



DATE: FEBRUARY 17, 2011

TO: PLANNING COMMISSION

FROM: PLANNING STAFF

SUBJECT: DISCUSSION REGARDING ARCHITECTURAL CHANGES TO AN APPROVED PROJECT – CASE NOS. 03-CUP-017 and 03-OTP-016 - 27801 BLYTHEDALE ROAD (VON BUCK)

In September 2005, the Planning Commission approved (Clifton and Tamara Von Buck's) Conditional Use Permit application (Case No. 03-CUP-017) and an Oak Tree Permit application (Case No. 03-OTP-016) to construct a new single-family residence on a vacant, hillside lot located at 27801 Blythedale Road in the Open Space and Old Agoura Design Overlay zones. The house's design includes a two-story floor plan on one level pad with an attached garage built at a lower elevation. The home is 4,664 square feet with a 1,266 square feet attached garage and built 200 feet from the front property line, 180 feet from the rear property and 26 and 106 feet from the side property lines. The lot is 3.86 acres in area and is surrounded by private open space property to the north and west, public open space property to the east and very low density residentially zoned property to the south.

The project has been active since 2007. Permits were issued as follows:

- Grading Permit/Building Permit for some retaining walls: January 30, 2007
- Building Permit for a garden wall: February 27, 2007
- Building Permit for the garage retaining wall: April 1, 2008
- Building Permit for the house: December 2, 2008

The project is currently under construction. While in the process of framing the structure, the applicant has requested to change the approved exterior materials of the residence by substituting brown brick veneer with tan color stucco on all elevations and another request is to use white vinyl window frames instead of tan vinyl window frames.

Approved exterior finishing materials included brick veneer for the walls and a brown slate-like concrete roof tile. The walls of the house and chimneys were approved to be clad with a dark brown glazed brick veneer in a narrow header band pattern. Three 2-inch wide bands of a lighter brown brick veneer were approved as accent on a portion of the southwest elevation. An 8-inch wide accent band with the same color brick veneer was also approved at the base of the eaves of both the second and the first roof lines.

Some stucco was approved on the front elevation under the balcony. Attached are copies of the approved plans and materials and the proposed requested change. The applicant has also submitted a letter explaining the reasons for the change.

Stucco is an acceptable exterior material used on new houses in Old Agoura. The intent of the design standards for Old Agoura is to encourage design that is rustic and compliments the semi-rural character of the Old Agoura neighborhood. While staff has authority to approve minor changes, staff determined, in this case, that the change in material, as requested by the applicant, should be referred to the Planning Commission as the proposed change will alter the look of the building and may not be in keeping with the Commission's intent of the original approval. If the Planning Commission finds that the change is minor, the requested change can be approved with a minute motion. On the other hand, if the Commission finds that the change is significant and not in keeping with the original intent of the approval, the applicant must file an amendment to the Conditional Use Permit in order to formally amend the approved building materials.

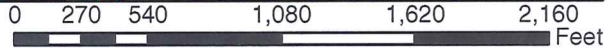
The color and material board will be distributed at the meeting for the Planning Commission's review.

RECOMMENDATION:

It is recommended that the Planning Commission give direction to staff as to whether the requested changes are minor and therefore can be approved with a minute motion at this meeting or require the review of an Amendment to the Conditional Use Permit by the Planning Commission at a future scheduled public hearing.

Attachments

- Exhibit A: Vicinity Map
- Exhibit B: Applicant's Letter
- Exhibit C: September 2005 Staff Report for the Project
- Exhibit D: September 2005 Approved Minutes of the Meeting
- Exhibit E: Color Copy of the Approved Color and Material Board
- Exhibit F: Color Copy of a Color and Material Board with Requested Changes
- Exhibit G: Full Size Copy of the Approved Elevation Plan
- Exhibit H: Full Size Copy of an Elevation Plan with Requested Changes



Clifton & Tammy VonBuck
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February 2, 2011

Mr. Mike Kamino, Director
Planning and Community Development
City of Agoura Hills
30001 Ladyface Ct.
Agoura Hills, CA 91301

RE: 27801 Blythedale Rd
CUP #03-CUP-017
OTP #03-OTP-016
Building Permit #RES-1-07-10806

Dear Mr. Kamino,

As previously requested we would like to change the exterior material of our home from brick to stucco. All other materials, including the roofing tiles and the driveway will remain as originally designed. We have requested the change to stucco as we believe that stucco more closely matches the design of our home. The house was designed with an extensive use of windows which provides a very unique look. The house does not have any large expanses of walls, but instead all wall areas are broken up with large windows. We believe that brick will be too busy and detract from the look of the house. Brick typically provides a more classic look. Our house does not have a classic design. We have selected a neutral color of stucco that complements the roofing tiles. We believe that stucco will allow the house to blend naturally into the slope behind the house and maintain the integrity of the design. We have also changed the front door from a single door with two side lights to a double door with no side lights in order to better complement the house. Additionally, we have considered adding accent stone or brick, however we believe that this also creates too busy of a look. The use of additional materials will only detract from the unique look of our home and adds nothing to complement the style.

As you may recall, the house is not visible from public view and is located approximately 500 ft from the entrance of the property which is a quarter of a mile down a private road. Stucco is an approved material in Fire Zone 4, in which we are located. As such, we respectfully request that we be allowed to change the material of our home from brick to stucco.

If you have any questions, please do not hesitate to contact us.

Sincerely,

Clifton & Tammy VonBuck



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: September 15, 2005

TO: Planning Commission

APPLICANTS: Mr. & Mrs. Clifton Von Buck
43956 21st Street West
Lancaster, CA 93536

CASE NOS.: 03-CUP-017 and 03-OTP-016

LOCATION: 27801 Blythedale Road
(A.P.N. 2055-001-035)

REQUEST: Request for approval of a Conditional Use Permit to construct a 4,664 square-foot, two-story residence with a 1,266 square-foot attached garage and a 1,225 square-foot barn; a request for an Oak Tree Permit to encroach within the protected zone of two (2) Oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: If the Planning Commission's decision is to approve Conditional Use Permit Case No. 03-CUP-017, Oak Tree Permit Case No. 03-OTP-016, the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program subject to conditions, based on the findings of the attached Draft Resolution, staff recommends that the Commission adopt the attached draft Resolution with conditions of approval.

ZONE DESIGNATIONS: OS-OA (Open Space - Old Agoura Design Overlay) zone and SEA (Significant Ecological Area)

GENERAL PLAN DESIGNATION: OS - R (Open Space- Restricted)

PROJECT BACKGROUND AND DESCRIPTION

The applicants, Clifton and Tammy Von Buck are requesting approval of a Conditional Use Permit to build a 4,664 square-foot two-story single-family residence with a 1,266 square-foot attached garage and a 1,225 square-foot barn, and a swimming pool. The subject parcel is a 3.86 acre, vacant, hillside lot at the easterly terminus of Blythedale Road, east of Chesebro Road, at 27801 Blythedale Road in the Open Space and Old Agoura Overlay zones. A Conditional Use Permit is required for developments of this parcel because of the Open Space zoning designation and because its average slope is in excess of 10%. The applicant is also requesting the approval of an Oak Tree Permit (Case No. 03-OTP-016) to encroach within the protected zone of (2) on-site oak trees for the proposed construction.

The parcel is within a four-lot subdivision that was approved in 1984 by the City. The lots range in size from 3.25 to 12.25 acres. Two of the lots to the west have been developed with single-family homes and a third has received development entitlement from the Planning Commission and the owner is just starting construction. The parcel under review is the last parcel on Blythedale Road with the easterly property boundary serving as the City boundary. Unlike the recently approved residential project approved at 27901 Blythedale Road, this parcel is located entirely within Significant Ecological Area #12, also known as the Palo Comado SEA. The project is also located in the Open Space (OS) zone. The required and proposed development standards for this project under the Open Space zone are noted below:

Development Standards	Existing	Proposed	Allowed/ Required
A. Lot Size	168,048 sq ft. (3.86 acres)	Same	5 acres min.
B. Lot Width	270 ft.	Same	N/A
C. Lot Depth	620 ft.	Same	N/A
D. <u>Building Size</u>			
House:	N/A	4,664 sq.ft.	N/A
Garage:	N/A	1,266 sq.ft.	N/A
Accessory Structure:	N/A	<u>1,225 sq.ft.</u>	N/A
Total		7,272 sq ft.	
E. Building Height	N/A	34 .75 ft.	35 feet max.
F. Yard Setbacks	N/A	Front (South): 200 ft. Rear (North): 180 ft. East Side: 26 ft. West Side: 106 ft.	50 feet min. 50 feet min. 25 feet min. 25 feet min.

Development Standards	Existing	Proposed	Allowed/Required
G. Lot Coverage			
1. House/Garage	N/A	2.7% (4,586/168,048)	N/A
2. House/Garage/Hardscape	N/A	3.3% (5,586/168,048)	N/A
3. House/Garage/Hardscape /Barn	N/A	4.0% (6,811/168,048)	N/A
4. House/Garage/Hardscape /Barn/Driveway	N/A	8.8% (14,811/168,048)	N/A
			10% /OS 2.5% /Hillside
H. Average Slope	38.45%	N/A	N/A
I. No. of Oak Trees	26	N/A	N/A

STAFF ANALYSIS

A. Site Plan Review

The parcel is 3.8 acres in size and is located at the terminus of Blythedale Road. One primary mountain ridge intersects the northern portion of the western property line of this parcel. Major overhead power transmission and distribution lines bisect the property west to east and major underground natural gas transmission and distribution lines along the southern property line. These underground utility lines are protected by easements attached and are identified on the plans and restrict development from encroaching within the easement area. Access to the parcel is provided by a private road (Blythedale Road) which serves 11 homes north and south and terminates at the parcel in review. Pavement exists to the end of the second parcels on the north side of the road. The pavement will have to be extended to the front property line.

The proposed single-family residence and the accessory structure are permitted uses in the Open Space (OS) zone, subject to a Conditional Use Permit approval and to the required development standards of that zone as well as the Hillside Ordinance standards. The applicant has applied for an Oak Tree Permit in order to encroach in the protected zone of two oak trees situated on site. In the Open Space zone, the Zoning Code requires structures to be at a minimum of 50 feet from the front and rear property lines and 25 feet from the side property lines. The main house is proposed to be situated 246 feet from the front and rear property lines, and 105 feet from the west and 26 feet from the east property lines, exceeding the minimum requirements.

The accessory structure is proposed to be placed 80 feet from the front property line and 60 feet from the west side property line near the meandering driveway.

When reviewing the square footage and land coverage of the project, staff looked at the size of 11 homes served by Blythedale Road. The north side of the Blythedale is zoned Open Space and the south side is zoned Residential Very Low Single-Family. The lots on the south side vary in size from 1 to 2.25 acres with an average home size of 3,107 square feet. One 6,956 square-foot residence currently exists north of the road on a 2.71 acre parcel. A 6,800 square-foot custom home was recently approved by the Planning Commission on a 6.45 acre lot. A 10-acre parcel still remains to be developed west of the project site which includes a 4,664 square-foot home on a 3.86 acre parcel. All remain under 10% lot coverage for their respective underlying zone.

The Zoning Ordinance also establishes maximum building lot coverage percentages. One is dictated by the underlying zone which is OS and allows a maximum of ten (10) percent lot coverage and the other by the Hillside Ordinance development standards. The total proposed coverage for this project is 8.8 % of the parcel, which includes 4,586 square of building footprint, approximately 1,000 square feet dedicated to the hardscape, 1,225 square feet dedicated to the barn and 8,000 square feet dedicated to the driveway for a total of 14,811 square feet. And as such, the lot coverage of the OS zone is met. Staff has estimated, however, that the area impacted by the grading will include approximately 18,000 square feet of area which represents 10% of the lot size. The proposed lot coverage exceeds the development area for hillside development per the Hillside Ordinance requirements. The topography of the property has an average slope of 38.45% which requires 97.5% of the lot to remain undisturbed. The Conditional Use Permit requests the Planning Commission a discretionary review of the building lot coverage. Although the project exceeds the maximum amount of hillside lot coverage, the applicant designed the project to meet all the development standards for the underlying zone, including building height per the requirements of the Hillside Development Standards.

The intent of the Hillside Ordinance is to preserve the natural terrain from incompatible development through creative design. Although, the project exceeds the maximum amount of hillside lot coverage, the applicant has attempted to minimize impacts with the lot by locating the residence away from the oak habitat located on the lower portions of the property. The applicant is also agreeable to providing permeable or semi-permeable surface materials in the driveway to reduce runoff and maintain the rural atmosphere of the Old Agoura neighborhood. Staff is also recommending that the property owner be conditioned against future development on the undisturbed hillside open space areas.

The grading plan calls for 28 feet of vertical cut and 36 feet of vertical fill. The cut would include a balance of 1,700 cubic yard of cut and 1,700 cubic yard of fill. Most of the grading will occur in areas with 25 to 35% slope gradient. A small percentage of the grading will occur in an area exceeding 35% slope gradient and includes a 1.75:1 cut slope to minimize the disturbance to the land. The recontouring of the topography will require 6 retaining walls. Two walls will be located in the rear of the

property, one along the driveway and the remaining three walls in front of the residence. The walls located in the rear of the residence will be screened by the residence. The wall located along the driveway will not be visible from the front property line and the walls located in the front could potentially be seen from the midpoint of the driveway but unlikely to be visible from the front property line. All walls will not exceed to 6 feet in height. The cut and fill quantities are in the order of 1,700 cubic yard of cut and 1,700 cubic yard of fill for a balanced grading.

B. Architectural Design Review

The first floor of the proposed two-story residence includes living and sleeping quarters and extends over half of the garage to the west. The second story of the residence, designed to maximize views, accommodates solely the master bedroom quarters. The proposed first floor includes 3,320 square-feet of habitable space and a 1,225 square-foot garage. The roof material is a brown slate-like concrete tile. The walls of the house and chimneys will be clad with a dark brown glazed brick veneer in a narrow header bond pattern. Three 2-inch wide bands of a lighter brown brick veneer are proposed as accent on a portion of the southwest elevation. An 8-inch wide accent band with the same color brick veneer is applied at the base of the eaves of both the second and the first roof lines. A tan color vinyl frame was selected for the craftsman style window to match with the lighter accent bands. The project provides a covered patio with a balcony on the front of the house that will also incorporate brick veneer for the pilaster as well as wrought iron for the railing. The Architectural Review Panel has reviewed the project and recommends approval of the architecture as presented.

