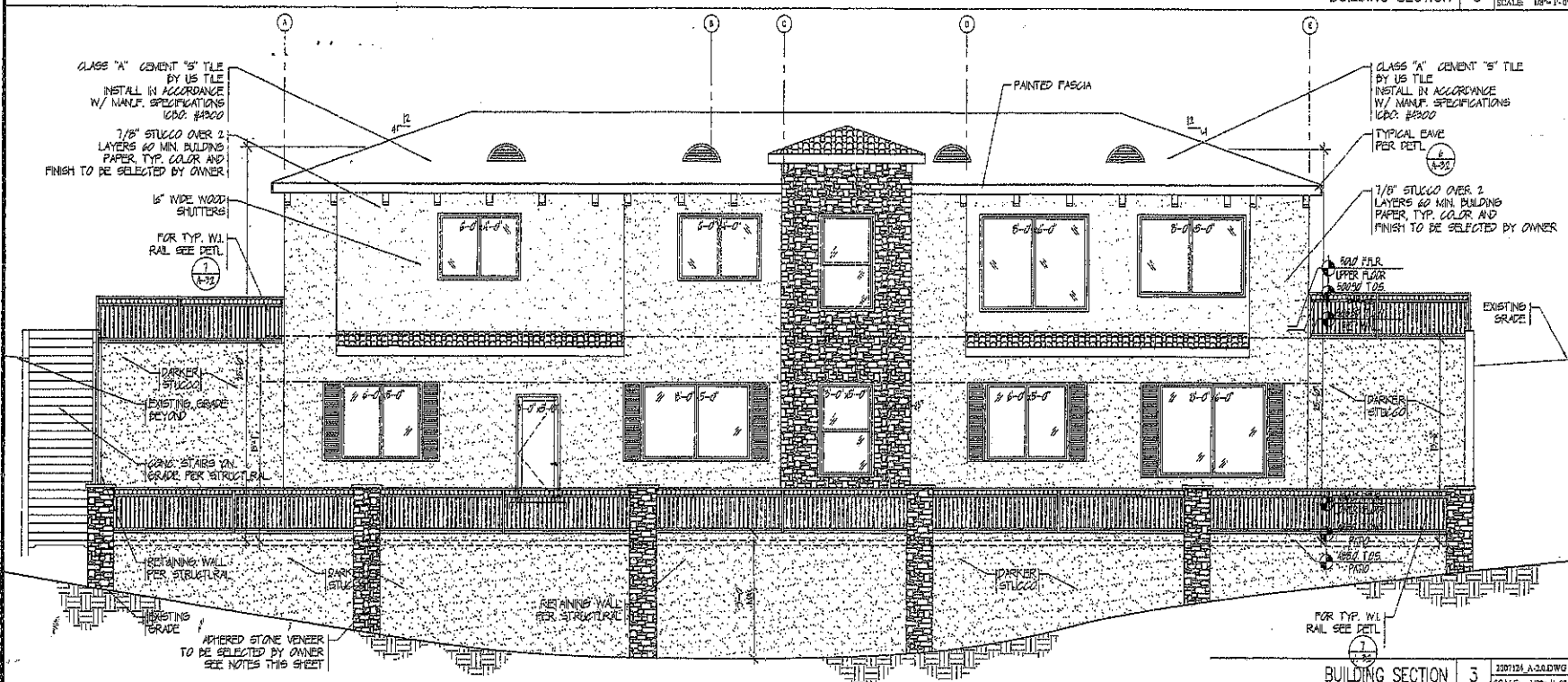
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Project
BLINKINSOPH RESID.
LEWIS PLACE
AGOURA HILLS, CA.

"PROPOSED CUSTOM HOME"

BUILDING SECTION 3 300712A-A-20.DWG SCALE: 1/8" = 1'-0"



Sheet Title
BUILDING ELEVATION

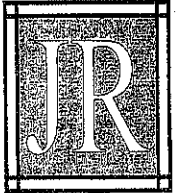
Consultant

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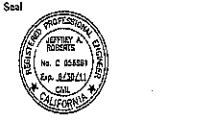
Revision	Date

Job No. 2010161 Sheet No. **A-3.1**
 Drawn: MMR
 Checked: JR
 Date: 2/1/08 of Sheets

BUILDING SECTION 3 300712A-A-20.DWG SCALE: 1/8" = 1'-0"



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Project
BLINKINSOPH RESID.
LEWIS PLACE
AGOURA HILLS, CA.

"PROPOSED CUSTOM HOME"

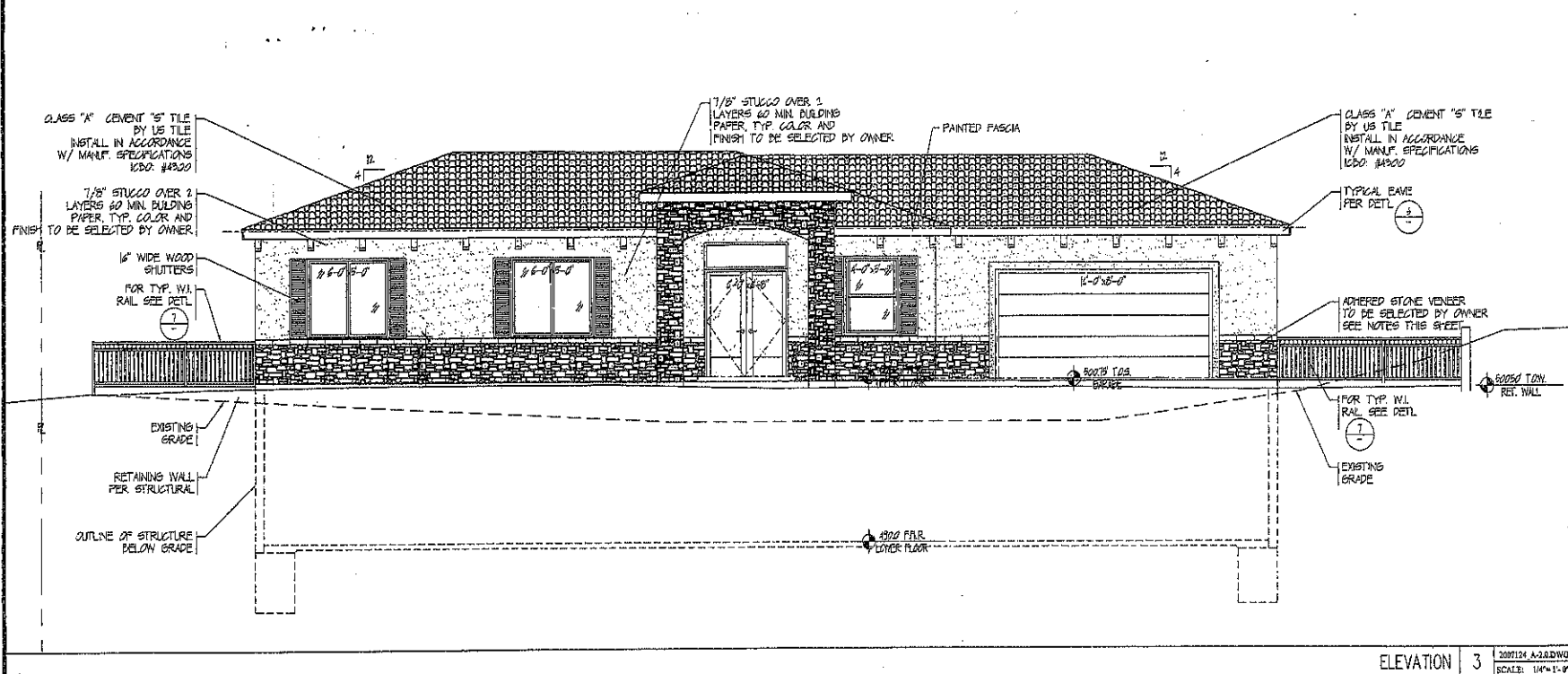
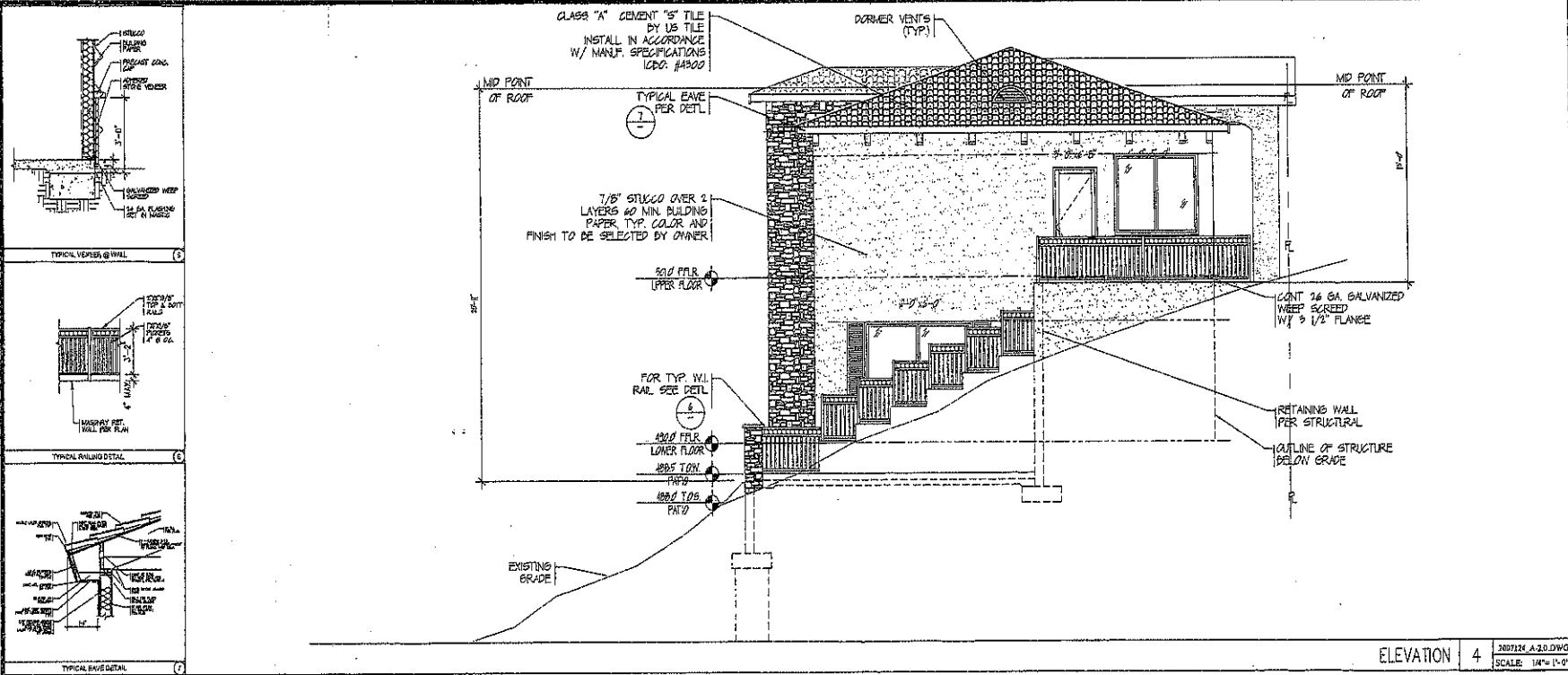
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BUILDING ELEVATION

