



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

**MINUTES OF THE REGULAR SCHEDULED MEETING OF
THE PLANNING COMMISSION
January 20, 2011**

CALL TO ORDER: Chair Rishoff called the meeting to order at 6:45 p.m.

FLAG SALUTE: Commissioner Justice

ROLL CALL: Chair Stephen Rishoff, Vice Chair John O'Meara, Commissioners Illece Buckley Weber, Michael Justice, and Rick Moses.

Also present were Assistant City Attorney Candice Lee, Director of Planning and Community Development Mike Kamino, Assistant Director of Planning and Community Development Doug Hooper, Public Works Project Manager Kelly Fisher, City Traffic Consultant Sri Chakravarthy, City Oak Tree and Landscape Consultant Ann Burroughs, City Environmental Consultant Joe Power of Rincon Consultants, City LEED Design Consultant Erik Justesen of RRM Design Group, and Recording Secretary Sheila Keckhut.

APPROVAL OF AGENDA: On a motion by Vice Chair O'Meara, seconded by Commissioner Buckley Weber, the January 20, 2011 Agenda was approved without objection.

PUBLIC COMMENTS: There were no public comments.

APPROVAL OF MINUTES

1. Minutes – December 16, 2010 Planning Commission Meeting

On a motion by Commissioner Buckley Weber, seconded by Commissioner Justice, the Planning Commission moved to approve the Minutes of the December 16, 2010 Planning Commission Meeting. Motion carried 4-0. Vice Chair O'Meara abstained.

PUBLIC HEARING

2. REQUEST: Request for a recommendation of approval to the City Council for a Conditional Use Permit to construct a 90,300 sq. ft., office complex in four phases over a 25-year period, with entitlement proposed for Phase I that includes a 24,000 sq. ft., two-story office building; a Variance from Zoning Ordinance Section 9606.2(D) to construct retraining walls in excess of 6 feet in height, and Section 9654.6 to provide a reduction in required parking spaces; an Oak Tree Permit to remove 65 Oak trees and encroach within the protected zone of 36 Oak trees; a Vesting Tentative Parcel Map to adjust the parcel lines of two parcels; an Ordinance for a Development Agreement; and adoption of an Environmental Impact Report and a Mitigation Monitoring Program (with a Statement of Overriding Considerations).
- APPLICANT: Conrad N. Hilton Foundation
10100 Santa Monica Blvd., Suite 1000
Santa Monica, CA 90067
- CASE NOS.: 09-CUP-001; 10-VAR-004; 09-OTP-003; VTPM 71284;
and 09-DA-001 (Draft Ordinance)
- LOCATION: 30440 and 30500 Agoura Road
(A.P.N. 2061-002-024 and 2061-002-048)
- ENVIRONMENTAL ANALYSIS: Environmental Impact Report
- RECOMMENDATION: Staff recommended the Planning Commission adopt motions recommending to the City Council approval of Conditional Use Permit No. 09-CUP-001; Variance Case No. 10-VAR-004; Oak Tree Permit Case No. 09-OTP-003; Vesting Tentative Parcel Map No. 71284; and the Development Agreement Ordinance, subject to conditions, based on the findings in the attached Resolutions; and recommending certification of the Final Environmental Impact Report and adoption of the Mitigation Monitoring Program prepared for the project, based on the findings of the Resolution.

PUBLIC COMMENTS:

Chair Rishoff opened the public hearing.

The following persons spoke on this project.

Steve Hilton, Conrad N. Hilton Foundation, Applicant

Frans Bigelow, Bigelow Development Associates,
representing the applicant.

Doss Mabe, Zimmer Gunsul Frasca LLP, representing the
applicant.

Susan Van Atta, Landscape Architect representing the
applicant.

David Magney, California Native Plant Society

Clark Stevens, Resource Conservation District of the Santa
Monica Mountains

The following persons were representing the applicant and
available for questions, but did not speak on this project.

Chuck Cohen, Attorney

Fred Cunningham, Stantec Consulting

Colin Nemeroff, Stantec Consulting

Mark A. Jones

Pat Modugno

REBUTTAL:

Frans Bigelow, Bigelow Development Associates, and
Travis Cullen, Envicom Corporation, representing the
applicant, gave rebuttal testimony regarding the project and
answered questions of the Planning Commission.

Chair Rishoff closed the public hearing.

ACTION:

On a motion by Commissioner Moses, seconded by
Commissioner Justice, the Planning Commission moved to
adopt Resolution No. 11-1020, approving Conditional Use
Permit Case No. 09-CUP-001; Resolution No. 11-1021,

approving Variance Case No. 10-VAR-004(A); Resolution No. 11-1022, approving Variance Case No. 10-VAR-004(B); Resolution No. 11-1023, approving Oak Tree Permit Case No. 09-OTP-003; Resolution No. 11-1024, approving Vesting Tentative Parcel Map No. 71284; Resolution No. 11-1025, approving the Development Agreement Ordinance Case No. 09-DA-001; and Resolution No. 11-1026 recommending certification of the Final Environmental Impact Report and adoption of the Mitigation Monitoring Program prepared for the project, all subject to revised conditions. Motion carried 5-0.

RECESS: Chair Rishoff called for a recess at 8:55 p.m.

RECONVENE: Chair Rishoff reconvened the meeting at 9:16 p.m.

DISCUSSION ITEMS

3. REQUEST: Request for a determination of whether a commercial use ("movie studio") not listed in Zoning Ordinance Section 9312.2 (Commercial Use Table) is like and similar to a permitted use in the BP-M (Business Park-Manufacturing) zone.

APPLICANT: Doug Jacobsen
Realty Bancorp Equities
21800 Burbank Boulevard, Suite 330
Woodland Hills, CA 91367

CASE NO.: 10-INT-001

LOCATION: Citywide

RECOMMENDATION: Staff recommended that the Planning Commission determine whether a "movie studio" use is like and similar to a permitted use in the BP-M (Business Park-Manufacturing) zone for the purpose of applying the Zoning Ordinance Section 9312.2 (Commercial Use Table), subject to the findings of the Resolution.

PUBLIC COMMENTS: Chair Rishoff opened the public hearing.

The following persons spoke on this project.

Doug Jacobsen, Realty Ban Corp., Applicant.

Brian Poliquin, Architect representing the Applicant.

Chair Rishoff closed the public hearing.

ACTION:

On a motion by Commissioner Justice, seconded by Commissioner Buckley Weber, the Planning Commission moved to adopt Resolution No. 11-1027, approving Case No. 10-INT-001 finding that a "digital movie studio" is like and similar to permitted use in the BP-M (Business Park-Manufacturing) zone. Motion carried 5-0.

4. Selection of Planning Commission Chair and Vice Chair

On a motion by Vice Chair O'Meara, seconded by Commissioner Moses, the Planning Commission moved to re-appoint Commissioner Rishoff as Chairperson for the 2011 calendar year. Motion carried 4-0. Chair Rishoff abstained.

On a motion by Commissioner Justice, seconded by Chair Rishoff, the Planning Commission moved to appoint Commissioner Buckley-Weber as Vice Chairperson for the 2011 calendar year. Motion carried 4-0. Vice Chair Buckley-Weber abstained.

5. Committee Appointment Selections for 2011

On a motion by Commissioner O'Meara, seconded by Chair Rishoff, the Planning Commission moved to appoint Vice Chair Buckley Weber and Commissioner Moses to serve on the Agoura Village Policy Committee for the 2011 calendar year. Motion carried 5-0.

INFORMATION ITEM

6. Planning Commission Meeting Schedule for 2011

No action was required of the Planning Commission.

PLANNING COMMISSION/STAFF COMMENTS

None

ADJOURNMENT

At 10:00 p.m., the Planning Commission moved to adjourn the meeting to the next scheduled Planning Commission meeting on Thursday, February 3, 2011 at 6:30 p.m. Motion carried 5-0.

CONRAD N. HILTON
FOUNDATION OFFICE CAMPUS

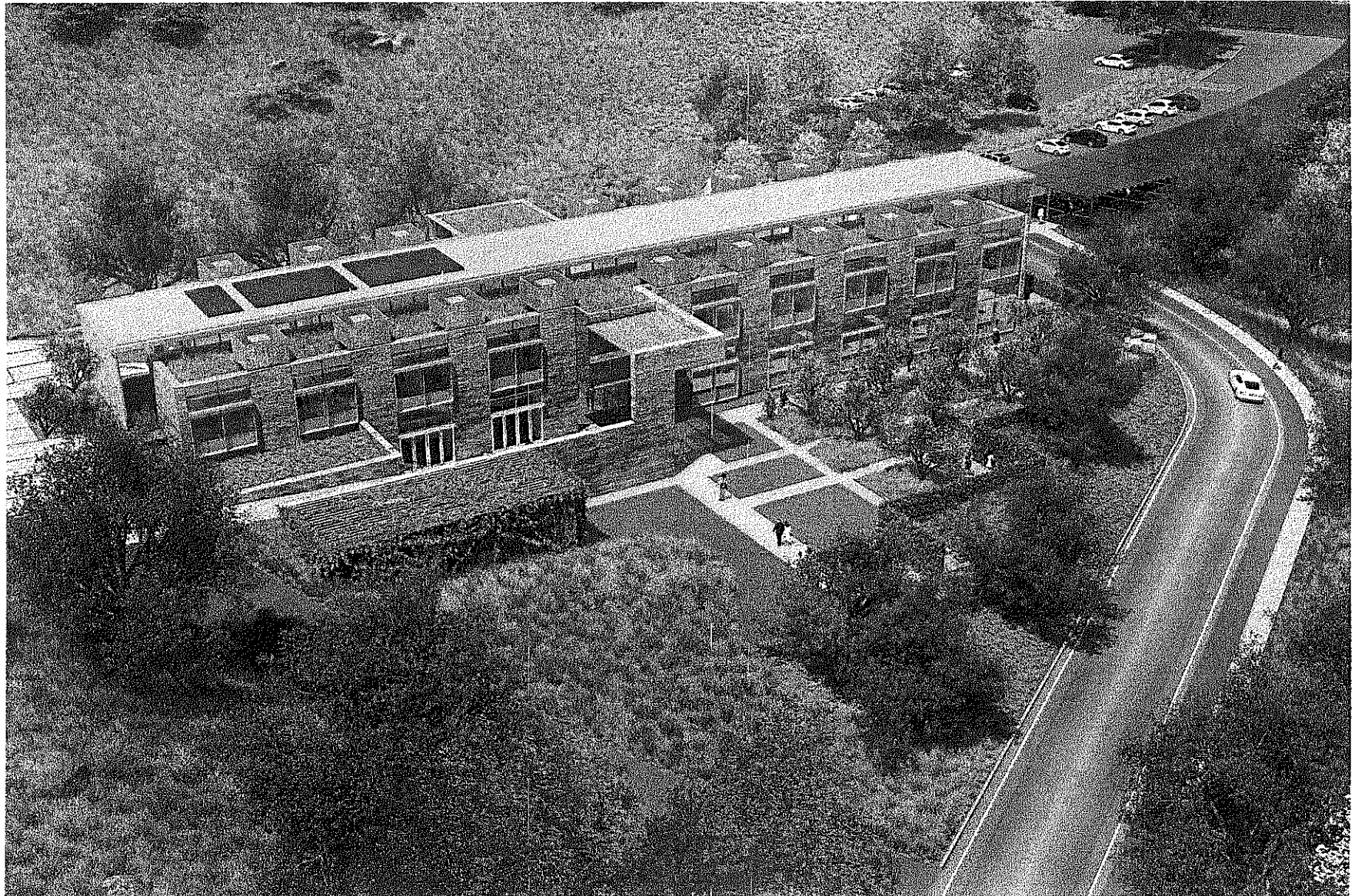
FROM AGOURA ROAD



ZGF
ZIMMER GUNSUL FASCA ARCHITECTS LLP

CONRAD N. HILTON
FOUNDATION OFFICE CAMPUS

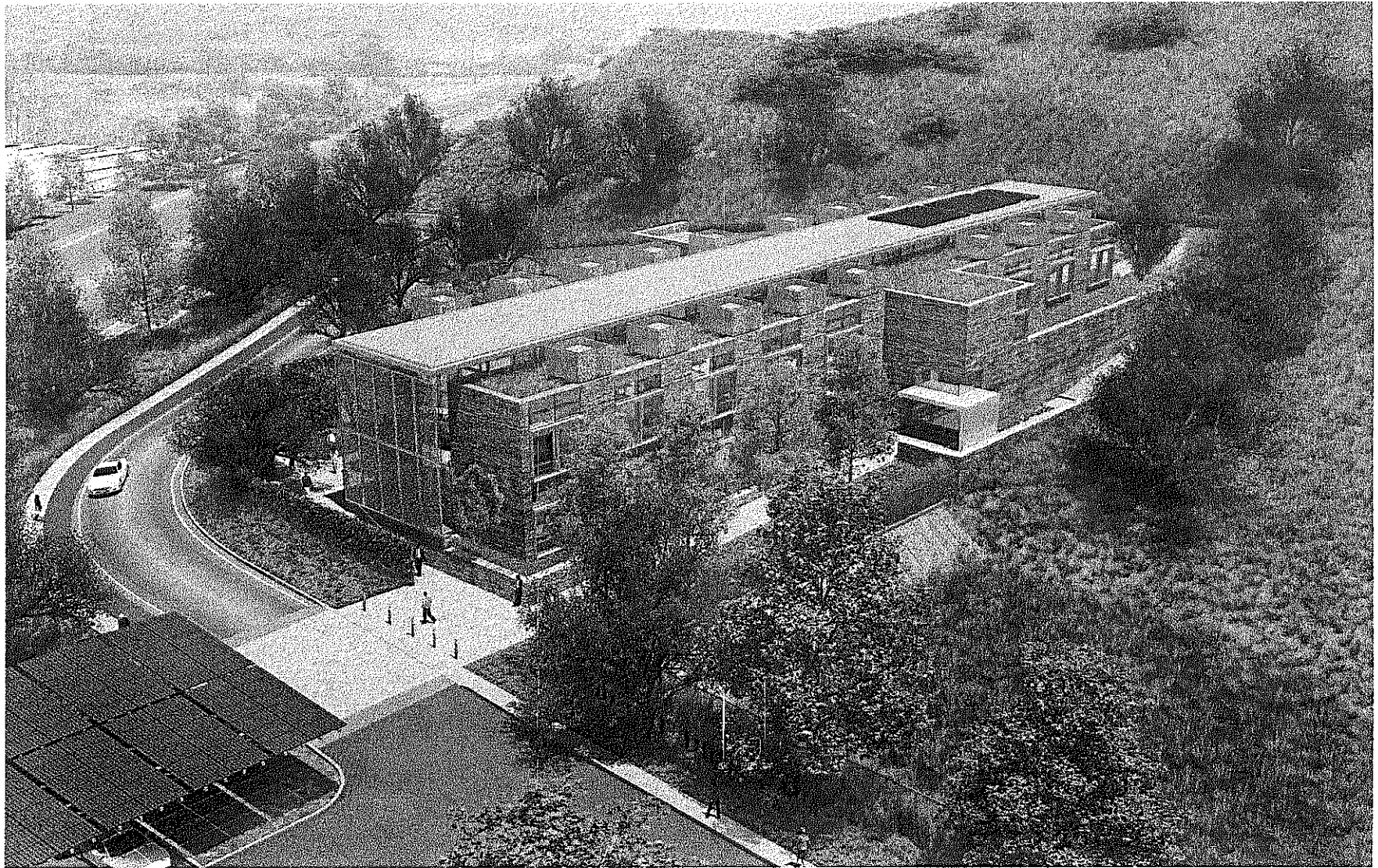
LOOKING SOUTH WEST



ZGF

ZIMMER GUNDEL FRASCA ARCHITECTS LLP

CONRAD N. HILTON
FOUNDATION OFFICE CAMPUS



CONRAD N. HILTON
FOUNDATION OFFICE CAMPUS

ENTRY WALK



ZGF
ZIMMER GUNSUL FRASCA ARCHITECTS LLP

PORTLAND
 SEATTLE
 LOS ANGELES
 HOUSTON/DALLAS
 NEW YORK

315 South River Street
 Suite 200
 San Jose, CA 95128
 415.737.8700
 www.zgf.com

Contractors

STRUCTURAL ENGINEER
 KPTF Consulting Engineers
 501 N. Lake Avenue, Suite 550
 Pasadena, CA 91101

MEP ENGINEER
 Sun Engineering Firm & Inc.
 425 Howard Street, Suite 400
 San Francisco, CA 94102

LIGHTING CONSULTANT
 Davis Nelson and Associates, LLC
 P.O. Box 270058
 Littleton, CO 80127

CIVIL ENGINEER
 Swire's Engineers
 Swire Consulting
 360 Campo Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 Van Halbe Associates
 335 Park Avenue
 Santa Barbara, CA 93101

GENERAL NOTES

REFER TO SR (UNDERGROUND) WITH REGARDS TO EXISTING FOOTINGS AND NUMBER OF PAVED STRIPS

REQUIREMENTS:

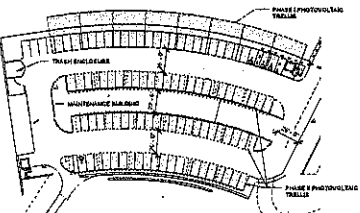
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SYMBOL LEGEND

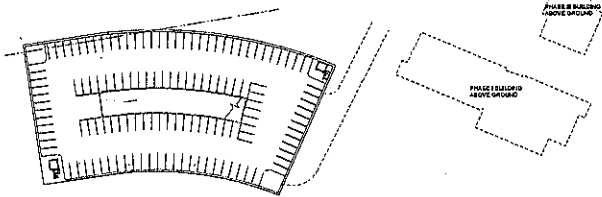
- EXISTING CONCRETE
- NEW CONCRETE
- NEW FOOTING
- NEW FOUNDATION
- NEW RETAINING WALL
- NEW WALKWAY
- NEW DRIVEWAY
- NEW SIDEWALK
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SITE PLAN - MASTERPLAN
 SCALE: 1" = 30' 0"



SITE PLAN - MASTERPLAN PHOTOVOLTAIC TRELLISES PHASE I & II
 SCALE: 1" = 30' 0"



SITE PLAN - MASTERPLAN UNDERGROUND PARKING - PHASE IV
 SCALE: 1" = 30' 0"

CONRAD N. HILTON FOUNDATION
 30550 AQUILA ROAD
 AIGUERA HILLS, CA 91201

SITE PLAN MASTERPLAN PHASE IV

Date: 10/20/18
 Job No: 1344146
 Drawn By: AUSA
 Checked By: GHOSS

A1.00
BID SET

PROJECT:
 NAME:
 ADDRESS:
 CITY/STATE/ZIP:

315 South Flower Street
 Suite 2000
 San Diego, CA 92101
 619.542.4000
 www.zgf.com

Consultant:
STRUCTURAL ENGINEER
 KOPPE Consulting Engineers
 591 N. Lake Avenue, Suite 600
 Pasadena, CA 91113

MEP ENGINEER
 Hall Engineering MEP Phase 1 & MEP
 455 Howard Street, Suite 500
 San Francisco, CA 94105

LIGHTING CONSULTANT
 Davis Nelson and Associates, LLC
 P.O. Box 27024
 Lakewood, CO 80127

Client's Consultant:
CIVIL ENGINEER
 Sander Consulting
 280 Compa Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 Viet Ann Associates
 225 Main Street
 Santa Barbara, CA 93101

CONRAD N. HILTON FOUNDATION

30550 AGOURA ROAD
 AGOURA HILLS, CA 91301

Drawing Title:
SITE PLAN PHASE I

Date: 10/06/09
 Job No: 1014143A
 Drawn By: ZGF
 Checked By: ZGF

Drawing No.