The Old Agoura Homeowners Association has reviewed the project design twice. A copy of the letters is attached and marked as Exhibit D.

C. Open Space/Hillside/Significant Ecological Area Review

The Open Space designation as well as the Hillside and Significant Ecological Area require a review of additional factors in considering the site development. In order to protect the rural character of the community, the Zoning Ordinance provides parameters for development in ecological and geologically sensitive areas. These parameters include minimal grading, the retention of trees and natural features, new planting for the stability of the environment post-construction, the use of a creative form of architecture and the retention of unique topographic features. Furthermore, the parcel in review is zoned Open Space, which is the lowest density zoning classification available for residential development. As such, any improvements to the land are evaluated per the Zoning Ordinance's goals of the Open Space zone one relative to the preservation of natural features, as well as the hillside and Significant Ecological Area.

A Biota Report dated December 8, 2003 and prepared by J.M. Farrell was submitted and later supplemented by a second report dated January 4, 2005 and prepared by Compliance Biology, Inc Field surveys were conducted by the applicant's biologist

which revealed three types of plant material and/or conditions: ruderal or disturbed, non-native grassland and Coastal Sage Scrub. The Report states that the placement of the structure and the cut of the hillside will occur mostly in the ruderal or disturbed zone and will encroach approximately 10 percent into the Coastal Sage Scrub zone. The nature of the encroachment is two-fold: excavation for the grading and the permanent site improvement i.e. retaining walls and improved rear yard and residence. The permanent loss of the biological resource must be mitigated by 1:1 replacement ratio or for every square-foot of lost Coastal Sage Scrub, a square-foot of area must be replanted elsewhere on the property. It is important to coordinate the location of the plant material with the Fuel Modification Plan. Other areas containing Coastal Sage Scrub in the vicinity of the construction zone must be fenced during the entire period of the construction.

Staff's analysis of the project includes the following:

- The project is located and designed so as to protect the safety of current and future community residents and will not create significant threats to life and/or property due to the presence of geologic, seismic, slope instability, fire, flood, mud flow, or erosion hazards. The pre-construction phase has been analyzed by geotechnical consultants to guarantee the stability of development. Furthermore, the City's Oak Tree/Landscape Consultant recommends the reinstatement of the existing native plant material and new planting on the newly created slope and affected paths of development in order to prevent erosion.
- The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project is located on a large parcel, and was designed to avoid removal of and/or impacts to the natural resource. The footprint of the house is nestled in between established oak trees and outside the natural drainage courses. The concentration of development in addition to the large amount of open space will not distract from the view of the hillside in the rear of the parcel. The residence will not be visible from the existing, neighboring trails located within National Park Service area.
- The proposed project can be provided with essential public services and is consistent with the objectives and policies of the General Plan. Private roadway requirements will be met and a privately-maintained septic system will be installed to complete the infrastructure required for the operation of a residential unit.
- The proposed project is designed to be compatible with the biotic resources present, including the setting aside of appropriate and sufficient undisturbed areas. Both Oak Tree/Landscape and Environmental City Consultants have reviewed the project to prevent the introduction of non-native plant material and the restoration of exposed soils to prevent wind and water erosion and ultimately protect on and off-site developments. Their general recommendations are to minimize intrusion during the grading process. The development process will be monitored by periodic site inspections as required by the Draft Mitigated Negative Declaration.

- The project must demonstrate that wildlife movement corridors (migratory paths) are left in an undisturbed and natural state. No wildlife corridor is identified in the General Plan or by the environmental consultant. The Fire District has required a wall for fire protection for the length of the residence. The environmental review does not foresee the interruption of protected and unprotected wildlife. Furthermore, the Biota Report confirms that no endangered species have been identified on the site and that nesting and foraging is expected to continue on the property despite the development.
- The proposed project retains sufficient natural vegetative cover to buffer critical resource areas from such project. Per the Hillside Ordinance standards, a 38% average slope requires that 97.5% of the parcel remain undeveloped. In this case, the total size of the finished development will not exceed 8% coverage but the preparatory work will require 10% of disturbance. The loss of natural vegetation will be replaced by the planting of new native plant material.
- According to the City's Environmental Analyst, no significant habitat has been identified on the site. The most valuable resources will be preserved as they are located on slopes that exceed 35% where development will not typically occur as such no additional fencing is required.
- Roads and utilities serving the proposed project are located and designed so as not to conflict with critical resources on-site. Access to the property is new and was designed to meander around the oak trees and to strictly serve as access the main residence and as a turn-around for the Fire District vehicles.
- The property owner has not requested the transfer of development rights be considered for this particular lot. There is a lack of medium/high density designated residential property in which to transfer the development rights.

D. Landscaping and Oak Tree Review

Given the entire parcel is located in the Significant Ecological Area, emphasis is placed on the preservation and enhancement of sensitive plant life and wild life. The General Plan identifies Coastal Sage Scrub as the dominant plant material in this area. The Biota Report has delineated the areas specific to the parcel. Encroachment in the Coastal Sage Scrub zone, as stated in the Biota Report, is expected to be at least 10 percent. The City Oak Tree/Landscape Consultant has recommended that restoration of the growth area be undertaken over a period of 5 years. The restoration process involves the retention of a biologist/restoration specialist whose responsibility will be to identify location and type of native plants, preserve the plant material, reintroduce the plant material post construction and monitor the germination process of newly introduced plants upon completion of the construction phase. Non-native ornamental plants will be restricted to the area immediately surrounding the residence. The proposed 1.75:1 and 2:1 slopes will be vegetated to stabilize the bare soil. The City

Consultant has recommended conditions that are included in the draft Resolution for the Planning Commission's review.

In addition, the submitted Oak Tree Reports prepared by Pacific Horticulture and dated January 23, 2003, January 24, 2004, June 7, 2004 and September 19, 2004, the Grading Plan and Oak Tree Location Map show the presence of the 24 on-site which are recommended to be retained and 2 off-site which will not be affected by the work. The applicant's consultant has provided specific evaluation of seven oak trees (Oak Tree # 1, 7, 9, 11, 14, 15 and 21) which are in proximity to the construction zone including the construction of retaining walls and the recontouring of the land. The analysis was reviewed by the City Oak Tree Consultant and a final Grading Plan was submitted to the Planning Department. The Oak Tree Report reports the health ranking of the oak trees to vary from fair to poor. As a result, the encroachment requested by the applicant was carefully considered and permitted by the City Consultant with conditions. One of the recommendations is a specific foundation system for the retaining walls near Tree Nos. 14 and 15 and a limitation of the encroachment of a maximum of 20% into the protected zone of Tree Nos. 1 and 21 located on the north and south of the driveway solely for the placement of the driveway to provide access to the residence. Tree Nos. 7, 9, 11, 14, 15 and 16, located on either side of the development edges will be fenced for the duration of the construction however. Excavation near these trees will be performed using hand tools under the supervision of a contracted oak tree consultant. The City Consultant has also conditioned the project to submit a maintenance plan to preserve and enhance the health of the trees for the life of the project. The applicant's Oak Tree Consultant recommends quarterly observation from a specialist to monitor the health of the trees a well. Overall, the City Oak Tree Consultant found that the project meets the standards of the City's Oak Tree Preservation Guidelines.

E. Engineering Review

The Engineering Department has reviewed the proposed Grading Plan, which requires 2:1 fill slopes in two areas: along the west side of the driveway requiring one retaining wall and in front of the house requiring three retaining walls. The pad and location of the residence will require a 1.75 cut slope with two stacked retaining walls. The grading will consist of 1,700 cubic yard of cut and 1,700 cubic yard of fill and will be concentrated between the 1,126 and 1,076 elevation contour lines, which represents a midpoint between the rear and the front of the parcel. The remainder of the slope in the front of the parcel between the 1,076 and 1,054 elevations will be graded for a driveway to connect to a shared access easement leading to Chesebro Road. One of the requirements of the Public Works Department as well as the Fire Department is to provide a 20-foot wide all-weather surface from the end of the existing pavement to the boundary of the property, which represents approximately 375 feet of length. Currently, Blythedale Road is an established private access easement shared by 10 other parcels. The driveway is currently divided into two, two-way private driveways for most of the length of the driveway. Attempts were made by some of the property owners who share the easement to combine the roads into one road but the undertaking was unsuccessful. As a result, the more recent

approval to build two new homes on the south side of Blythdale Road has required road improvements to meet the minimum 20 feet width. The north side access is however, 32 feet wide with 20 feet of paving to a certain point. The applicant is therefore required to extend the paving until the end on the north side only. Maintenance of the roadway and median landscaping will continue to be shared by the property owners along the access easement.

The Los Angeles County Fire Department requires that the access road to the parcel be paved over a 20-foot width and that the driveway from the road to the house (approximately 440 feet long) be of a certified material and slope percentage to accommodate fire and medical emergency vehicles. A turn-around area was designed by the applicant near the residence 350 feet from the road at a 1073 elevation where enough flat land was available without additional grading and the need for retaining walls.

The Los Angeles County Health Department has approved a 1500-gallon septic tank to be located on the north side of the driveway with leach lines on the south side and future one under the driveway. More recent state legislation requires additional equipment to be installed as part of the overall underground installation of new septic systems where high ground water table is found as well as other specific environmental conditions according the Department. No additional impact is anticipated at this time as a result of the new requirement. The Fire Department has raised the issue of the potential disruption of access for emergency services when the driveway is torn for the construction of the future leach lines. The applicant has offered to install the leach lines prior to construction of the driveway.

Several revisions to the project geotechnical report were required. The City Geotechnical Consultant has recommended approval of the report at this planning review stage. A copy of the letter is attached. The issues of concern raised by the City's Geotechnical Consultant during their review included the slope stability of both graded and natural slopes as they are expected to support a residence and related amenities. Additionally, the stability of the proposed septic system was analyzed for assurance that ground water would not impact the system. Finally, the applicant had to demonstrate that there were no known active faults that could potentially jeopardize the project.

The proposed grading on this parcel is intended to balance the amount of cut and fill. The placement of the residence was reviewed against impacts to the oak trees, the natural drainage course. In order to insure that the City's Consultant's comments are addressed prior to construction, the geotechnical report has been forwarded to the City Public Works Department and will be used during the final review of the grading and construction plans.

F. Environmental Review

Pursuant to the California Environmental Quality Act (CEQA), an Initial Study/Draft Mitigated Negative Declaration (MND) was prepared by Impact Sciences, Inc. in

August 2005, on behalf of the City. A Mitigation Monitoring and Reporting Program was also prepared to ensure that any mitigation measures identified in the MND are properly implemented and monitored. The MND, along with the Mitigation Monitoring and Reporting Program, are included as Exhibit F.

The following matrix briefly identifies the environmental issue areas addressed in the MND that were found to have potentially significant impacts, and identifies the recommended mitigation measures. All impacts were found to be mitigable to a less than significant level upon implementation of the measures.

Issue Area	Impact	Mitigation
<i>Aesthetics</i>	Introduction of light and glare	Light shall be focused downward and designed to minimize glare and spillover
		Building materials shall minimize potential for glare.
<i>Biological Resources</i>	Loss of native vegetation and introduction of invasive species	Include locally native plants in landscape plan
	Potential impacts to drainages	Stake limits of area; any work within area will require permits
	Damage to or removal of Coastal Sage Scrub habitat	Stake limits of work area; mitigate at 1:1 for loss of habitat with restoration
	Work adjacent to oak trees	Stake work limits
<i>Cultural Resources</i>	Unexpected discovery of archaeological or paleontological resources or human remains	Work to cease and the appropriate officials contacted and find assessed; mitigation work as necessary
<i>Geology and Soils</i>	Soil expansion, inadequate soils in some areas	Comply with all measures in the geotechnical report
<i>Hazards</i>	Wildfire	Prepare final fuel modification plan
<i>Noise</i>	Construction noise	Enclose or shelter stationary construction noise sources and site them away from adjacent neighbors

The public review period for the MND began on August 11, 2005 and ended on August 30, 2005. Four (4) comment letters and two (2) e-mail comments were received from public agencies, and are included as Attachment A of Exhibit F. Attachment B of Exhibit F consists of the responses to each of the comments. In some cases, the comments received resulted in minor revisions to the MND for the sake of correction and/or clarification. The text changes are shown in strikeout/underline mode as Attachment C to Exhibit F, and will be incorporated into the Final MND. Because the changes are minor, do not alter the level of impact, and do not identify a new significant impact, these revisions to the MND are not required to be re-circulated for public review (CEQA Guidelines Section 15073.5).

The Mitigation Monitoring and Reporting Program requires periodic site inspections for staff to monitor the project development. The MMRP identifies all the aspects of the development that will be monitored. A copy of the Program is attached. To assure that all recommended mitigation measures will be appropriately addressed prior to and during building construction, the applicant and representative will be required to attend a pre-construction meeting and be responsible for keeping a copy of the document at the site at all times.

G. SUMMARY

Staff worked with the applicant to minimize disturbance to the land and to protect the view of the undeveloped hillsides. Staff sought recommendations from the City's Geological and Geotechnical Consultant with the respect to the stability of the slopes, the National Park Service with respect to the visibility of the house from nearby trails, with the Department of Fish and Game with respect to drainage courses that run along side the residence toward Blythedale Road, and the Los Angeles County Fire Prevention Office with respect to the Fuel Modification zones boundaries. Some modifications were needed as a result of the agencies requirements but the overall project was found to be conditionally acceptable in concept by all jurisdictional entities.

As proposed, the project is consistent with the objectives of the Zoning Ordinance and the development standards of the Open Space zone and the Old Agoura Design Overlay (OA) district. All minimum development standards have been met with regard to setbacks, lot coverage, oak tree preservation guidelines and architectural guidelines. Furthermore, the operation of the proposed single-family residence is a permitted use in the zone and will be compatible in design with the surrounding neighborhood.

RECOMMENDATIONS

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-017, Oak Tree Permit Case No. 03-OTP-016, the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program subject to Conditions, based on the findings of the attached Draft

Resolution. If the Planning Commission's decision is to approve Conditional Use Permit Case No. 03-CUP-017, Oak Tree Permit Case No. 03-OTP-016, the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program, staff recommends that the Commission adopt the attached draft Resolution with conditions of approval.