Consultant

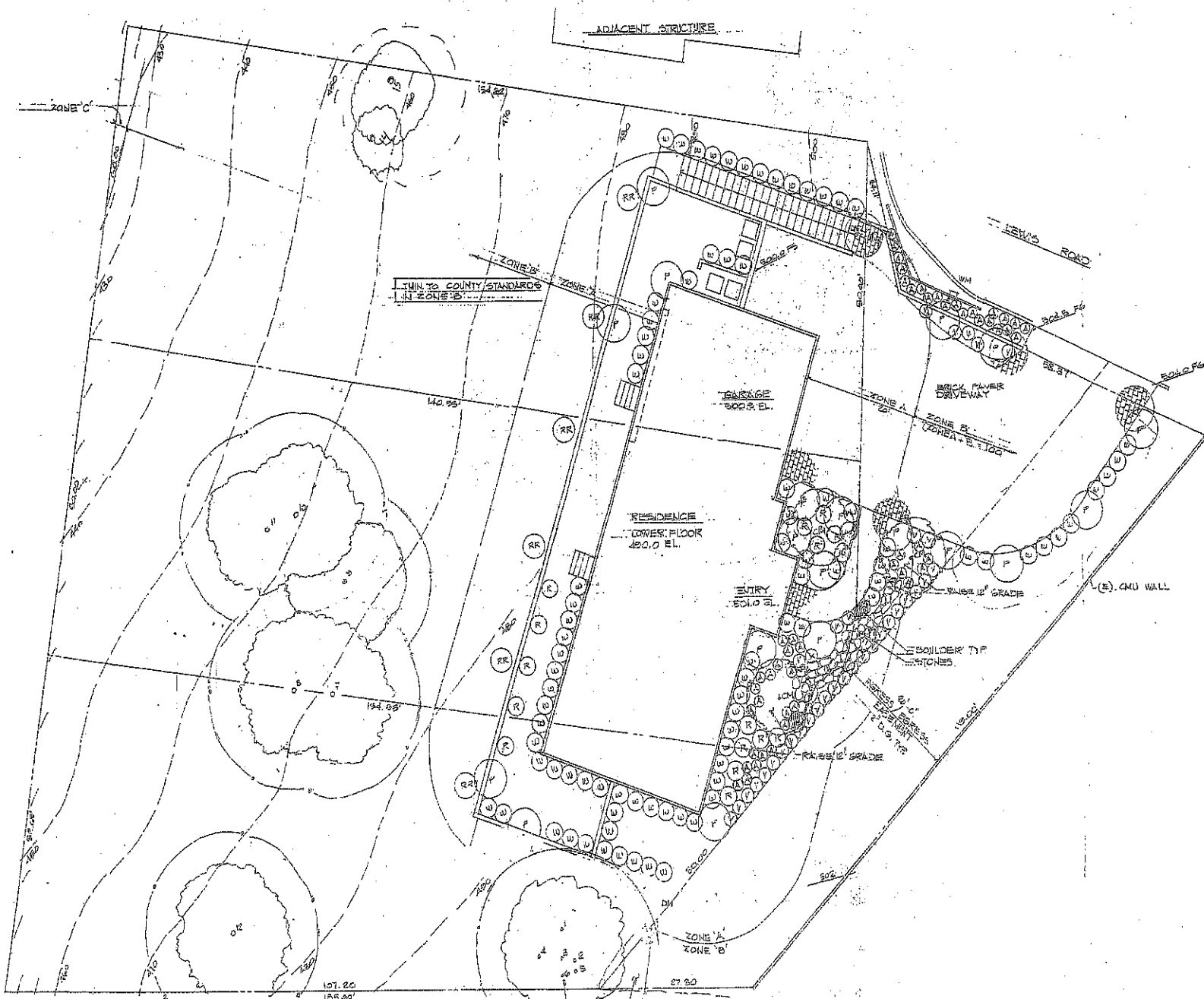
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Revision	Date
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Job No.	2010161	Sheet No.	A-3.2
Drawn	KMH		
Checked	JR		
Date	2/1/02	of Sheets	



2007124_A-4.1.0002



ZONE C

ADJACENT STRUCTURE

TURN TO COUNTY STANDARDS AT ZONE B

LEWIS ROAD

GARAGE
99.8 EL.

RESIDENCE
LOWEST FLOOR
100.0 EL.

ENTRY
101.0 EL.

BACK PAVER
DRIVEWAY

(B) CMU WALL

SHOULDER TIP
STONES

RAISE 12\"/>

107.20
105.20

77.50

MULCH WITHIN PROTECTED AREA (TYPICAL)
(B) OAKS TYPICAL
DRIP LINE

NOTE
1. SEE SHEET 2 FOR
PLANT LIST & DETAILS

PLAN
1/8" = 1'-0"

SEP 1 6 2010
JUL 30 2010

REVISIONS	BY

LESLIE A. DIEVENDORF
landscape architect
(818) 883 - 6649

PLANTING PLAN

BLINKINSPH RESIDENCE
28441 LEWIS ROAD
AGOURA HILLS, CA. 91001

Date June 29, 2010
Scale noted
Drawn
Job
Shot
01 of 2 Sheets

JUN 29 2010

ASSESSMENT FOR FINAL MODIFICATION PLAN PER

Zone A - Street Zone

- Remove 20 feet beyond the edge of any combustible structure, necessary structure, signage or projection.
- Vegetation by materials or material systems shall be provided to landscaping to maintain healthy vegetation with high fire resistance and greater fire retention.
- Landscaping and vegetation in this zone shall consist primarily of grasses, ground cover, and extremely resistant shrubs and trees. The overall characteristics of the landscape shall provide adequate fire resistance in this environment.
- Plants in Zone A shall be laboratory tested for resistance and tested appropriately. Spacing and location should be strictly following the Final Modification Plan Reference. Other species may be utilized subject to approval.
- Except for lowest vegetation or mature trees small in stature, trees not presently not recommended within Zone A.
- Vegetation species shall typically not be allowed within 10 feet more feet of combustible structure may require removal if existing in the.
- Vegetation and climbing plants shall not be allowed on any combustible structure.

Zone B - Fire Hazard Zone

- Remove 10 feet beyond the edge of Zone A to 300 feet from structure.
- Landscaping by materials or material systems shall be provided to landscaping to maintain healthy vegetation with high fire resistance and greater fire retention.
- Landscaping and vegetation in this zone shall typically consist primarily of grasses, ground cover, and extremely resistant shrubs and trees. The overall characteristics of the landscape shall provide adequate fire resistance in this environment.
- Plants in Zone B shall be laboratory tested for resistance and tested appropriately. Spacing and location should be strictly following the Final Modification Plan Reference. Other species may be utilized subject to approval.

Zone C - Fire Hazard Zone

- Remove 10 feet beyond the edge of Zone B to 250 feet from structure.
- Landscaping by materials or material systems shall be provided to landscaping to maintain healthy vegetation with high fire resistance and greater fire retention.
- Landscaping and vegetation in this zone shall typically consist primarily of grasses, ground cover, and extremely resistant shrubs and trees. The overall characteristics of the landscape shall provide adequate fire resistance in this environment.
- Plants in Zone C shall be laboratory tested for resistance and tested appropriately. Spacing and location should be strictly following the Final Modification Plan Reference. Other species may be utilized subject to approval.
- General grading for existing site similar or greater than 1:15 feet horizontal to vertical.
- General grading for existing site similar or greater than 1:15 feet horizontal to vertical.

Fire Access Road Zone

- Remove 10 feet from the edge of any public or private roadway that may be used as access for fire-fighting operations.
- Clear and remove combustible materials for a minimum of 10 feet on each side of Fire Access Road (See Code 242.140).
- The access road clearance and easement shall be maintained in accordance with the code.
- Fire Access Road shall have continuous vertical clearance. (See Code 242.140).
- Landscaping and other plants within the 10-foot Fire Access Road Zone shall be appropriately spaced and maintained to provide adequate fire resistance.

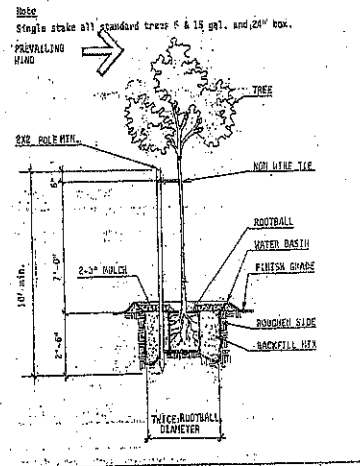
Maintenance

- Remove maintenance shall be regularly performed in all areas with regular.
- Removal of planting of combustible materials, vegetation and replacement of dead or dying landscaping.
- Pruning and thinning to reduce the overall load and maintain with plant health.
- Pruning lower branches of trees and shrubs shall be 1/3 of their height for 6 feet from leaves being kept and 1/3 of their height for trees standing upright from the crown.
- Water irrigation systems shall be maintained at a height set to exceed 6 feet in Zone A, 1/3 height within 20 feet of a structure in Zone B, and 1/3 height in Zone C beyond 20 feet.
- Accumulated plant litter and dead wood shall be removed. Debris and litter shall be removed by cleaning and pruning should be removed from the site or disposed and evenly dispersed in the same area in a minimum depth of 2 inches.
- Manual and automatic irrigation systems shall be maintained for operational safety and performance. Manual systems shall be regularly tested to avoid air or overwatering.
- Compliance with the Fire Code is a year-round responsibility. Maintenance will occur following inspection by the Fire Department annually and as needed. Annual inspections are conducted following the annual drying of grasses and fire fuels, between the months of April and June depending on geographic area.
- Brush Clearance requirements shall be enforced as follows: brush shall be cleared in the County of Los Angeles Fire Department's Brush Clearance Ordinance 242.140-242.145.
- All brush clearance shall be maintained in accordance with the County of Los Angeles Fire Department's Brush Clearance Ordinance and approved prior to installation. Changes to the approved plan shall require approval from the Fire Department.
- Questions regarding landscape maintenance requirements will require a fire safety should be referred to the Fire Department's Fire Maintenance Unit at (818) 949-2525.

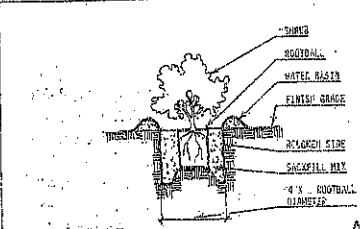
Final Modification Assessment

The property owner agrees to be responsible for the complete maintenance of this final modification plan as described herein. Notification of final modification requirements is to be made upon sale to new owners. Proposed changes to the Final Modification Plan shall be submitted to the Fire Department for approval prior to implementation. Regular inspections will be conducted by the Fire Department to ensure compliance with the approved plan. Failure to comply with the final modification plan requirements may result in a Civil Penalty fine not to exceed \$1000 and possible legal action.

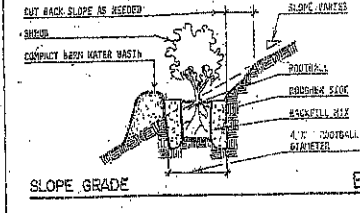
KEITH BLANKINSOP
 Date: 2/1/20
 Signature: _____
 Title: _____



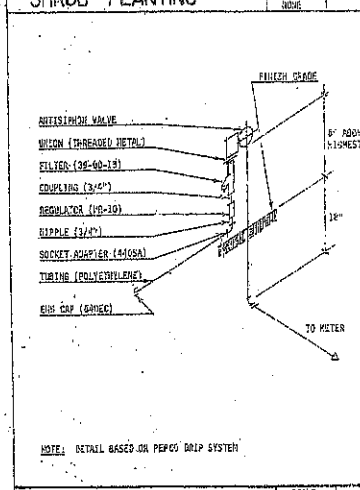
TREE STAKING SCALE NONE



LEVEL GRADE SCALE NONE



SLOPE GRADE SCALE NONE



SHRUB PLANTING SCALE NONE



DRIP IRRIGATION SCALE NONE

PLANT LIST				
SYMBOL	QTY/SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
TREES				
ON	3	24" box Lagerströmia indica	Grape Myrtle	standard
SHRUBS				
RA	5	gal Citrus Myrtle	Rockrose	tree form selected
P	15	gal Solanum elaeagnifolium	Rockrose	
R	15	gal Rosa 'Aurora' 'Iceberg'	Rose	
M	30	gal Agapanthus africanus	Lily of the Nile	
V	30	gal Veronica subulastilis	Veronica	
H	101	gal Westringia frutescens	Westringia	

(C) Oaks existing on site
 protected zone Street beyond drip line

- 1.50 Area to be cleared. Cut existing weeds to within 2" of surface. Remove all debris. "Final Use" on plan.
- 1.51 After recommended time for weed kill, remove all foreign and existing materials: i.e., mulch, glass, paper, wire, concrete, and stones over 1" in diameter, etc., from the site.
- 1.52 Soil Amendments
 A. R/Control ground cover 2 3 cy. / 1000 sf.
 B. Agricultural gypsum 2 40 lb. / 1000 sf.
 C. Fertilizer: "Oxy-Pow" 2 100 lb. / 1000 sf.
 Mix and mix thoroughly 6" deep minimum.
- 1.53 Fine grade with no abrupt change in grade, settle, roll turf areas and rake prior to planting, seeding or sodding.
- 1.54 Install new irrigation system. All branching within 10' or drip line of existing trees shall be by hand. Do not cut roots over 3" in diameter.
- 1.55
- 1.56 60x60 Fill Mix 5 parts of soil, 4 parts nitrogenized wood compost, 1 lb. of 3-1-1 "Grow Power" or equal, 2 1/2 cu. yd. iron sulfate. Mix together thoroughly prior to backfilling.
- 1.57 Place 60x60 over detail for site. Pit should be square in shape with rough sides, dirt sides and bottom with agricultural gypsum. Add 100 nitrogenized wood compost to backfill mix.
- 1.58
- 1.59 Planting: Add 100 nitrogenized wood compost to backfill mix. Place 60x60 over detail for site. Pit should be square in shape with rough sides, dirt sides and bottom with agricultural gypsum. Add 100 nitrogenized wood compost to backfill mix.
- 1.60
- 1.61
- 1.62
- 1.63
- 1.64
- 1.65
- 1.66
- 1.67
- 1.68
- 1.69
- 1.70

PLANTING NOTES

NOTE: ALL WESTRINGIA TO BE MAINTAINED AT 24" HIGH MAX.