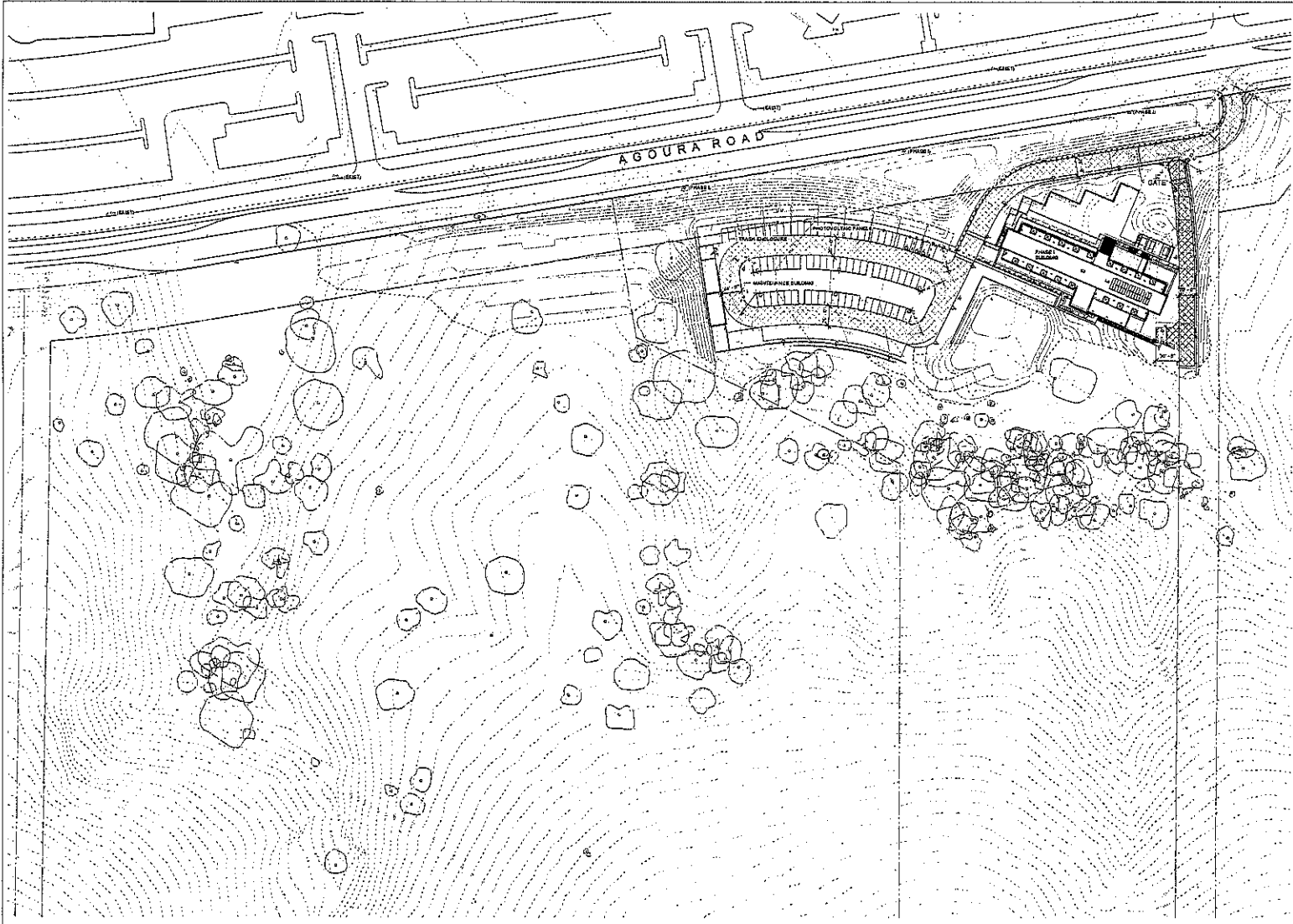
A1.00A
BID SET

GENERAL NOTES

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SYMBOL LEGEND

- 1. FIRE DEPARTMENT ACCESS ROAD SHALL BE:
 - a. 10' WIDE WITH 12" CONCRETIZED CURBS
 - b. 12" HIGH
 - c. 12" WIDE
 - d. 12" HIGH
- 2. ALL REQUIRED FIRE DEPARTMENT ACCESS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
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- 10. ALL REQUIRED FIRE DEPARTMENT ACCESS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.



SITE PLAN - PHASE I
 SCALE: 1" = 10'-0"

1450 South Flower Street
Suite 3000
Los Angeles, CA 90017
310.417.8800
310.417.8200
www.zgf.com

Structural Engineer
KSPFF Consulting Engineers
201 N. Lake Avenue, Suite 550
Pasadena, CA 91101

MEP Engineer
Hub Ecology/MEP Firm & Muti
455 Howard Street, Suite 500
San Francisco, CA 94105

Lighting Consultant
David Wilson and Associates, LLC
P.O. Box 272254
Lithia, CO 81727

Civil Engineer
Santitas Consulting
285 Contra Rapa Avenue
Thousand Oaks, CA 91321

Landscape Architect
Van And Associates
225 Palm Avenue
Santa Barbara, CA 93101

CONRAD N. HILTON FOUNDATION
3050 AGOURA ROAD
AGOURA HILLS, CA 91301

SITE PLAN PHASE II

Date: 12/20/19
Job No.: 13191428
Drawn By: AWH
Checked By: DWH

© ZGF Inc.

A1.00B
BID SET

GENERAL NOTES

- REFER TO CON FOUNDATION WITH REGARD TO THE NUMBER OF STORIES AND NUMBER OF PARKING SPACES
- GENERAL NOTES**
1. ALL NEW AND EXISTING WALLS SHALL BE CONCRETE TO BE BUILT WITH REINFORCING BARS FOR RETENTION OF EARTH AND COUNTY OF LOS ANGELES FIRE CODE REQUIREMENTS TO THE TYPICAL ALL BUILDING STRUCTURES SHALL BE CONCRETE TO BE BUILT WITH REINFORCING BARS FOR RETENTION OF EARTH AND COUNTY OF LOS ANGELES FIRE CODE REQUIREMENTS TO THE TYPICAL
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SYMBOL LEGEND

- 1. FIRE DEPARTMENT ACCESS ROAD SHALL BE 14' WIDE WITH 12" VERTICAL CLEARANCE TO ANY WITHIN THE RIGHT-OF-WAY OF PREEXISTING TRAIL
- 2. A MINIMUM VERTICAL CLEARANCE OF 12' SHALL BE MAINTAINED FOR PREEXISTING TRAIL SPACES
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SITE PLAN - PHASE II
SCALE: 1" = 10'-0"

12/20/19 13191428

PROJECT:
DATE:
LOCATION:
DRAWN BY:
CHECKED BY:

STRUCTURAL ENGINEER:
MECHANICAL ENGINEER:
ELECTRICAL ENGINEER:

MEP ENGINEER:
MECHANICAL ENGINEER:
ELECTRICAL ENGINEER:

LANDSCAPE ARCHITECT:
LANDSCAPE ARCHITECT:
LANDSCAPE ARCHITECT:

CIVIL ENGINEER:
CIVIL ENGINEER:
CIVIL ENGINEER:

LANDSCAPE ARCHITECT:
LANDSCAPE ARCHITECT:
LANDSCAPE ARCHITECT:

CONRAD N. HILTON FOUNDATION
30500 AGOURA ROAD
AGOURA HILLS, CA 91301

PROJECT TITLE:
SITE PLAN PHASE III

DATE: 12/29/11
JOB NO: 11144141
DRAWN BY: Author
CHECKED BY: Designer

PROJECT NO:

A1.00C
BID SET

GENERAL NOTES

REFER TO THE SUBMISSION WITH REFERENCE TO THE SUBMITTER AND NUMBER OF PHASES OF THE PROJECT.

1. ALL EXISTING STRUCTURES SHALL BE DEMOLISHED TO BE REPLACED BY THE NEW STRUCTURES. THE EXISTING FOUNDATION SHALL BE RE-EVALUATED FOR ADEQUACY OF THE EXISTING FOUNDATION. THE EXISTING FOUNDATION SHALL BE RE-EVALUATED FOR ADEQUACY OF THE EXISTING FOUNDATION. THE EXISTING FOUNDATION SHALL BE RE-EVALUATED FOR ADEQUACY OF THE EXISTING FOUNDATION.
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SYMBOL LEGEND

- 1. PERMANENT ACCESS ROAD SHALL BE 12' WIDE WITH 4' SIDEWALKS ON BOTH SIDES. THE ROAD SHALL BE CONCRETE WITH 2" CURBS ON BOTH SIDES. THE ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT.
- 2. PERMANENT ACCESS ROAD SHALL BE 12' WIDE WITH 4' SIDEWALKS ON BOTH SIDES. THE ROAD SHALL BE CONCRETE WITH 2" CURBS ON BOTH SIDES. THE ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT.
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- 9. PERMANENT ACCESS ROAD SHALL BE 12' WIDE WITH 4' SIDEWALKS ON BOTH SIDES. THE ROAD SHALL BE CONCRETE WITH 2" CURBS ON BOTH SIDES. THE ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT.
- 10. PERMANENT ACCESS ROAD SHALL BE 12' WIDE WITH 4' SIDEWALKS ON BOTH SIDES. THE ROAD SHALL BE CONCRETE WITH 2" CURBS ON BOTH SIDES. THE ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT.



SITE PLAN - PHASE III
SCALE: 1" = 10'

FOUNDED
2007
300 AVENUE
RIVERSIDE/CLAYTON
NEW YORK

313 South Flower Street
Suite 200
Los Angeles, CA 90011
733 447 7803
F 213 477 2867
www.zgf.com

Consultants:

STRUCTURAL ENGINEER
KFFS Consulting Engineers
201 N. Lake Avenue, Suite 550
Pasadena, CA 91101

MEP ENGINEER
Bull Building MEP Firm & Mill
475 Howard Street, Suite 500
San Francisco, CA 94103

LIGHTING CONSULTANT
David Nelson and Associates, LLC
P.O. Box 207254
Littleton, CO 80127

Owner's Consultant:

CIVIL ENGINEER
Charles Consulting
235 Conroy Ridge Avenue
Broomfield, CO 80020

LANDSCAPE ARCHITECT
The ADA Associates
235 Palm Avenue
Santa Barbara, CA 93101

Revisions:

ADDENDUM A 12/17/10

CONRAD N. HILTON FOUNDATION

32200 AGOURA ROAD
AGOURA HILLS, CA 91301

Drawing Title:

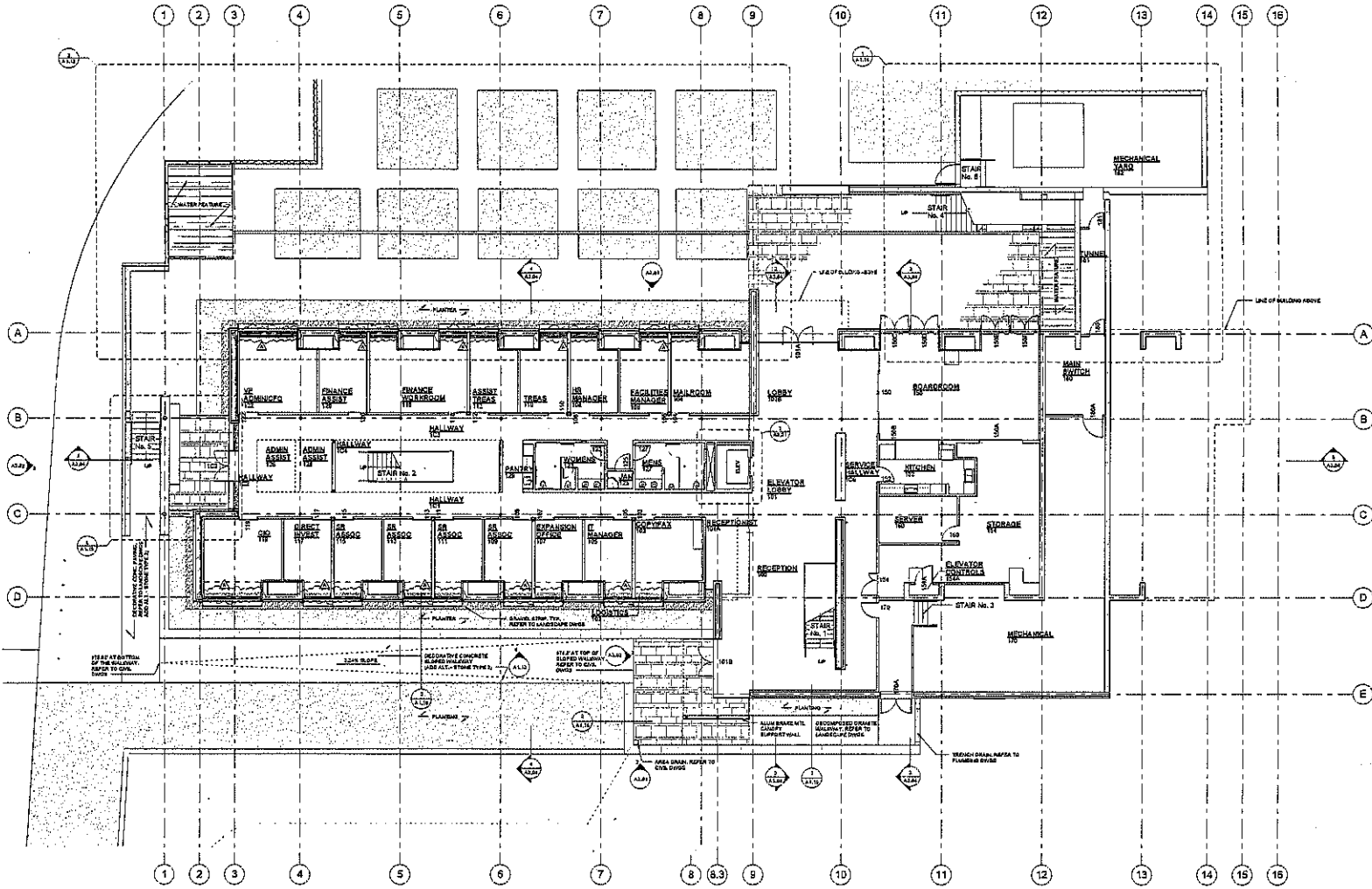
LEVEL ONE PLAN



DATE: 12/17/10
JOB NO.: L184446
DRAWN BY: TM
CHECKED BY: JH
DRAWING NO.:

A2.01

BID SET



LEVEL ONE PLAN
SCALE: 1/8" = 1'-0"

- Structural Engineer**
 KPFF Consulting Engineers
 201 N. Lake Avenue, Suite 500
 Pasadena, CA 91101
- Mechanical Engineer**
 BSA Energy USFP Frank & Kurtz
 495 Howard Street, Suite 500
 San Francisco, CA 94102
- Lighting Consultant**
 David Wilson and Associates, LLC
 P.O. Box 27026
 Denver, CO 80227
- Owner's Consultants**
- Civil Engineer**
 Swales Consulting
 230 Camp Ridge Avenue
 Thousand Oaks, CA 91320
- Landscape Architect**
 Van Allen Associates
 255 Park Avenue
 Santa Barbara, CA 93101

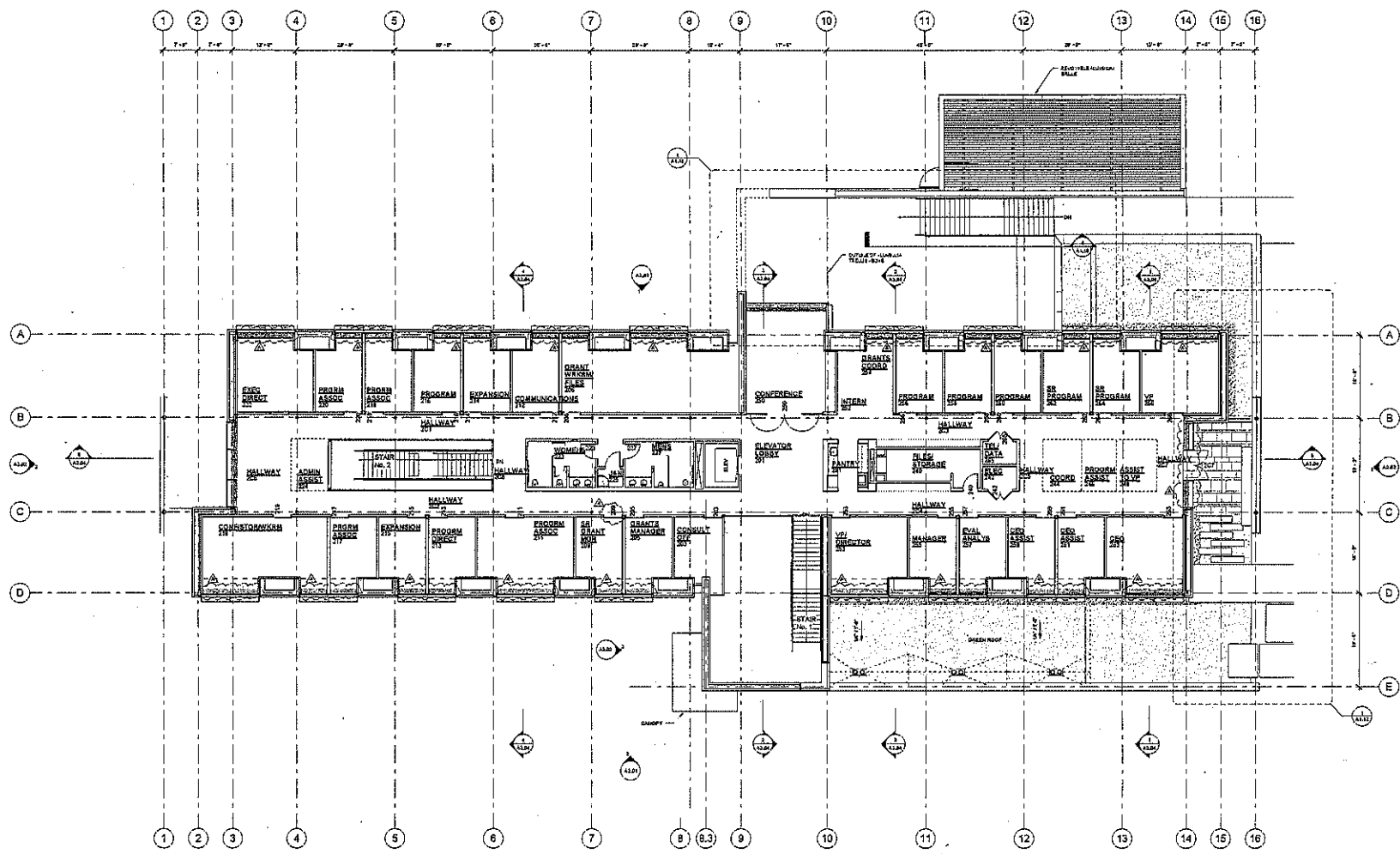
Revision
 ADDENDUM A 12/17/10

CONRAD N. HILTON FOUNDATION
 35520 AGUILERA ROAD
 AGUILERA HILLS, CA 91301

Drawing Title
LEVEL TWO PLAN

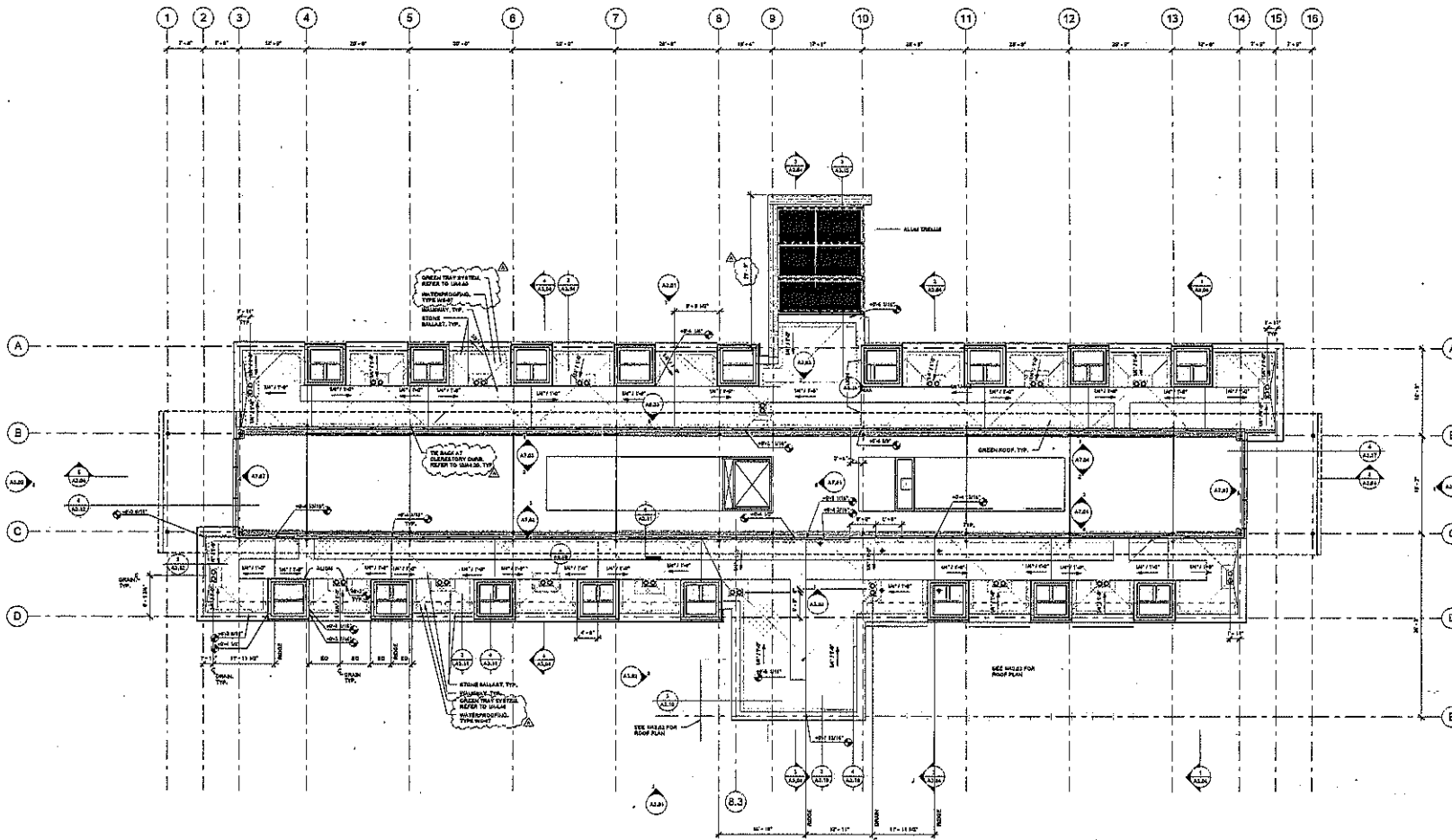


Date: 12/17/10
 Job No: 121644.05
 Drawn By: TA
 Checked By: JR



SECOND LEVEL PLAN
 SCALE: 1/8" = 1'-0"