If the Planning Commission cannot support any or all of the application requests, a Resolution of denial with revised findings will be brought back to the Commission at a future meeting.

ATTACHMENTS

- Draft Resolution for Conditional Use Permit and Oak Tree Permit
- Conditions of Approval for Conditional Use Permit and Oak Tree Permit
- Exhibit A: Vicinity/Zoning Map
- Exhibit B: Reduced Copies of Plans (Architectural)
- Exhibit C: Reduced Copies of Plans (Grading and Slope Analysis)
- Exhibit D: Letter from Old Agoura Homeowners Association (1 & 2)
- Exhibit E: **Technical Reports, Letters and Plans**
 - Bin Yen and Associates Letter of Recommendation
 - Biota Reports
 - National Park Services Letter
 - California Department of Fish and Game Letter
 - Los Angeles County Environmental Health Services Department Letter
 - Los Angeles County Fire Department Fuel Modification Letter
- Exhibit F: **Environmental Analysis**
 - Draft Mitigated Negative Declaration With Mitigation Monitoring and Report Program with comments
- Exhibit G: Photographs of surroundings and color and material board

CASE PLANNER: Valerie Darbouze, Associate Planner

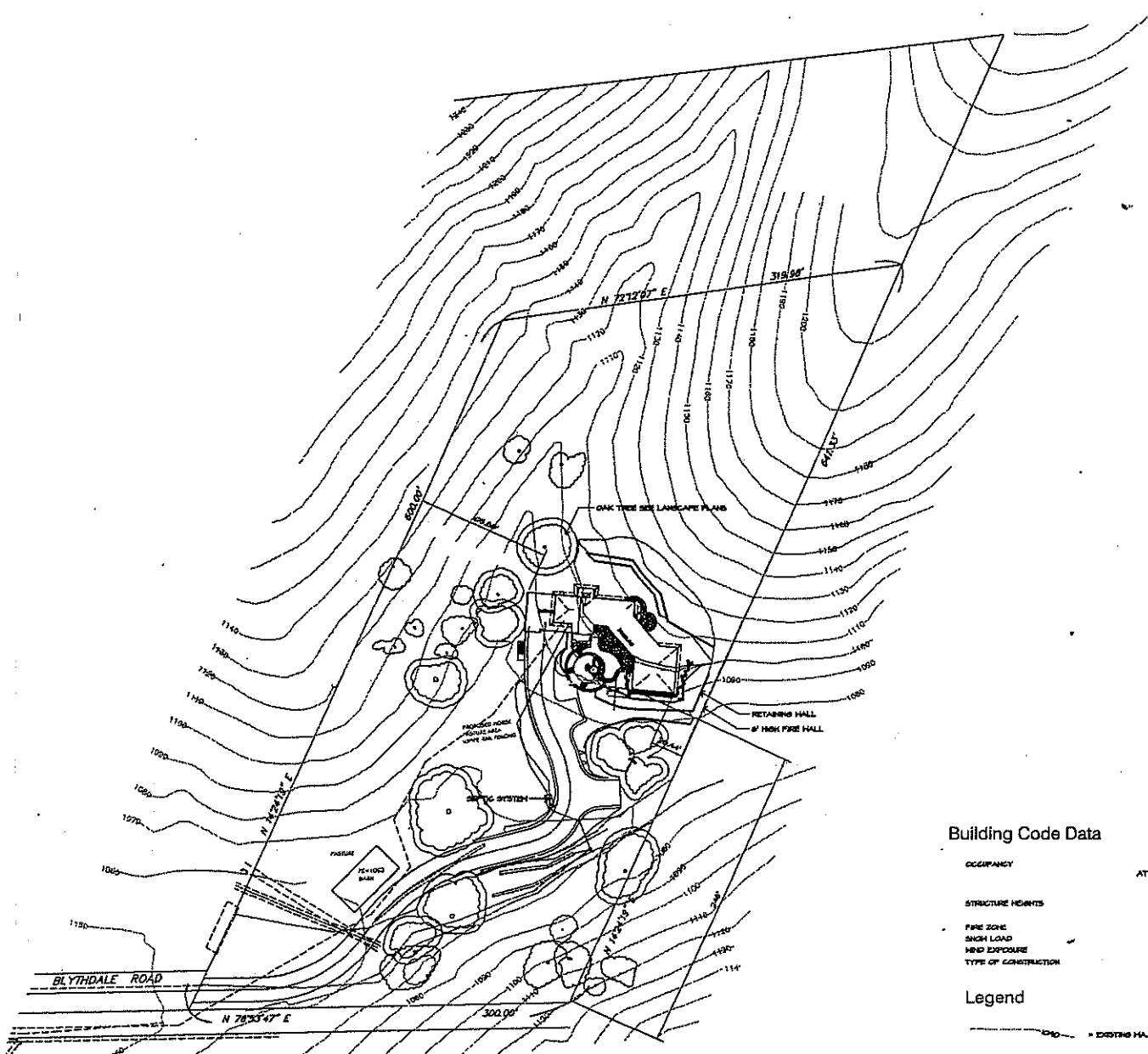


**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-017 AND OAK TREE
PERMIT – CASE NO. 03-OTP-016**

**FOR THE PROPERTY LOCATED AT
27801 BLYTHEDALE ROAD, AGOURA HILLS**

EXHIBIT B

**REDUCED COPIES OF PLANS
(ARCHITECTURAL)**



SITE PLAN

SCALE: 1"=40'-0"



Site Notes

1. ALL ON-SITE UTILITIES TO BE INSTALLED UNDERGROUND
2. ROAD PERMIT REQUIRED PRIOR TO ANY WORK DONE IN ROAD RIGHT OF WAY INCLUDING BUT NOT LIMITED TO THE REMOVING AND OR INSTALLING OF DRIVEWAY APPROACHES.
3. PLACEMENT OF BUILDINGS, FENCES, PLANTERS ETC. TO BE SUCH THAT THE WATER OR MID FLAM WILL NOT BE A HAZARD TO BUILDINGS OR ADJACENT PROPERTIES.
4. THE REQUIRED FIRE FLOW FOR PUBLIC FIRE HYDRANTS AT THIS LOCATION IS 250 GALLONS PER MINUTE AT 20 PSI FOR A DURATION OF 2 HOURS, OVER AND ABOVE MAXIMUM DAILY DOMESTIC DEMAND.
5. VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION. FIRE CODE SECTION 403.
6. PRIVATE ROADS USED FOR FIRE DEPARTMENT ACCESS SHALL BE CAPABLE OF SUPPORTING A 25-TON VEHICLE.
7. HANDING ACCESS USED TO CONNECT VEHICULAR ACCESS SHALL BE LEVEL, UNOBSTRUCTED BY LANDSCAPING, MINIMUM 9'0" IN WIDTH, CLEAR TO SIX', ACCESSIBLE FOR FIRE TRUCKS AND RESCUE PURPOSES.
8. STREET ADDRESS NUMBERS SHALL BE POSTED IN THE STREET SIDE OF THE BUILDING IN ACCORDANCE WITH THE CITY REQUIREMENTS.
9. PROVIDE AN APPROVE FIRE SPRINKLER SYSTEM. SUBMIT PLANS PRIOR TO INSTALLATION.
10. THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED FOR PUMP-OUT MODE.
11. PLANS SHOWING UNDERGROUND PIPING OF SPRINKLER SYSTEMS SHALL BE SUBMITTED PRIOR TO INSTALLATION.
12. ON-SITE PROTECTION FACILITIES IE SPRINKLER SYSTEM SHALL BE SUBMITTED FOR APPROVAL PRIOR TO OCCUPANCY.
13. THE INSPECTION, HYDROSTATIC TEST AND FLUSHING OF THE SPRINKLER SYSTEM SHALL BE WITNESSED BY THE PROPER FIRE DEPARTMENT REPRESENTATIVE AND NO UNDERGROUND PIPING SHALL BE COVERED WITH EARTH OR MASON FROM VIEW UNTIL THE FIRE DEPARTMENT REPRESENTATIVE SIGN.

Area Summary

DESCRIPTION	AREA
GARAGE AREA	1266 S.F.
1ST LEVEL LIVING AREA	3300 S.F.
2ND LEVEL LIVING AREA	1344 S.F.
TOTAL LIVING AREA	4654 S.F.
COVERED PORCH, PATIOS, ETC.	848 SQ.FT.
FIRE PLACES	1

Fire Zone 4 Requirements

A final modification plan shall be submitted and approved by the Fire Department prior to issuing that approval. Implementation of the approved Final Modification Plan and final inspection will be required prior to approval of final occupancy. Submit 3 copies of a completed final modification plan to the Fire Modification Unit, Fire Station 302, 803 N. Angleton Avenue, Aurora, IL 61703. Phone number (630) 568-3225 Fax (630) 563-6468. Fire Code 11172.1.

Diameter of trees and vegetation groups will be maintained per Fire Code 11172.5.

All new swimming pools 5000 gallons or more in capacity shall have a drain and discharge line connected to local hydrant. Submit pool plans to the local Fire Prevention Officer for approval. Appendix G subsection G2, Plumbing Code, Fire Code 9016.

Prohibit any approved automatic fire sprinkler system. Submit plans for approval prior to installation. Fire Code 1002.2.1.

Building Code Data

OCCUPANCY	RESID. R-0	ATTACHED GARAGE	S-0
STRUCTURE HEIGHTS	2 STORY HOUSE		
FIRE ZONE	FIRE ZONE 4		
SNOW LOAD	30 PSF		
HEAD EXPOSURE	= VH		
TYPE OF CONSTRUCTION	= VH		

Legend

- = EXISTING MAJOR CONTOURS
- = PLUM LINE LENGTH AND SLOPE AS SHOWN
- = PROPERTY LINE
- = STREET CENTER LINE

All roof coverings shall be Class "A" as specified in 206.24, 1051.1. Wood shingle and wood-shake roofs are prohibited regardless of installation under IBC Standard 15-2, Building Code 8403.1.

The roads shall be fire-approved or have a grade that provides entry of water or debris under the slab. Building Code 8403.2.

When building the structure of a building shall be of one-hour fire-resistance construction on the exterior side as required by the Building Code.

Exterior windows, doors and window units, skylights, and exterior doors shall utilize multi-paned panels. Building Code 8403.4.

Openings into offices, rooms, or other occupied areas shall not exceed 164 square inches each. Such openings shall be covered with non-combustible wire mesh with mesh openings of 1/8 inch. Building code 8403.5.

Provide spark arrears in chimneys used with fireplaces or heating appliances in which solid or liquid fuel is used with openings not to exceed 3 inch. Fire Code 1118.12, Building code 3102.3.3.

Under-floor areas shall be enclosed to the ground with construction as required for exterior walls. Building code 8403.6.

Accessory structures such as stoops, decks, or porch covers, which are attached to or within 20 feet of a residential building, shall be one-hour fire-resistance construction, heavy timber construction, or noncombustible construction. Building Code 8403.7 & 8403.8.

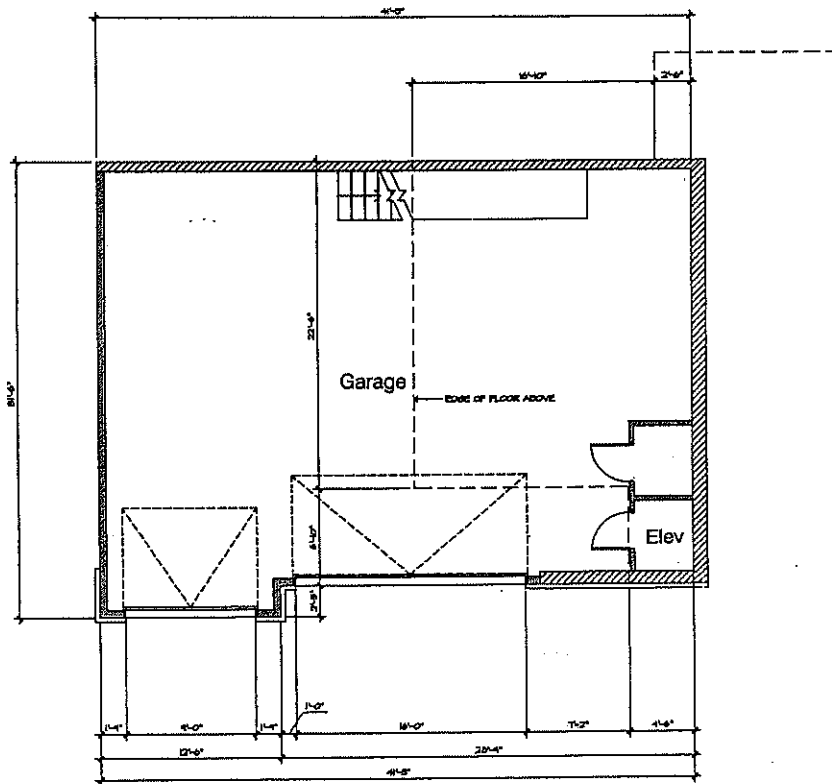
Detached patio covers, decks, porches, unless post other similar accessory structures located 20 feet or more from a multiple structure, and of wood construction, shall utilize timber not less than 2 inches nominal in width and depth. Building code 8403.9.