REVISIONS	BY

LESUE A. DIEVENDORF
 landscape architect
 (818) 983-6649

PLANT LIST - NOTES - DETAILS

BLANKINSOP RESIDENCE
 28441 LEWIS ROAD
 AGOURA HILLS, CA. 91301

Date: 2/1/20
 Sheet: 10/60
 Title: _____
 Job: _____
 Sheet: 2 of 2

2/1/20

GRADING NOTES

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLES 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED:
 - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
 - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THIS REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
 - AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL DRAINAGE AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
 - TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOIL. IF THE EXPANSION INDEX IS GREATER THAN 100, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
 - A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
 - ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

INSPECTION NOTES

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.

ABBREVIATIONS

AC - ASPHALTIC CONCRETE	NG - NATURAL GROUND
BF - BOTTOM OF FOOTING	NTS - NOT TO SCALE
CB - CURB BASIN	PL - PROPERTY LINE
CF - CURB FACE	POB - POINT OF BEGINNING
C - CENTERLINE	SDMH - STORM DRAIN MANHOLE
CLP - CHAIN LINK FENCE	SMH - SEWER MANHOLE
CO - CLEAN CUT	SS - SEWER SUMP
CS - CURB BASIN	TB - TOP OF BEAM
DL - DAILIGHT	TC - TOP OF CURB
BG - EXISTING GRADE	TF - TOP OF FOOTING
EF - EDGE OF PAVEMENT	TO - TOP OF SLATE
FF - FINISHED FLOOR	TW - TOP OF WALL
FG - FINISHED GRADE	TY - TYPICAL
FH - FINE HYDRANT	VAL - WATER VALVE
FL - FLOWLINE	WV - WETTER VALVE
FP - FINISHED PAD	
FS - FINISH SURFACE	
HC - HOOP - HANDCAMP BUMP	
HP - HIGH POINT	
INV - INVERT	

PUBLIC UTILITIES / SERVICES

WATER:	LAR VIRGENES MUNICIPAL WATER DISTRICT 4222 LAR VIRGENES ROAD CALABASSAS, CA 91302 (818) 381-4110
ELECTRICAL:	SOUTHERN CALIFORNIA EDISON 3855 FOOTBALL DRIVE THOUSAND OAKS, CA 91321 (805) 424-7016
TELEPHONE:	SBC (PAC BELL) 1801 HAYTER STREET, #116 VAN NUYS, CA 91414 (818) 373-6806
GAS:	SOUTHERN CALIFORNIA GAS 8400 OAKDALE AVENUE CHATTWORTH, CA 91313 (818) 704-3534
SEWER:	LA COUNTY, DEPT. OF PUBLIC WORKS SEWER MAINTENANCE DIVISION 1005 S. FRENCH AVENUE, BLDG AB 604T ALHAMBRA, CA 91803 (626) 308-3200
CABLE:	ADELPHIA 5323 TELLER ROAD HERMUNY PARK, CA 91302 (626) 376-3215
CABLE:	CHARTER COMMUNICATIONS 3000 CROSSCREEK ROAD MIRALOMA, CA 92656 (310) 461-8310
CALTRANS:	CALTRANS 560 REBEUR BOULEVARD TAYLOR, CA 91256 (909) 388-4435

LOCAL SWPPP NOTES

- SEEDMENTS GENERATED ON THE PROJECT SITE SHALL BE RETAINED USING ADEQUATE TREATMENT CONTROL OR STRUCTURAL BMPs ILLUSTRATED ON PLANS.
- CONSTRUCTION-RELATED MATERIALS, WASTE SPILLS OR RESIDUE SHALL BE RETAINED AT THE PROJECT SITE TO AVOID DISCHARGE TO STREETS, DRAINAGE FACILITIES, RECEIVING WATERS OR ADJACENT PROPERTIES BY WIND OR RUNOFF.
- NON-STORM WATER RUN-OFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EROSION FROM SLOPES AND CHANNELS SHALL BE CONTROLLED BY IMPLEMENTING AN EFFECTIVE COMBINATION OF BMPs AS APPROVED BY REGIONAL BOARD RESOLUTION NO. 99-03, SUCH AS THE LIMITING OF GRADING SCHEDULES DURING THE WET SEASON, INSPECTING GRADED AREAS DURING RAIN EVENTS, PLANTING AND MAINTENANCE OF VEGETATION ON SLOPES, AND COVERING EROSION SUSCEPTIBLE SLOPES.

USMP NOTES

- CONSERVE ALL NATURAL AREA.
- PROTECT SLOPES AND CHANNELS.
- PROVIDE STORM DRAIN SYSTEM STENCILING AND SIGNAGE.
- DIVERT ROOF RUNOFF TO VEGETATED AREAS BEFORE DISCHARGE UNLESS THE DIVERSION WOULD RESULT IN SLOPE INSTABILITY.
- DIRECT SURFACE FLOW TO VEGETATED AREAS BEFORE DISCHARGE UNLESS THE DIVERSION WOULD RESULT IN SLOPE INSTABILITY.
- THESE ITEMS SHOULD BE ADDRESSED ON THE GRADING AND DRAINAGE PLANS, OR AN ADDITIONAL ATTACHED SHEET TITLED "USMP".

STORMWATER POLLUTION NOTES

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR "STORMWATER MANAGEMENT" FROM THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF ON-SITE POLLUTANTS TO OFF-SITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONSULTATION WITH THE ENGINEER, AND SHALL DESCRIBE BMPs TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND ON-SITE THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON FILE BY OCTOBER 1ST, AND IMPLEMENTED FROM OCTOBER 1ST THROUGH APRIL 1ST.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN ALL ON-SITE DRAINAGE STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

OAK TREE NOTES

- APPLICANT MUST CONTACT CITY OAK TREE CONSULTANT, (415) 557-7359, TO OBTAIN PROJECT SPECIFIC "OAK TREE NOTES".

LEGEND AND SYMBOLS

PROJECT BOUNDARY	---
EXISTING GRADE CONTOUR	---
PROPOSED GRADE CONTOUR	---
SPOT ELEVATION	x 1100
PROPOSED SLOPE PER PLAN	---
RETAINING WALL	---
DAYLIGHT OUTLET LINE	---
DIRECTION OF FLOW (SLOPE)	---
CONSTRUCTION NOTE NUMBER	()

LEGAL DESCRIPTION

LOT 21-23 IN BLOCK 4 OF TRACT # 5734 IN COUNTY OF LOS ANGELES STATE OF CALIFORNIA AS RECORDED IN MAP BOOK 418, PAGE 89 EXCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PROJECT INFORMATION:

NAME: BLINSONOPH RESIDENCE
LEWIS PLACE
AGOURA HILLS, CA

LOT 21: 2061-422-023
LOT 22: 2061-422-024
LOT 23: 2061-422-025

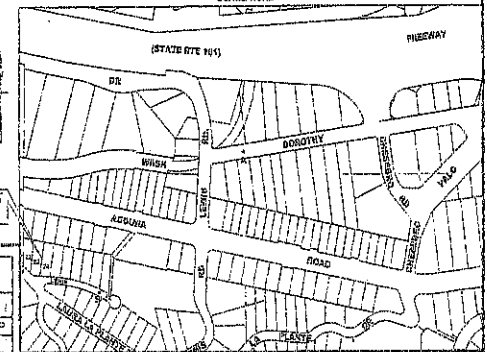
TYPE: GRADING & DRAINAGE FOR 2 STORY RESIDENCE



SPECIAL NOTES

- THE PROJECT ENGINEERING GEOLOGIST SHOULD VERIFY DURING GRADING ASSIGNED GEOLOGIC CONDITIONS INCLUDING BEDROCK JOINTS AND FRACTURES.
- TEST SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS, AND FOUNDATION AND SLAB PLANS SHOULD BE REVISED BY THE GEOTECHNICAL CONSULTANT AND PERFORM, IF NECESSARY, ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CALIFORNIA REGULATIONS.
- ALL FOUNDATION EXCAVATION MUST BE OBSERVED AND APPROVED, IN WRITING, BY PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
- AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE PROJECT GEOTECHNICAL CONSULTANT MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL DENSITY TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL DRAINAGE AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- FINAL GRADING, DRAINAGE, SIGNING AND FOUNDATION PLANS SHALL BE REVIEWED, SIGNED AND VET-STAMPED BY THE PROJECT GEOTECHNICAL CONSULTANT.
- THE LIMITS OF ON-SITE EXCAVATION SHALL BE LIMITED TO THE AREA WITHIN THE PROPOSED RETAINING WALLS.

KEY MAP



STRATUM GEOTECHNICAL CONSULTANTS
1003 E. FRONT ST.
VENTURA, CA 93001
OFFICE:
FAX:

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
1	TITLE SHEET, NOTES, LEGEND AND VICINITY MAP
2	GRADING & DRAINAGE PLAN
3	GRADING SECTIONS & TYPICAL DETAILS
4	EXISTING TOPO SURVEY
5	EROSION CONTROL PLAN

ESTIMATED EARTHWORK QUANTITIES			
ESTIMATED CUT:	304 CY	ESTIMATED EXPORT:	117 CY
ESTIMATED FILL:	192 CY	ESTIMATED IMPORT:	0 CY
ESTIMATED OVER-EXCAVATION:	CY		

BENCHMARK:			
(A) 16' STREET IMPROVEMENT PLANS	DESCRIPTION: BM NO. 16-15	ELEVATION: 3384.6 FT.	SURVEY DATE: 11-19-02
	LEBM IN CG, 3 FT. x 3.0 x 3.0 FT. N.A. 24 FT. E. INT.		
	AGOURA ROAD & LEWIS ROAD INTER (SEE P. 13)		
(B) 8' GRADING & DRAINAGE PLANS (1)	DESCRIPTION: 8' IN. NO. 8D CONC. MAIL	ASSUMED ELEVATION: 3306.6	SURVEY DATE: 11-19-02

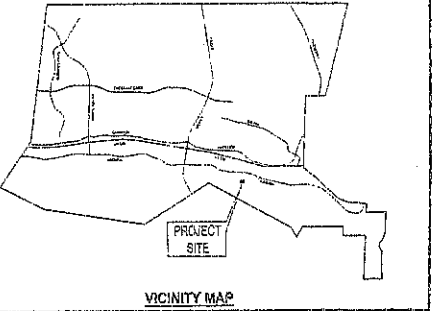
(1) SEE SHEET 2 OF 5 FOR LOCATION
(2) SEE KEY MAP FOR LOCATION

I, _____, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NOS. _____ THROUGH _____ MARKED AS "RECORDED DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

JEFF ROBERTS REGISTERED CIVIL ENGINEER DATE: 08/21/03 RCE NO.: 6885 EXP. DATE:

REGISTERED GEOLOGIST DATE: RGE NO.: EXP DATE:
REGISTERED GEOTECHNICAL ENGINEER DATE: RGTCE NO.: EXP DATE:

OWNER	
NAME:	KRISTY BLINSONOPH
ADDRESS:	LEWIS PLACE
REPRESENTATIVE:	KRISTY BLINSONOPH
TELEPHONE:	(818) 204-6819
CIVIL ENGINEER	
NAME:	JEFF ROBERTS
ADDRESS:	60 S. DELAKEY AVE. SUITE 100, PASADENA, CA 91105
REPRESENTATIVE:	JEFF ROBERTS
TELEPHONE:	(818) 608-6165
GEOTECHNICAL ENGINEER	
NAME:	STRATUM GEOTECHNICAL CONSULTANTS
ADDRESS:	1003 E. FRONT ST. UNIT A, VENTURA, CA, 93001
REPRESENTATIVE:	BOBY TONY ROBINSON, P.E. D.
TELEPHONE:	



UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-227-2800

TWO WORKING DAYS BEFORE YOU DIG

PREPARED BY: JEFF ROBERTS

PROJECT ENGINEER DATE: _____

REVIEWED BY: _____ DATE: _____

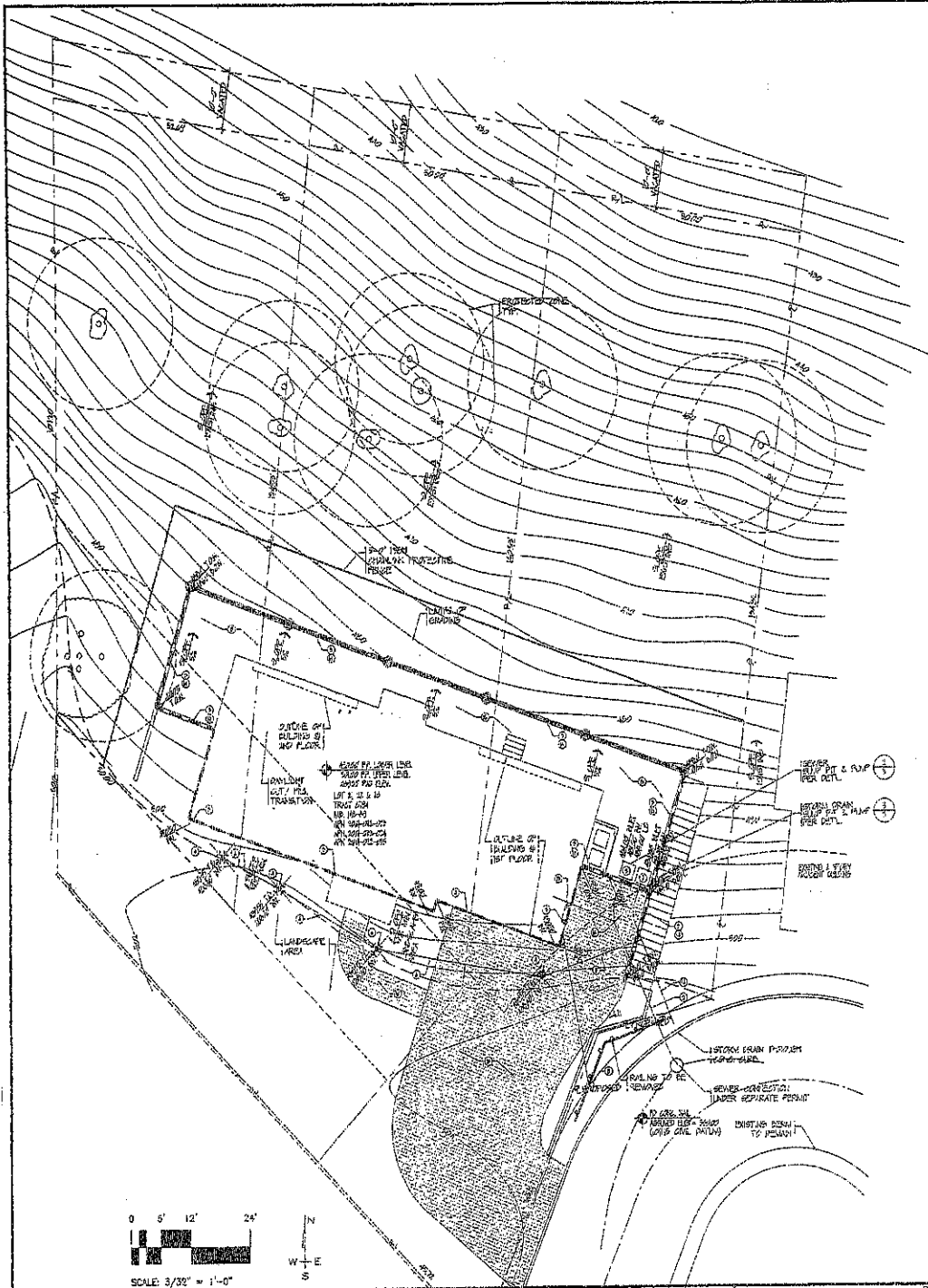
RAMIRO ADEVA CITY ENGINEER DATE: _____

CITY OF AGOURA HILLS APPROVAL

AGOURA HILLS

TITLE SHEET

SHEET 1 OF 2

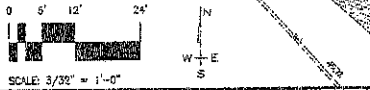
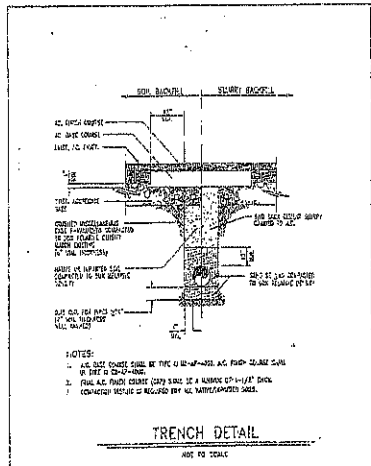


LEGEND AND SYMBOLS

PROJECT BOUNDARY	-----
EXISTING GRADE CONTOUR
PROPOSED GRADE CONTOUR	-----
SPOT ELEVATION	±1100
PROPOSED SLOPE PER PLAN	Y Y
RETAINING WALL	=====
DAYLIGHT CUTFILL LINE	~~~~~
DIRECTION OF FLOW (SLOPE)	→ 3% →
CONSTRUCTION NOTE NUMBER	①
SEWER DRAIN	— 6" — 8" — 10"
STORM DRAIN	— 8" — 10" — 12"

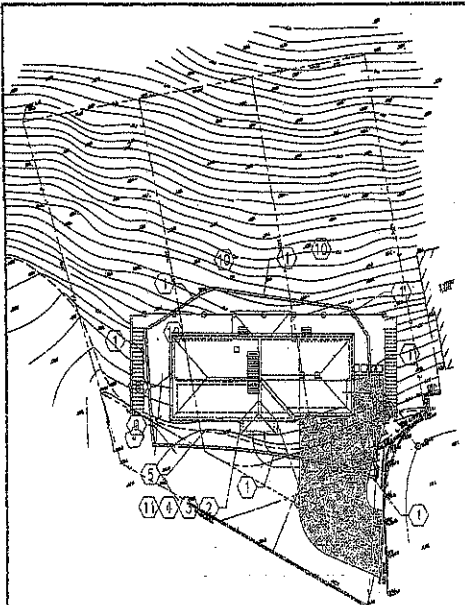
- GENERAL NOTES**
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES. MAINTAIN SHEET FLOW AT ALL TIMES.
 - OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF OBSTACLES.
 - PROVIDE 2% SLOPE MINIMUM AWAY FROM ALL STRUCTURES FOR A MINIMUM OF 5'-0", MAINTAIN SHEET FLOW AT ALL TIMES.
 - CONTRACTOR TO VERIFY ALL EXISTING GRADES.
 - ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE COLLECTED, VIA STORM PUMP, TO THE STREET OR AN APPROVED LOCATION.
 - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR-UP. THE CONSTRUCTION SHALL NOT BE LOCATED WITHIN TEN-FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY, FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
 - ALL KNOWN EASEMENTS SHOWN.
 - ALL KNOWN OUTLETS SHOWN ON SITE.
 - ALL RETAINING WALL EXCAVATIONS SHALL BE REVIEWED BY THE PROJECT ENGINEERING SECTION FOR PRESENCE OF ADVERSELY ORIENTED JOIST SURFACES. ADVERSE SURFACES SHALL BE EVALUATED AND SUPPORTED IN ACCORDANCE WITH RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAC/OSHA REGULATIONS.
 - ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT OF REINFORCING STEEL.
 - AN AS-BUILT REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT PREPARED BY THE GEOTECHNICAL CONSULTANT MUST INCLUDE THE RESULTS OF ALL CONSTRUCTION TESTS AS WELL AS A MAP SHOWING THE LIMITS OF TEST, LOCATIONS OF ALL DENSITY TESTS, CUTLINE AND ELEVATIONS OF ALL REMOVAL BOTTOMS, DEPTH, LOCATION AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBURBS AND FLOW LINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL BACKDRAINS AND OUTLETS. RECORDING CONDITIONS EXPOSED DURING EXCAVATION MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.

- CONSTRUCTION NOTES:**
- CONSTRUCT 6" WIDE KEYSTONE GARDEN WALL PER MANUF. 4'-0" HIGH MAX. PER SEPARATE PERMIT.
 - CONSTRUCT 24" SQ. PLATERS PER SEPARATE PERMIT.
 - CONSTRUCT RETAINING WALL PER SEPARATE PERMIT.
 - PLACE AREA 4"x8" GRAB PER ALUMINUM FOUNDRY CO. LTD. PLATE NO. A-338-4 OR EQUIVALENT.
 - CONSTRUCT 4" CONC. SLAB ON GRADE PER STRUCT. DRGS.
 - PLACE 4" PVC DRAIN PIPE 1% MIN. SLOPE.
 - CONSTRUCT STORM DRAIN PUMP & PIT PER 5/3.
 - CONSTRUCT SEWER DRAIN PUMP & PIT PER 5/3. PER SEPARATE PERMIT.
 - PLACE 6" PVC SEWER DRAIN TO STREET. PER SEPARATE PERMIT.
 - PLACE 6" PVC STORM LAKE DRAIN TO STREET.
 - EXISTING TELEPHONE & CABLE BOX.
 - TOP OF BEDDING LINE.
 - EXISTING ELECTRICAL BOX.
 - CONSTRUCT 42" HIGH WROUGHT IRON FENCE PER ARCH & STRUCT. DRAWINGS. 6'-0" HIGH MAX.
 - CONSTRUCT 4" CONC. SLAB ON GRADE SLOPE TO DRAIN PER STRUCT. DRAWINGS.
 - SEALOID BRICK PAVED DRIVEWAY, OVER 4" CRUSHED AGGREGATE BASE. SLOPE TO CURB.
 - CONSTRUCT STORM DRAIN OUTLET TO STREET PER DETL. 3 SHG.3.



PREPARED BY:		CITY OF AGOURA HILLS APPROVAL		CITY OF AGOURA HILLS	
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	68885	03/01/08
				RECORDS	EXPIRES

GRADING & DRAINAGE SHEET 2 OF 2



- ATTACHMENT A-MEAS**
- GROUND SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND NOT BE TRANSPORTED FROM THE SITE VIA GUTTERWAYS, SWALES, AREA DRAINS, VEHICLE OR WASTE CONTAINERS OR WEDS.
 - STOCKPILES OF DIRT AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM EROSION TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
 - FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR USAGE AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WIND. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
 - EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
 - TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED STORAGE AREA TO PREVENT CONTAMINATION OF PAVED AREAS AND REPAIRS BY WIND.
 - SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADS MUST BE STABILIZED SO AS TO MINIMIZE SEDIMENTATION FROM WHEELS DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITORS MUST BE STOPPED IMMEDIATELY AND NOT BE WASHED DOWN BY RAIN OR OTHER WEATHER.
 - ANY SPILLS WITH UNDESIRABLE SOILS OR SEDIMENT OF VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.

ATTACHMENT C - STATEMENT OF UNDERSTANDING

AS THE ORIGINAL OWNER OF THE PROJECT, I HAVE REVIEWED THE BEST MANAGEMENT PRACTICES HANDBOOK, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, AND HAVE APPROVED THE IMPLEMENTATION OF THE BEST MANAGEMENT PRACTICES (BMPs) APPLICABLE TO EFFECTIVELY MITIGATE THE NEGATIVE IMPACTS OF THE PROJECT'S CONSTRUCTION ACTIVITIES ON THE SURROUNDING WATER QUALITY. THE SELECTED BMPs WILL BE INSTALLED, MAINTAINED AND MONITORED TO ENSURE THEIR EFFECTIVENESS. THE BMPs THAT I HAVE NOT CHOSEN FOR IMPLEMENTATION ARE BECAUSE THEY ARE NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES. AT ANY TIME, SITE CONDITIONS AND/OR THE COUNTY OFFICIAL WARRANT RE-EVALUATION AND REVISIONS OF THE CHOSEN BMPs. THE APPROPRIATE CHANGES WILL BE MADE IMMEDIATELY AND NECESSARY. I AM AWARE THAT FAILURE TO PROPERLY IMPLEMENT AND MAINTAIN THESE UNDERSTANDING BMPs NECESSARY TO PREVENT THE ESCAPE OF POLLUTANTS FROM THIS PROJECT COULD RESULT IN SIGNIFICANT PENALTIES AND/OR REPAIRS.

BEST MANAGEMENT PRACTICES

THE FOLLOWING BMP'S AS OUTLINED IN BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 2003, (<http://www.comphandbooks.com/Construction.asp>) OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY AGENCY INSPECTORS).