12/17/2010 12:24:36 PM



NOTE:
1. ROOF ELEVATION POINTS TAKE FROM ROOF RISE
2. DIMENSIONS FOR ANCHORS SHALL BE TO THE
FOR EDGE OF SLAB PLANS SEE TABLE

SYMBOL LEGEND:
 GREEN TRAY SYSTEM
 PAVEMENT STONE MASONRY
 WALKING PAD - 4" POLYESTER TYP.
 TRACKS SEE TABLE

PLAN - LOW ROOF
SCALE: 1/8" = 1'-0"

12/17/10 12:58:43 PM

PROJECT
 315 South Flower Street
 Suite 2100
 Los Angeles, CA 90011
 T 213 417 1800
 F 213 417 2547
 www.zgf.com

CONTRACTOR
 STRUCTURAL ENGINEER
 KFFP Consulting Engineers
 371 N. Lake Avenue, Suite 100
 Pasadena, CA 91101

MEP ENGINEER
 Bull Building WSP Park & Nuzic
 455 Howard Street, Suite 500
 San Francisco, CA 94105

LIGHTING CONSULTANT
 David Hillier and Associates, LLC
 P.O. Box 27024
 Littleton, CO 80127

OWNER'S CONSULTANT
 CIVIL ENGINEER
 Skanska Consulting
 380 Conroy Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 Van der Horst
 231 Park Avenue
 South Belton, CA 95101

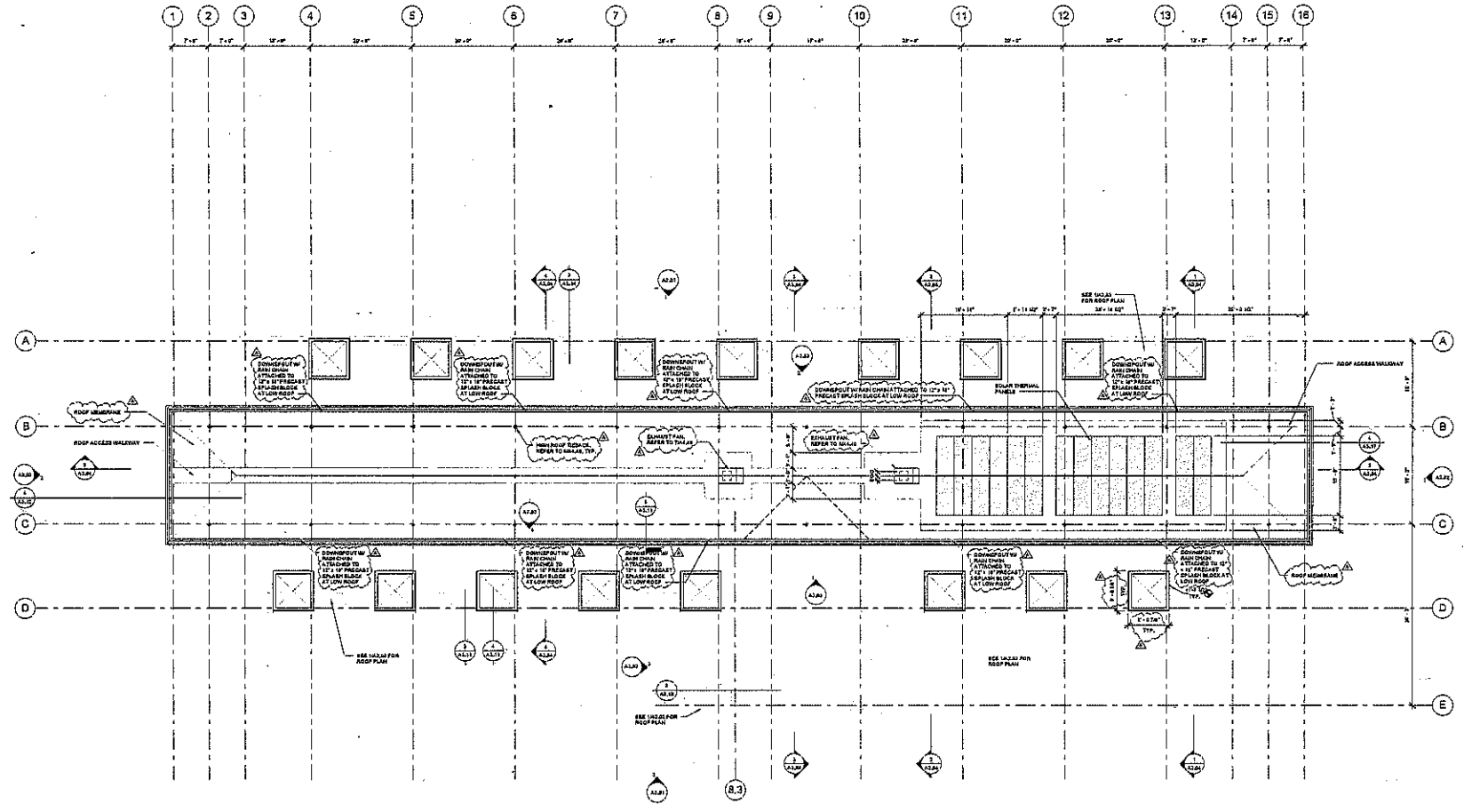
Revision
 ADDENDUM A 12/17/10

CONRAD N. HILTON FOUNDATION
 35500 ACCOURA ROAD
 ACCOURA HILLS, CA 91701

Working Title
 HIGH ROOF PLAN

Date: 11/17/10
 Job No: L1141424
 Drawn By: TM
 Checked By: JH
 Drawing No.

A2.04
 BID SET



NOTE:
 1. ROOF IS FLAT ON FOUR SIDES, FROM HIGH ROOF ELEVATION.
 SEE SCHEDULE FOR ROOF PLAN.
 2. SEE SCHEDULE FOR ROOF PLAN FOR SCHEDULE.
 3. FOR TYPICAL JOINT DETAILS, SEE SCHEDULE FOR ROOF PLAN.

SYMBOL LEGEND:
 [Symbol] DOWNPOUT SYSTEM
 [Symbol] FRAMING STEEL BEAM
 [Symbol] WALKING PAD - 4'-6" WIDE, TYP.
 [Symbol] REFER TO SEE 1014.25

PLAN - HIGH ROOF
 SCALE: 1/8" = 1'-0"

12/17/2010 12:28:01 PM

Contract:

STRUCTURAL ENGINEER
 KSPF Consulting Engineers
 101 N. Lake Avenue, Suite 550
 Pasadena, CA 91101

MSP ENGINEER

Bob Eckhoff MSP Plink & Kuntz
 495 Howard Street, Suite 510
 San Francisco, CA 94103

LIGHTING CONSULTANT

David Nelson and Associates, LLC
 P.O. Box 270254
 Littleton, CO 80127

Contract Documents:

CIVIL ENGINEER
 Skanska Consulting
 280 Conroy Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT

Via AS3 Associates
 235 Palm Avenue
 Santa Barbara, CA 93101

Revised:

ADDENDUM A 12/17/10

CONRAD N. HILTON FOUNDATION

3500 AGOURA ROAD

AGOURA HILLS, CA 91301

3500 AGOURA ROAD

AGOURA HILLS, CA 91301

Drawing Title:

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

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EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

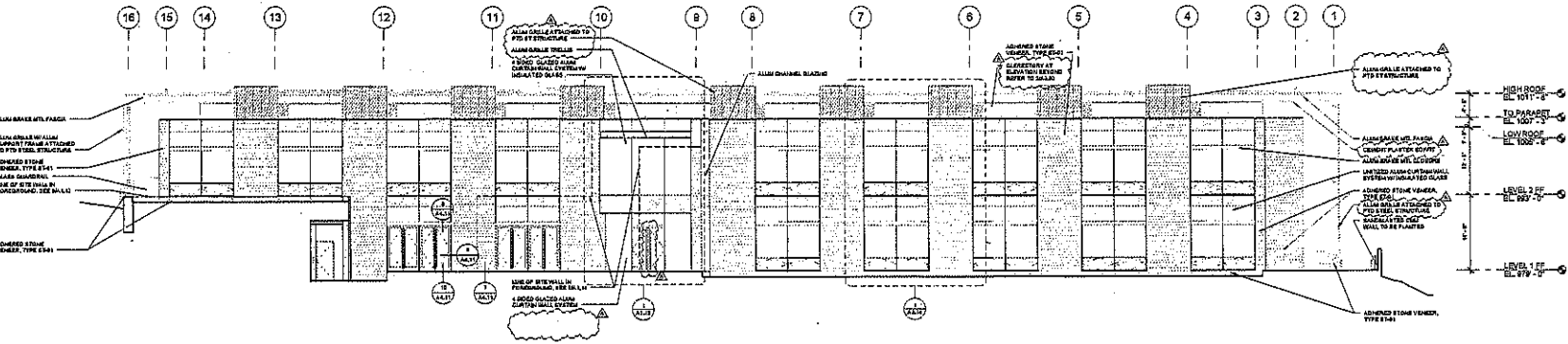
EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

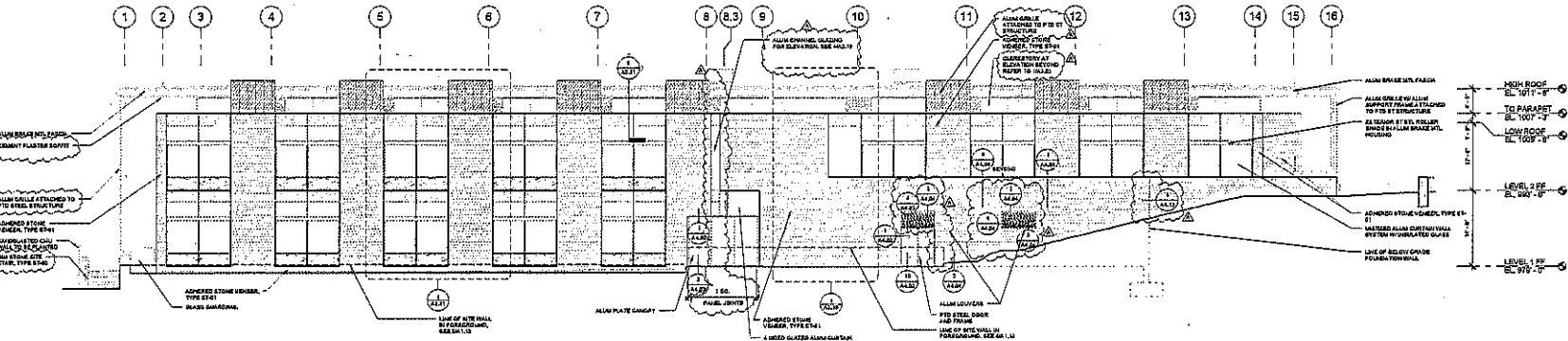
EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

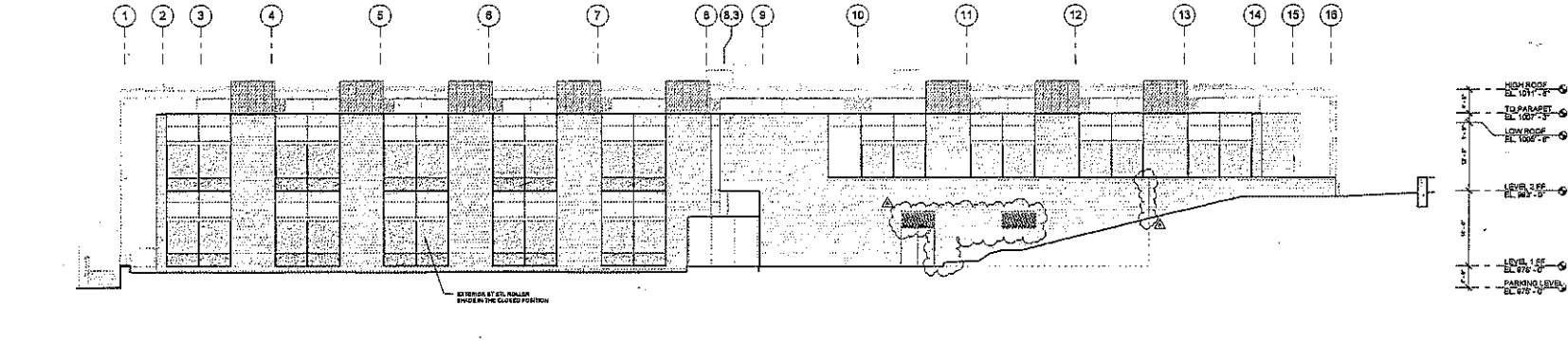
EXTERIOR ELEVATIONS



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



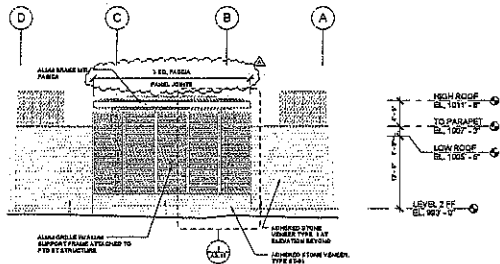
1 SOUTH ELEVATION - EXTERIOR ROLLER SHADE IN CLOSED POSITION
 SCALE: 1/4" = 1'-0"

REFER TO SHEETS FOR ADDITIONAL NOTES

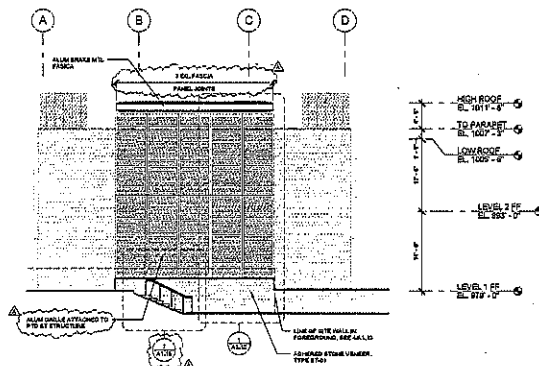
GENERAL NOTE:
 1. FOR GLAZING TYPES REFER TO A3 SERIES ENLARGED ELEVATION SHEETS.
 2. ALL EXTERIOR GLAZING TO HAVE A MINIMUM OF ONE TEMPERED PANE.

A3.01

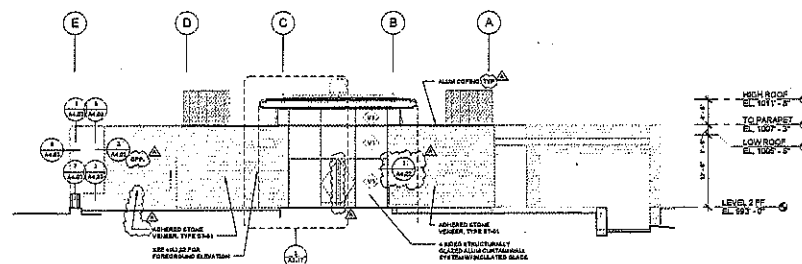
BID SET



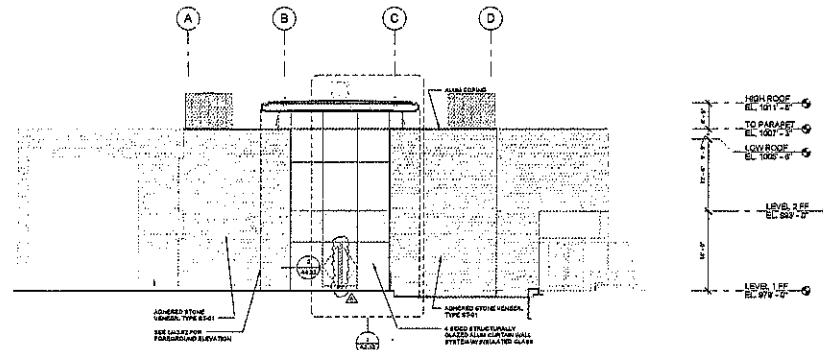
EAST ELEVATION - OUTSIDE
SCALE: 1/4" = 1'-0"



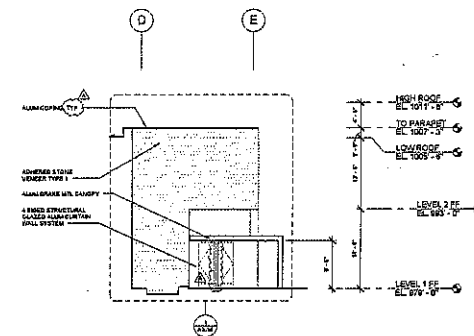
WEST ELEVATION - OUTSIDE
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



ENTRY ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE
1. FOR GLAZING TYPES REFER TO AS GENERAL ENLARGED ELEVATION SHEETS.
2. ALL EXTERIOR GLAZING TO HAVE A MINIMUM OF ONE TEMPERED PANE.

ROSELAND
SANTA
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310.557.0047
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Pasadena, CA 91101

MEP Engineer
Bull Energy MSP Flank & Kurtz
405 Nevada Street, Suite 510
San Francisco, CA 94102

Lighting Consultant
David Hillier and Associates, LLC
P.O. Box 370254
Littleton, CO 80117

Civil Engineer
Stevens Consulting
280 Canon Ridge Avenue
Thousand Oaks, CA 91321

Landscape Architect
Van Aja Associates
235 Palm Avenue
Santa Barbara, CA 93101

ADDENDUM A 12/17/10

CONRAD N. HILTON FOUNDATION

30000 ASQUORA ROAD
ACQUAPELLA, CA 91301

EXTERIOR ELEVATIONS

Date: 10/17/2010
Job No: 10104103
Drawn By: HW
Checked By: JH

Company:

FORRARD
SEATTLE
LOS ANGELES
SAN FRANCISCO
NEW YORK

313 South Flower Street
Suite 2700
Los Angeles, CA 90071
714.261.7801
F 313.477.0047
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Structural Engineer
KPF Consulting Engineers
4000 Las Vegas Avenue, Suite 200
Culver City, CA 91532

MEP Engineer
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485 Avenue Street, Suite 500
San Francisco, CA 94102

Lighting Consultant
David Nelson and Associates, LLC
P.O. Box 27024
Littleton, CO 80127

Owner's Consultant
Civil Engineer
Stevens Consulting
225 Conroy Ridge, Hercules
Troy, CA 94648

Landscape Architect
Van Arman Associates
235 Palm Avenue
Santa Barbara, CA 93101

Revised:

CONRAD N. HILTON FOUNDATION

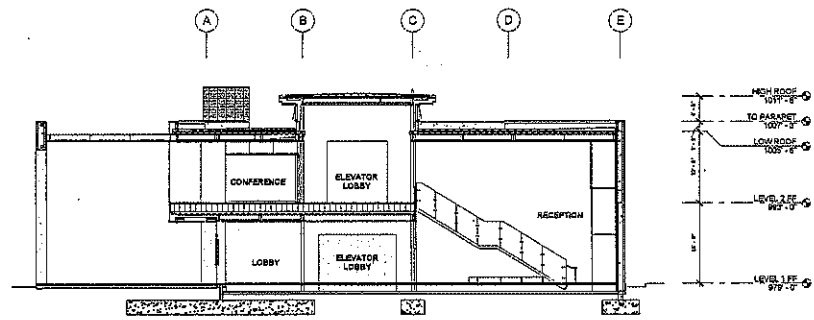
30000 AGOURA ROAD
AGOURA HILLS, CA 91301

Building Sections

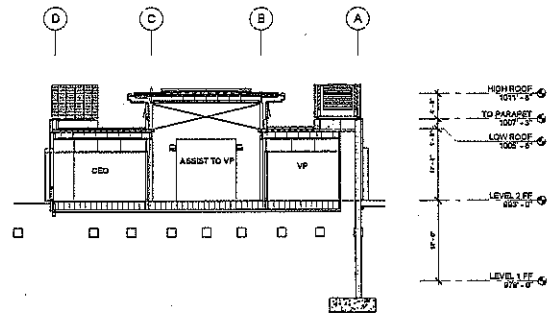


Date: 1/10/2019
Job No: LHM1805
Drawn By: RW
Checked By: JR
Drawing No.