Focal Point Drafting Inc.
Design Services
4323 West Ave. 1-5
Livermore Ca. 94554
Voice (661) 718-3740

Von Buck Residence
27801 Blythdale Road

OWNER:
Clifton Von Buck
43856 Ziair Street West
Livermore Ca 94556

Site Plan
PROJECT: 05-001
DRAWN: RL
DATE: 4-05
SHEET: 1



FLOOR PLAN GARAGE LEVEL

SCALE: 1/4"=1'-0"



**Focal Point
Drafting Inc.**

Design Services
4323 West Ave. #-5
Lancaster Ca. 93536
Voice (661) 718-3740

**Von Buck Residence
27801 Blythdale Road**

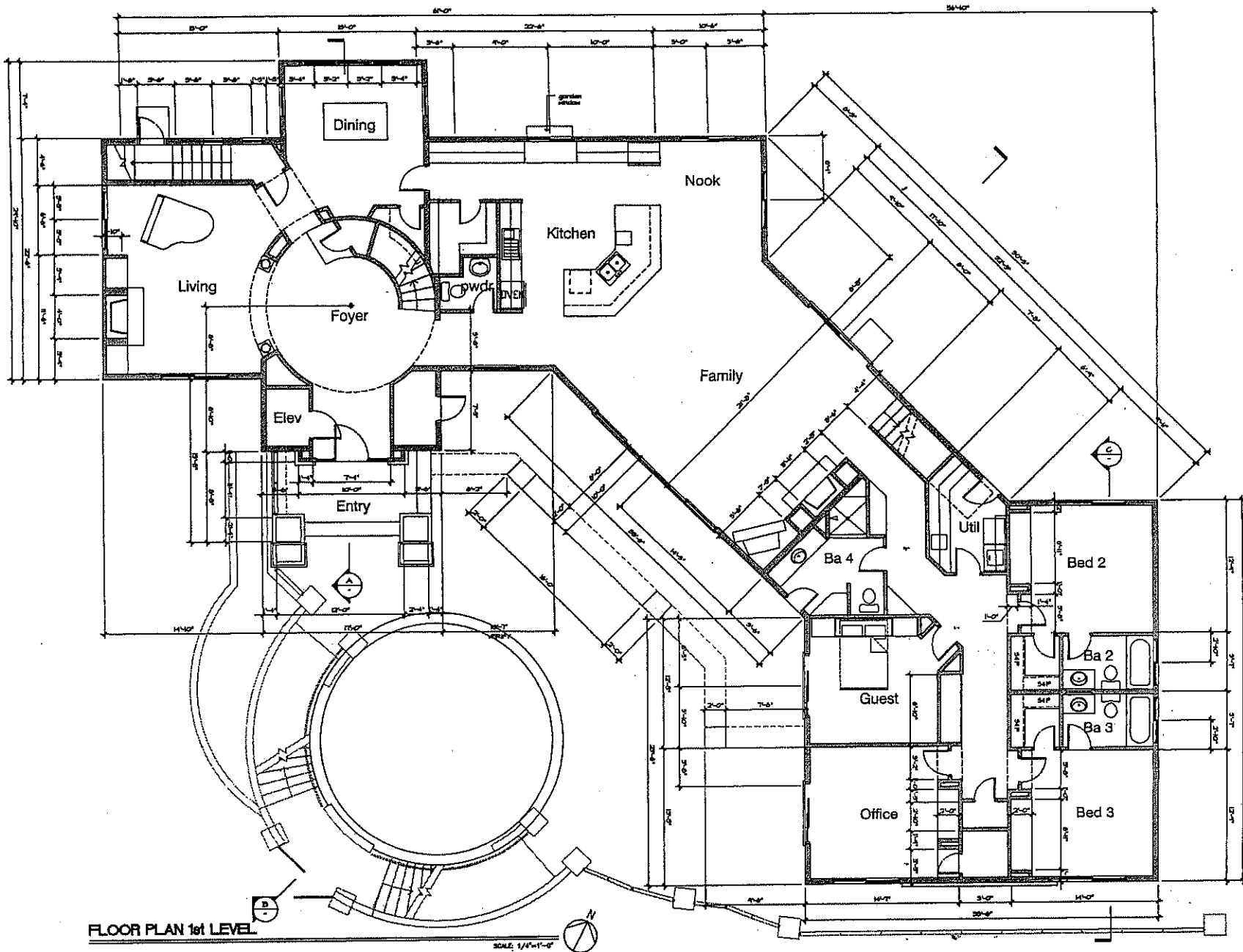
OWNER:
Clifton Von Buck
43956 2nd Street West
Lancaster Ca 93536

Floor Plan
Garage

PROJECT: 05-001
DRAWN: R.T.
DATE: 8-22-00
SHEET

4

OF



FLOOR PLAN 1st LEVEL

SCALE: 1/4"=1'-0"

Focal Point Drafting Inc.
 Design Services
 4333 Wen Ave. J-5
 Lancaster Ca. 93534
 Voice (861) 718-3749

Von Buck Residence
 27801 Blythdale Road

OWNER:
 Clifton Von Buck
 43856 21st Street West
 Lancaster Ca 93536

Floor Plan
 1st Level

PROJECT: 05-001

DRAWING: RLT

DATE: 8-12-05

SHEET:

4.1

0'

Focal Point
Drafting Inc.

Design Services

4533 West Ave., J-8
Lancaster Ca. 93536
Voice (661) 718-3740

Von Buck Residence
27801 Blythdale Road

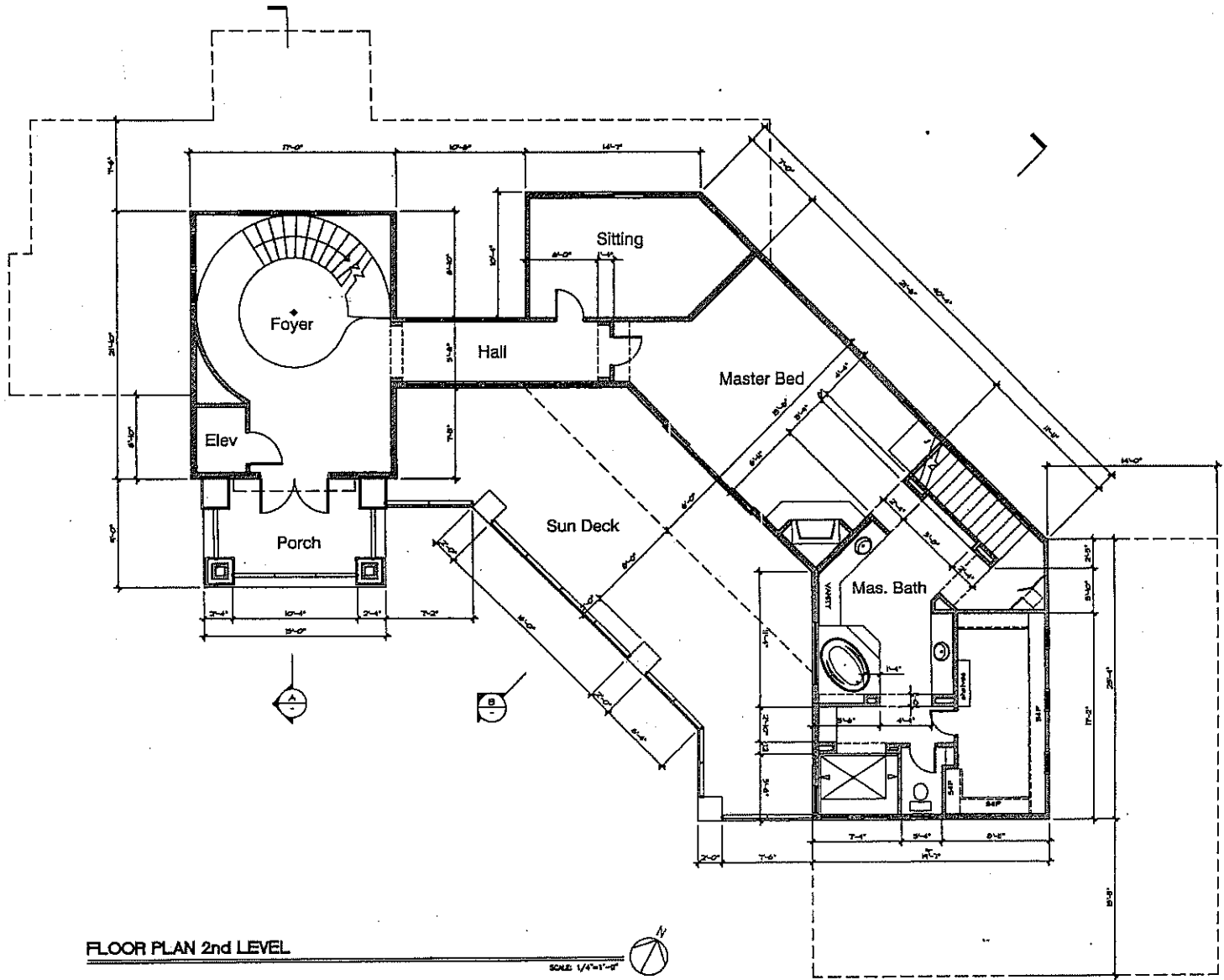
OWNER:
Clifton Von Buck
43956 21st Street West
Lancaster Ca 93536

Floor Plan
2nd Level

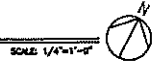
PROJECT: 03-001
DRAWN: M.T.
DATE: 8-22-00
SHEET

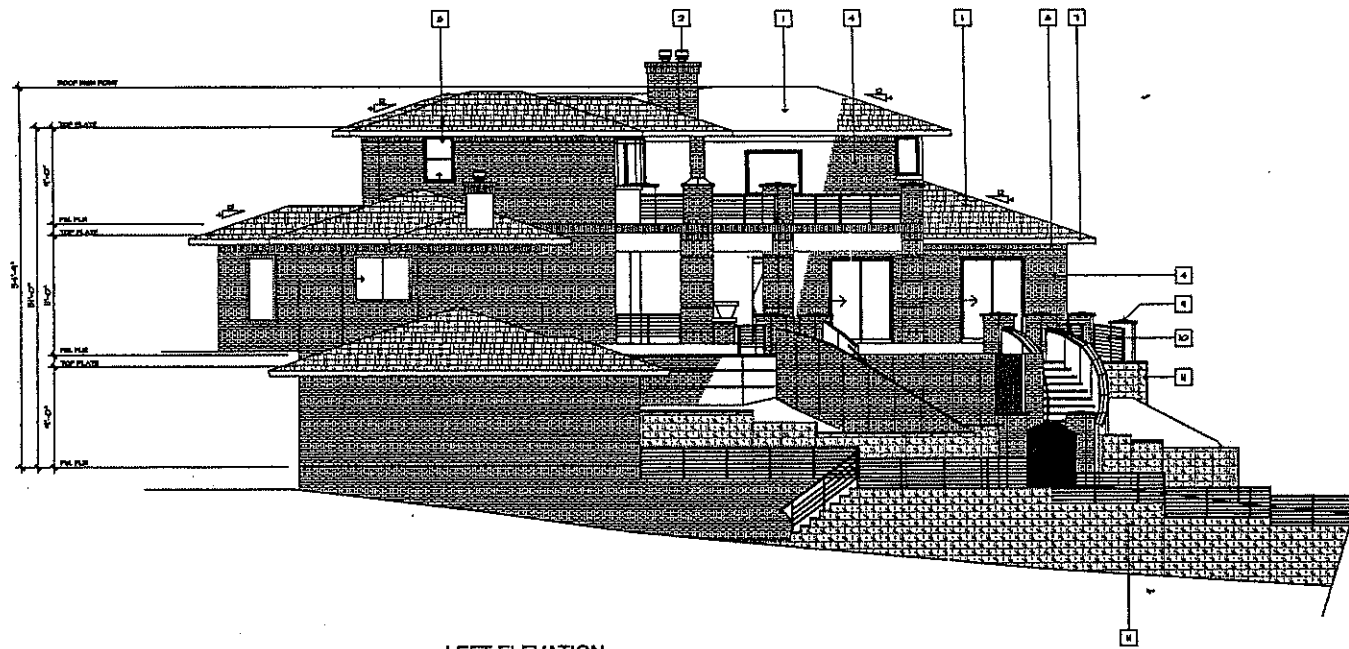
4.2

OF



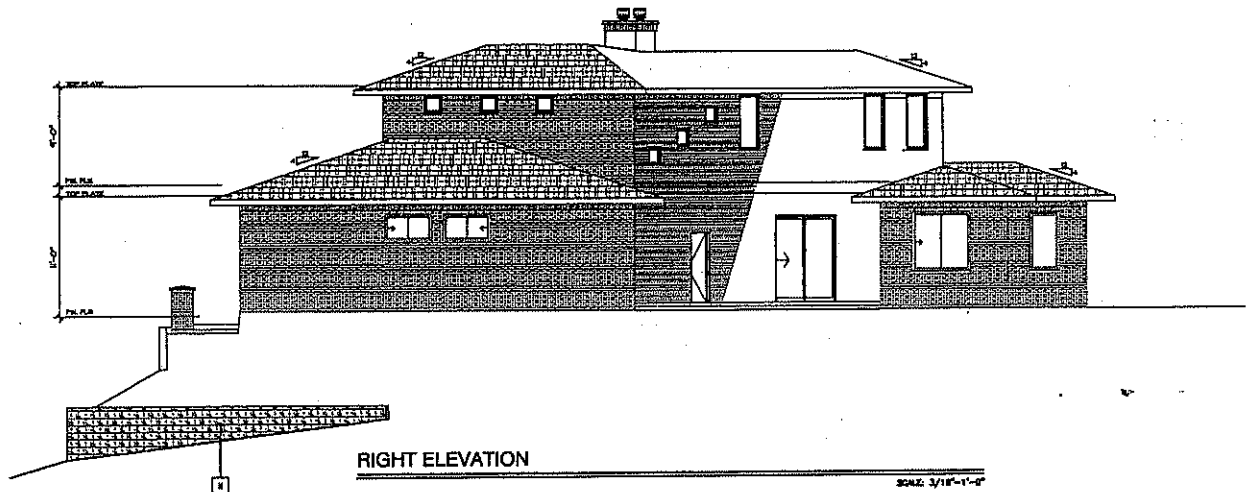
FLOOR PLAN 2nd LEVEL





LEFT ELEVATION

SCALE: 3/16"=1'-0"



RIGHT ELEVATION

SCALE: 3/16"=1'-0"

Key Notes

- 1 GIBBERN TILE ROOF HONER LIFE TILE STANDARD HEIGHT SHADE
- 2 TERMINATION CAP - SPARK ARRESTER
- 3 GIBBERN CAP FLASHING PAINT TO MATCH ADJACENT SURFACE
- 4 MASONRY VENEER "FACING CLAY" PREMIUM COLOR, MEDIUM BRICK SPOT
- 5 2" WIDE BAND MASONRY VENEER "FACING CLAY" ACCENT COLOR, PRESSED
- 6 8" WIDE BAND MASONRY VENEER "FACING CLAY" ACCENT COLOR, PRESSED
- 7 3/8" WOOD PANGOLA W/ STUCCO EDGES
- 8 TAN COLOR VINYL FRAME WINDOW W/ DUAL GLAZING TYP.
- 9 CLAY CAP
- 10 HORIZONTAL IRON RAIL W/ HORIZONTAL PICKETS @ 8" O.C.
- 11 3" MAX HIGH SPLIT FACED CHU RETAINING WALL
- 12 STUCCO ARCH & DECK AREA COLOR TO MATCH ACCENT BRICK
- 13 BRICK SILL IN ACCENT COLOR
- 14 HORIZONTAL IRON GATE

Focal Point
Drafting Inc.