- LEGEND:**
- USED
 - NOT USED

- INDUSTRIAL AND COMMERCIAL BMPs:**
- SOURCE CONTROL BMPs:**
- SD-10 NON-STORMWATER DISCHARGES
 - SD-11 SPILL PREVENTION CONTROL AND CLEANUP
 - SD-20 VEHICLE AND EQUIPMENT FUELING
 - SD-21 VEHICLE AND EQUIPMENT CLEANING
 - SD-22 VEHICLE AND EQUIPMENT REPAIR
 - SD-30 OUTDOOR LOADING OR UNLOADING
 - SD-31 OUTDOOR LIQUID CONTAINER STORAGE
 - SD-32 OUTDOOR EQUIPMENT REPAIR
 - SD-33 OUTDOOR STORAGE OF RAW MATERIALS
 - SD-34 WASTE HANDLING AND DISPOSAL
 - SD-35 SAFER ALTERNATIVE PRODUCTS
 - SD-40 CONTAMINATED OR CRUDE AREAS
 - SD-41 BUILDING AND GROUNDS MAINTENANCE
 - SD-42 BUILDING REPAIR AND CONSTRUCTION
 - SD-43 PARKING OR STORAGE AREA MAINTENANCE
 - SD-44 GARAGE SYSTEM MAINTENANCE

- TREATMENT CONTROL:**
- TC-10 INFILTRATION TRENCH
 - TC-11 INFILTRATION BASIN
 - TC-12 RETENTION OR IRRIGATION
 - TC-20 NET POND
 - TC-21 CONSTRUCTED WETLAND
 - TC-22 EXTENDED DETENTION BASIN
 - TC-30 VEGETATED SWALE
 - TC-31 VEGETATED BUFFER STRIP
 - TC-32 BIORETENTION
 - TC-40 MEDIA FILTER
 - TC-50 WATER QUALITY INLET
 - TC-60 MULTIPLE SYSTEMS

- LEGEND:**
- SANDBAGS

- NEW DEVELOPMENT AND REDEVELOPMENT BMPs:**
- SOURCE CONTROL BMPs:**
- ND-10 SITE DESIGN & LANDSCAPE PLANNING
 - ND-11 ROOF RUNOFF CONTROLS
 - ND-12 EFFICIENT IRRIGATION
 - ND-13 STORM DRAIN SIGNAGE
 - ND-20 PERVIOUS PAVEMENTS
 - ND-21 ALTERNATIVE BUILDING MATERIALS
 - ND-30 FUELING AREAS
 - ND-31 MAINTENANCE BAYS & DOCS
 - ND-32 TRASH STORAGE AREAS
 - ND-33 VEHICLE WASHING AREAS
 - ND-34 OUTDOOR WORK AREAS
 - ND-35 OUTDOOR PROCESSING AREAS

- TREATMENT CONTROL:**
- TC-10 INFILTRATION TRENCH
 - TC-11 INFILTRATION BASIN
 - TC-12 RETENTION OR IRRIGATION
 - TC-20 NET POND
 - TC-21 CONSTRUCTED WETLAND
 - TC-22 EXTENDED DETENTION BASIN
 - TC-30 VEGETATED SWALE
 - TC-31 VEGETATED BUFFER STRIP
 - TC-32 BIORETENTION
 - TC-40 MEDIA FILTER
 - TC-50 WATER QUALITY INLET
 - TC-60 MULTIPLE SYSTEMS

- MANUFACTURED BMPs:**
- MP-10 WETLAND
 - MP-40 MEDIA FILTER
 - MP-50 NET VALT
 - MP-81 VORTEX SEPARATOR
 - MP-92 DRAIN INLET

- MUNICIPAL BMPs:**
- SOURCE CONTROL BMPs:**
- MC-10 NON-STORMWATER DISCHARGES
 - MC-11 SPILL PREVENTION CONTROL AND CLEANUP
 - MC-20 VEHICLE AND EQUIPMENT FUELING
 - MC-21 VEHICLE AND EQUIPMENT CLEANING
 - MC-22 VEHICLE AND EQUIPMENT REPAIR
 - MC-30 OUTDOOR LOADING OR UNLOADING
 - MC-31 OUTDOOR LIQUID CONTAINER STORAGE
 - MC-32 OUTDOOR EQUIPMENT REPAIR
 - MC-33 OUTDOOR STORAGE OF RAW MATERIALS
 - MC-34 WASTE HANDLING AND DISPOSAL
 - MC-40 CONTAMINATED OR CRUDE AREAS MAINTENANCE
 - MC-41 BUILDING AND GROUNDS MAINTENANCE
 - MC-42 BUILDING REPAIR AND CONSTRUCTION
 - MC-43 PARKING OR STORAGE AREA MAINTENANCE
 - MC-44 GARAGE SYSTEM MAINTENANCE

- TREATMENT CONTROL:**
- TC-10 INFILTRATION TRENCH
 - TC-11 INFILTRATION BASIN
 - TC-12 RETENTION OR IRRIGATION
 - TC-20 NET POND
 - TC-21 CONSTRUCTED WETLAND
 - TC-22 EXTENDED DETENTION BASIN
 - TC-30 VEGETATED SWALE
 - TC-31 VEGETATED BUFFER STRIP
 - TC-32 BIORETENTION
 - TC-40 MEDIA FILTER
 - TC-50 WATER QUALITY INLET
 - TC-60 MULTIPLE SYSTEMS

- MANUFACTURED BMPs:**
- MP-10 WETLAND
 - MP-40 MEDIA FILTER
 - MP-50 NET VALT
 - MP-81 VORTEX SEPARATOR
 - MP-92 DRAIN INLET

- CONSTRUCTION BMPs:**
- EROSION CONTROL BMPs:**
- EC-1 SCHEDULING
 - EC-2 PRESERVATION OF EXISTING VEGETATION
 - EC-3 HYDRAULIC MULCH
 - EC-4 HYDROSEEDING
 - EC-5 SOIL BINDERS
 - EC-6 STRAW BALE
 - EC-7 GEOTEXTILES AND MATS
 - EC-8 WOOD MULCHING
 - EC-9 EARTH BARRIERS AND DRAINAGE SWALES
 - EC-10 VELOCITY DISSIPATOR DEVICES
 - EC-11 SLOPE DRAINS
 - EC-12 STREAMBANK STABILIZATION
 - EC-13 POLYORLAMINE

- SEDMIMENT CONTROL BMPs:**
- SE-1 SILT FENCE
 - SE-2 SEDIMENT BASIN
 - SE-3 SEDIMENT TRAP
 - SE-4 CHECK DAMS
 - SE-5 FIBER ROLLS
 - SE-6 GRAVEL BAG BERM
 - SE-7 STREET SWEEPING AND VACUUMING
 - SE-8 SANDBAG BARRIER
 - SE-9 STRAW BALE BARRIER
 - SE-10 STORM DRAIN INLET PROTECTION
 - SE-11 CHEMICAL TREATMENT

- TRACKING CONTROL BMPs:**
- TR-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
 - TR-2 STABILIZED CONSTRUCTION ROADWAY
 - TR-3 ENTRANCE OR OUTLET TIRE WASH
- WIND EROSION CONTROL:**
- WE-1 WIND EROSION CONTROL

- NON-STORMWATER MANAGEMENT BMPs:**
- NS-1 WATER CONSERVATION PRACTICES
 - NS-2 DEWATERING OPERATIONS
 - NS-3 PAVING & GRINDING OPERATIONS
 - NS-4 TEMPORARY STREAM CROSSING
 - NS-5 CLEAR WATER DISPERSION
 - NS-6 ILLOT CONNECTION OR DISCHARGE
 - NS-7 POTABLE WATER OR IRRIGATION
 - NS-8 VEHICLE AND EQUIPMENT CLEANING
 - NS-9 VEHICLE AND EQUIPMENT FUELING
 - NS-10 VEHICLE & EQUIPMENT MAINTENANCE
 - NS-11 FINE DRINKING OPERATIONS
 - NS-12 CONCRETE CURING
 - NS-13 CONCRETE FINISHING
 - NS-14 MATERIAL OVER WATER
 - NS-15 DEMOLITION ADJACENT TO WATER
 - NS-16 TEMPORARY BATCH PLANTS

- WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs:**
- WM-01 MATERIAL DELIVERY AND STORAGE
 - WM-02 MATERIAL USE
 - WM-03 STOCKPILE MANAGEMENT
 - WM-04 SOIL PREVENTION AND CONTROL
 - WM-05 SOLID WASTE MANAGEMENT
 - WM-06 HAZARDOUS WASTE MANAGEMENT
 - WM-07 CONTAMINATED SOIL MANAGEMENT
 - WM-08 SANDFILL OR SEPTIC WASTE MANAGEMENT
 - WM-09 LIQUID WASTE MANAGEMENT

STORMWATER POLLUTION (EROSION CONTROL) PLAN NOTES

- IN CASE OF EMERGENCY, CALL JEFF ROBERTS AT (909) 455-1622.
- A SIGN-UP SHEET FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- GRADED AREAS ADJACENT TO FULL SLOPES LOCATED AT THE SITE PERMITTER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE COMPLETION OF EACH WORKING RUN.
- ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINFALL EVENT AND BE DISPOSED OF PROPERLY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE GUARD SHALL BE CHECKED AND REPAIRED DRY WITHIN 24 HOURS AFTER EACH RAINFALL EVENT.
- EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEEKENDS WITHIN THE 5-DAY RAIN PROBABILITY FORECAST EXCEPT AS PROVIDED.
- ALL EXCESS SOIL AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.
- THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
- REPAIRING DEVICES MAY NOT BE REMOVED OR MADE IMPROPERLY BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR, WITHOUT THE APPROVAL OF THE GRADING INSPECTOR OR CITY ENGINEER.
- EROSION CONTROL DEVICES ARE TO BE MAINTAINED AS NECESSARY AS THE PROJECT PROGRESSES AND PLANS OF THESE DEVICES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.
- STORMWATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED INTO THE EROSION CONTROL PLANS PER TITLE 82, SECTION 7010 OF THE COUNTY OF LOS ANGELES CODE FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 AND APRIL 15.
- STREETS AND PARKS SERVICE DEVICES ARE TO BE CONSTRUCTED AS NOTED ON THIS PLAN.
- PROPOSED STARTING DATE: 10/15/2008. PROPOSED COMPLETION DATE: 02/28/2009. PROPOSED COMPLETION DATE FOR ORIGINAL PLAN: 12 MONTHS AFTER START DATE.

NOTE:

WHEN REQUIREMENTS ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO PERMITS (NONPOINT POLLUTION REDUCTION EQUIPMENT) BEST MANAGEMENT PRACTICES TO PREVENT EROSIONS DAMAGE OR POLLUTIONS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEM.

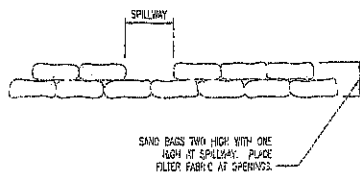
THE FOLLOWING SHOULD BE ADHERED TO:

- MINSULE, STONE AND DISPOSE OF UNDESIRABLE PROPERLY.
- AVOID EXHAUSTION AND DRAINAGE ACTIVITIES DURING WET WEATHER.
- CONSTRUCT DRAINAGE LINES AND DRAINAGE SWALES AROUND WORKING STRIPS.
- COVER STOCK PILES AND EQUIPMENT WITH NON-EROSION TYPE PLASTIC SYSTEMS.
- REMOVE AND MAINTAIN EROSION CONTROL PLANS.
- CHECK AND REPAIR LEAKING EQUIPMENT FROM CONSTRUCTION SITE.
- DISPOSE A LOCATION AWAY FROM STORM DRAINS FOR RESTRICTION.
- COVER AND SEAL CRACKS IMMEDIATELY OCCURRING IN THEIR VICINITY.
- SEE INSTRUCTIONS WITH ALL CONCRETE CURING OPERATIONS.
- WATER WASH EXCESS MATERIAL FROM AGGREGATE, CONCRETE OR EQUIPMENT ONTO A STREET.
- COVER WASH FROM PAVED WITH CRIP PANS ABSORBENT MATERIAL.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- STRIP ALL CURTAINS AT THE END OF EACH WORKING DAY. CURTAINS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.

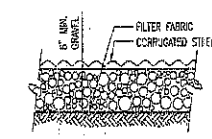
EROSION CONTROL NOTES:

- PLACE SANDBAGS TWO HIGH AND CONSTRUCT SPILLWAY AT 2% OR AS NOTED OR DIRECTED BY THE ENGINEER PER DETAIL (A).
- CONSTRUCTION SITE INGRESS/EGRESS.
- CONSTRUCT AND MAINTAIN APPROXIMATELY 17% CONSTRUCTION INGRESS/EGRESS AREA WITH 0.5" THICK GRAVEL (GRADATION 1" TO 3"); PAD AND UNDERLAY FILTER FABRIC PER DETAIL (B) (PER BMP TR-05).
- REMOVE SEDIMENT DEPOSITED ON ROAD WITHIN 24 HOURS.
- CONSTRUCT AND MAINTAIN CONCRETE DISPOSAL AND EQUIPMENT AREA (PER BMP WM-03).
- MATERIAL DELIVERY AND STORAGE AREA (PER BMP WM-01).
- WASTE COLLECTION AREA (PER BMP WM-05).
- STORM DRAIN PUMP AND PIT (SEE GRADING PLAN FOR DETAILS).
- PLACE SANDBAGS AT DS CB.
- LANDSCAPE (SEE GRADING PLAN FOR DETAILS).
- VEHICLE CLEANING, FUELING AND MAINTENANCE (PER BMP NS-4, NS-3 & NS-10).