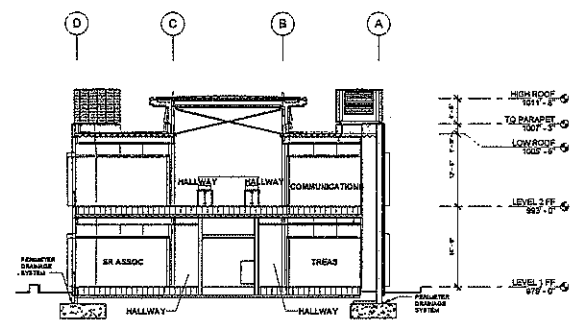
A3.04
BID SET



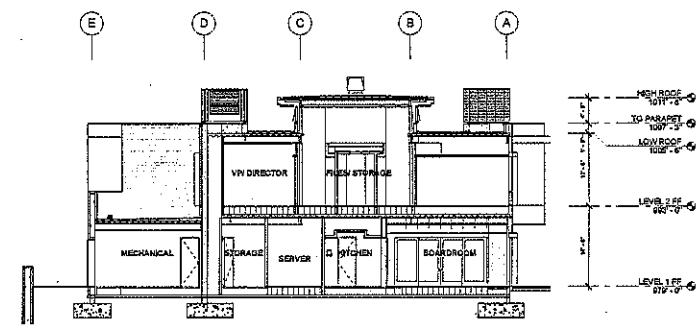
1 NORTH-SOUTH BUILDING SECTION 3
SCALE: 1/4" = 1'-0"



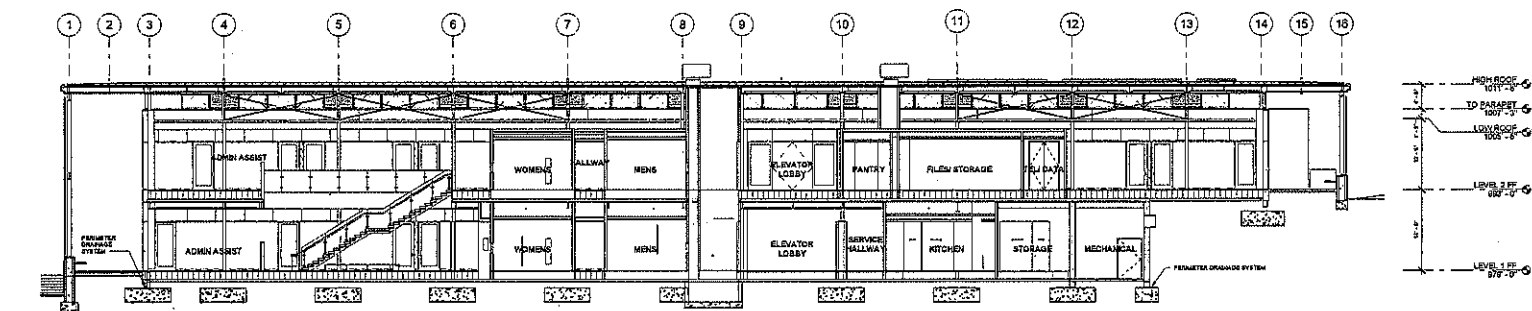
1 NORTH-SOUTH BUILDING SECTION 1
SCALE: 1/4" = 1'-0"



1 NORTH-SOUTH BUILDING SECTION 4
SCALE: 1/4" = 1'-0"



1 NORTH-SOUTH BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



1 EAST-WEST BUILDING SECTION 2
SCALE: 1/4" = 1'-0"

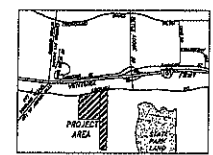


LEGEND

—	FINISH FLOOR
---	EXISTING DRAINAGE
---	STORM DRAIN LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	64' NIGHT LINE
---	GRADE LINE
---	RETAINING WALL
---	SPOT ELEVATION
---	SLOPE SYMBOL
---	BUILDING FOOTPRINT
○	TREE CANOPY
P/A	EXISTING FIRE HYDRANT
+	PROPOSED FIRE HYDRANT (LOCATION TBD BY FIRE DEPARTMENT)

- NOTES:**
- REFER TO RECORD OF SURVEY RECORDED AS INSTRUMENT NO. 20080127538 AND FILED IN BOOK 215 AT PAGES 12 THROUGH 16 OF RECORDS OF SURVEY OF SAID COUNTY FOR PROPERTY BOUNDARIES.
 - PARKING SPACES PROVIDED: 322 (8 HANDICAP), ADDITIONAL FUTURE PARKING FOR PHASE 4 TO BE PROVIDED IN UNDER GROUND PARKING STRUCTURE.
 - REFER TO OAK TREE REPORT FOR OAK TREE DETAIL.
 - PHASE 1 BUILDING: 24,000 S.F. (OFFICE); 750 S.F. (MAINTENANCE)
 PHASE 2 BUILDING: 38,000 S.F. (OFFICE); 750 S.F. (MAINTENANCE)
 PHASE 3 BUILDING: 7,500 S.F. (OFFICE)
 PHASE 4 BUILDING: 21,300 S.F. (OFFICE)

VICINITY MAP
NOT TO SCALE



THAT PORTION OF THE BINGOLD BOTTLER 190.88 ACRE PARCEL AND THE ESPERITO R. DE CHAVES 127.51 ACRE PARCEL, OF THE SUBDIVISION OF LOT E CONTAINING 0.7248 ACRES OF LAND ALLOTTED TO THE ESTATE OF JOSE REYES, DECED. IN THE PARTITION OF THE RANCHO LAS VIRGENES AS PER MAP RECORDED IN BOOK 52 AT PAGE 21 OF MISCELLANEOUS RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND PER INSTRUMENT NO. 2007190768 RECORDED AUGUST 21, 2007 AND INSTRUMENT NUMBER 20080127538 RECORDED APRIL 21, 2007, AND AS SHOWN BY RECORD OF SURVEY RECORDED AS INSTRUMENT NO. 20080127538 AND FILED IN BOOK 215 AT PAGES 12 THROUGH 16 OF RECORDS OF SURVEY OF SAID COUNTY (P/R: 308-041-004-048

REVISION	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE
		RESPONSE TO AGENCY COMMENTS		05/19/19
		RESPONSE TO AGENCY COMMENTS		12/19/19

PREPARED BY:
 Sierck Consulting Services, Inc.
 188 Pacific Blue Drive
 Encinitas, CA 92024
 Tel: 760.942.1177

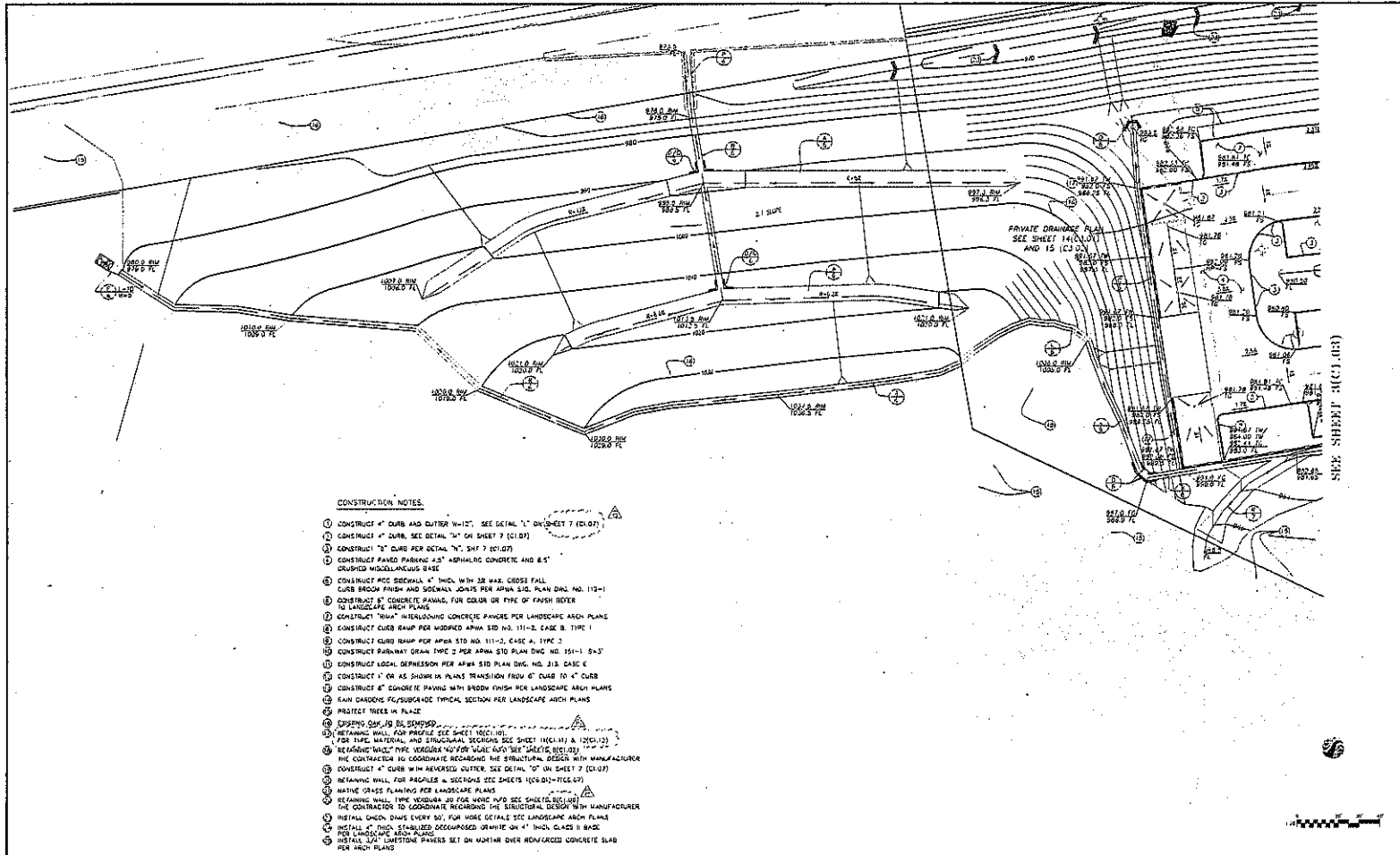
CITY OF AGOURA HILLS APPROVAL

REVIEWED BY	DATE	PERMISSOR/DIRECTOR	DATE
-------------	------	--------------------	------



MASTER SITE PLAN
 CONRAD H. HILTON FOUNDATION
 1918 SANTA MONICA BLVD., SUITE 1900
 LOS ANGELES, CA 90067
 TEL: (310) 558-4554

SHEET 1 OF 1



CONSTRUCTION NOTES

1. CONSTRUCT 4" CURBS AND OUTER 1/2" SEE DETAIL "L" ON SHEET 7 (C1.07)
2. CONSTRUCT 4" CURBS SEE DETAIL "M" ON SHEET 7 (C1.07)
3. CONSTRUCT 7" CURB PER DETAIL "N", SHEET 7 (C1.07)
4. CONSTRUCT PAVED FINISH 1" ASPHALTIC CONCRETE AND 8" DRUSHED WOODLANDOUS BASE
5. CONSTRUCT 100# SEVERALL 4" INCH WITH 3/8" MAX. CROSS FALL CURB BROAD FINISH AND SLOVAL ADJUST PER APWA STD. PLAN DNG. NO. 112-1
6. CONSTRUCT 8" CONCRETE PAVING, FOR COLOR OR FINCH OF FINISH REFER TO LANDSCAPE ARCH PLANS
7. CONSTRUCT "WALL" INTERLOCKING CONCRETE PAVES FOR LANDSCAPE ARCH PLANS
8. CONSTRUCT CURB RAMP PER ADAPTED APWA STD. NO. 111-2, CASE B, TYPE 1
9. CONSTRUCT CURB RAMP PER APWA STD. NO. 111-2, CASE A, TYPE 2
10. CONSTRUCT PARALLEL GRAIN TYPE 2 PER APWA STD. PLAN DNG. NO. 154-1, S-3
11. CONSTRUCT LOCAL DEPRESSION PER APWA STD. PLAN DNG. NO. 213, CASE E
12. CONSTRUCT 1" OR AS SHOWN IN PLANS TRANSITION FROM 4" CURB TO 4" CURB
13. CONSTRUCT 4" CONCRETE FINISH WITH BROAD FINISH FOR LANDSCAPE ARCH PLANS
14. RAIN GARDENS FC/SUBGRADE TYPICAL SECTION PER LANDSCAPE ARCH PLANS
15. PROTECT TREES IN PLACE
16. EXISTING 20" TO 24" DIAMETER
17. RETAINING WALL FOR PROFILE SEE SHEET 10(C) 101
18. FOR TYPE, MATERIAL, AND STRUCTURAL DETAILS SEE SHEET 10(C) 101 & 10(C) 102
19. RETAINING WALL TYPE VARIOUS 22 FOR NAME AND SEE SHEET 10(C) 101
20. THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
21. CONSTRUCT 4" CURB WITH REVERSED OUTER, SEE DETAIL "O" ON SHEET 7 (C1.07)
22. RETAINING WALL FOR PARAPETS & SECTIONS SEE SHEETS 10(C) 01 & 10(C) 07
23. NAME GRASS PLANNING PER LANDSCAPE PLANS
24. RETAINING WALL TYPE VARIOUS 22 FOR NAME AND SEE SHEET 10(C) 101
25. THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
26. INSTALL GROUND DRINKS EVERY 50' FOR HOSE DETAILS SEE LANDSCAPE ARCH PLANS
27. INSTALL 4" THICK STABILIZED OCCUPPOSED GRANITE ON 4" INCH CLASS II BASE
28. INSTALL 1/2" LIMESTONE PAVES SET ON MORTAR OVER REINFORCED CONCRETE SLAB PER ARCH PLANS

SEE SHEET 11(C) 101

NOT FOR CONSTRUCTION

REVISION #	DATE	DESCRIPTION OF CHANGE	APPROVED	DATE

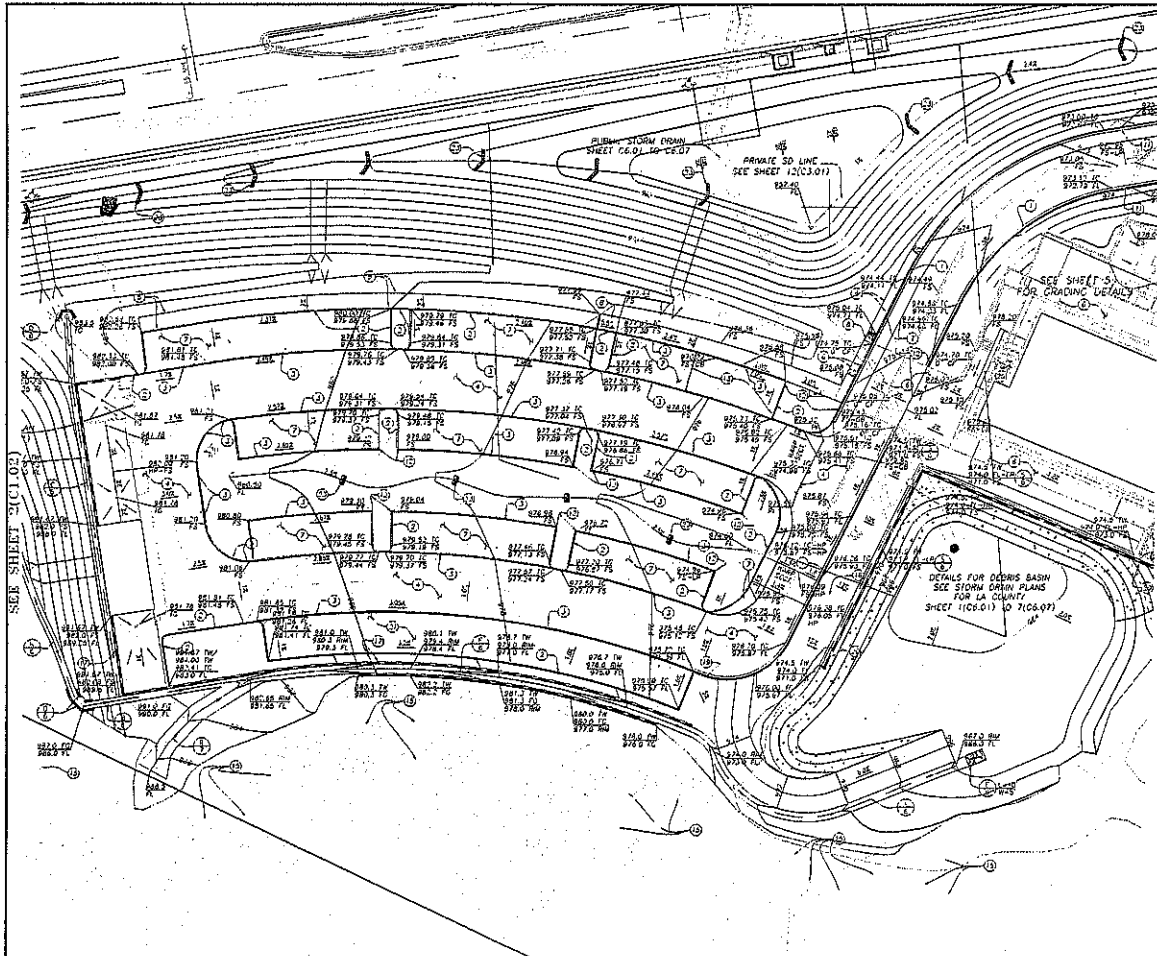
PREPARED BY: Srinivas Consulting Services, Inc. 2810 Canyon Boulevard Pasadena, CA 91101 Tel: 213.412.1300 Fax: 213.412.1301 www.zgf.com	PROJECT ENGINEER DATE
--	--------------------------

REVIEWED BY DATE	DATE
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APPROVED BY DATE	DATE
---------------------	------

8845 "REV" NO.	80012 EXP DATE
-------------------	-------------------

PHASE 1 GRADING & DRAINAGE PLAN CONRAD N. HILTON FOUNDATION 3000 AQUINA ROAD, SUITE 1000 LOS ANGELES, CA 90007 TEL: (213) 656-4894	SHEET 2 OF 22
--	---------------



CONSTRUCTION NOTES:

1. CONSTRUCT 4" CURB AND GUTTER 10"x12". SEE DETAIL "C" ON SHEET 7 (C1.02)
2. CONSTRUCT 4" CURB. SEE DETAIL "M" ON SHEET 7 (C1.02)
3. CONSTRUCT 10" CURB PER DETAIL "N", SHT 7 (C1.02)
4. CONSTRUCT PAVED PARKING 4.5" ASPHALTIC CONCRETE AND 8.5" GRANULAR MISCELLANEOUS BASE
5. CONSTRUCT FIVE SIDING 4" BRICK WITH DE MAX CROSS FALL CURB BRICK FISH AND SICKMAN JOINTS PER APCA STD. PLAN DWG NO. 111-1
6. CONSTRUCT 4" CONCRETE PAVING FOR DOOR OR TYPE UP FASH REFLR TO LANDSCAPE ARCH PLANS
7. CONSTRUCT "THIN" INTERLOCKING CONCRETE PAVES PER LANDSCAPE ARCH PLANS
8. CONSTRUCT CURB RAMP PER MODIFIED APCA STD NO. 111-2, CASE 8, TYPE 1
9. CONSTRUCT CURB RAMP PER APCA STD NO. 111-2, CASE 8, TYPE 2
10. CONSTRUCT PARKWAY DRAIN TYPE 2 PER APCA STD PLAN DWG NO. 101-1, S&S
11. CONSTRUCT DRAIN DEPRESSION PER APCA STD PLAN DWG NO. 313, CASE 2
12. CONSTRUCT 1" OR 43 SHOWN IN PLANS TRANSITION FROM 4" CURB TO 4" CURB
13. CONSTRUCT 4" CONCRETE PAVING WITH BRICK FISH FOR LANDSCAPE ARCH PLANS
14. RAIN GARDENS FS/SUBGRADE TYPICAL SECTION PER LANDSCAPE ARCH PLANS
15. PROTECT TREES IN PLACE
16. DUMPING SWH, TO BE BOUND
17. RETAINING WALL FOR TRUCKLE SEE SHEET 12(C.3.01)
18. FOR TYPE MATERIAL AND STRUCTURAL SECTIONS SEE SHEET 11(C.1.11) & 12(C.1.12)
19. "REINFORCING" INJECTIVE "REINFORCING" NOT FOR "REINFORCING" SEE SHEET 12(C.3.01)
20. THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
21. CONSTRUCT 4" CURB WITH REINFORCED CURBS. SEE DETAIL "O" ON SHEET 7 (C1.02)
22. REINFORCING WALL FOR PARADES & SECTIONS SEE SHEETS 12(C.1.11) & 12(C.1.12)
23. NATIVE GRASS PLANTING PER LANDSCAPE PLANS
24. REINFORCING WALL, TYPE "REINFORCING" 20 FOR MORE INFO SEE SHEETS 12(C.1.11) & 12(C.1.12)
25. THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
26. INSTALL CHECK DAMS EVERY 50', FOR MORE DETAILS SEE LANDSCAPE ARCH PLANS
27. DETAIL "A" - 2" THICK STABILIZED DECOMPOSED GRANITE ON 4" THICK CLASS II BASE PER LANDSCAPE ARCH PLANS
28. INSTALL 3/4" Limestone PAVERS SET ON WORKING OVER REINFORCED CONCRETE SLAB FOR ARCH PLANS

NOT FOR CONSTRUCTION

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY:
Serrano Consulting Services, Inc.
200 South Main Street
Thousand Oaks, CA 91320
Tel: 805.499.1237
www.serrano.com

CITY OF AGOURA HILLS APPROVAL					
PROJECT ENGINEER	DATE	REVIEWED BY	DATE	ISSUED	EXP. DATE

ISSUED: 03/29/12
EXP. DATE:

PHASE 1 GRADING & DRAINAGE PLAN
CONRAD N. HILTON FOUNDATION
1050 SANTA MONICA BLVD., SUITE 1000
LOS ANGELES, CA 90067
TEL: (310) 556-1694