Design Services
4533 West Ave. J-5
Lancaster Ca. 93538
Yuba (661) 714-3740

Von Buck Residence
27801 Blythdale Road

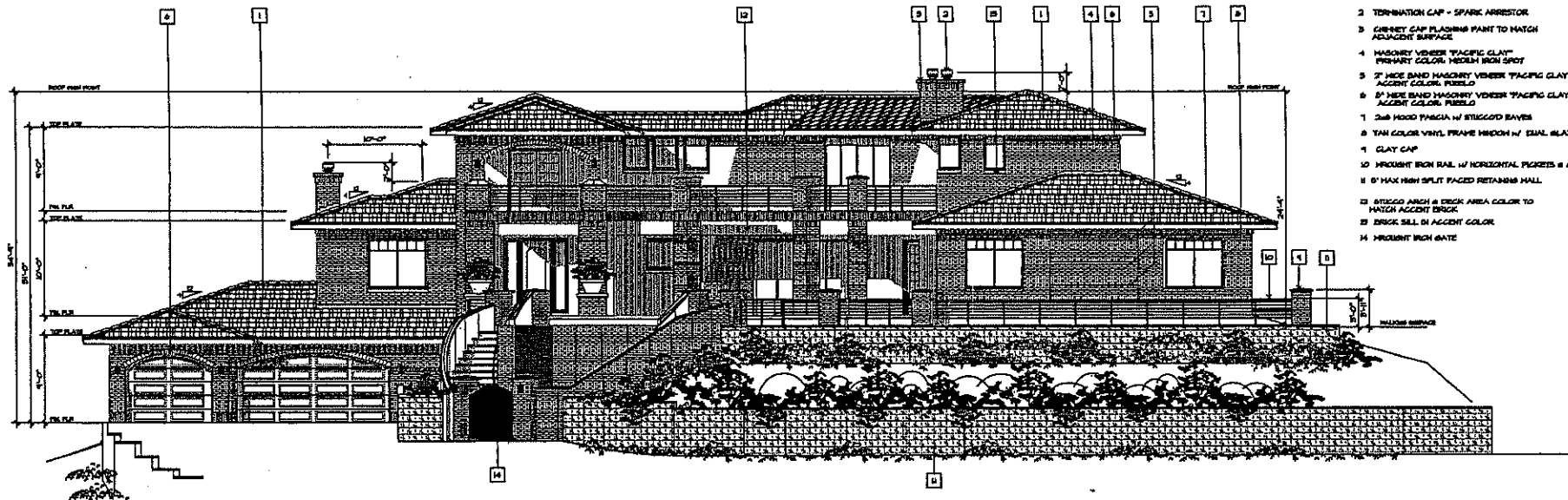
OWNER:
Clifton Von Buck
43856 21st Street West
Lancaster Ca 93536

Exterior
Elevations

PROJECT: 05-001
DRAWN: RLT
DATE: 3-12-06
SHEET

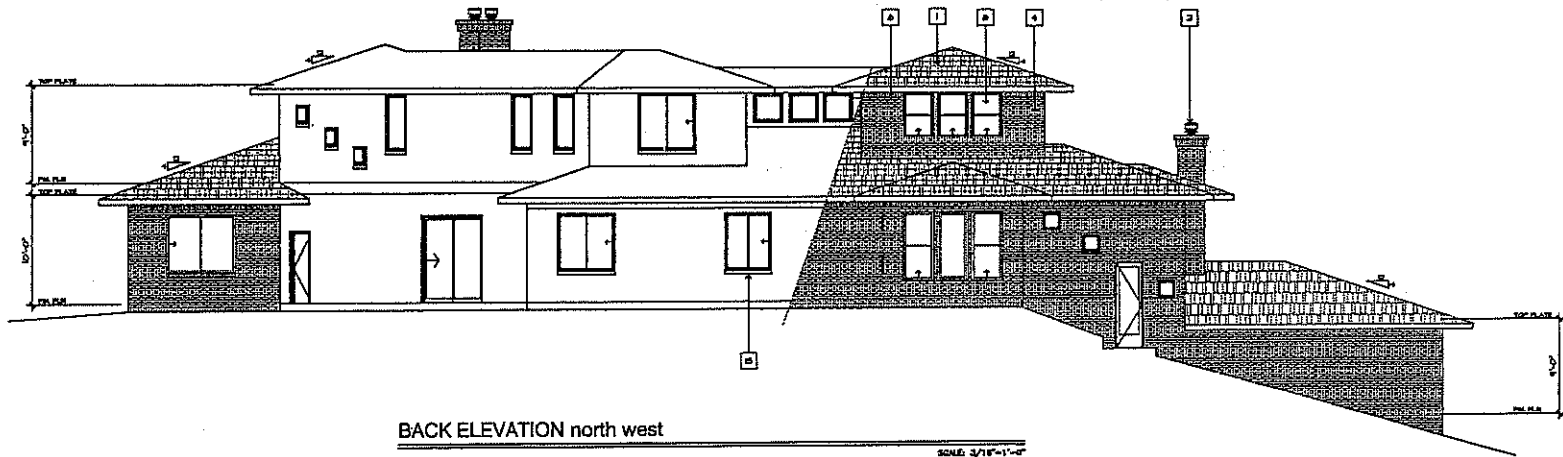
5

OF



FRONT ELEVATION - south west

SCALE 3/16"=1'-0"



BACK ELEVATION north west

SCALE 3/16"=1'-0"

Key Notes

- 1 CEMENT TILE ROOF HONER LIFE TILE STANDARD WHITE BRANG
- 2 TERMINATION CAP - SPARK ARRESTOR
- 3 GIBBERY CAP FLASHING PAINT TO MATCH ADJACENT SURFACE
- 4 HAGGERTY VENEER "FACING CLAY" ACCENT COLOR, PUEBLO
- 5 3" WIDE BAND HAGGERTY VENEER "FACING CLAY" ACCENT COLOR, PUEBLO
- 6 2" WIDE BAND HAGGERTY VENEER "FACING CLAY" ACCENT COLOR, PUEBLO
- 7 2x8 WOOD PILING w/ STUCCO BAYES
- 8 TAN COLOR VINYL FRAME WINDOW w/ EQUAL GLAZING TYP.
- 9 CLAY CAP
- 10 HORIZONTAL IRON RAIL w/ HORIZONTAL PICKETS 3" x 4" O.G.
- 11 6" MAX HIGH SPLIT FACED RETAINING WALL
- 12 STUCCO ARCH & DECK AREA COLOR TO MATCH ADJACENT BRICK
- 13 BRICK SILL ON ACCENT COLOR
- 14 HORIZONTAL IRON GATE

Focal Point Drafting Inc.

Design Services

4333 West Ave., J-5
Lancaster, Ca. 93536
Voice (801) 718-2740

Von Buck Residence
27801 Blythdale Road

OWNER:
Clifton Von Buck
43956 21st Street West
Lancaster, Ca 93536

Exterior Elevations

PROJECT: 05-001

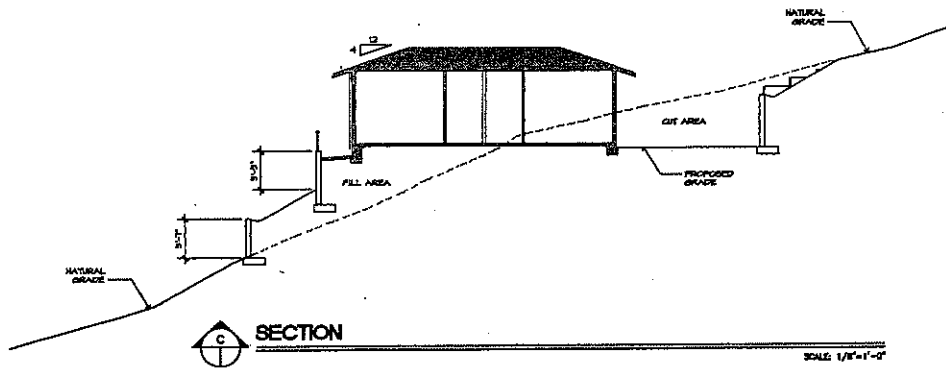
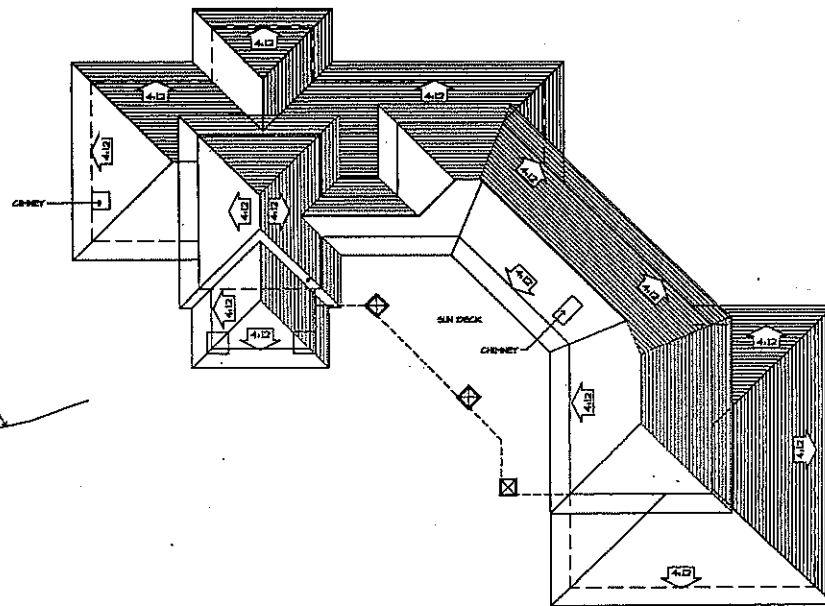
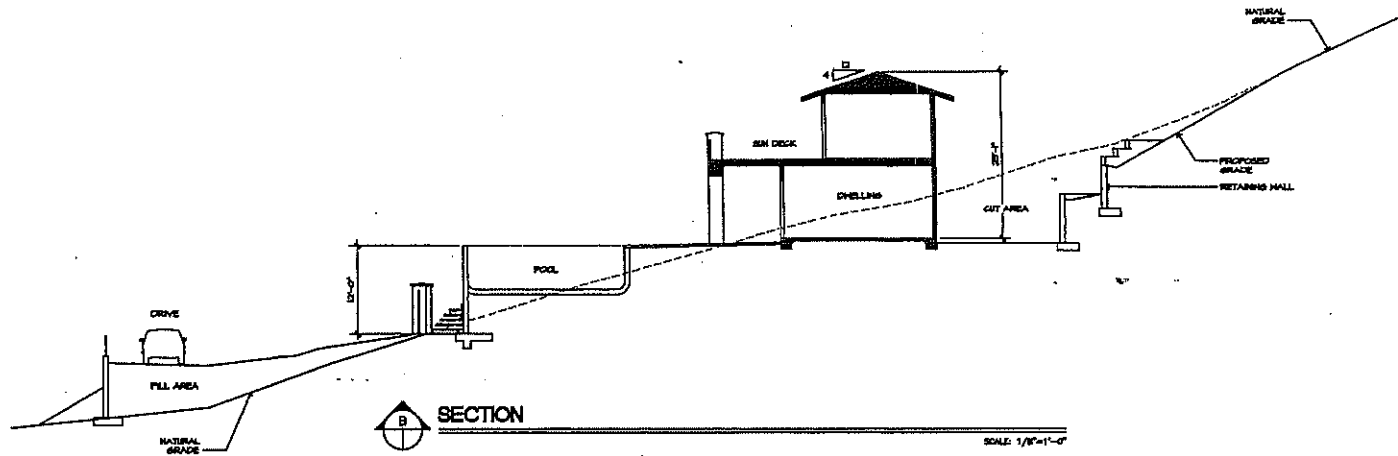
DRAWN: R.T.

DATE: 3-12-05

SHEET

5.1

OF



Focal Point
Drafting Inc.
Design Services
4533 West Ave. J-5
Livermore Ca. 94550
Yolter (415) 715-3140

Von Buck Residence
27801 Blythdale Road

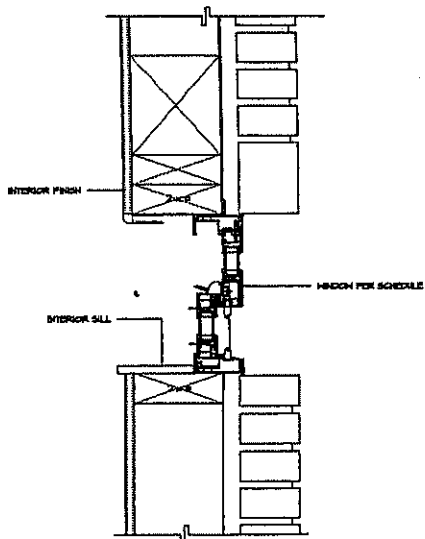
OWNER:
Clifton Von Buck
439556 2nd Street West
Lancaster Ca. 93536

Roof Plan

PROJECT: 05-001
DRAWN: B.T.
DATE: 3-12-06
SHEET

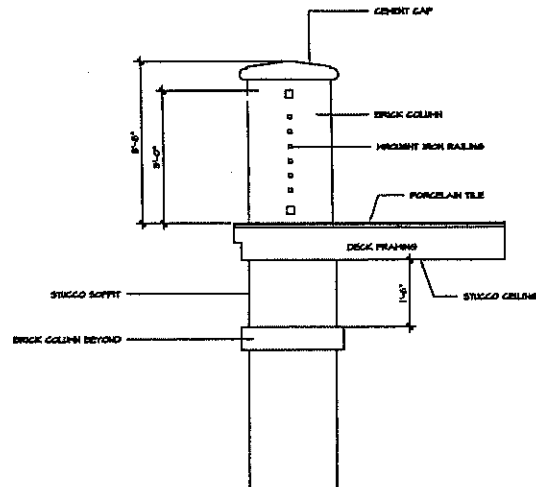
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OF



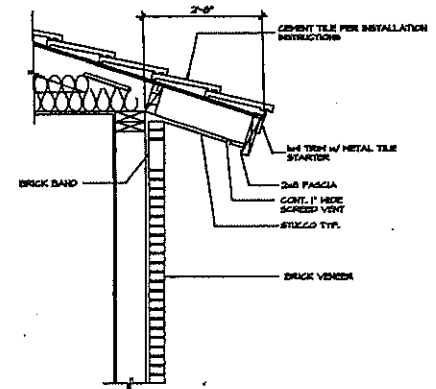
1 WINDOW HEAD-SILL

SCALE 3/4"=1'-0"



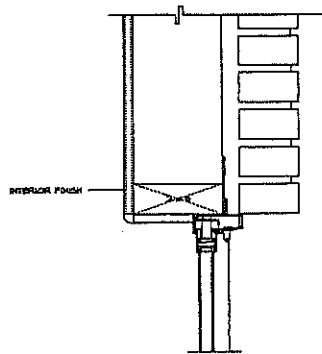
2 RAILING

SCALE NONE



3 ROOF EAVE

SCALE 3/4"=1'-0"



4 WINDOW JAMB

SCALE 3/4"=1'-0"

Focal Point
Drafting Inc.