CONTRACTOR MAY REARRANGE THE POSITIONS OF THE BMPs SHOWN ON THIS PLAN OR SUBSTITUTE WITH APPROVED EQUAL BMPs SUBJECT TO APPROVAL BY THE ENGINEER AND THE GRADING OFFICIAL.



Elevation at Sand Bag
SCALE: NTS



Section at Filter Fabric
SCALE: NTS

LEWIS PLACE
AGORA HILLS, CA
APRIL 2008-02-23, 2008-02-24 & 2008-02-25



REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PREPARED BY: JEFF ROBERTS	CITY OF AGORA HILLS APPROVAL	DATE	68855 RCE NO.	09/30/08 EXP DATE	AGORA HILLS	EROSION CONTROL PLAN	SHEET 1 OF 1
						PROJECT ENGINEER							

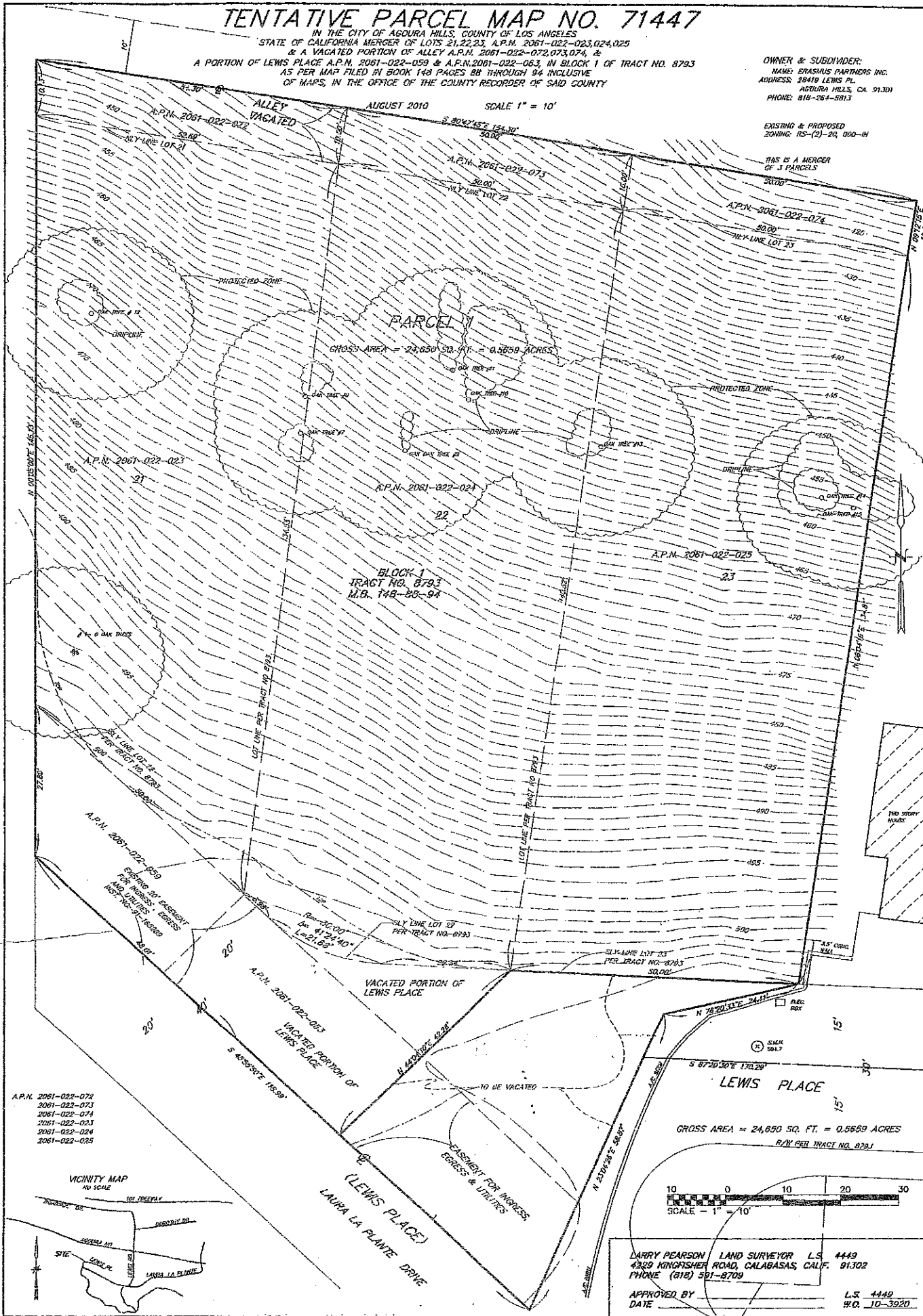
TENTATIVE PARCEL MAP NO. 71447

IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES
 STATE OF CALIFORNIA MERGER OF LOTS 21, 22, 23, A.P.N. 2061-022-023, 024, 025
 & A VACATED PORTION OF ALLEY A.P.N. 2061-022-072, 073, 074, &
 A PORTION OF LEWIS PLACE A.P.N. 2061-022-059 & A.P.N. 2061-022-063, IN BLOCK 1 OF TRACT NO. 8793
 AS PER MAP FILED IN BOOK 148 PAGES 88 THROUGH 94 INCLUSIVE
 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

OWNER & SUBDIVIDER:
 NAME: ERASMIUS PARTNERS INC.
 ADDRESS: 28416 LEWIS PL.
 AGOURA HILLS, CA 91301
 PHONE: 818-264-5813

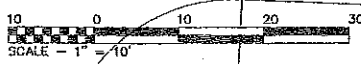
EXISTING & PROPOSED
 ZONING: RS-(2)-24, 000-IN

THIS IS A MERGER
 OF 3 PARCELS



- A.P.N. 2061-022-072
- 2061-022-073
- 2061-022-074
- 2061-022-023
- 2061-022-024
- 2061-022-025

VICINITY MAP
 NO SCALE



LARRY PEARSON LAND SURVEYOR L.S. 4449
 4320 KINGSHER ROAD, CALABASAS, CALIF. 91302
 PHONE (818) 581-8709

APPROVED BY _____ DATE _____ L.S. 4449
 W.D. 10-3920



**CONDITIONAL USE PERMIT CASE NO. 10-CUP-004,
OAK TREE PERMIT NO. 10-OTP-006,
TENTATIVE PARCEL MAP NO. 71447,
AND VARIANCE REQUEST CASE NO. 10-VAR-003**

**FOR THE PROPERTY LOCATED AT
28441 LEWIS PLACE, AGOURA HILLS**

EXHIBIT F

PHOTOGRAPHS OF SURROUNDINGS



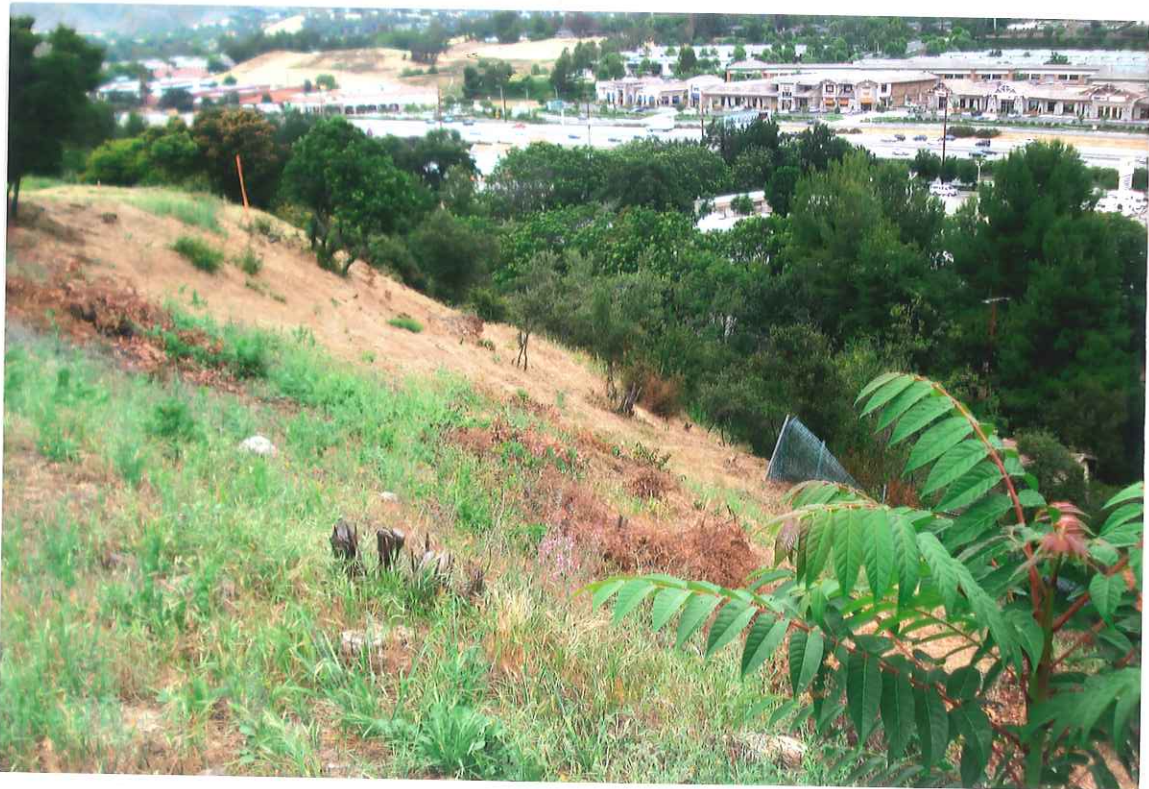
Looking North



Looking north west to Freeway



Looking West



Looking down to Agoura Road



House on right side



House on left side



**CONDITIONAL USE PERMIT CASE NO. 10-CUP-004,
OAK TREE PERMIT NO. 10-OTP-006,
TENTATIVE PARCEL MAP NO. 71447,
AND VARIANCE REQUEST CASE NO. 10-VAR-003**

**FOR THE PROPERTY LOCATED AT
28441 LEWIS PLACE, AGOURA HILLS**

EXHIBIT G

**INFORMATION SUBMITTED BY
NEIGHBORING PROPERTY OWNER
(ALAN ABERGEL)**

Renee Madrigal

From: Alan Abergel [alan@abergellaw.com]
Sent: Monday, November 08, 2010 4:01 PM
To: Renee Madrigal
Subject: 28441 Lewis Pl.

To: Renee Madrigal, Associate Planner rmadrigal@ci.agoura-hills.ca.us

Re: 28441 Lewis Pl.
CASE NO. 10-CUP-004,10-OTP-006, 10-VAR-003, & TPM NO. 71447
(the "Proposed Project")

Dear Renee:

I am the owner of the property located at 28370 Agoura Rd., Agoura Hills, CA 91301. I will be representing myself and my wife Shanna Abergel.

I am writing this e-mail in **opposition** to the Proposed Project. At this time, no documents concerning the Proposed Project are posted online.

So, once I receive more documents, I will submit a more detailed letter.

My house is located **directly down the hill** from the Proposed Project.

My wife and I are objecting to the Proposed Project based on safety, esthetic, privacy, and nuisance concerns and on the fact the the applicant has not satisfied their burden of proof. The Proposed Project will overlook our house, so my family will have *no* privacy.

The Proposed Project will also compromise the stability of the hill, which may easily collapse towards our house after a heavy rain or an earthquake. Such houses located on steep hills have already collapsed in Malibu. See attached article. Moreover, the construction of this project will be hazardous to my family.

Please e-mail me attachments of all documents you have concerning this matter, including but not limited to, applications, burden of proof forms, plans etc.

A more detailed letter will be submitted to you shortly.

Very truly yours,

Alan Abergel, Esq.
LAW OFFICES OF ALAN ABERGEL, P.C.
15915 Ventura Blvd., Suite 301
Encino, CA 91436
Phone: 818-783-4645
Fax: 818-235-0159
Beverly Hills Office: (310) 779-4537
e-mail: alan@abergellaw.com
Website: <http://abergellaw.com/>

We are a debt relief agency. We help people file for bankruptcy relief under the Bankruptcy Code.

This message (and any attachments) is intended only for the person or entity to which it is addressed, and may contain confidential and/or legally privileged information. If it has been sent to you in error,

11/8/2010

please reply to advise the sender of the error (by reply e-mail or telephone), then immediately delete this message and any attachments.