SHEET 3 OF 22

PORTLAND
CLATSOP
207 W. 10TH
WASHQUATION DC
NEW YORK

315 South Flower Street
Suite 100
Los Angeles, CA 90013
714.441.1191
714.441.0511
www.zgf.com

Consultants

STRUCTURAL ENGINEER
KPPF Consulting Engineers,
225 S. La Brea Avenue, Suite 550
Pasadena, CA 91101

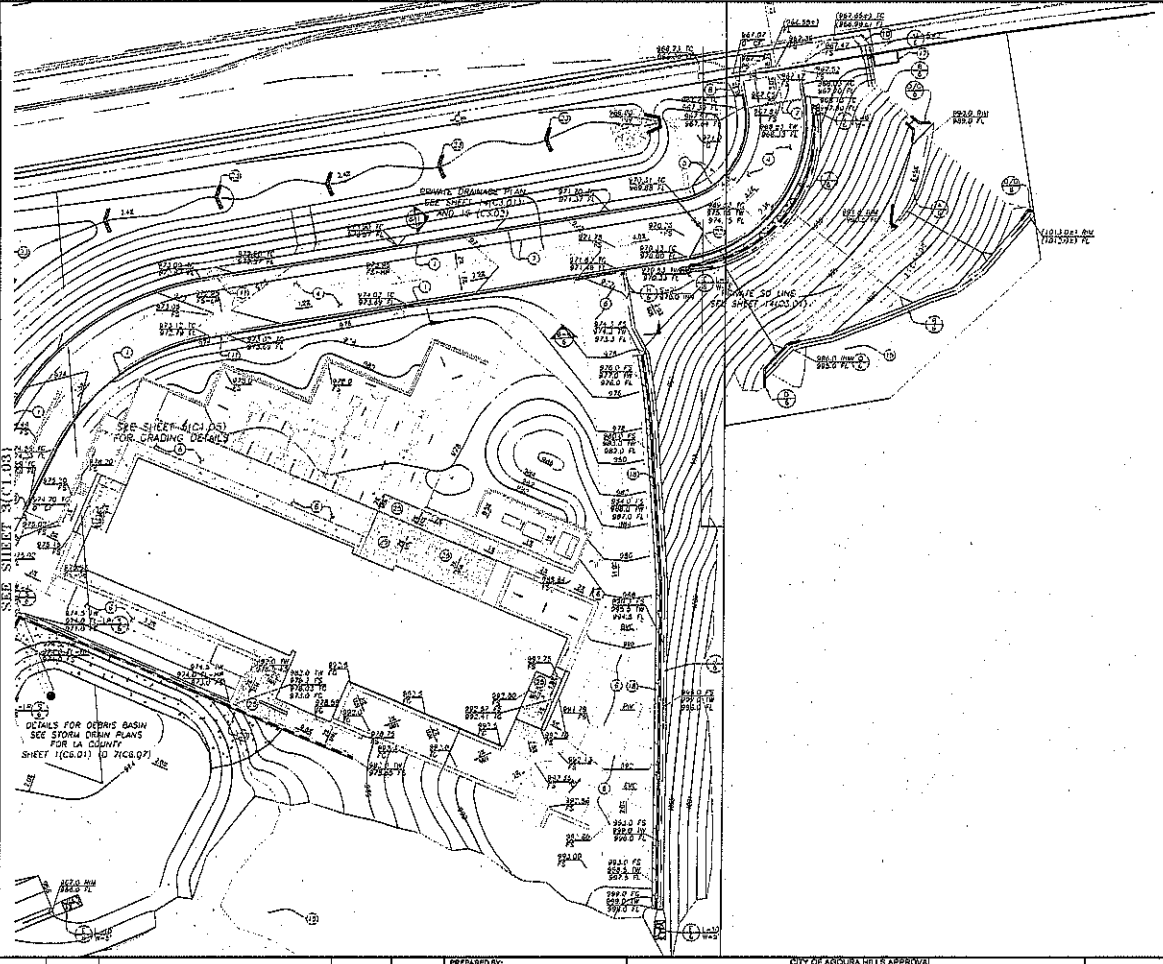
MEP ENGINEER
Bull & Mott
405 Market Street, Suite 500
San Francisco, CA 94105

LIGHTING CONSULTANT
David Huber and Associates, LLC
P.O. Box 27220
Denver, CO 80227

Owner's Consultant

CIVIL ENGINEER
Stevens Consulting
390 Colorado Plaza, Suite 1000
Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
Van Rey Associates
235 Palm Avenue
Santa Barbara, CA 93101



- CONSTRUCTION NOTES:**
1. CONSTRUCT 4" CURB AND OUTER RAMP, SEE DETAIL "L" ON SHEET 7 (C1.07)
 2. CONSTRUCT 4" CURB SEE DETAIL "M" ON SHEET 7 (C1.07)
 3. CONSTRUCT 2" CURB PER DETAIL "N" SHEET 7 (C1.07)
 4. CONSTRUCT PAVED PARKING 4" 18" ADMIRALTY CONCRETE AND 8.5" CRUSHED MISCELLANEOUS BASE
 5. CONSTRUCT 100 BROADWAY 4" THICK WITH 2X MAX. CROSS FALL CURB BRUSH PAINT AND SCHEDULE JOINTS PER AFPA STD. PLAN DWG. NO. 112-1
 6. CONCRETE BY CONCRETE PAVING FOR SEASON ON TOP OF FINISH RUTER TO LANDSCAPE ARCH PLANS
 7. CONSTRUCT "HEAT" INTERLOCKING CONCRETE PANELS PER LANDSCAPE ARCH PLANS
 8. CONSTRUCT CURB RAMP PER UGIFIED AFPA STD. NO. 111-2, CASE B, TYPE 1
 9. CONSTRUCT CURB RAMP PER AFPA STD. NO. 111-2, CASE A, TYPE 2
 10. CONSTRUCT PARALLEL DRIVE TYPE 2 PER AFPA STD. PLAN DWG. NO. 151-1, S-3
 11. CONSTRUCT LOCAL DEPRESSION PER AFPA STD. PLAN DWG. NO. 243, CASE E
 12. CONSTRUCT 1" OR 1.5" SPACERS IN PLANS TRANSITION FROM 4" CURB TO 4" CURBS
 13. CONSTRUCT 5" CONCRETE PAVING WITH BRUSH PAINT FOR LANDSCAPE ARCH PLANS
 14. BRUSH PAINTING POLYURETHANE FINISH PER LANDSCAPE ARCH PLANS
 15. PROTECT TREES IN PLACE
 16. EXISTING GRASS TO BE REMOVED
 17. RETAINING WALL FOR PROPOSED SHEET 10C.01 FOR THE RETAINING AND STRUCTURAL DETAILS SEE SHEET 11C.01 & 11C.02
 18. "INCLUDING" THE "VOIDS" FOR "VOIDS" INTO THE SHEET 10C.01 THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
 19. CONSTRUCT 4" CURB WITH REVERSED WATER, SEE DETAIL "O" ON SHEET 7 (C1.07)
 20. RETAINING WALL FOR PROFILES & SECTIONS SEE SHEETS 10C.01-10C.07
 21. HAVE GRASS PLANTED PER LANDSCAPE PLANS
 22. RETAINING WALL THE VENDOR IS FOR MORE INFO SEE SHEETS 10C.01-10C.07 THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
 23. INSTALL ONE-DAY BENT ENERY SET FOR MORE DETAILS SEE LANDSCAPE ARCH PLANS
 24. INSTALL 4" THICK STABILIZED OCCASIONED GRANITE ON 4" THICK CLASS II BASE
 25. INSTALL 3/4" DIMENSIONAL PAVEMENT SET ON MORTAR OVER REINFORCED CONCRETE SLAB PER ARCH PLANS

REVISION #		SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER		DATE	REVIEWED BY	DATE	DATE	NO. OF	DATE	NO. OF	DATE
PREPARED BY: Stevens Consulting Services, Inc. 2nd Floor, 300 N. Main St. 11400 Santa Monica Blvd., Suite 1000 Los Angeles, CA 90027 Tel: 405.252.1212 www.stevens.com						CITY OF AGONA HILLS APPROVAL _____ CITY ENGINEER		PHASE 1 GRADING & DRAINAGE PLAN CONRAD N. HILTON FOUNDATION 3550 AGONA ROAD, AGONA HILLS, CA 91301 LOS ANGELES, CA 90027 TEL: (310) 558-8284		SHEET 4 OF 22 CITY OF AGONA HILLS DWG. NO. _____					

CONRAD N. HILTON FOUNDATION

3550 AGONA ROAD,
AGONA HILLS, CA

DWG. NO.

DATE

DRAWN BY

Date: 02/25/10

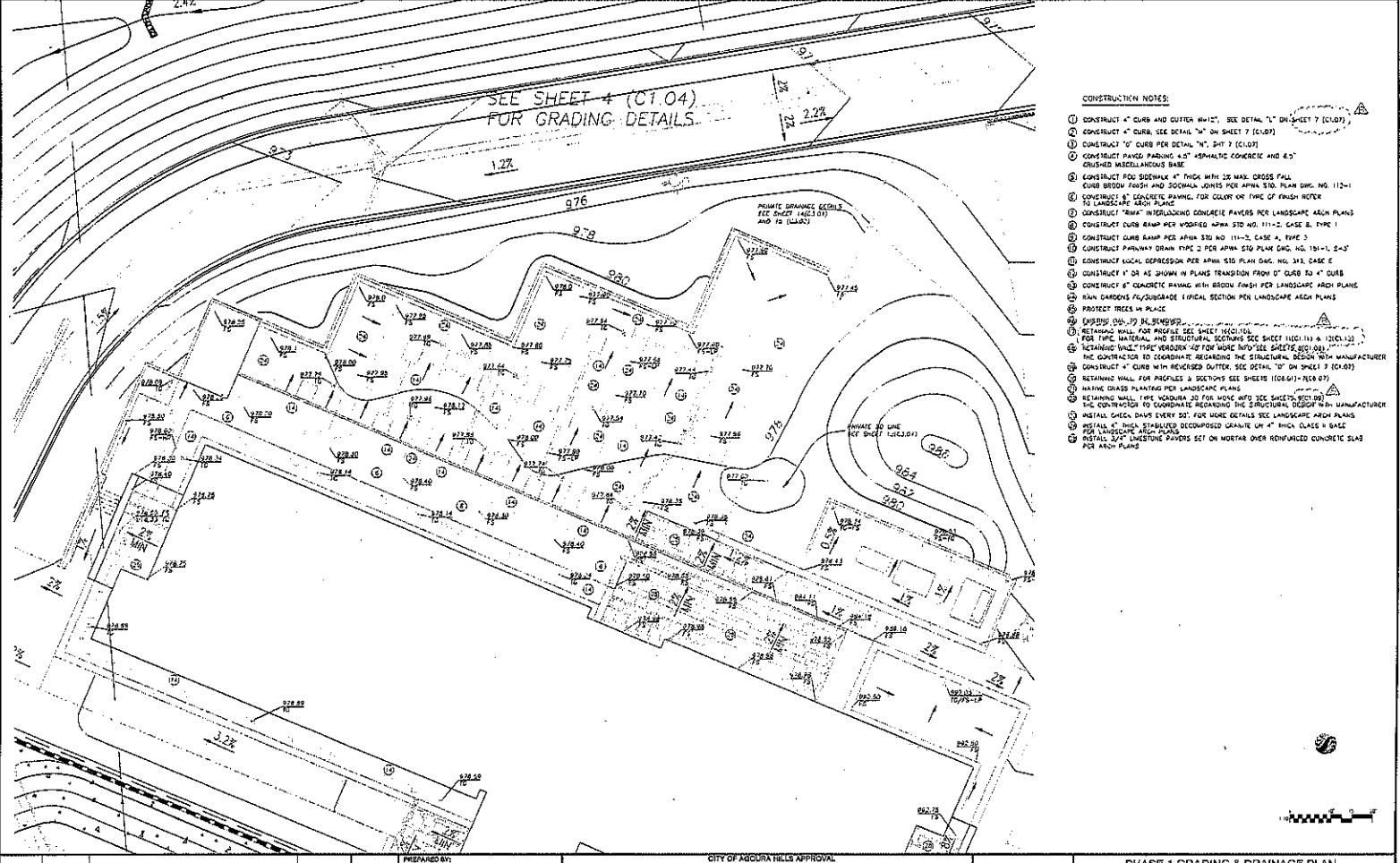
Job No: LF198A

Drawn by:

Checked by:

Scale:

C1.04
BID SET



- CONSTRUCTION NOTES:**
- CONSTRUCT 4" CURB AND GUTTER RW-1, SEE DETAIL "L" ON SHEET 7 (C1.07)
 - CONSTRUCT 4" CURB, SEE DETAIL "M" ON SHEET 7 (C1.07)
 - CONSTRUCT 12" CURB PER DETAIL "M", SH-7 (C1.07)
 - CONSTRUCT PAVED PARKING 4" ASPHALTIC CONCRETE AND 6" CRUSHED MISCELLANEOUS BASE
 - CONSTRUCT FOR SIDEWALK 4" THICK WITH 1/2" MAX. CROSS FALL CURB BRUSH FINISH AND JOINTS AS NOTED PER APWA STD. PLAN DWG. NO. 112-1
 - CONSTRUCT 4" CONCRETE PAVING FOR COLLECTOR OR TYPE OF FINISH NOTED TO LANDSCAPE ARCH PLANS
 - CONSTRUCT "BANK" INTERLOCKING CONCRETE PAVERS PER LANDSCAPE ARCH PLANS
 - CONSTRUCT CURB RAMP PER APWA STD. NO. 111-2, CASE A, TYPE 1
 - CONSTRUCT CURB RAMP PER APWA STD. NO. 111-2, CASE A, TYPE 2
 - CONSTRUCT PARALLEL DRAIN TYPE 2 PER APWA STD. PLAN DWG. NO. 101-1, 2-47
 - CONSTRUCT LOCAL DEPRESSION PER APWA STD. PLAN DWG. NO. 343, CASE E
 - CONSTRUCT 1" OR AS SHOWN IN PLANS TRANSITION FROM 0" CURB TO 4" CURB
 - CONSTRUCT 4" CONCRETE PAVING WITH BROWN FINISH PER LANDSCAPE ARCH PLANS
 - RAIN CARDS PER SUBGRADE SPECIAL SECTION PER LANDSCAPE ARCH PLANS
 - PROTECT TREES IN PLACE
 - EXISTING (DA-1) TO BE REMOVED
 - RETAINING WALL FOR PROFILES SEE SHEET 100(10)
 - FOR TYPE, MATERIAL, AND STRUCTURAL REQUIREMENTS SEE SHEET 100(11) & 100(12)
 - RETAINING WALL TYPE NUMBER 407 FOR MORE INFO SEE SHEETS 100(11) & 100(12) THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
 - CONSTRUCT 4" CURB WITH REVERSED OUTER, SEE DETAIL "D" ON SHEET 7 (C1.07)
 - RETAINING WALL FOR PROFILES & SECTIONS SEE SHEETS 100(61)-100(67)
 - HAVING GRASS PLANTING PER LANDSCAPE PLANS
 - RETAINING WALL TYPE NUMBER 207 FOR MORE INFO SEE SHEETS 100(11) & 100(12) THE CONTRACTOR TO COORDINATE REGARDING THE STRUCTURAL DESIGN WITH MANUFACTURER
 - INSTALL CHECK DAMS EVERY 50' FOR MORE DETAILS SEE LANDSCAPE ARCH PLANS
 - INSTALL 4" THICK STABILIZED DECOMPOSED GRANITE UN-4" THICK CLASS II BASE PER LANDSCAPE ARCH PLANS
 - INSTALL 3/4" LIMESTONE PAVERS SET ON MORTAR OVER REINFORCED CONCRETE SLAB PER ARCH PLANS

REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	PROJECT ENGINEER	DATE	REVIEWED BY	DATE	APPROVED BY	DATE	SCALE	DATE	PROJECT	SHEET	OF

PREPARED BY: **Stanic Consulting Services, Inc.**
 4450 Santa Monica Blvd., Suite 1000
 Los Angeles, CA 90044
 TEL: (310) 556-1000
 FAX: (310) 556-1001
 WWW: STANICCONSULTING.COM

CITY OF AGOURA HILLS APPROVAL
 APPROVED BY: _____ DATE: _____
 CITY ENGINEER

PHASE 1 GRADING & DRAINAGE PLAN
 CONRAD N. HILTON FOUNDATION
 10100 SANTA MONICA BLVD., SUITE 1000
 LOS ANGELES, CA 90067
 TEL: (310) 556-1004

SHEET **5** OF **22**
 CITY OF AGOURA HILLS DWG. NO.

1. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF STANIC CONSULTING SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF STANIC CONSULTING SERVICES, INC. IS STRICTLY PROHIBITED.

PROJECT NO. 2024-001
 DATE: 08/15/24
 DRAWING NO. 22
 SHEET NO. 01

310 West Flower Street
 Suite 300
 Pasadena, CA 91101
 PHONE: 626.792.1000
 FAX: 626.792.1001

STRUCTURAL ENGINEER
 RPPF Consulting Engineers
 301 N. Lake Avenue, Suite 500
 Pasadena, CA 91101

MEP ENGINEER
 Hub Design/MEP Plans & Specs
 105 Forward Street, Suite 300
 San Francisco, CA 94105

LANDSCAPE CONSULTANT
 David Hutton and Associates, LLC
 P.O. Box 27024
 Lakewood, CO 80227

Other Credits

CIVIL ENGINEER
 Storms Consulting
 290 Condit Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 Van Arta Associates
 255 Palm Avenue
 Santa Monica, CA 90401

REVISION

DATE

CONRAD N. HILTON FOUNDATION

25088 AGOURA ROAD,
 AGOURA HILLS, CA

Scale: 1/8" = 1'-0"

Date: 08/15/24

Project: 1740-001

Drawn by: [Name]

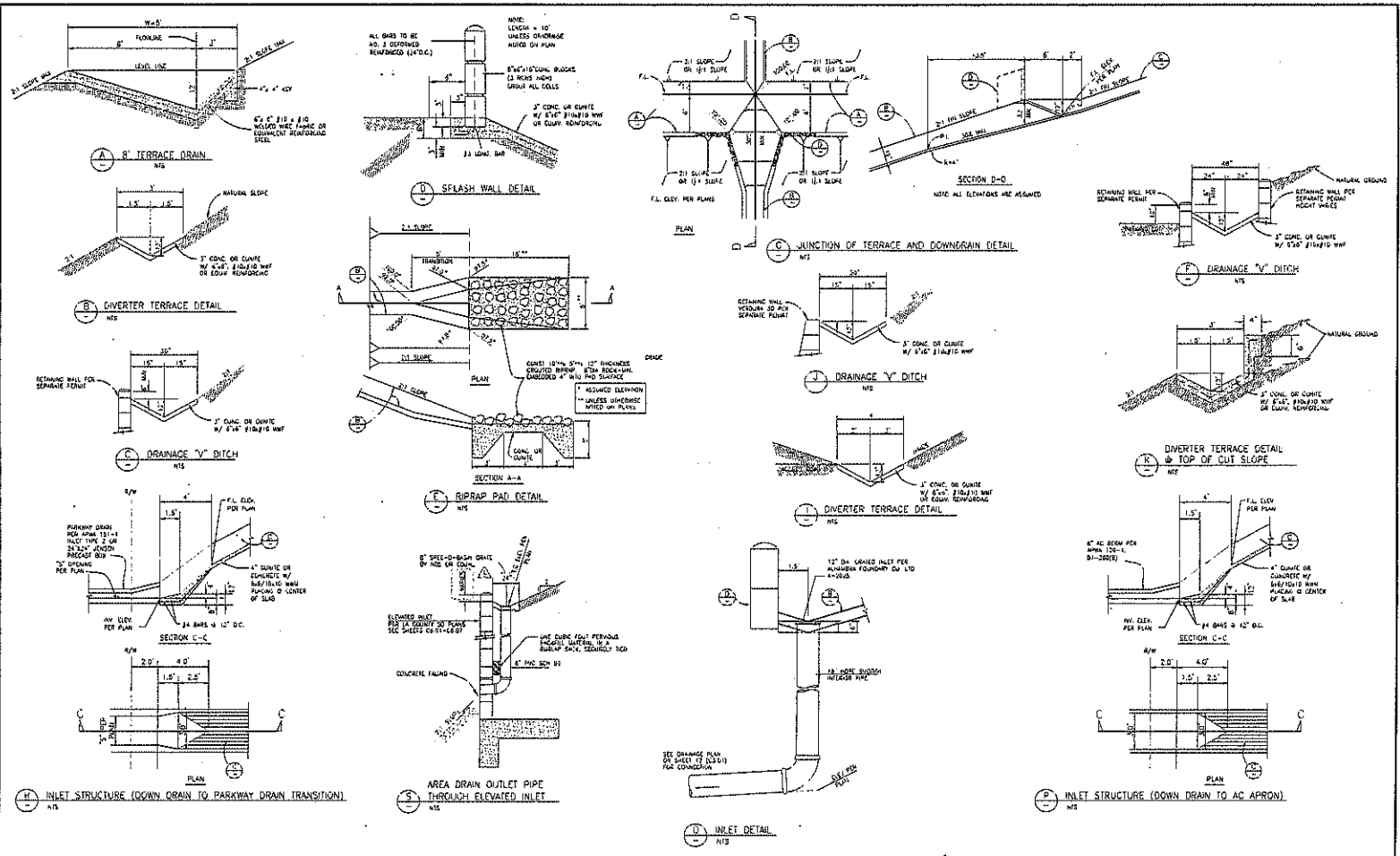
Checked by: [Name]