Design Services

4323 West Ave. J-5
Lancaster, Ca. 93546
Voice (661) 718-3740

Von Buck Residence
27801 Blythdale Road

OWNER:
Clifton Von Buck
48866 Ziff Street West
Lancaster Ca 93536

Details

PROJECT: 03-001

DRAWN: R.Y.

DATE: 01-00

SHEET

D1

OF

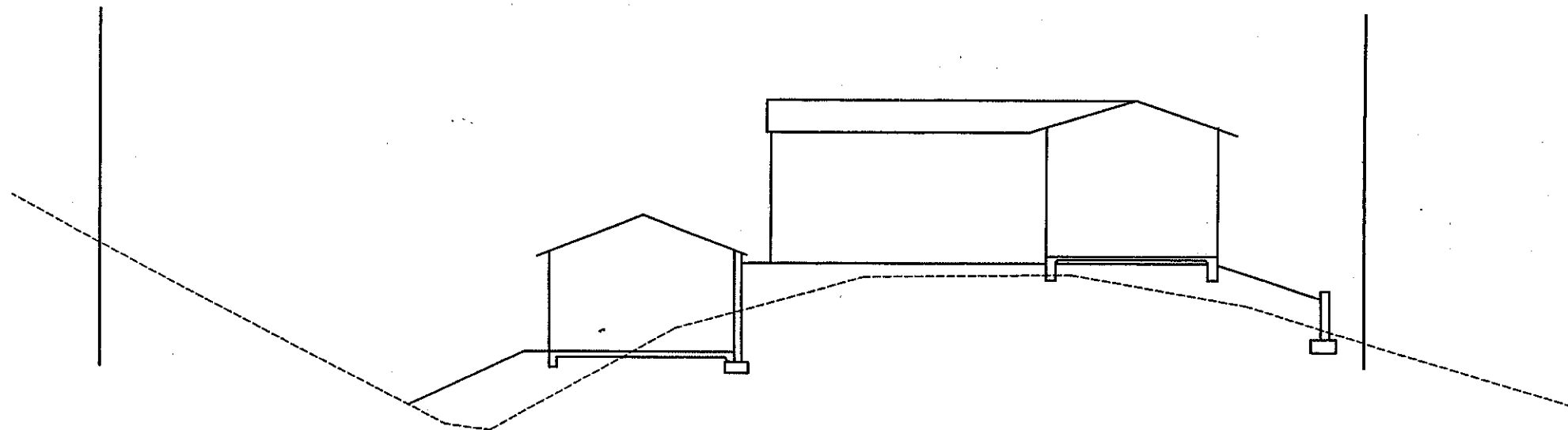


**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-017 AND OAK TREE
PERMIT – CASE NO. 03-OTP-016**

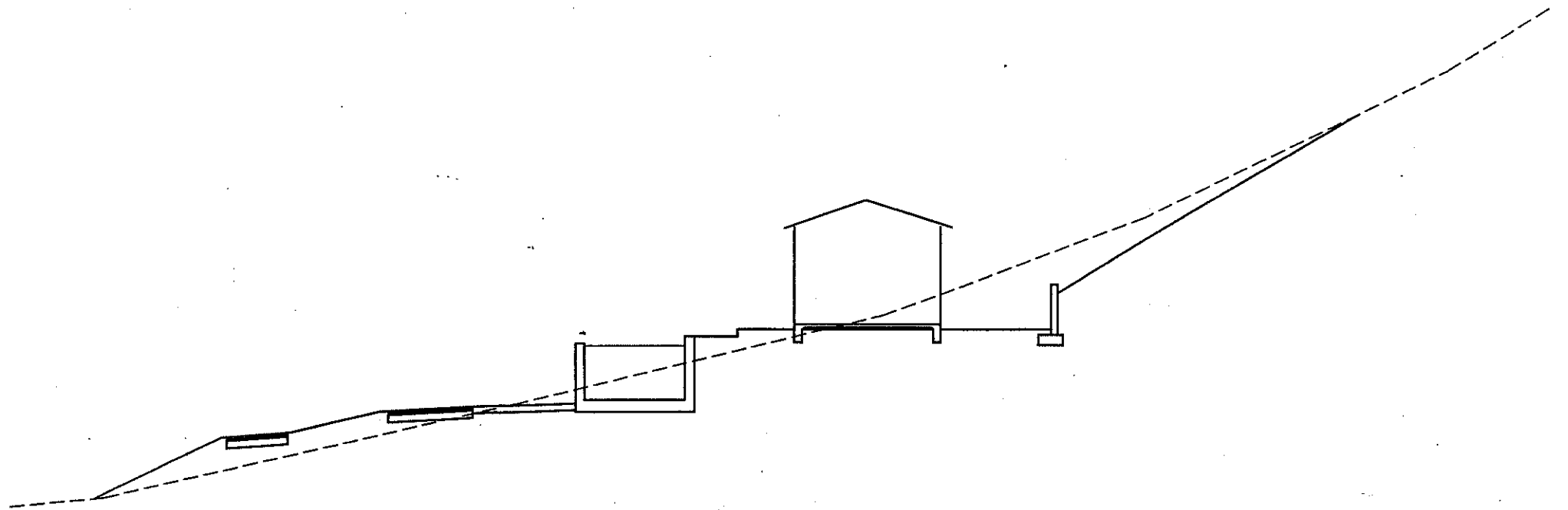
**FOR THE PROPERTY LOCATED AT
27801 BLYTHEDALE ROAD, AGOURA HILLS**

EXHIBIT C

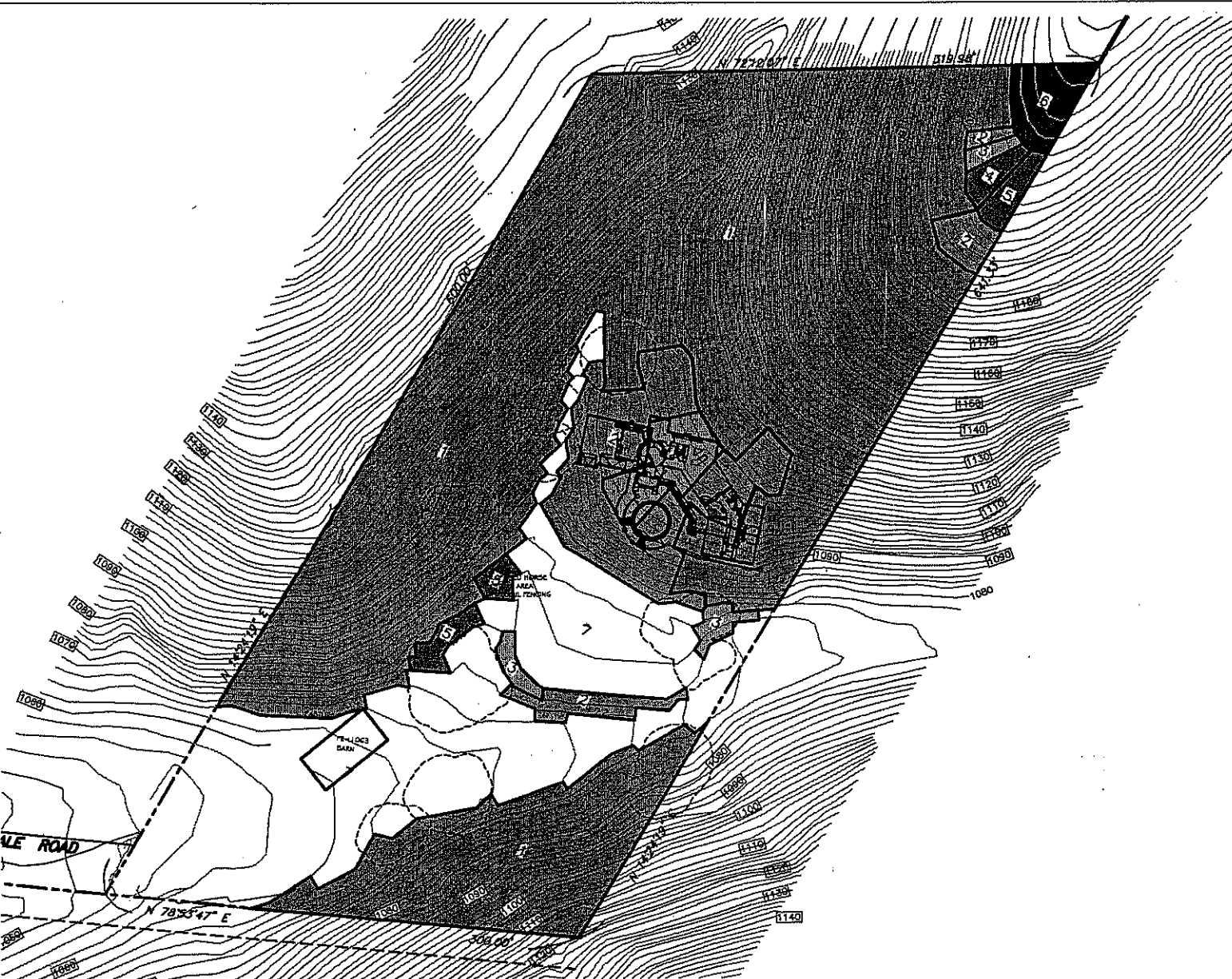
**REDUCED COPIES OF PLANS
(GRADING AND SLOPE ANALYSIS)**



SECTION B-B



SECTION A-A



AVERAGE % OF SLOPE
 = $\frac{0.00229 \text{ IL}}{A}$
 = $\frac{0.00229 \times 2 \times 32,409}{3.86 \text{ AC}}$
 = 38.45%

SLOPE ANALYSIS

SLOPE CATEGORY	%	AREA	%
1	35% AND OVER	106,094 SF	63.1%
2	30 - 35%	13,290 SF	7.9%
3	25 - 30%	4,144 SF	2.5%
4	20 - 25%	894 SF	0.4%
5	15 - 20%	2,182 SF	1.3%
6	10 - 15%	2,052 SF	1.2%
7	10% AND UNDER	39,592 SF	23.6%
TOTAL		168,048 SF	100%

AR 27, 2005

"These plans have been reviewed and found to be in general conformity with our recommendations."
 GEOLOGIST/SOILS ENGINEER

DATE	REVISION	BY	CHKD

DATE _____
 REVISION _____
 DATE _____
 DATE _____
 DATE _____
 DATE _____
 DATE _____
 DATE _____
 DATE _____
 DATE _____
 DATE _____

APPROVED:
 CITY OF ANDREA HILLS
 PLANNING DEPARTMENT

PROJECT PLANNER _____ DATE _____

REVIEWED FOR POINT RESUBMITTAL BY:
 CITY OF ANDREA HILLS
 BUILDING AND SAFETY

CITY ENGINEER _____ DATE _____

SLOPE ANALYSIS MAP
 VAN BUCK RESIDENCE

CITY OF ANDREA HILLS DRAWING NO. _____ SHEET OF _____

GENERAL NOTES

- (1) ANY CHANGES OR DEVIATIONS IN APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL. [SECTION 70014.]
- (2) ALL GRADING AND CONSTRUCTION SHALL CONFORM TO CHAPTERS 7 AND 71 OF THE LOS ANGELES BUILDING CODE UNLESS SPECIFICALLY NOTED ON THESE PLANS. [70013.1]
- (3) APPROVAL OF THESE PLANS REFLECTS SOLELY THE POWER OF PLANS IN ACCORDANCE WITH THE LOS ANGELES COUNTY BUILDING CODE AND DO NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE LAND ON WHICH THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DEVELOPER SHALL BE SOLELY A PRIVATE PARTY NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
- (4) ANY EROSION OF MATERIAL FROM THE SITE TO ADJACENT PROPERTY REQUIRES AN APPROVED GRADING PLAN.
- (5) ALL GRADED SITES MUST HAVE DAMAGE DENIAL, REMEDIAL, AND OTHER DAMAGE DEVICES PRIOR TO APPROVAL OF ROUGH GRADING. [SECTION 70013.5 OF THE BUILDING CODE.]
- (6) A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- (7) THE FIELD ENGINEER MUST SET DAMAGE DENIAL AT ALL DAMAGE DENIAL.
- (8) ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTRACTOR SUPERVISION BY THE FIELD ENGINEER. WEEKLY STATUS REPORTS SHALL BE SUBMITTED BY THE FIELD ENGINEER TO THE LOCAL BUILDING AND SAFETY OFFICE.
- (9) FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED. [SECTION 7001 OF THE BUILDING CODE.]
- (10) COMPLY WITH CHAPTER 16.04 OF THE PLANNING AND ZONING CODE BY SHOWING LOCATIONS AND SIZES OF ALL GAS TRACES ON THE GRADING PLAN AND OBTAINING THE APPROPRIATE PERMITS.
- (11) THE REMAINS SHALL BE SHOWN ON THE PLANS AND NOT CHECKED BY THE GRADING SECTION. SUBMIT A BUILDING PLAN APPLICATION AND PLAN CHECK FEE TO THE BUILDING AND SAFETY DISTRICT OFFICE.
- (12) SEPARATE PLANS FOR TEMPORARY DRAINAGE AND STORMWATER POLLUTION CONTROL MEASURES TO BE USED DURING THE CONSTRUCTION PERIOD MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING AND SAFETY DISTRICT OFFICE PRIOR TO THE START OF CONSTRUCTION. THESE PLANS MUST BE REVISED BY 10% OF THE FOLLOWING YEAR AND BEFORE ANY ANTICIPATED RAIN.
- (13) EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORMWATER FROM THE PROJECT SITE AT ALL TIMES.
- (14) PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DAMAGE AT ALL TIMES.
- (15) A PREVENTIVE PROGRAM TO PREVENT THE SLOPES FROM INTERFERING DAMAGE FROM EROSIONS REQUIRES IS REQUIRED. CARE TO INSURE SLOPES REMAIN FOR EVIDENCE OF BURNING ROADS AND AT FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTENSIVE PROGRAM FOR THEIR REMOVAL. [SECTION 7010.5 OF THE BUILDING CODE.]
- (16) ROOF DRAINAGE MUST BE CHECKED FROM GRADED SLOPES. [SECTION 7010.5 OF THE BUILDING CODE.]
- (17) ALL CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT TO BE DONE PER PRIVATE DRAIN INC.
- (18) ALL STORMWATER OUTLETS TO BE SUBMITTED FOR LANE AND ELEVATION. THIS CAN BE SHOWN ON AN AS-BUILT GRADING PLAN.