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Although the sender routinely screens for viruses, we make no representation or warranty as to the absence of viruses in this e-mail or any attachments, both of which recipients should themselves scan for viruses.

Renee Madrigal

From: Alan Abergel [alan@abergellaw.com]
Sent: Monday, November 08, 2010 4:02 PM
To: Renee Madrigal
Subject: Re: 28441 Lewis Pl.

Attached is the article re homes collapsing in Malibu.

Very truly yours,

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From: Alan Abergel
Sent: Monday, November 08, 2010 4:00 PM
To: rmadrigal@ci.agoura-hills.ca.us
Subject: 28441 Lewis Pl.

To: Renee Madrigal, Associate Planner rmadrigal@ci.agoura-hills.ca.us

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Renee Madrigal

From: Alan Abergel [alan@abergellaw.com]
Sent: Monday, November 08, 2010 4:28 PM
To: Renee Madrigal
Subject: Re: 28441 Lewis Pl.

Renee:

I am also submitting disclosures report for my property.
As you can see from the attached, my property and the Proposed Project are located in the following zones:

- **OFFICIALLY DESIGNATED EARTHQUAKE-INDUCED LANDSLIDE HAZARD ZONE**
- **AREA OF POTENTIAL LANDSLIDES**
- **OFFICIALLY DESIGNATED LIQUEFACTION HAZARD ZONE**
- **AREA OF POTENTIALLY LIQUEFIABLE SOILS**
- **VERY HIGH FIRE HAZARD SEVERITY ZONE**

As stated in the report,

"Landslides and other ground failures may occur during earthquakes, triggered by the strain induced in soil and

rock by the ground shaking vibrations, and during non-earthquake conditions, most frequently during the rainy

season. Both natural and man-made factors contribute to these **slope failures**.

Although landslides due to slope failure are most frequent in "wet years" with above-average rainfall, they can

occur at any time. **The presence or absence of deep-rooted vegetation; surface and subsurface drainage conditions; thickness and engineering characteristics of soils and underlying weathered, partially-decomposed**

rock; orientation of bedding or locally-high rainfall can all affect slope stability.

The influence of bedrock lithology, steepness of slope, and rates of erosion, at the very least, must all be considered to generate an accurate susceptibility map. Any slope can be rendered unstable by construction activities and almost any unstable slope can also be mitigated by accepted geotechnical methods."

Clearly, the Proposed Project's construction will compromise the stability of the very steep hill, and may cause landslides towards my family's home.

Very truly yours,

Alan Abergel, Esq.
LAW OFFICES OF ALAN ABERGEL, P.C.
15915 Ventura Blvd., Suite 301
Encino, CA 91436
Phone: 818-783-4645
Fax: 818-235-0159
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Re: 28441 Lewis Pl.
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Property I.D.[®]

DISCLOSE WITH CONFIDENCE

INVOICE

1001 Wilshire Blvd. • Los Angeles • CA 90017 • Phone: (800) 626-0106 • FAX: (800) 626-3863 • WWW.PROPERTYID.COM

Escrow or Title Co.:

Invoice #: 2194235101

Invoice Date: 3/1/2010

Escrow / File #:

Ordered by:

DIONNE CURTISS
KELLER WILLIAMS - WESTLAKE VILLAGE
340 NORTH WESTLAKE BOULEVARD #100
WESTLAKE VILLAGE, CA 91362

Site Address:

28370 AGOURA ROAD
AGOURA, CA 91301
LOS ANGELES COUNTY
APN: 2061-022-086

Product Description	Quantity	Unit Price	Amount
Mandatory Disclosure Report	1	\$114.00	\$114.00
C.L.U.E. Risk Report	1	\$19.50	\$19.50

To ensure processing of your payment please:

- Write the Property ID invoice number on your check
- Include "Tear-Off" Remittance Stub with your payment
- Do not staple. Do not send cash

Adjustment: \$15.00
Subtotal: \$118.50
Amount Paid: \$0.00
Total Due: \$118.50

IMPORTANT: In the event that this invoice becomes delinquent, all outstanding balances will be assessed an additional past due charge of 1% of the total invoice for each month thereafter, with a maximum of 12% per annum. Unpaid reports are NOT insured and may NOT be used in subsequent transactions for the property for which the report was issued or for any other property. Payment of the report is required to obtain the benefits of any insurance and/or liability protections.

Thank You For Your Business

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PLEASE DETACH AND SEND WITH REMITTANCE

Invoice #: 2194235101

Invoice Date: 3/1/2010

Ordered by:

DIONNE CURTISS
KELLER WILLIAMS - WESTLAKE VILLAGE
340 NORTH WESTLAKE BOULEVARD #100
WESTLAKE VILLAGE, CA 91362

Site Address:

28370 AGOURA ROAD
AGOURA, CA 91301
LOS ANGELES COUNTY
APN: 2061-022-086

MAIL PAYMENT TO:

Property I.D.
1001 Wilshire Blvd., Los Angeles, CA 90017

Total Due: \$118.50



Mandatory Residential Disclosure Report C.L.U.E. Report



SUBJECT PROPERTY:

28370 AGOURA ROAD
AGOURA, CA 91301
APN 2061-022-086
LOS ANGELES COUNTY

DISCLOSE WITH CONFIDENCE™

PROPERTY I.D. PLAZA, 1001 WILSHIRE BL., LOS ANGELES, CA 90017

P: (800) 626-0106 F: (800) 626-3863 • Platinum Services P: (800) 920-5603 F: (800) 920-5605

WWW.PROPERTYID.COM

IMPORTANT NOTICE For the convenience of real estate agents, escrow officers, sellers and buyers, a disclosure receipt is provided herein. It is important that the recipient of the report acknowledge acceptance of the report by signing the receipt. Thereafter each party to the transaction may retain a copy of the receipt for their records.

When Printed by Property I.D. Corporation, three original copies of the report are issued for distribution to the parties involved in the transaction.

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NATURAL HAZARD DISCLOSURE STATEMENT AND DISCLOSURE REPORT RECEIPT

This statement applies to the following property: 28370 AGOURA ROAD AGOURA, CA 91301; LOS ANGELES COUNTY; APN# 2061-022-086 Date: 2010-03-01 11:22:00

The transferor and his or her agent(s) or a third-party consultant disclose the following information with the knowledge that even though this is not a warranty, prospective transferees may rely on this information in deciding whether and on what terms to purchase the Subject Property. Transferor hereby authorizes any agent(s) representing any principal(s) in this action to provide a copy of this statement to any person or entity in connection with any actual or anticipated sale of the property. The following are representations made by the transferor and his or her agent(s) based on their knowledge and maps drawn by the state and federal governments. This information is a disclosure and is not intended to be part of any contract between the transferee and transferor. THIS REAL PROPERTY LIES WITHIN THE FOLLOWING HAZARDOUS AREA(S):

1. A SPECIAL FLOOD HAZARD AREA (Any type Zone "A" or "V") designated by the Federal Emergency Management Agency. Refer to Report.
Yes ___ No X Do not know and information not available from local jurisdiction ___
2. AN AREA OF POTENTIAL FLOODING shown on a dam failure inundation map pursuant to Section 8589.5 of the Government Code. Refer to Report.
Yes ___ No X Do not know and information not available from local jurisdiction ___
3. A VERY HIGH FIRE HAZARD SEVERITY ZONE pursuant to Section 51178 or 51179 of the Government Code. The owner of this property is subject to the maintenance requirements of Section 51182 of the Government Code. Refer to Report.
Yes X No ___
4. A WILDLAND AREA THAT MAY CONTAIN SUBSTANTIAL FOREST FIRE RISKS AND HAZARDS pursuant to Section 4125 of the Public Resources Code. The owner of this property is subject to the maintenance requirements of Section 4291 of the Public Resources Code. Additionally, it is not the state's responsibility to provide fire protection services to any building or structure located within the wildlands unless the Department of Forestry and Fire Protection has entered into a cooperative agreement with a local agency for those purposes pursuant to Section 4142 of the Public Resources Code. Refer to Report.
Yes ___ No X
5. AN EARTHQUAKE FAULT ZONE pursuant to Section 2622 of the Public Resources Code. Refer to Report.
Yes ___ No X
6. A SEISMIC HAZARD ZONE pursuant to Section 2696 of the Public Resources Code. Refer to Report.
Yes (Landslide Zone) X Yes (Liquefaction Zone) X No ___ Map not yet released by state ___

THESE HAZARDS MAY LIMIT YOUR ABILITY TO DEVELOP THE REAL PROPERTY, TO OBTAIN INSURANCE, OR TO RECEIVE ASSISTANCE AFTER A DISASTER. THE MAPS ON WHICH THESE DISCLOSURES ARE BASED ESTIMATE WHERE NATURAL HAZARDS EXIST. THEY ARE NOT DEFINITIVE INDICATORS OF WHETHER OR NOT A PROPERTY WILL BE AFFECTED BY A NATURAL DISASTER. TRANSFEREE(S) AND TRANSFEROR(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE REGARDING THOSE HAZARDS AND OTHER HAZARDS THAT MAY AFFECT THE PROPERTY.

Signature of Transferor(s) _____ Date _____
Signature of Transferor(s) _____ Date _____
Agent(s) _____ Date _____
Agent(s) _____ Date _____

Check only one of the following:

Transferor(s) and their agent(s) represent that the information herein is true and correct to the best of their knowledge as of the date signed by the transferor(s) and agent(s).

Transferor(s) and their agent(s) acknowledge that they have exercised good faith in the selection of a third-party report provider as required in Civil Code Section 1103.7, and that the representations made in this Natural Hazard Disclosure Statement are based upon information provided by the independent third-party disclosure provider as a substituted disclosure pursuant to Civil Code Section 1103.4. Neither transferor(s) nor their agent(s) (1) has independently verified the information contained in this statement and report or (2) is personally aware of any errors or inaccuracies in the information contained on the statement. This statement was prepared by the provider below:

Third-Party Disclosure Provider(s) _____ Property I.D. _____ Date March 1, 2010

Transferee represents that he or she has read and understands this document. Pursuant to Civil Code Section 1103.8, the representations made in this Natural Hazard Disclosure Statement do not constitute all of the transferor's or agent's disclosure obligations in this transaction.

Items 7-17 below indicate additional statutory disclosures and legal information that may be provided in the report.

7. ENVIRONMENTAL RISK REPORT (Enclosed if ordered and automatically enclosed for Santa Clara and San Mateo Counties.)
 8. INDUSTRIAL USE ZONE DETERMINATION (where available) pursuant to Section 1102.17 of the California Civil Code. Refer to Report.
 9. FLOOD HAZARD DETERMINATION pursuant to 42 U.S.C. Section 4001 et seq. Refer to Report.
 10. LOCAL JURISDICTION HAZARDS (May include but will not be limited to one or more of the following: Fault Activity, Methane Gas, Landslide Inventory Reports, Liquefaction Susceptibility, Fire, Naturally Occurring Asbestos, Airport Influence, Tsunami, Radon, Williamson Act, Right to Farm, Groundwater Deficiency, Hydro Compaction, Dam Failure Inundation Hazards, Critical Habitats, Duct Sealing Requirements, Methamphetamine Contamination, Mines, and Underground Reservoirs) Refer to Report.
 11. MELLO-ROOS & SPECIAL ASSESSMENTS pursuant to Section 53311-53365.7 / 53754 of the California Government Code; NOTICE OF SUPPLEMENTAL PROPERTY TAX BILL pursuant to Civil Code Section 1102.6c. Refer to Report.
 12. MILITARY ORDNANCE FACILITIES pursuant to California Civil Code Sections 1102.15 and 1940.7. Refer to Report.
- Items 13-17 below are guides enclosed in Buyer's Copy of report.
13. ENVIRONMENTAL HAZARDS: "A Guide for Homeowners, Buyers, Landlords and Tenants" pursuant to California Health and Safety Code Section 25100 et seq., 25417, and 26100, Business and Professions Code Section 10084, and Civil Code Section 2079.7. Refer to Report.
 14. EARTHQUAKE SAFETY: "The Homeowner's Guide To Earthquake Safety" and "Residential Earthquake Hazards Report" form pursuant to California Business and Professions Code Section 10149, and Government Code Sections 8897.1, 8897.2, and 8897.5. Refer to Report.
 15. RESIDENTIAL EARTHQUAKE HAZARDS REPORT FORM pursuant to California Business and Professions Code Section 10149, and California Government Code Sections 8897.1, 8897.2, and 8897.5. Refer to enclosed "The Homeowner's Guide to Earthquake Safety".
 16. LEAD-BASED PAINT: "Protect Your Family From Lead In Your Home" pursuant to HUD Mortgage Letter 92-94, Title X of Housing and Com. D.V. Act of 1992. Refer to Report.
 17. MOLD: Chapter VI re mold, pursuant to Health and Safety Code Section 25100 et seq., 25417, and 26100, Business and Professions Code Section 10084, and Civil Code Section 2079.7. Refer to Report.