Scale: 1/8" = 1'-0"

Sheet: 01 of 22

BID SET

NOT FOR CONSTRUCTION



REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE

PREPARED BY: Storms Consulting, Inc. 290 Condit Ridge Avenue Thousand Oaks, CA 91320 TEL: 805.223.1000	PROJECT ENGINEER: _____ DATE: _____	REVIEWED BY: _____ DATE: _____	APPROVED BY: _____ DATE: _____	PROJECT NO.: _____	SHEET NO.: 01 OF 22
--	-------------------------------------	--------------------------------	--------------------------------	--------------------	---------------------

ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. FRACTIONS SHALL BE IN 16THS OF AN INCH. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

OUTDOOR LIGHTING WORKSHEET (Part 1 of 3) OLTG-02

Project Name: CONN HILTON FOUNDATION Date: 1/18/2010

A. VENTURE POWER ALLOWANCE FOR GENERAL ILLUMINATION

Area	AREA WATTAGE ALLOWANCE (W/A)		SUMMARY WATTAGE ALLOWANCE (W/A)		TOTAL GENERAL ILLUMINATION ALLOWANCE
	Area	W/A	Area	W/A	
1.000	1000	1000	1000	1000	1000
2.000	2000	2000	2000	2000	2000
3.000	3000	3000	3000	3000	3000
4.000	4000	4000	4000	4000	4000
5.000	5000	5000	5000	5000	5000
6.000	6000	6000	6000	6000	6000
7.000	7000	7000	7000	7000	7000
8.000	8000	8000	8000	8000	8000
9.000	9000	9000	9000	9000	9000
10.000	10000	10000	10000	10000	10000

B. SPECIFIC APPLICATION WATTAGE ALLOWANCE PER UNIT (LUMENS) (LUMENS PER FOOT CANDLE)

Area	Area	Wattage Allowance (W/A)	Lumens per Foot Candle
1.000	1000	1000	1000
2.000	2000	2000	2000
3.000	3000	3000	3000
4.000	4000	4000	4000
5.000	5000	5000	5000
6.000	6000	6000	6000
7.000	7000	7000	7000
8.000	8000	8000	8000
9.000	9000	9000	9000
10.000	10000	10000	10000

C. SPECIFIC APPLICATION WATTAGE ALLOWANCE FOR OUTDOOR LIGHT FIXTURES

Area	Area	Wattage Allowance (W/A)	Lumens per Foot Candle
1.000	1000	1000	1000
2.000	2000	2000	2000
3.000	3000	3000	3000
4.000	4000	4000	4000
5.000	5000	5000	5000
6.000	6000	6000	6000
7.000	7000	7000	7000
8.000	8000	8000	8000
9.000	9000	9000	9000
10.000	10000	10000	10000

CERTIFICATE OF COMPLIANCE (Part 3 of 4) OLTG-10

Project Name: CONN HILTON FOUNDATION Date: 1/18/2010

OUTDOOR LIGHTING ZONE

Zone 1 Zone 2 Zone 3 Zone 4 Zone 5

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

ADDITIONAL LIGHTING POWER ALLOWANCE FOR OUTDOOR REQUIREMENTS

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

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ADDITIONAL NOTES

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

CERTIFICATE OF COMPLIANCE (Part 1 of 4) OLTG-10

Project Name: CONN HILTON FOUNDATION Date: 1/18/2010

GENERAL INFORMATION

Project Name: CONN HILTON FOUNDATION
 3300 AGOURA RD, AGOURA HILLS, CA
 Project Number: 08-071

DECLARATION

I, the undersigned, being duly qualified, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am a duly qualified professional engineer in the State of California.

DECLARATION OF COMPLIANCE STATEMENT

I, the undersigned, being duly qualified, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am a duly qualified professional engineer in the State of California.

DECLARATION OF COMPLIANCE STATEMENT

I, the undersigned, being duly qualified, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am a duly qualified professional engineer in the State of California.

DECLARATION OF COMPLIANCE STATEMENT

I, the undersigned, being duly qualified, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that I am a duly qualified professional engineer in the State of California.

CERTIFICATE OF COMPLIANCE (Part 4 of 4) OLTG-10

Project Name: CONN HILTON FOUNDATION Date: 1/18/2010

ALLOWED AND INSTALLED OUTDOOR LIGHTING POWER

Area	Area	Wattage Allowance (W/A)	Lumens per Foot Candle
1.000	1000	1000	1000
2.000	2000	2000	2000
3.000	3000	3000	3000
4.000	4000	4000	4000
5.000	5000	5000	5000
6.000	6000	6000	6000
7.000	7000	7000	7000
8.000	8000	8000	8000
9.000	9000	9000	9000
10.000	10000	10000	10000

ADDITIONAL NOTES

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

CERTIFICATE OF COMPLIANCE (Part 2 of 4) OLTG-10

Project Name: CONN HILTON FOUNDATION Date: 1/18/2010

COMPLIANCE FEATURES - LIGHTING CONTROL SCHEDULE 1 AND 2 (SECTION 26.05.00)

Area	Area	Wattage Allowance (W/A)	Lumens per Foot Candle
1.000	1000	1000	1000
2.000	2000	2000	2000
3.000	3000	3000	3000
4.000	4000	4000	4000
5.000	5000	5000	5000
6.000	6000	6000	6000
7.000	7000	7000	7000
8.000	8000	8000	8000
9.000	9000	9000	9000
10.000	10000	10000	10000

ADDITIONAL NOTES

The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

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The site is a government-owned park, recreational area, public square, or public market, and has been designated as such by the applicable local ordinance.

Site Plan Legend

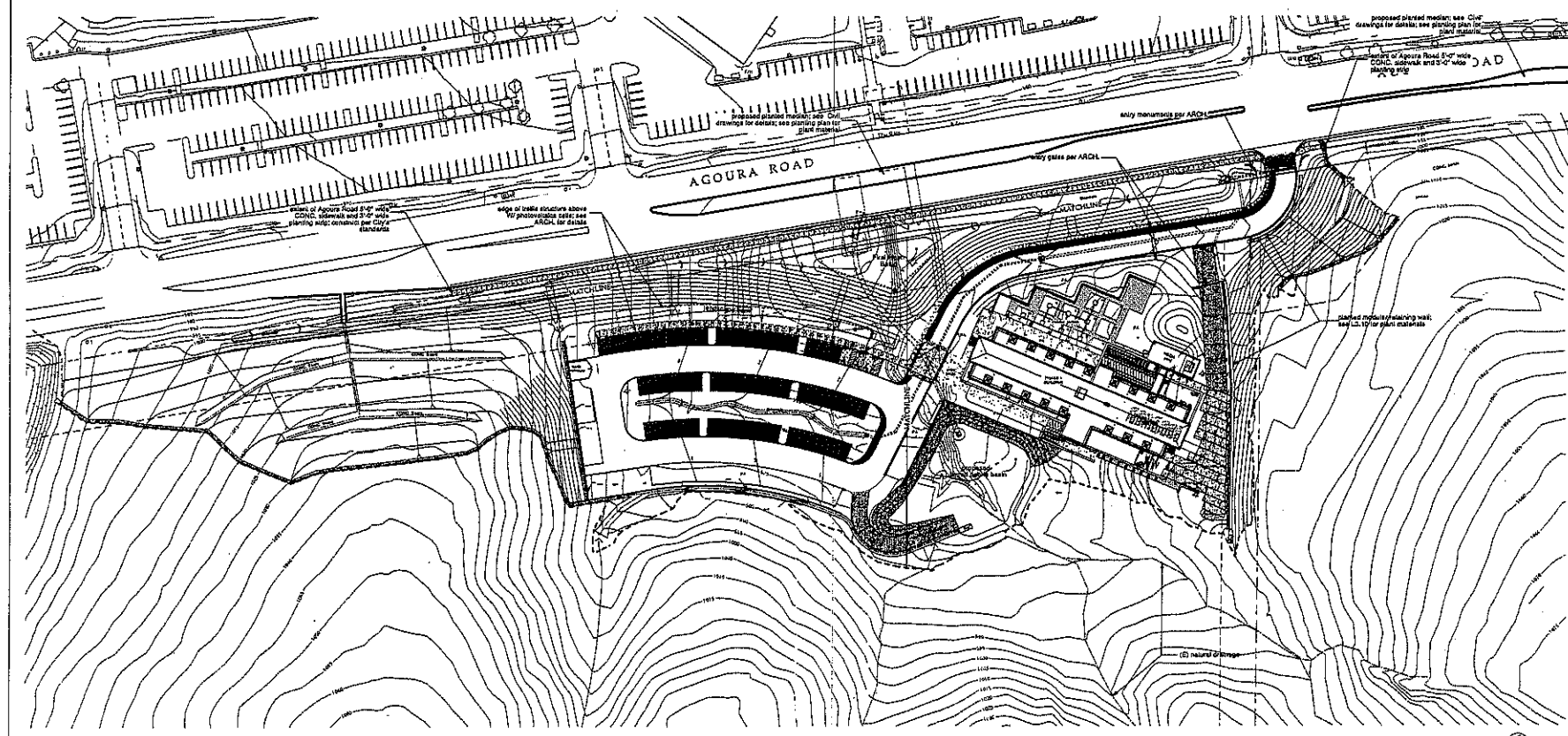
- Combined (Architect, Civil and Landscape) Limits of Work (or Phase I)
- ← () Bioretention Wet Check Dam; see sheet L2.211 detail 7

General Notes

1. Contractor shall read and understand the specifications and conditions of approval prior to commencing work. Failure to adhere to the specifications may result in a change of the project at the contractor's expense. Contractor is responsible for any time due to further decision to alter the design or layout of the project in any way.
2. Contractor shall confirm all field dimensions and conditions prior to the start of work. Any discrepancies with plans shall be reported to the Landscape Architect.
3. Due to unforeseen circumstances that occur as projects undergo construction, site conditions may change. Therefore, if a proposed built element, grade change, or planting seems problematic and is evident that it is not realistic due to new site conditions, please call Landscape Architect to coordinate site leave prior to construction.
4. These plans were developed utilizing survey information provided by others. Landscape Architect holds no obligation to verify and/or adjust lines.
5. Contractor shall make modifications to material or method of installation as required by local code, and shall notify the Landscape Architect of such changes.
6. Contractor shall provide a 4' x 4' area sample of each class of paving for approval by Landscape Architect.

Layout Notes

1. Curbs, area drains and grading by civil engineer, refer to civil engineer's drawing's for details.
2. Dispositions shown are relative to newly built conditions and must be verified in the field by the contractor. The location and extent of parking, access paths, plantings and paved parking must be stated by the contractor, and any necessary adjustments made in consultation with the landscape architect prior to construction.
3. All dimensions are perpendicular unless otherwise noted.
4. Initial separation joints are shown at all walls, buildings, curbs, and where indicated on plans, or every 100ft. Follow notes pattern on L1.19 & L1.11



Site Plan



Landscapes Design Concept

The landscape design vision is to preserve the best aspects of the existing site. This will be accomplished by creating with nature in the region, creating existing natural areas, including the riparian zone, and providing natural habitat. The site is a mix of natural and man-made. The design is to provide natural habitat, which will be preserved.

Objectives:

- As an integral part of the development, the landscape design will be an integral part of the overall site plan.
- Preserve and enhance the natural resources of the site.
- Provide a high-quality landscape for the site.
- Provide a high-quality landscape for the site.
- Provide a high-quality landscape for the site.

Material Legend:

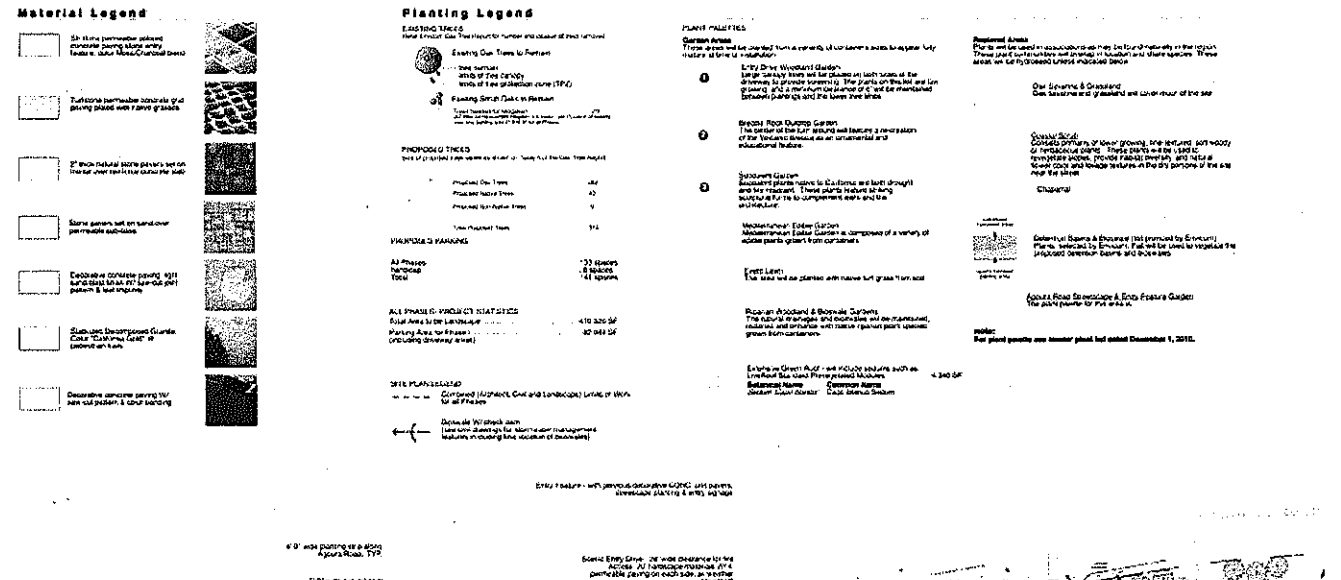
- 2" inch natural stone pavers on bed of crushed granite
- 2" inch natural stone pavers on bed of crushed granite
- Decorative concrete paving with aggregate surface
- Decorative concrete paving with aggregate surface
- Decorative concrete paving with aggregate surface

Planting Legend:

- Establish 100' wide planting strip along Aurora Road, TYP
- Establish 100' wide natural area adjacent to Aurora Road, TYP

Site Plan:

The site plan shows the overall layout of the project, including the building, parking, and landscape areas. The design is to provide a high-quality landscape for the site.



ZGF

Zaner & Gifford Architects Inc.

PROJECT: CONRAD N. HILTON FOUNDATION
 3000 100th Ave NE, Suite 1000, Redmond, WA 98073
 PROJECT NO.: 2011-001
 DATE: 08/01/12

ARCHITECT
 ZGF
 3000 100th Ave NE, Suite 1000
 Redmond, WA 98073
 (509) 881-8000
 www.zgf.com

ENGINEER
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 2200 1st Ave, Suite 2000
 Bellevue, WA 98003
 (206) 835-3300
 www.nbbj.com

LANDSCAPE ARCHITECT
 ZGF
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 Redmond, WA 98073
 (509) 881-8000
 www.zgf.com

CONRAD N. HILTON FOUNDATION
 3000 100th Ave NE, Suite 1000, Redmond, WA 98073
 (509) 881-8000
 www.conradhilton.org

Overall Site
 61 Acre Site
 3000 100th Ave NE, Suite 1000
 Redmond, WA 98073

L1.02

PORTLAND
 1247E
 103 ANGLE
 WASHINGTON DC
 20004

814 East New Street
 244-0101
 Los Angeles, CA 90011
 713-611-5641
 P.O. Box 1247
 Woodbridge
 Virginia

STRUCTURAL ENGINEER
 KOFF Consulting Engineers
 4555 Las Virgenes Road, Suite 300
 Camarillo, CA 91302

MSP ENGINEER
 Bill Emery/MSP Flack & Kurtz
 402 Howard Street, Suite 600
 San Francisco, CA 94102

LIGHTING CONSULTANT
 Beag Nelson and Associates, LLC
 P.O. Box 272554
 Littleton, CO 80127

Owner: Conrad N. Hilton Foundation

CIVIL ENGINEER
 Skanska Consulting
 390 Canyon Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 Van JWA Associates
 235 Park Avenue
 San Francisco, CA 94101

CONRAD N.
 HILTON
 FOUNDATION

30500 AGOURA ROAD, AGOURA HILLS, CA

Drawing No.

IRRIGATION PLAN

1" = 16' 0"

Date: 1/20/2016

Job No.: 12162415

Drawn By:

Checked By:

Scale:

EXTRINSIC PIPE SIZE	DEPTH	SPACING
12"	18"	30'
12"	18"	30'
12"	18"	30'
12"	18"	30'
12"	18"	30'

DESIGNED BY: MICHAEL
 CHECKED BY: MICHAEL
 DATE: 1/20/2016
 SCALE: AS SHOWN
 PROJECT: CONRAD N. HILTON FOUNDATION
 DRAWING: IRRIGATION PLAN

L2.10
 BID SET

NOTE A:
 POINT OF CONNECTION SHALL BE DOWNSTREAM OF BOOSTER PUMP PROVIDED BY OTHER. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. ANY OF THE POC INFORMATION SHOWN ON THESE DRAWINGS IS TO BE CONFIRMED WITH THE ACTUAL POC INFORMATION PROVIDED AT THE FIELD. IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTE B:
 CONTROLLER SHALL BE A JCI - GREEN TECH ASSEMBLY. REFER TO LEGEND FOR COMPLETE MODEL AND INFORMATION. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

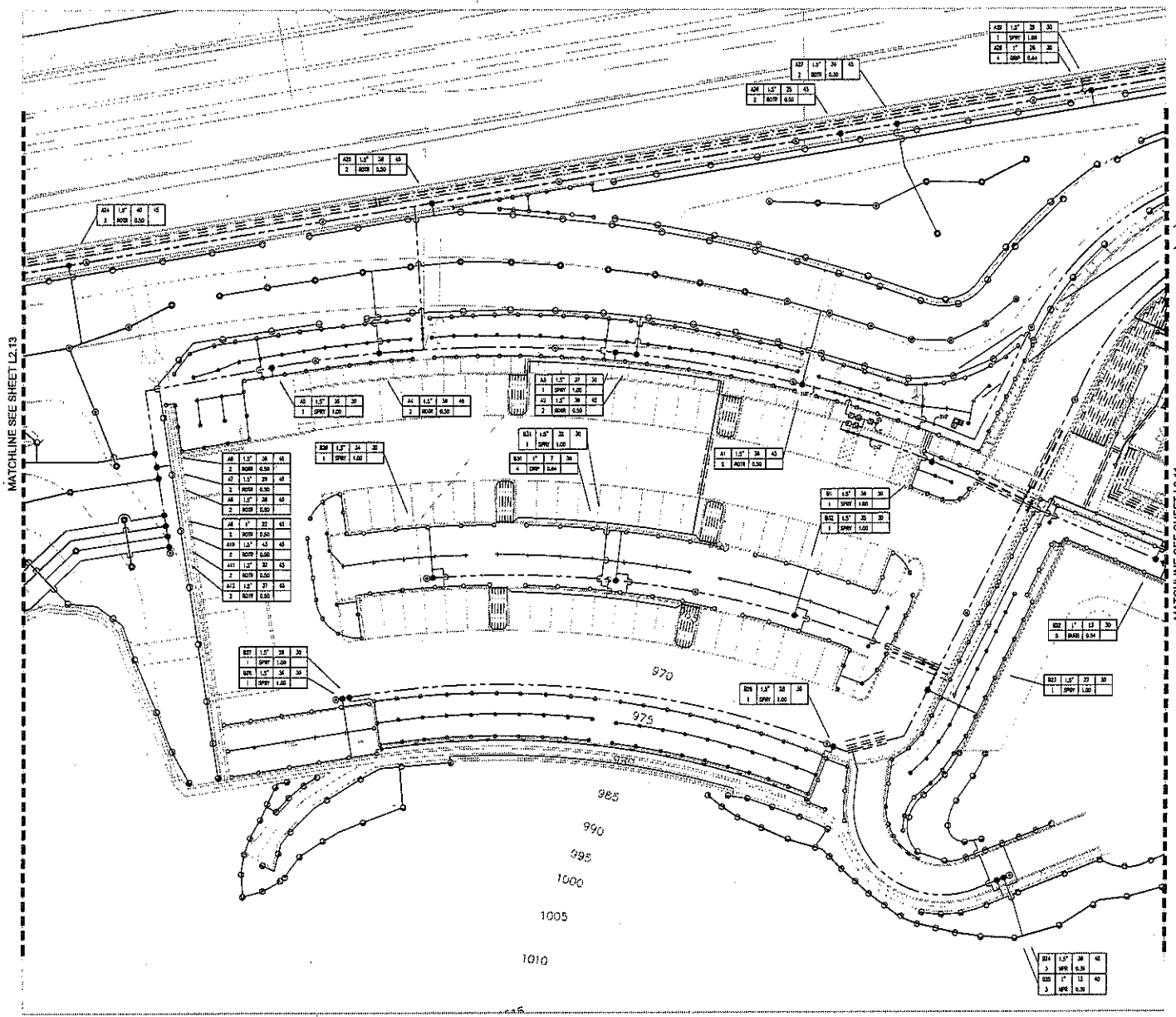
NOTE C:
 MOUNDING AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION OF MOUNDING AND RELATED EQUIPMENT TO BE WITHIN PAVING AND MOUNDING OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.