FILL NOTES

- (1) FILL IN EXCESS OF 2' FROM FINISH GRADE SHALL BE MONITORED TO SEE OVER OPTIMUM MOISTURE AND COMPACTED THROUGHOUT THEN FILL WITH A MINIMUM OF 2% OF MAXIMUM DRY DENSITY AS DETERMINED BY A TYPICAL SOIL COMPACTION TEST (D155-01, MODIFIED) WHEN APPLICABLE. WHEN NOT APPLICABLE A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. [SECTION 7011.1 OF THE BUILDING CODE.]
- (2) AND COMPACTED TO MEET RELATIVE COMPACTION.
- (3) FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. [SECTION 7011.1 OF THE BUILDING CODE.] HOWEVER, NOT LESS THAN 10% OF THE RELATIVE DENSITY TEST, UNLESS OTHERWISE NOTED, SHALL BE DETERMINED BY THE SAND CONE METHOD.
- (4) SUPPORTIVE TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - (1) ONE TEST FOR EACH TWO FOOT VERTICAL LIFT.
 - (2) ONE TEST FOR EACH 1000 CUBIC YARDS OF MATERIAL PLACED.
 - (3) ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
 - (4) ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR FOOT VERTICAL LIFT OR PORTION THEREOF.
- (5) SUPPORTIVE TESTS OF FILL SOILS SHALL BE MADE TO VERIFY COMPLIANCE OF THE SOIL PROPERTIES WITH THE DESIGN REQUIREMENTS INCLUDING SOIL TYPES AND SHEAR STRENGTHS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - (1) FINISH AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPICAL OF SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES DEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
 - (2) SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SOIL STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE RE-EVALUATED USING THE ACTUAL SHEAR TEST VALUES OF THE FILL MATERIAL. THIS IS IN PLACE.
 - (3) FILL SOILS SHALL BE FREE OF DESTRUCTIVE MATERIALS.
 - (4) THE RESULTS OF SUCH TESTS SHALL BE INCLUDED IN THE REPORTS REQUIRED BY SECTION 7011.6 OF THE BUILDING CODE.
- (6) FILL SHALL NOT BE PLACED UNDER STRIPPING OF VEGETATION, REMOVAL OF UNDESIRABLE SOILS, AND INSTALLATION OF SUBGRADE (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "REMOVAL TEST METHOD FOR MONITORING FILL DRAINAGE MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-97 ON ANY SUSPECT MATERIAL. ALL MATERIALS THAT HAVE A TEST VALUE OF USE OR UNDER SHALL BE REJECTED AS UNDESIRABLE FOR SUPPORT OF OR BEING STRUCTURAL FILL.

FILL NOTES CONTINUED:

- (7) ROCK OR SIMILAR MATERIAL, GREATER THAN 12 INCHES (12") IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS REQUIREMENTS FOR ROCK PLACEMENT HAVE BEEN MET BY THE GEOTECHNICAL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
- (8) CONTINUOUS INSPECTION BY THE GEOTECHNICAL ENGINEER OR HIS RESPONSIBLE REPRESENTATIVE SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILL HAS A DEPTH GREATER THAN 30 FEET (30') OR SLOPE SURFACE STEEPER THAN 2:1. [7011.7]
- (9) CONTINUOUS INSPECTION BY THE GEOTECHNICAL ENGINEER OR HIS RESPONSIBLE REPRESENTATIVE SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILL HAS A DEPTH GREATER THAN 30 FEET (30') OR SLOPE SURFACE STEEPER THAN 2:1. [7011.7]
- (10) FILL SLOPES IN EXCESS OF 2:1 SLOPES SHALL NOT BE CONTROLLED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FILL TO ALLOW CONSTRUCTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FILL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DETERMINED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE NATURE OF SOILS, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. [SECTION 7011.8 OF THE BUILDING CODE.]
- (11) THE GEOTECHNICAL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE REPAIRATION OF THE SLOPES, DURING AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.
- (12) THE GRADING CONTRACTOR SHALL SUBMIT THE EROSION CONTROL BY SECTION 7021 OF THE BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.

INSPECTION NOTES

REGULAR GRADING REQUIREMENTS

- (1) THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL, AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK: [SECTION 7003 OF THE BUILDING CODE.]
 - (1) INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNIMPROVED FILL HAS BEEN EXPOSED, BEFORE OR OTHERWISE PREPARED FOR FILL. AN FILL SHALL HAVE BEEN PLACED PRIOR TO THIS INSPECTION.
 - (2) REPAIR - WHEN APPROPRIATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED, DRAINAGE TERRACES, CHANNELS AND BENCH MARKS HAVE BEEN LOCATED, THE SLOPES, AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN REVIEWED.
 - (3) FINAL - WHEN GRADING HAS BEEN COMPLETED, ALL DAMAGE DENIAL, REVEALED SLOPE PLANNING, EROSIONAL, PROTECTION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, INCLUDING STORMWATER, AND REPORTS HAVE BEEN SUBMITTED.

INSPECTION GRADING REQUIREMENTS

IN ADDITION TO THE INSPECTION REQUIRED OF THE BUILDING OFFICIAL FOR REGULAR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTIONS 7003 AND 7021 OF THE BUILDING CODE.

GEOLOGY AND SOILS NOTES

- (1) ALL RECOMMENDATIONS INCLUDED IN THE CONSULTANT'S GEOTECHNICAL REPORTS MUST BE COMPLIED WITH AND ARE A PART OF THE GRADING PLANS AND SPECIFICATIONS. SOILS REPORT PREPARED BY GEOTECH & ASSOC., INC. DATED JULY 17, 2014, IS INC. 14-111 AND ALL ADDENDUMS THEREON ARE A PART OF THIS PLAN.
- (2) GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC GEOLOGIC INSPECTION WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOTECHNICAL CONSULTANT AND SOILS SECTION.
- (3) THE CONSULTING GEOLOGIST AND GEOTECHNICAL ENGINEER MUST STATE IN A FINAL REPORT PRIOR TO THE APPROVAL OF ROUGH GRADING BY THE MATERIALS ENGINEERING DIVISION THAT GEOLOGIC HAZARDS HAVE BEEN RECOGNIZED, MITIGATED OR DEMONSTRATED AS TECHNICALLY FEASIBLE. THE FINAL REPORT MUST BE SUBMITTED TO THE MATERIALS ENGINEERING DIVISION FOR THEIR REVIEW AND APPROVAL, AND MUST INCLUDE AN AS-BUILT GEOTECHNICAL MAP.
- (4) FOUNDATION WALL AND POLE EXCAVATIONS, IF APPLICABLE, MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND GEOTECHNICAL ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.
- (5) BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVERCONCRETED A MINIMUM OF THREE FEET (3') BELOW THE PROPOSED BOTTOM OF FOOTING. SEE PLAN FOR ACTUAL DEPTH OF OVERCONCRETE IN TRANSITION AREAS.
- (6) CHEMICAL TEST RESULTS AND VIBRATION MONITORINGS THAT ADDRESS THE PRESENCE OF CHEMICAL CONTAMINANTS TO CONSTRUCTION MATERIAL AND UTILITY LINES SHALL BE PROVIDED AT THE ROUGH GRADING STAGE.

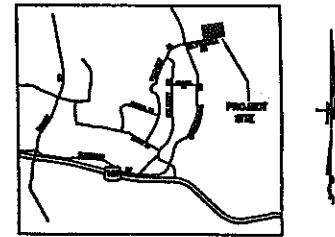
PLANNING AND EROSION NOTES

- (1) THE PLANS OF A REMOVED FLOODING SYSTEM FOR FULL COVERAGE OF ALL PORTIONS OF THE SLOPES SHALL BE SUBMITTED AND APPROVED PRIOR TO ROUGH GRADING APPROVAL BY THE COUNTY ENGINEER. [SECTION 7011.5 OF THE BUILDING CODE.]
- (2) ALL CUT SLOPES OVER THE FEET (3') AND FILL SLOPES OVER THREE FEET (3') SHALL BE PLANTED WITH AN APPROVED GRASS COVER AND PROVIDED WITH AN EROSION CONTROL SYSTEM AS SOON AS FEASIBLE AFTER ROUGH GRADING. [SECTION 7011.5 OF THE BUILDING CODE.]
- (3) PLANNING AND EROSION PLANS FOR SLOPES OTHER THAN THOSE SET OUT IN THIS REPORT MUST BE PREPARED AND SIGNED BY A LICENSED LANDSCAPE ARCHITECT OR REGISTERED CIVIL ENGINEER.
- (4) PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.

REWORK MARK
 F.F. OF EXISTING BLDG. TO THE
 NORTH AT EXIST. HEIGHT AND
 ELEVATION IS 884.20'

STORMWATER POLLUTION NOTES

- (1) EXPOSED SEDIMENTS AND OTHER POLLUTANTS MUST BE REDUCED QUICKLY AND MAY NOT BE TRANSPORTED FROM THE SITE VIA WINDBLOWN DUSTS, AREA DRAINAGE, NATURAL DRAINAGE CHANNELS OR RIVERS.
- (2) SEDIMENTATION OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PREVENTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
- (3) PILES, CELL, EXHAUSTED AND OTHER TOILET MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LABELS AND ARE NOT TO BE COMBUSTED, THE SOIL AND SURFACE DUSTS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND REPORTED TO THE PUBLIC WORKS. CONTAINERS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- (4) EXCESS ON WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC DRAIN OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO REMOVE CONCRETE WASTE OTHER THAN THAT CAN BE DISPOSED OF AS SOLID WASTE.
- (5) TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A CONTAINED RECEPTACLE TO PREVENT CONTAMINATION OF WATERSHED AND OUTLETS BY WIND.
- (6) SEDIMENT AND OTHER MATERIALS MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADS MUST BE STABILIZED BY AS TO TRAP SEDIMENT FROM BEING DEPOSITED IN THE PUBLIC DRAIN. ACCIDENTAL DEPOSITIONS MUST BE SHEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- (7) ANY SLOPES WITH DISTURBED SOILS OR BANKS OF VEGETATION MUST BE STABILIZED SO AS TO PREVENT EROSION BY WIND AND WATER.



VICINITY MAP
 1"=80'

NOTICE TO CONTRACTOR

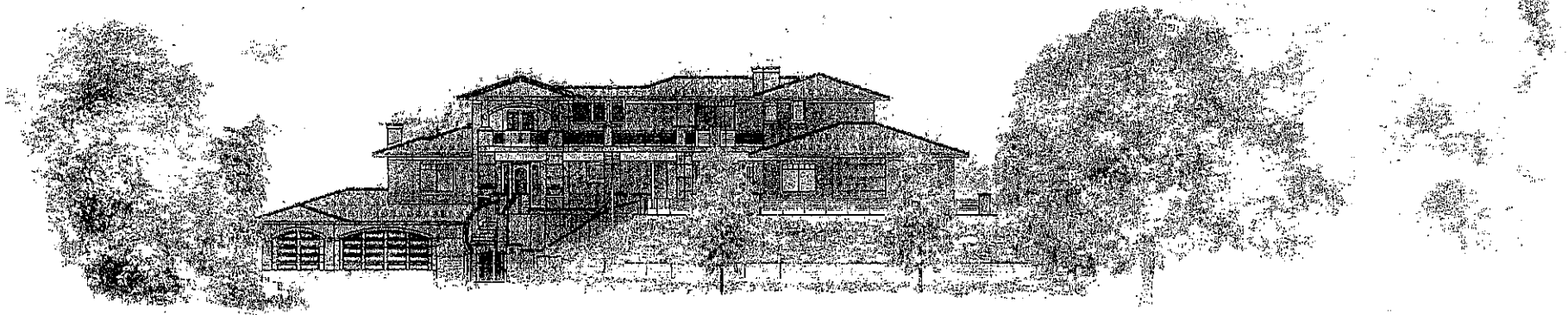
- (1) THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF THE ENGINEER'S KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS.
- (2) THE CONTRACTOR IS REQUIRED TO TAKE THE NECESSARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- (3) CONTRACTORS ARE CAUTIONED TO OBSERVE THE FOLLOWING RULES IN USING THE ABOVE POWER GIVEN BY THIS OFFICE FOR PUTTING IN CURBS, WALKS, PAVES, CHANNELS AND ALL OTHER WORK. THESE CONSTRUCTION POINTS THAT ARE SHOWN TO BE ON THE SAME SIDE OF SLOPE MUST BE LINED IN ORDER THAT ANY INTERFERENCE OUT OF A PROPER STRAIGHT GRADE MAY BE DETECTED, AND IN CASE ANY SUCH INTERFERENCE IS FOUND THE SAME MUST BE REPORTED. OTHERWISE THE OFFICE WILL NOT BE RESPONSIBLE FOR ANY DAMAGE IN LINES AND DRAINAGE.