Signature of Transferee(s) _____ Date _____

Signature of Transferee(s) _____ Date _____



ORDER ID #: 2194235
ORDER DATE: 03/01/2010
ESCROW / FILE NUMBER:
ESCROW AGENT:

SUBJECT PROPERTY:
28370 AGOURA ROAD
AGOURA, CA 91301
LOS ANGELES COUNTY
APN: 2061-022-086

ORDERED BY:
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KELLER WILLIAMS - WESTLAKE VILLAGE
340 NORTH WESTLAKE BOULEVARD #100
WESTLAKE VILLAGE, CA 91362

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Safety Guides are included at the end of the Buyer's Copy of reports printed by Property I.D. Links to download the guides are included when reports are delivered electronically.

NOTICE TO BUYER:

This report applies to the property described by the street address and/or county assessor's parcel number as shown above. Please verify this information for accuracy. If this report has been issued in connection with an identified escrow and your escrow transaction number fails to match the escrow number enumerated in this report, then this report is invalid and must be reordered.

This report is issued as of the date shown above and is based upon an examination of maps as published by government agencies. This report does not constitute an opinion as to the advisability of completing the transaction.

SUMMARY OF RESULTS

For
28370 AGOURA ROAD, AGOURA, CA 91301
APN 2061-022-086

STATUTORY DISCLOSURES

DISCLOSURE	DETERMINATION	DISCLOSURE DETAIL
FEMA Flood Zone	IN	ZONE X (NOT SPECIAL FLOOD HAZARD AREA)
OES Dam Inundation	NOT IN	DAM INUNDATION AREA
High Fire Severity - State	IN	VERY HIGH FIRE HAZARD SEVERITY ZONE
Wildland Fire Area - State	NOT IN	STATE FIRE RESPONSIBILITY AREA
Alquist-Priolo Fault Zone	NOT IN	EARTHQUAKE FAULT ZONE
CGS Landslides	IN	EARTHQUAKE-INDUCED LANDSLIDE HAZARD ZONE
Seismic Hazard : Liquefaction	IN	LIQUEFACTION HAZARD ZONE

STATE-WIDE DISCLOSURES

DISCLOSURE	DETERMINATION	DISCLOSURE DETAIL
Faults - USGS	NOT WITHIN 1/4 MILE OF	FAULT
Fire Hazard Rating	IN	AREA RATED VERY HIGH FOR FIRE HAZARD SEVERITY
Faults - State	NOT WITHIN 1/4 MILE OF	FAULT
Liquefaction Prone Soils	IN	POTENTIALLY LIQUEFIABLE SOILS
Naturally Occuring Asbestos	NOT IN	NATURALLY OCCURRING ASBESTOS HAZARD ZONE
Radon Gas	IN	ZONE 2 FOR RADON GAS POTENTIAL
Protected Species / Habitats	NOT IN	AREA WITH PROTECTED SPECIES OR HABITATS
California Coastal Commission Jurisdiction	NOT IN	CALIFORNIA COASTAL COMMISSION JURISDICTION AREA
Duct Sealing Requirement	IN	ZONE SUBJECT TO CALIFORNIA ENERGY COMMISSION DUCT SEALING REQUIREMENTS
Airport Influence Area	NOT IN	AIRPORT INFLUENCE AREA
Airport Vicinity	WITHIN 2 MILES OF	FAA APPROVED LANDING FACILITY (LOST HILLS SHERIFF'S STATION HELIPORT)
Military Facilities	NOT WITHIN 1 MILE OF	FORMER MILITARY ORDNANCE SITE
Mining Operations	NOT WITHIN 1 MILE OF	IDENTIFIED MINING OPERATIONS, ACTIVE OR ABANDONED
Oil and Gas Wells	NOT WITHIN 500 FEET OF	OIL OR GAS WELL, ACTIVE OR ABANDONED
Right to Farm	NOT WITHIN ONE MILE OF	AGRICULTURAL ACTIVITY

SUMMARY OF RESULTS

(continued)

STATE-WIDE DISCLOSURES

(continued)

DISCLOSURE	DETERMINATION	DISCLOSURE DETAIL
Land Conservation Act	NOT IN	LANDS UNDER CONTRACT PURSUANT TO THE CALIFORNIA LAND CONSERVATION (WILLIAMSON) ACT AT THE TIME THE DATA WAS OBTAINED.
Special Tax Assessment District	IN	SPECIAL TAX ASSESSMENT DISTRICT
Rate Based Taxes	SUBJECT TO	AD VALOREM TAXES
Mello-Roos Tax District	DOES NOT	CURRENTLY HAVE MELLO ROOS TAXES LEVIED AGAINST IT.

LOCAL DISCLOSURES

DISCLOSURE	DETERMINATION	DISCLOSURE DETAIL
Landslides - Regional	NOT IN	POTENTIAL LANDSLIDES
Wind Erosion - Regional	NOT IN	SOILS WITH WIND EROSION POTENTIAL
Expansive Soils - Regional	NOT IN	EXPANSIVE SOILS
Industrial Use - Regional	WITHIN 1/4 MILE OF	INDUSTRIAL AND/OR COMMERCIAL LAND USE
Dam Inundation - Local	NOT IN	DAM OR DEBRIS BASIN INUNDATION AREA
Fault(s) - Local	NOT WITHIN 1/4 MILE OF	FAULT
Petrochemical - Local	NOT IN	PETROCHEMICAL COMPLEX AREA
Fire Hazard - Local	IN	VERY HIGH FIRE HAZARD SEVERITY ZONE (FIRE ZONE 4)
Tsunami - Local	NOT IN	TSUNAMI INUNDATION AREA
Methane - Local	NOT IN	KNOWN SHALLOW METHANE ACCUMULATION

DISCLOSURE NOTICES

METHAMPHETAMINE CONTAMINATION	see under DISCLOSURE NOTICES
MEGAN'S LAW - SEX OFFENDER DATABASE	see under DISCLOSURE NOTICES
ABANDONED WELLS	see under DISCLOSURE NOTICES

C.L.U.E.[®] INSURANCE CLAIMS HISTORY REPORT

A C.L.U.E REPORT (Comprehensive Loss Underwriting Exchange) IS INCLUDED WITH THIS REPORT	0 CLAIMS REPORTED
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THIS "SUMMARY OF RESEARCH RESULTS" MERELY SUMMARIZES THE RESEARCH RESULTS CONTAINED IN THE PROPERTY I.D. MANDATORY DISCLOSURE REPORT AND DOES NOT OBTIATE THE NEED TO READ THE REPORT IN ITS ENTIRETY. THE TRANSFEROR(S) AND TRANSFEREE(S) MUST READ THE REPORT IN ITS ENTIRETY.

FLOOD HAZARD ZONES

For
28370 AGOURA ROAD, AGOURA, CA 91301
APN 2061-022-086

Based on PROPERTY I.D.'s research of the Flood Insurance Rate Maps issued by the Federal Emergency Management Agency, the following determination is made:

SUBJECT PROPERTY IS LOCATED IN ZONE X (NOT A SPECIAL FLOOD HAZARD AREA)

EXPLANATION OF FEMA FLOOD ZONE DESIGNATIONS

- Any zones type "A" or "V" are Special Flood Hazard Areas, zones "B", "C", "D", "X" are not.
- A AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
 - AC* AREAS OF FLOODING CONTAINED BY FLOOD CONTROL MEASURES; INCLUDES AREAS OF FLOODING CONTAINED BY CHANNEL OR BASIN. (* represents a wildcard character)
 - AE BASE FLOOD ELEVATION DETERMINED
 - AH AREAS OF 100-YEAR SHALLOW FLOODING WHERE DEPTHS ARE BETWEEN ONE (1) AND THREE (3) FEET; BASE FLOOD ELEVATIONS ARE SHOWN, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED.
 - AO AREAS OF 100-YEAR SHALLOW FLOODING WHERE DEPTHS ARE BETWEEN ONE (1) AND THREE (3) FEET; AVERAGE DEPTHS OF INUNDATION ARE SHOWN, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED.
 - AR AREAS OF 100-YEAR FLOOD, WHERE RESTORATION OF LEVEE SYSTEM TO LEVEL OF VASE FLOOD IS UNDERWAY (TEMPORARY UNTIL FLOOD PROTECTION SYSTEM IS RESTORED)
 - A1-A30 AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED.
 - A99 AREAS OF 100-YEAR FLOOD TO BE PROTECTED BY FLOOD PROTECTION SYSTEM UNDER CONSTRUCTION; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
 - B AREAS BETWEEN THE LIMITS OF THE 100-YEAR FLOOD AND THE 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR PROTECTED BY LEVEES.
 - C AREAS OF MINIMAL FLOODING; AREAS OUTSIDE 100-YEAR FLOODING
 - D AREAS OF UNDETERMINED, BUT POSSIBLE, FLOOD HAZARDS.
 - V AREAS OF 100-YEAR COASTAL FLOOD WITH VELOCITY (WAVE ACTION); BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
 - V1-V30 AREAS OF 100-YEAR COASTAL FLOOD WITH VELOCITY (WAVE ACTION) BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED.
 - VE COASTAL FLOOD WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED.
 - X AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
 - X500 AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE (1) FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
 - X*PL AREAS PROTECTED FROM 100-YEAR FLOOD BY LEVEE, DIKE, OR OTHER STRUCTURE. OVERTOPPING OR FAILURE OF THIS STRUCTURE IS POSSIBLE. COMMUNITIES SHOULD ISSUE EVACUATION PLANS AND ENCOURAGE PROPERTY OWNERS BEHIND THESE STRUCTURES TO PURCHASE FLOOD INSURANCE. (* represents a wildcard character)

When found in the hazard determination the terms "zone", "area", or "mapped" are words strictly defined as geographic locations delineated by specific boundaries identified in the maps and/or data prepared by the applicable governmental agency. No visual examination of the Subject Property was performed. This report is not a substitute for a visual examination and/or inspection of the Subject Property. If detailed on-site information regarding geologic, environmental, engineering or other professional studies is desired, Property I.D. recommends that an appropriate qualified professional consultant be retained. Property I.D. has acted in good faith to obtain, from governmental agencies, the adopted publicly distributed natural hazard disclosure information appropriate for inclusion in the Natural Hazard Disclosure Report pursuant to Civil Code Section 1103 et seq. The inclusion of any specific determination in this report does not preclude the possibility that other information could exist that would provide additional or different determinations for the Subject Property. If a recipient of this report has information that is different from a determination contained in this report, or has any questions about this report, he or she should contact Property I.D. before using this document.

DAM FAILURE INUNDATION

For
28370 AGOURA ROAD, AGOURA, CA 91301
APN 2061-022-086

Based on PROPERTY I.D.'s research of specific maps or data obtained from the Office of Emergency Services, the following determination is made:

SUBJECT PROPERTY IS NOT LOCATED IN A DESIGNATED DAM INUNDATION AREA

Based on PROPERTY I.D.'s research of specific maps or data for Los Angeles County, the following determination is made:

SUBJECT PROPERTY IS NOT LOCATED IN A DAM OR DEBRIS BASIN INUNDATION AREA

DISCUSSION:

The dam inundation program began in response to the Sylmar earthquake of February 9, 1971, which caused severe damage to the Upper and Lower Van Norman Dams, and threatened to cause extensive damage to life and property had a dam failure occurred. The California legislature added sections 8589.5 to the California Government Code, requiring dam owners to provide the Governor's Office of Emergency Services with an inundation map showing the extent of damage to life and property that would occur, given a complete and sudden dam failure at full capacity, i.e. a worst case scenario, regardless of the likelihood of such an event.

When found in the hazard determination the terms "zone", "area", or "mapped" are words strictly defined as geographic locations delineated by specific boundaries identified in the maps and/or data prepared by the applicable governmental agency. No visual examination of the Subject Property was performed. This report is not a substitute for a visual examination and/or inspection of the Subject Property. If detailed on-site information regarding geologic, environmental, engineering or other professional studies is desired, Property I.D. recommends that an appropriate qualified professional consultant be retained. Property I.D. has acted in good faith to obtain, from governmental agencies, the adopted publicly distributed natural hazard disclosure information appropriate for inclusion in the Natural Hazard Disclosure Report pursuant to Civil Code Section 1103 et seq. The inclusion of any specific determination in this report does not preclude the possibility that other information could exist that would provide additional or different determinations for the Subject Property. If a recipient of this report has information that is different from a determination contained in this report, or has any questions about this report, he or she should contact Property I.D. before using this document.