NOTE D:
 CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:
 SUBMERSIBLE AND LATERAL LINES ARE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PAVING. SUBMERSIBLE SHALL BE ALIGNED WITH THESE LINES AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. COMPARE ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

IRRIGATION POINT OF CONNECTION;
 REFER TO NOTE 'A' ABOVE

IRRIGATION CONTROLLER LOCATION;
 REFER TO NOTE 'B' ABOVE



As of 1/20/2016, the information on this drawing was prepared by the design professional named below. The design professional named below is not responsible for any errors or omissions on this drawing. The design professional named below is not responsible for any errors or omissions on this drawing. The design professional named below is not responsible for any errors or omissions on this drawing.

NOTE A: MAINLINE AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION OF MAINLINE AND RELATED EQUIPMENT TO BE WITHIN PLANTER AND A MINIMUM OF 16" OFF ADJACENT LANDSCAPE AND OTHER OBSTACLES TYPE.

NOTE B: CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. WRRP ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C: SYMBOLS AND LATERAL LINES ARE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER. BURIED PIPES SHALL BE ALIGNED WITH TREES AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONFIRM ALL LAYOUTS IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

ROSELAND
 STATE
 LOS ANGELES
 WA-AND/ORION DC
 MCY-1004

315 Surf Hwy Blvd
 Suite 202
 Los Angeles, CA 90071
 T 213 318 1301
 F 310 313 4547
 www.zgf.com

Contract

STRUCTURAL ENGINEER
 KPFK Consulting Engineers
 4055 Las Vegas Blvd, Suite 200
 Culver City, CA 91502

MEP ENGINEER
 Ball Engineering Firm & Staff
 4055 Howard Street, Suite 500
 San Francisco, CA 94130

LIGHTING CONSULTANT
 David Hilbert and Associates, LLC
 P.O. Box 271258
 Littleton, CO 80127

Design Consultant

CIVIL ENGINEER
 Siskin Consulting
 200 Conant Plaza Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 Van Allen Associates
 225 Park Avenue
 Santa Barbara, CA 93101

Revision

CONRAD N.
 HILTON
 FOUNDATION

3066 AGUIRA ROAD, ADOURIA HILLS, CA

Quantity Take

IRRIGATION PLAN

1" = 18'-0"

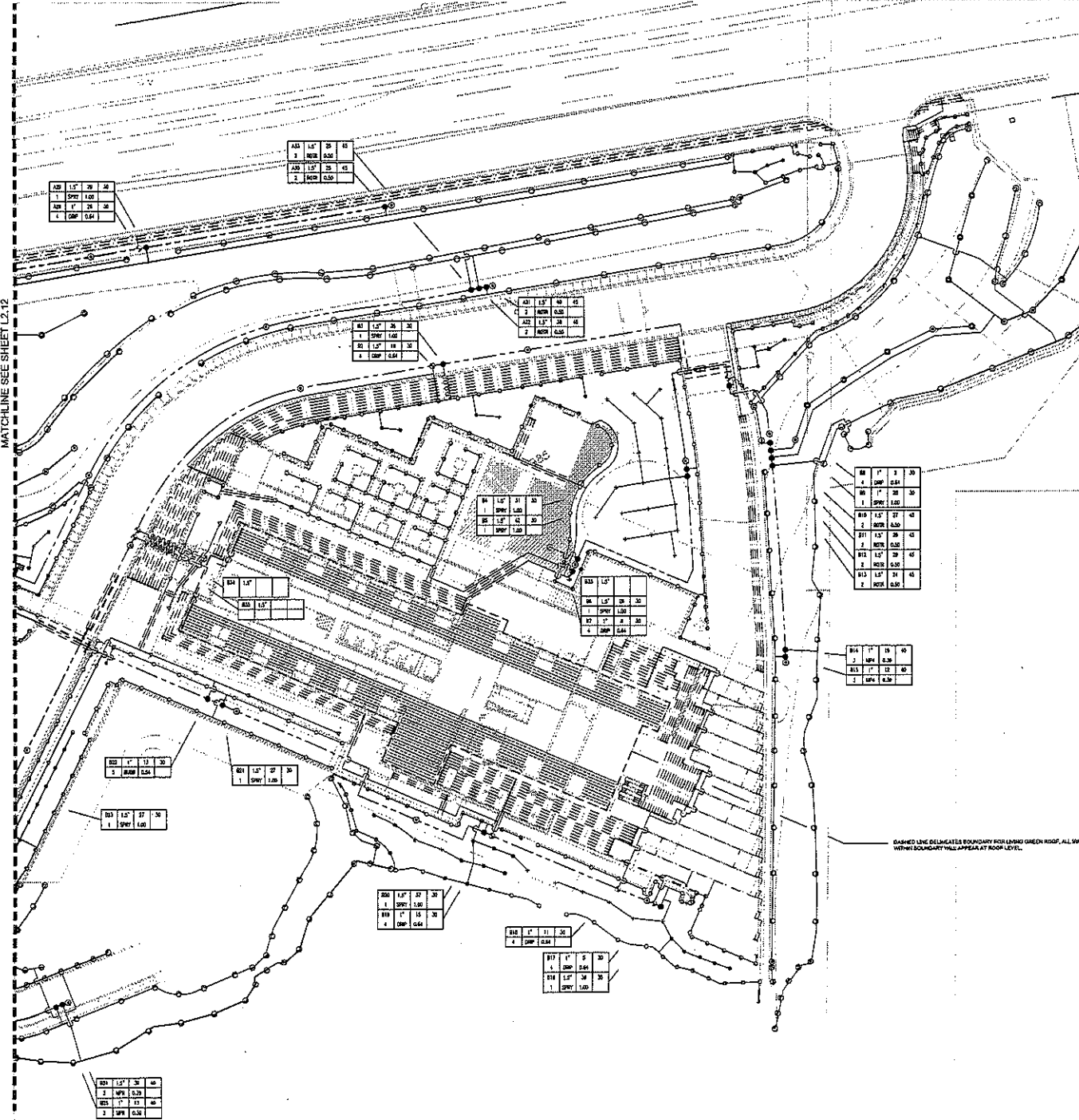
Date: 1/15/2013
 Job No: 129084
 Drawn By:
 Checked By:
 Approved By:

L2.11
 BID SET

PATTERN PIPE SIZES CHECK	
PATTERN SIZE	INSTALLATION
1/2"	PVC
3/4"	PVC
1"	PVC
1 1/2"	PVC
2"	PVC

SYMBOLS	
SYMBOL	DESCRIPTION
(Symbol)	1/2" PVC
(Symbol)	3/4" PVC
(Symbol)	1" PVC
(Symbol)	1 1/2" PVC
(Symbol)	2" PVC

MATCHLINE SEE SHEET L2.12

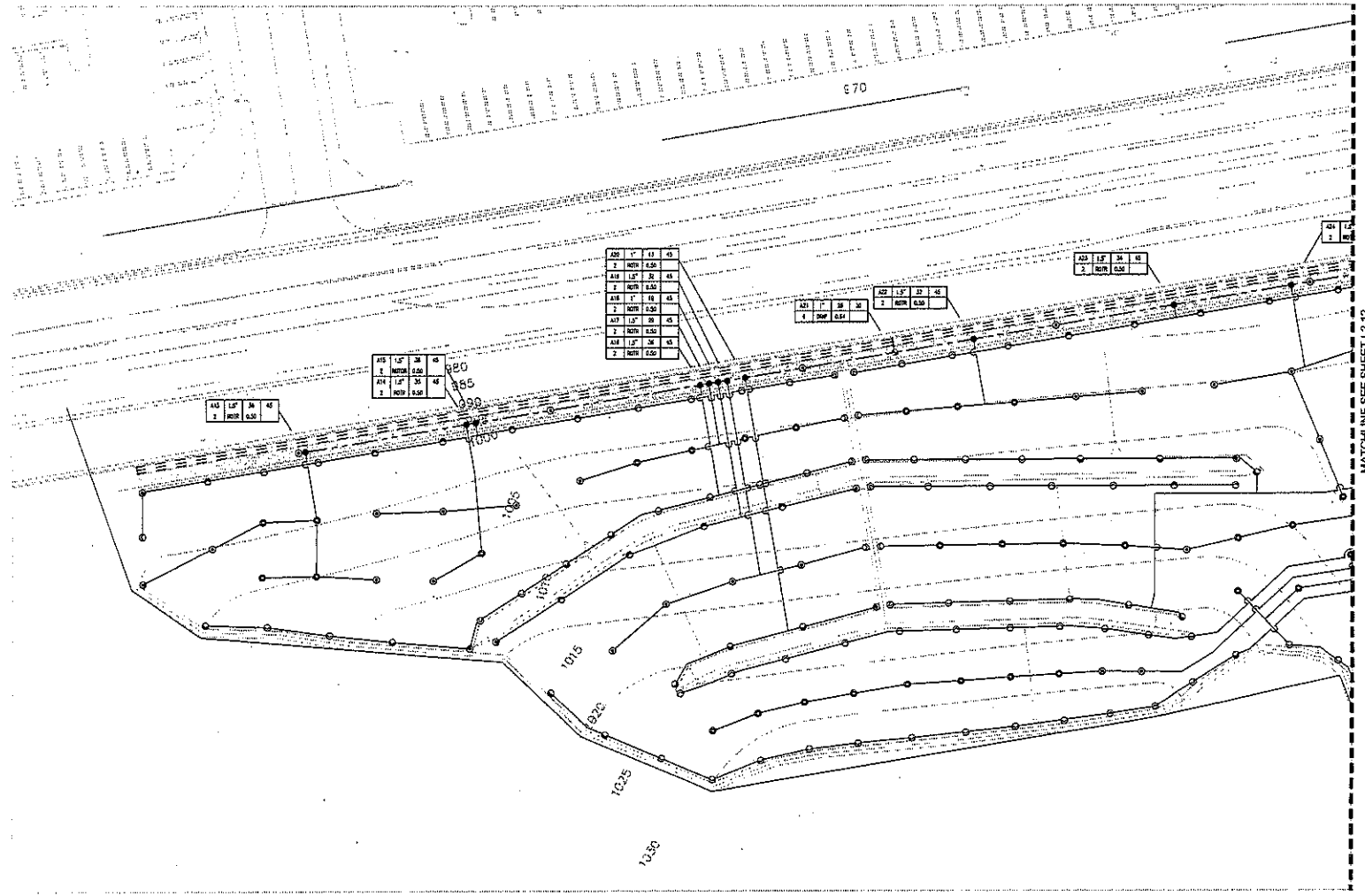


CONRAD N. HILTON FOUNDATION, 3066 AGUIRA ROAD, ADOURIA HILLS, CA 91301
 PROJECT NO. 129084, 1/15/2013
 THIS DOCUMENT IS THE PROPERTY OF ZGF AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ZGF.

NOTE: IRRIGATION AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION OF MAINLINE AND RELATED EQUIPMENT TO BE WITHIN PAVED AND ADJACENT LANDSCAPE AND OTHER DETAILABLE TYP.

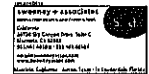
NOTE: CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

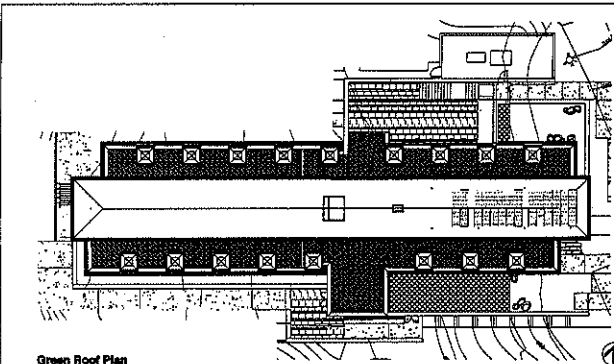
NOTE: MAINLINE AND LATERAL LINE ARE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PAVED. SYSTEMS SHALL BE RIGID WITH TRENCHES AND AS DIRECTED BY OWNERS AUTHORIZED REPRESENTATIVE. CONFIRM ALL LAYOUTS BY FIELD WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.



Van Alen Associates, Inc. is a registered professional landscape architect in the State of California. License No. 10000. The project was completed on 11/08/12. The drawing was prepared by Van Alen Associates, Inc. on 11/08/12. The drawing was prepared by Van Alen Associates, Inc. on 11/08/12.

DATE	BY	REVISION
11/08/12
11/08/12
11/08/12
11/08/12





Green Roof Plan

PROPOSED GREEN ROOF PLANTING AREAS

- Extensive Green Roof - LiveRoof Standard Prevegetated Matting** - 4,340 SF
- Semi-extensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF
- Intensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF
- Intensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF
- Intensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF
- Intensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF
- Intensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF
- Intensive Green Roof - LiveRoof Standard Prevegetated Matting** - 600 SF

Plan Legend

- EXISTING TREES**
- Refer to Existing Oak Tree Report for number and location of existing trees removed.
- (X) Existing Tree to be Removed
- PROPOSED TREES**
- See Tables of the Oak Tree Report prepared by Envirochem Corporation for minimum quantity and size of tree needed for mitigation; additional trees shown are beyond what is required for mitigation.

Tree Legend

- | Scientific Name | Common Name |
|------------------------------|---------------------|
| <i>Alnus rhomboidalis</i> | White Alder |
| <i>Carya occidentalis</i> | Western Redbud |
| <i>Maclurea acutifolia</i> | Taylor |
| <i>Juglans californica</i> | California Walnut |
| <i>Q. agrifolia</i> | Olive Tree |
| <i>Platanus racemosa</i> | Western Sycamore |
| <i>Populus fremontii</i> | Fremont Cottonwood |
| <i>Quercus agrifolia</i> | Coast Live Oak |
| <i>Quercus berlandieri</i> | Spink Oak |
| <i>Quercus lobata</i> | Valley Oak |
| <i>Quercus laevis</i> | Oak Oak |
| <i>Sambucus mexicana</i> | Mexican Elderberry |
| <i>Urechodes californica</i> | California Bay Tree |

Proposed Hydroseeded Planting Area

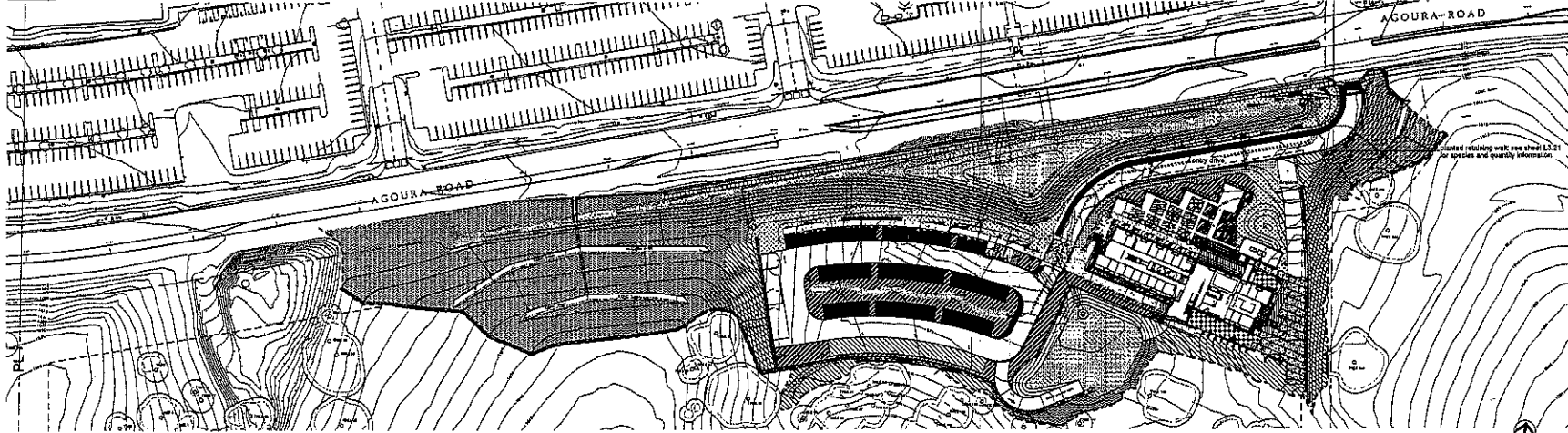
- Slope Hydroseed Mat
- Oak Savanna & Granddard Hydroseed Mat
- Grass Hydroseed Mat
- Disturbance Basins & Bioretts (as provided by Envirochem)

Planting Legend - Groundcovers

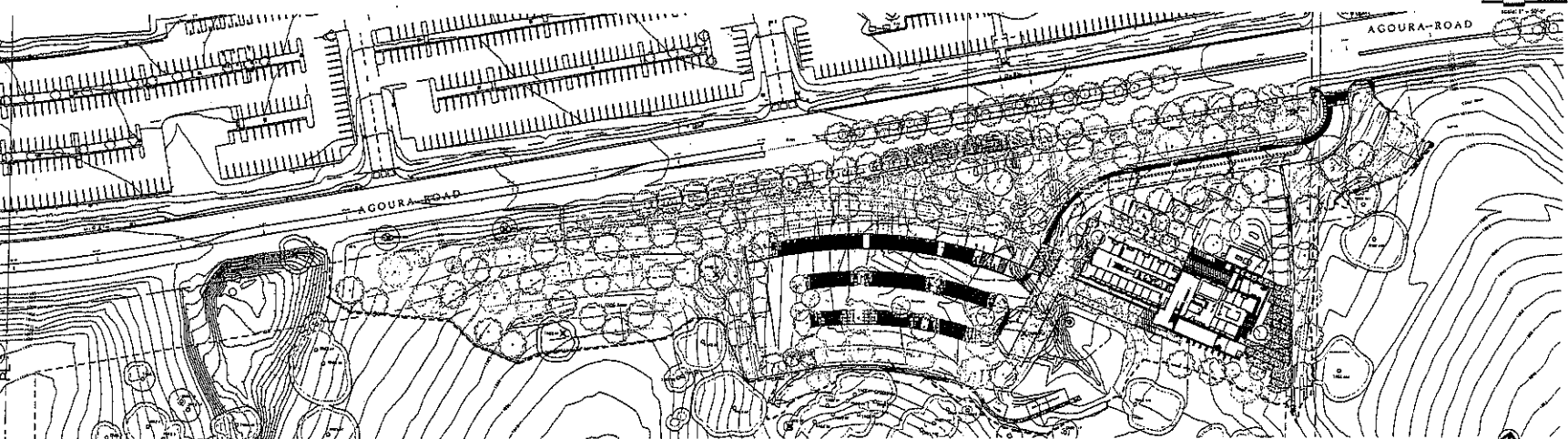
- | Groundcover Name | Plant Name |
|------------------|--------------------|
| Green Grass | Perennial Ryegrass |
| Bluegrass | Perennial Ryegrass |
| Wildflower | Perennial Ryegrass |
| Redwood | Perennial Ryegrass |
| Woodland | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |
| Grass | Perennial Ryegrass |

Tree Protection Notes

1. For roads or easement clearances planting, the degree of pruning and the style of cuts must be determined and performed in accordance with International Society of Arboriculture, Pruning Standards and ANSI A309 Pruning Guidelines. All treecuts must be made for safety of grading equipment should be cut back above the largest branch attachment, or cut back to the stem butt.
2. Protection fencing shall be installed for protected trees deemed to be at risk due to project grading. Fencing shall be chain-link, with a minimum height of five feet. Protective fencing shall be installed in a continuous manner along the perimeter of the tree. Protective fencing shall be installed in a continuous manner along the perimeter of the tree. Protective fencing shall be installed in a continuous manner along the perimeter of the tree. Protective fencing shall be installed in a continuous manner along the perimeter of the tree.
3. The fence must be installed prior to the commencement of any grading operations. Signs must be installed at the fence in readable locations around each side of all corners around each tree. The signs must be two (2) feet by two (2) feet and contain the following language: **WARNING: THIS TREE SHALL NOT BE REMOVED OR REDUCED WITHOUT THE APPROVAL OF THE CITY OF AGOURA HILLS DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT.**
4. All work performed within the Protection Zone (PBZ) shall be completed in the earliest possible, using hand tools only.
5. All cut roots removed during construction shall be collected and taken to a 45 degree angle, with the exposed cut being downwind, and treated by the Project architect.
6. The best tree buffer under oak canopies on this site is ideal for healthy tree growth and root development. Do not alter or reduce it. A tree root buffer of 10 feet may be adjusted to settings where the soil has been disturbed. The number of roots to be preserved shall be based on a high number of roots in the upper layer of soil. Good tree roots are primarily within the PBZ. The number of roots to be preserved shall be based on a high number of roots in the upper layer of soil. Good tree roots are primarily within the PBZ. The number of roots to be preserved shall be based on a high number of roots in the upper layer of soil. Good tree roots are primarily within the PBZ.
7. Do not remove the large remaining roots or any protected tree.
8. Removal of concrete, earth, and trees located within the Protection Zone any retained tree. No construction material may be stored or discarded within the Protection Zone any retained tree. No construction material may be stored or discarded within the Protection Zone any retained tree. No construction material may be stored or discarded within the Protection Zone any retained tree.
9. No vehicles shall be parked within the Protection Zone of a protected tree. No construction vehicles shall be parked within the Protection Zone of a protected tree.
10. The Project Architect will be reviewing the case of mitigation case and retaining notes that contain details through the completion of the construction phase of the project.
11. Compliance in accordance with the City of Agoura Hills Oak Tree Preservation Guidelines.