PROPOSED STARTING DATE	ESTIMATED COMPLETION DATE		
EXTERIOR GRADING (EXCLUDING OVERCONCRETING)	OUT	CUBIC YARDS	CUBIC YARDS
	FILL	CUBIC YARDS	CUBIC YARDS
OVERCONCRETING AND RECONSTRUCTION	UNDER SLABS, L & M	CUBIC YARDS	
	PARKING AREA	CUBIC YARDS	
	ALLIUMAL DEPOSIT	0	CUBIC YARDS

ADDITIONAL NOTES

- 1 DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO THE SATISFACTION OF THE CITY ENGINEER DURING THE GRADING PHASE OF THE PROJECT IN ORDER TO MINIMIZE THE CONVERSION OF DUST.
- 2 ALL EQUIPMENT USED DURING CONSTRUCTION SHALL BE MAINTAINED PROPERLY AND PROVIDED WITH EXHAUST MUFFLERS AND DRAINING EXHAUSTION SYSTEMS. THESE MUFFLERS AND CONCRETE ARE PART OF THE ORIGINAL MANUFACTURER'S DESIGN.
- 3 GRADING AND CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7 A.M. AND 7 P.M. ON WEEKDAYS ONLY. CONSTRUCTION ACTIVITIES, INCLUDING GRADING, SHALL BE PERMITTED BETWEEN THE HOURS OF 8 A.M. AND 5 P.M. ON SATURDAYS. NO CONSTRUCTION ACTIVITIES SHALL BE PERMITTED ON SUNDAYS OR HOLIDAYS.
- 4 SOUTH COUNTY AIR QUALITY MANAGEMENT DISTRICT RULE 402 SHALL BE APPLIED TO ADDRESS THE CLEAN-UP OF CONSTRUCTION RELATED DIRT OR APPROACH EQUIVALENT TO THE CONSTRUCTION SITE.
- 5 IN THE EVENT THAT HAZARDOUS MATERIALS OR WASTES ARE ENCOUNTERED DURING THE CONSTRUCTION OF THIS PROJECT, ALL WORK SHALL BE IMMEDIATELY STOPPED AND THE LOS ANGELES COUNTY HEALTH DEPARTMENT, THE DEPARTMENT OF SANITARY AND CITY ENGINEER SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE NECESSARY CLEARANCES ARE ISSUED BY ALL INVOLVED AGENCIES.

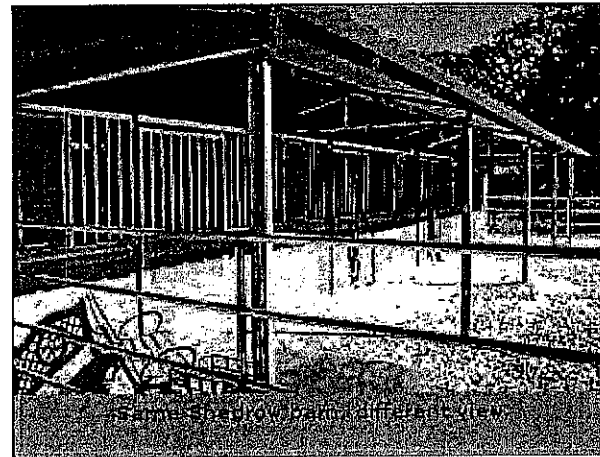
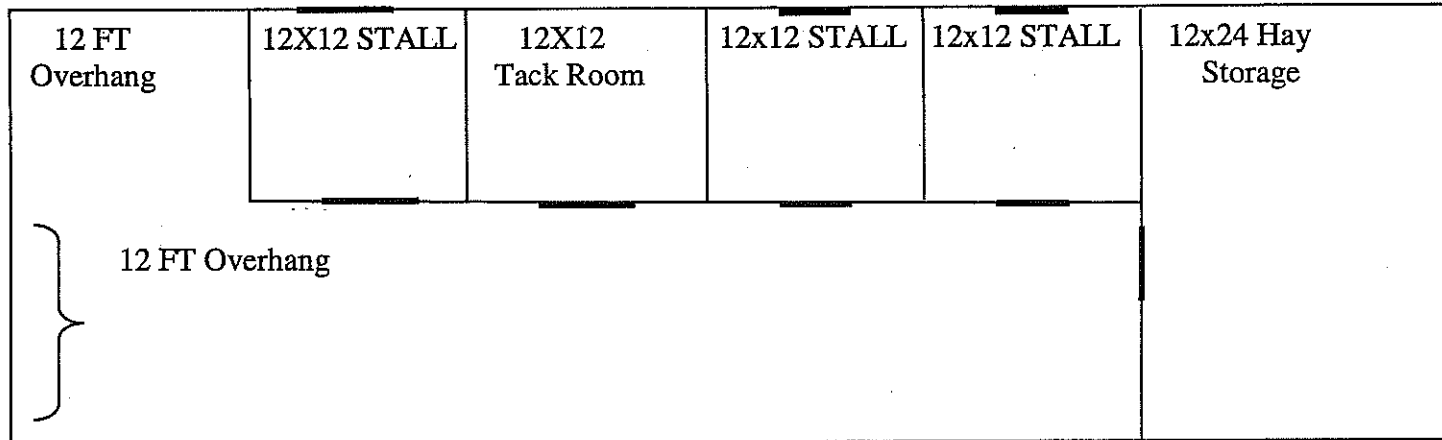
These plans have been released and found to be in general conformity with our recommendations.				DATE _____ CHECKED _____				APPROVED: _____ CITY OF ANAHEIM HILLS PLANNING DEPARTMENT.				PRELIMINARY GRADING PLAN Single Family Residence VCN BLUCK RESIDENCE			
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VON BUCK RESIDENCE

VONBUCK'S SHEDROW BARN

03-CUP-017/ 03-OTP-016





DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
September 15, 2005

1. CALL TO ORDER: Chair Koehler called the meeting to order at 6:37p.m.
2. FLAG SALUTE: Vice Chair Ramuno
3. ROLL CALL: Chair Koehler, Vice Chair Ramuno, Commissioners Zacuto, Rishoff and Schwarz

Also present were, Assistant Director of Community Development Doug Hooper, City Engineer Ken Berkman, Assistant Engineer Kelly Fisher, City Oak Tree and Landscape Consultant Kay Greeley, Senior Planner Allison Cook, Associate Planner Valerie Darbouze and Planning Technician Christopher Aune.
4. APPROVAL OF MINUTES: August 18, and September 15, 2005 Meetings

ACTION: A motion by Commissioner Schwarz, seconded by Commissioner Zacuto, the Planning Commission moved to approve the minutes of the August 18, 2005 Planning Commission meeting. Motion carried 5-0.

A motion by Vice Chair Ramuno, seconded by Commissioner Schwarz, the Planning Commission moved to approve the minutes of the September 1, 2005 Planning Commission meeting. Motion carried 4-0 (Chair Koehler abstained since he was absent from the September 1, 2005 Planning Commission hearing).
5. COMMENTS FROM THE PUBLIC ON ITEMS NOT LISTED ON THE AGENDA: None
6. CONSENT ITEMS: None

7. CONTINUED PUBLIC HEARING:

APPLICANT: Riopharm USA, Inc.
17150 Newhope St., #1005
Fountain Valley, CA 92708

CASE NOS.: 03-CUP-010; 98-CUP-007; 04-VAR-004; and 98-OTP-011

LOCATION: South side of Agoura Road, east of Calle Montecillo and west of Liberty Canyon Road (A.P.N. 2061-014-(007-015), (018-020), (023-042); and 2061-015-008)

REQUESTS: A request for approval of Conditional Use Permits to allow development on two recorded residential tracts for 27 detached, single-family residences (4 units in one tract and 13 units in another tract); request for approval of a Variance to allow one residence to be located 26 feet from the Agoura Road right-of-way, rather than at least 32 feet away; request for an Oak Tree Permit to remove 32 Oak trees and encroach within the protected zone of 19 oak trees; and a request for adoption of a Mitigated Negative Declaration.

ENVIRONMENTAL DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: Staff recommended the Planning Commission adopt a motion to approve Conditional Use Permit Case Nos. 03-CUP-010 and 98-CUP-007; Variance Case No. 04-VAR-004, and Oak Tree Permit Case No. 98-OTP-011, subject to conditions, based on the findings of the draft Resolution.

PUBLIC HEARING OPENED: Commissioner Zacuto recused himself from participating in the hearing.

Assistant Community Development Director Doug Hooper presented the case and answered questions of the Planning Commission

The City's Environmental Consultant Steve Craig presented the Mitigated Negative Declaration and answered questions of the Planning Commission.

Tom Cohen, 2801 Townsgate Suite 215 Thousand Oaks, representing the applicant, presented the case and answered questions of the Planning Commission.

Laura Kaufman, Envicon Corporation, 28328 Agoura Road, environmental consultant for the applicant, discussed the Mitigated Negative Declaration prepared for the project.

Travis Cullen, Envicon Corporation, 28328 Agoura Road, environmental consultant for the applicant, discussed the project's environmental review process and answered questions of the Planning Commission.

Don Waite, 100 N. Rancho Rd. Suite 2 Thousand Oaks, Civil Engineer for the applicant, discussed drainage issues and answered questions of the Planning Commission.

Jon Irvine, 1461 E. Chevy Chase Dr. Glendale, Soil Engineer/Geologist for the applicant, discussed on-site and off-site geotechnical issues and answered questions of the Planning Commission.

Richard W. Cambell, Thousand Oaks, Landscape Architect and Oak Tree Consultant for the applicant, discussed potential Oak Tree impacts of the project and answered questions of the project.

Yair Koshet, 5226 Medina Rd. Woodland Hills, project architect for the applicant, presented the architectural design and answered questions of the Planning Commission.

A.J. Ponsiglione, 4937 Calle Roblada, spoke in favor of the project.

Astrid Agustin, 27804 Via Amistosa, spoke against the project.

Tom Cohen, 2801 Townsgate Rd. Suite 215 Thousand Oaks, presented his rebuttal testimony.

RECESS:

Chair Koehler called for a recess at 8:29.

RECONVENE:

Chair Koehler reconvened the meeting at 8:48.

Tom Cohen, 2801 Townsgate Suite 215 Thousand Oaks, and Yair Koshet, 5226 Medina Rd. Woodland Hills, completed the rebuttal testimony on behalf of the applicant.

ACTION:

On a motion by Chair Koehler, seconded by Vice Chair Ramuno, the Planning Commission moved to continue Conditional Use Permit Case Nos. 03-CUP-010 and 98-CUP-007; Variance Case No. 04-VAR-004, and Oak

Tree Permit Case No. 98-~~OTP-011~~, to the October 20, 2005 Planning Commission meeting. Motion carried 4-0 (Commissioner Zacuto recused himself from the hearing),

8. NEW PUBLIC HEARING:

APPLICANTS: Mr. and Mrs. Clifton Von Buck
43956 21st Street West
Lancaster, CA 93536

CASE NOS. 03-CUP-017 and 03-OTP-016

LOCATION: 27801 Blythedale Road
(A.P.N. 2055-001-035)

REQUEST: Request for approval of a Conditional Use Permit to construct a 4,664 square-foot, two-story residence with a 1,266 square-foot attached garage and a 1,225 square-foot barn; a request for an Oak Tree Permit to encroach within the protected zone of two (2) Oak trees for the proposed construction.

ENVIRONMENTAL DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: If the Planning Commission's decision was to approve Conditional Use Permit Case No. 03-CUP-017, Oak Tree Permit Case No. 03-OTP-016, the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program, staff recommended that the Commission adopt the draft Resolution with conditions of approval.

PUBLIC HEARING OPENED:

Associate Planner Valerie Darbouze presented the project and answered questions of the Planning Commission.

Senior Planner Allison Cook answered questions of the Planning Commission.

Tammy Von Buck, 43956 21st Street West, applicant, presented the project and answered questions of the Planning Commission.

Robert Evren, 5732 Colodny, representing Old Agoura Homeowners Association, spoke in favor of the project and answered questions of the Planning Commission.

ACTION:

On a motion by Vice Chair Ramuno, seconded by Commissioner Zacuto, the Planning Commission moved to adopt Resolution No. 825, approving Conditional Use Permit Case No. 03-CUP-017, Oak Tree Permit Case No. 03-OTP-016, the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program, subject to amended Conditions of Approval and revisions to the draft Resolution. Motion carried 5-0.

9. DISCUSSION ITEM:

Presentation of Agoura Village Specific Plan Document.

Senior Planner Alison Cook presented this item and answered questions of the Planning Commission.

10. ANNOUNCEMENTS ON ITEMS NOT LISTED ON THE AGENDAS:

Commission:

Chair Koehler requested that exhibits in the staff report be tabbed for easier reference.

The Commission requested staff to clarify for discussion at a future Planning Commission meeting the appropriate procedures for reviewing written testimony that is submitted shortly prior to the Planning Commission meetings.

Staff:

None

11. ADJOURNMENT:

The Planning Commission adjourned at 11:06 p.m. to the next Planning Commission meeting on October 6, 2005 at 6:30 p.m.

MATERIAL SAMPLE BOARD

APPROVED

Project: VonBuck Residence
27801 Blythdale Rd, Old Agoura
03-CUP-017/ 03-OTP-016



Exterior House Walls
Brick by Pacific Clay
Color: Medium Iron Spot



Exterior Accent for House Walls
Brick by Pacific Clay
Color: Pueblo



Retaining Walls
Split face Block
Color: Harvest



Roof
Concrete slate tile
Color: Brown Blend

Project: VonBuck Residence
27801 Blythdale Rd, Old Agoura
03-CUP-017/ 03-OTP-016

**REQUESTED
REVISIONS**



FRONT ELEVATION - south west



ROOF:

COLOR: Eagle 5689
SPECIFICATIONS: Concrete Slate Tile



EXTERIOR:

COLOR: Moroccan Sand
SPECIFICATIONS: Knock-down Lace
LOCATION: Entire house