Groundcover Site Plan



Proposed Tree Site Plan



ZGF
Zaner Group, Inc. A Public Company
111 South Davis Street
Suite 200
Los Angeles, CA 90011
310.412.1400
www.zgf.com

STRUCTURAL ENGINEER
HPFF Consulting Engineers
4950 East Ventura Road, Suite 200
Chico Hills, CA 91710

MEP ENGINEER
Ball Engineering (Mech & Heat)
405 Howard Street, Suite 500
San Francisco, CA 94103

LIGHTING CONSULTANT
David Hinton and Associates, LLC
P.O. Box 211824
Denver, CO 80217

LANDSCAPE ARCHITECT
VAN ATTA Associates, Inc.
235 Palms Avenue
Rancho Palms, CA 91301

Revision Table

CONRAD N. HILTON FOUNDATION
3055 AGOURA ROAD AGOURA HILLS, CA

Planting Green Roof and Hydroseed Plan Phase I

Date: 1/18/24
Job No. L3.01-BID
Drawn by:
Checked by:
Quality by:

L3.01
BID SET

Planting Note

1. All plant materials shall be set out as shown on plan. Final locations shall be approved by the Landscape Architect prior to planting.
2. Do not disturb any existing trees or structures as indicated when it is shown that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Landscape Architect. The Landscape Contractor shall assume full responsibility for any necessary revisions due to failure to give such notification.
3. Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
4. Coordinate installation of large plant material with installation of well footings, piers and cut and fill.
5. See specifications for planting requirements, soil preparation, watering, materials and execution. Prior to starting work, Contractor shall take soil samples where different soil types are encountered on the project site. Soil shall be analyzed by an approved commercial soil testing laboratory (TCC Enterprises, Laboratory 2011, or Paul Christy Laboratory, 46500 200th St, West, for analysis) for drainage and soil fertility. The Contractor shall provide a copy of the test results to the Landscape Architect. Contractor shall follow the recommendations of the test results to provide a suitable medium for planting. The Contractor shall provide the Contractor with a copy of the test results. The Contractor shall be responsible for any damage to or loss of any plant materials or structures due to failure to act as specified or any other cause.

Planting Note cont'd

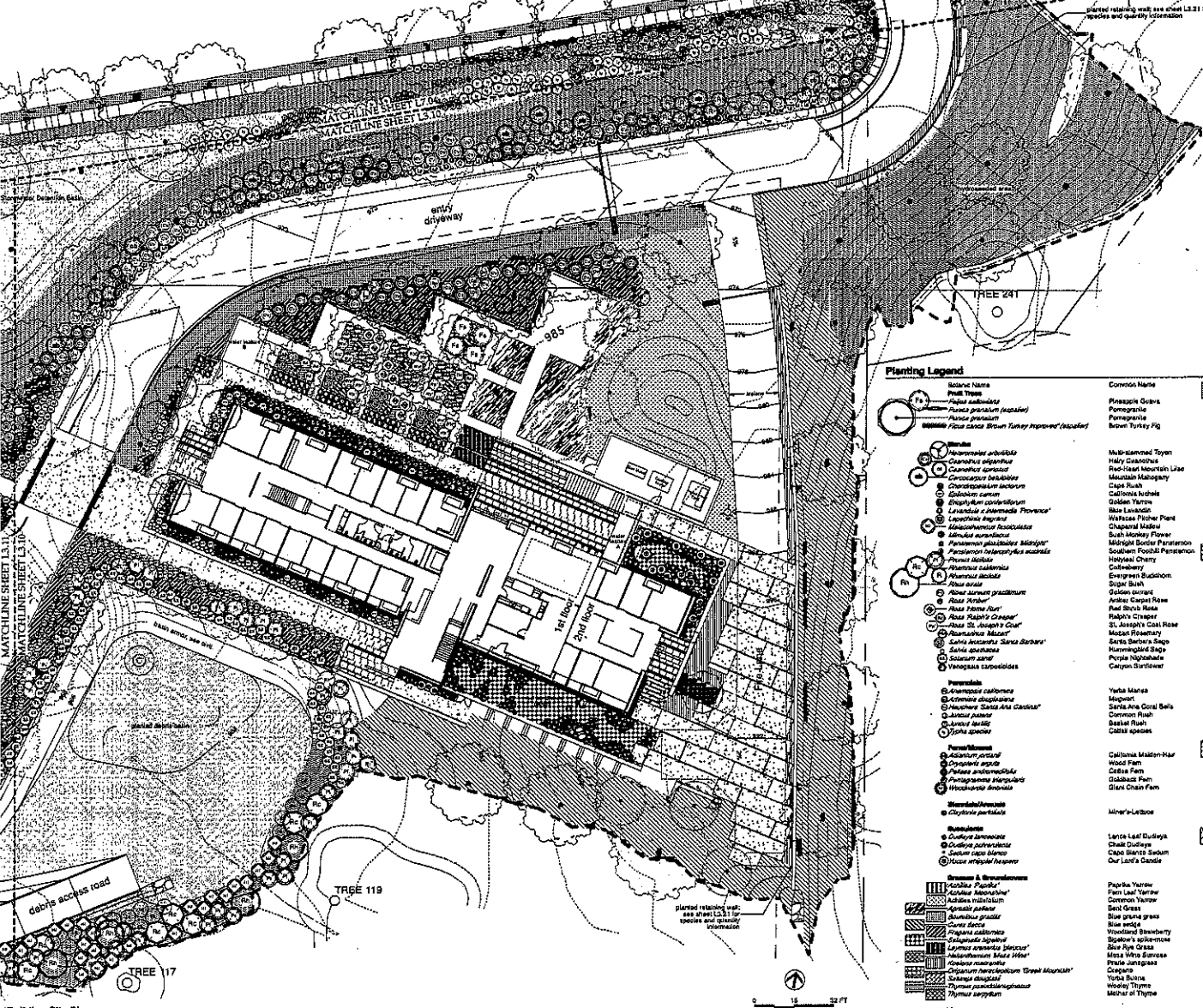
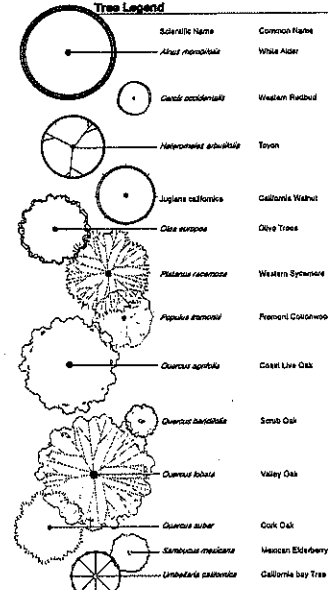
6. It is the Landscape Contractor's responsibility to furnish plant material free of soil or plants to prevent insect infestation of plants or plants. The Contractor shall be responsible for any damage to or loss of any plant materials or structures due to failure to act as specified or any other cause.
7. Landscape Contractor to be responsible to furnish plants and materials and conditioners to a minimum depth of 24 inches, except under the canopy of existing trees.
8. Landscape Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans.
9. See details and specifications for marking method, plant size dimensions and location.
10. Plant crown elevations relative to Finish grade are shown on planting details and shall be strictly adhered to. Proper compaction of backfill to prevent settlement shall be required.
11. The Landscape Architect will approve finish grades at landscape areas prior to planting.

Planting Note cont'd

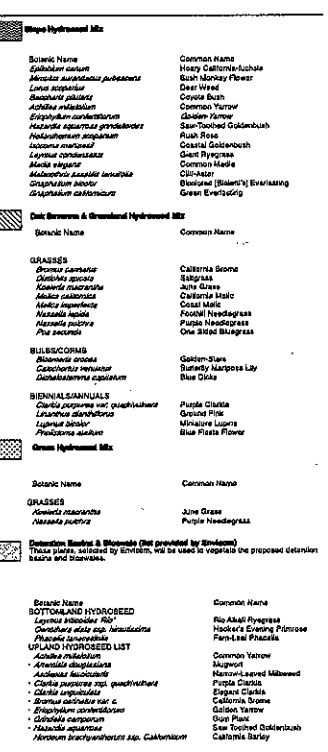
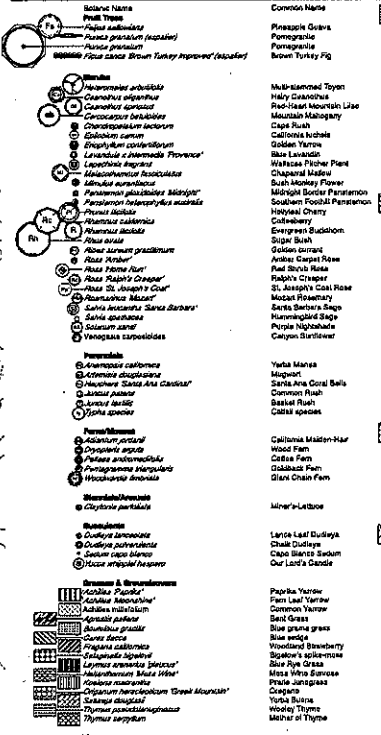
12. The Landscape Architect will approve finish grades at landscape areas prior to planting.
13. The Landscape Contractor shall allow for the addition of specified quantities of soil amendments and conditioners in soil preparation and finish grading.
14. The General Contractor shall be responsible to establish the specified subgrade elevation, including excavation, remove and replace areas approved location. The Landscape Contractor shall be responsible to furnish and install specified material in any planting areas as necessary to achieve the specified finish planting grades.
15. Improved soil shall be used to supplement the existing soil as necessary to meet the back grade requirements at planting areas. Improved soil shall be free of unwanted seeds.
16. The Landscape Contractor shall be responsible for posting of surface water in planting areas and shall be responsible for the total work.

Planting Note cont'd

17. The Landscape Architect reserves the right to adjust the location of plant material during construction as appropriate to the project.
18. Landscape mulch shall be applied at 2 inches (1/8" over) over landscape surfaces except lawn areas. Mulch must be approved by landscape architect.



Planting Legend



515 East River Street
San Jose, CA 95128
408.946.1000
731.587.1000
1.813.477.0000

STRUCTURAL ENGINEER
KFF Consulting Engineers
4500 Las Vegas Road, Suite 203
Cathlamet, WA 98582

M/E/P ENGINEER
Bull Emery/HSP Fitch & Hunt
405 Howard Street, Suite 500
San Francisco, CA 94102

LIGHTING CONSULTANT
Davis Mackay and Associates, LLC
P.O. Box 29256
Lubbock, TX 79402

LANDSCAPE ARCHITECT
VAN ATTA Associates, Inc.
232 2nd Avenue
San Francisco, CA 94101

CONRAD N. HILTON FOUNDATION

PLANTING BUILDING SITE PHASE I

Date: 11/20/05
Job #: L310120
Drawn by:
Checked by:
Designed by:

L3.10
BID SET

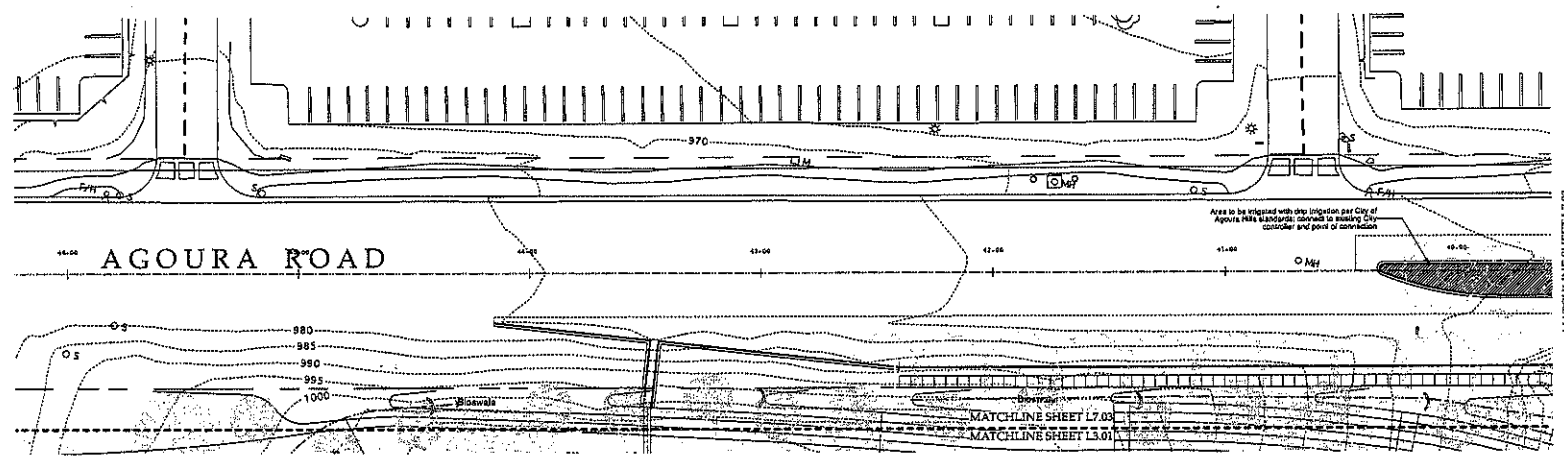
Revisions table with columns for revision number and description.

CONRAD N. HILTON FOUNDATION
3002 AGOURA ROAD AGOURA-VILLE, CA

Plant/Irrig.
STA 46+00 - 40+00
PHASE I

Date: 1/23/19
Job No.: L219419
Drawn By:
Checked By:
Design No.:

L7.03
BID SET



Agoura Road Street Median Irrigation Plan

MATCHLINE SHEET L7.03
JOIN AT STA. 46+00

0 25 50 75 100 FT
GSN1: 1"=20'-0"

Planting Notes

- 1. All plant materials shall be set out as shown on plan. Plant materials shall be approved by the Landscape Architect prior to planting.
2. Do not violate...
3. Coordinate installation of large plants...
4. See specifications for planting requirements...

Planting Notes cont'd

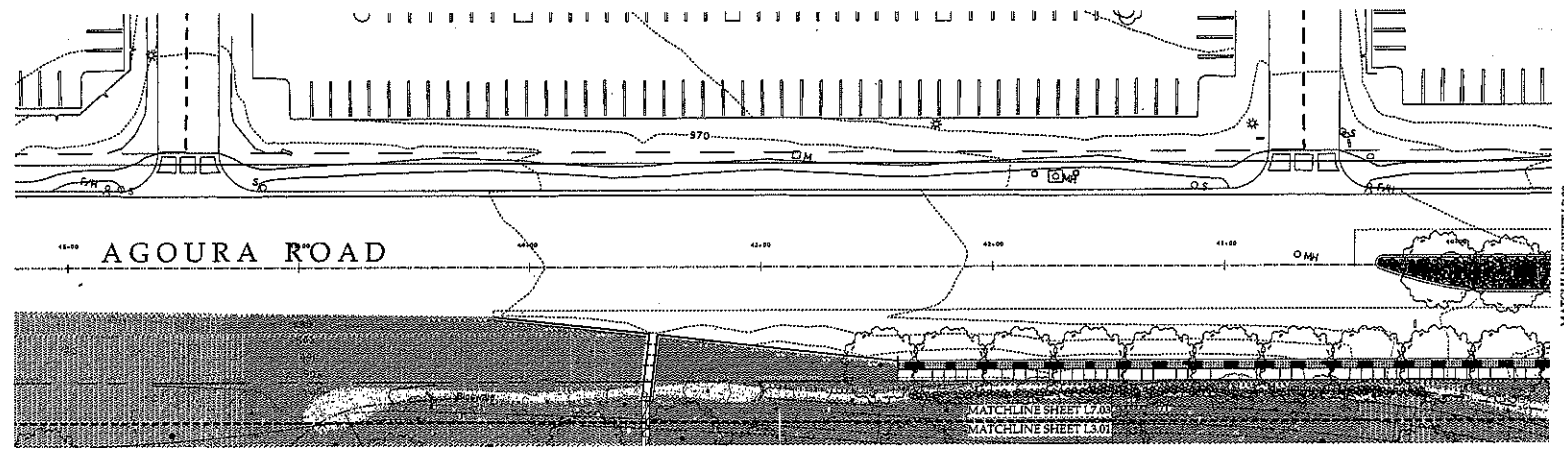
- 5. It is the Landscape Contractor's responsibility to furnish plant material...
6. The Landscape Contractor shall allow for the addition of specified quantities of soil...
7. Specimen trees will be selected and tagged by Landscape Architect prior to plant installation.
8. Landscape Contractor to loosen compacted soils and mix soil amendments...

Planting Notes cont'd

- 11. The Landscape Architect will approve finish grades at all landscape areas prior to planting.
12. The Landscape Contractor shall allow for the addition of specified quantities of soil...
13. The General Contractor shall be responsible to establish the specified subgrade...
14. Imported soil shall be used to supplement the existing soil...
15. The Landscape Contractor shall be responsible for positive drainage in planter areas...

Tree Legend table with columns for Botanic Name, Common Name, and Size. Includes entries for Chorizanthe spicata and Coast Live Oak.

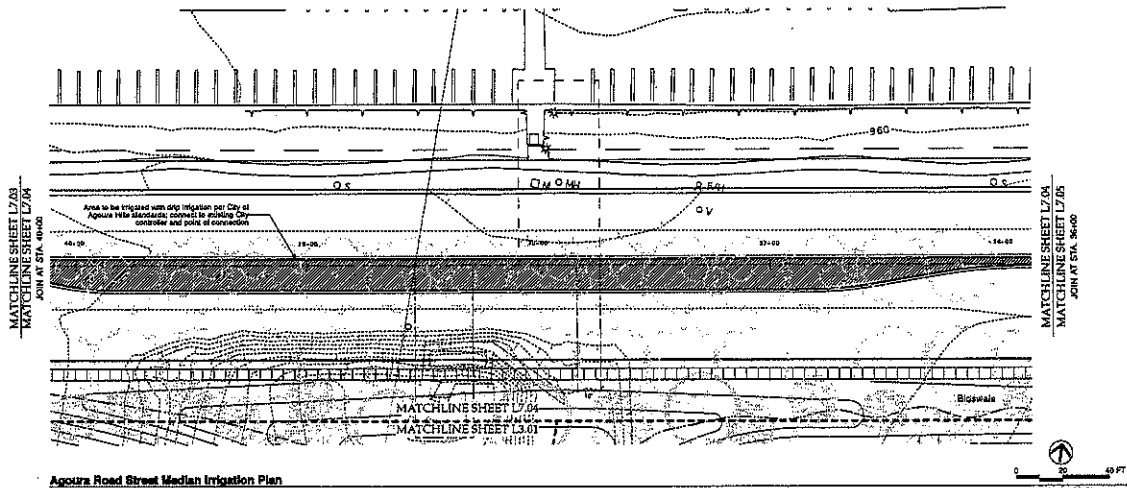
Planting Legend table with columns for Botanic Name and Common Name. Includes entries for Chorizanthe spicata, Pinus ponderosa, and Rose Hybrid.



Agoura Road Street Median Planting Plan

MATCHLINE SHEET L7.03
JOIN AT STA. 40+00

0 25 50 75 100 FT
GSN1: 1"=20'-0"



Aguora Road Street Median Irrigation Plan

Planting Notes

- All plant materials shall be set out on stumps or plims. Plant materials shall be approved by the Landscape Architect prior to planting.
- Do not abruptly proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such operations shall be immediately reported to the station of the landscape architect. No Acta Associates (503) 730-7444. The Landscape Contractor shall assume full responsibility for all necessary variance due to failure to give such notification.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Coordinate installation of large plant material with installation of wall footings, pavement and curb and gutter. Any damage to improvements by others is the responsibility of the Landscape Contractor.
- See specifications for planting requirements, soil preparation, fertilizers, materials and methods. Prior to planting work, Contractor shall take soil samples where different soil types are encountered on the project site. Soil shall be analyzed by an approved commercial soil testing laboratory, CTCS Laboratories, 1-800-927-5311, or Soil Growers Laboratory, 904-392-2090, or equal for suitability for ornamental planting. A copy of the results of this soil test shall be submitted to the Landscape Architect. Contractor shall follow all applicable recommendations of the soil test as to the use and analysis of fertilizers and amendments to provide a suitable medium for planting. The Contractor shall rely on the Center and Landscape Architect for any pertinent problems which may result due to harmful substance found in the soil. Failure to act as specified may result in the Contractor assuming material responsibility for any damage to plants.

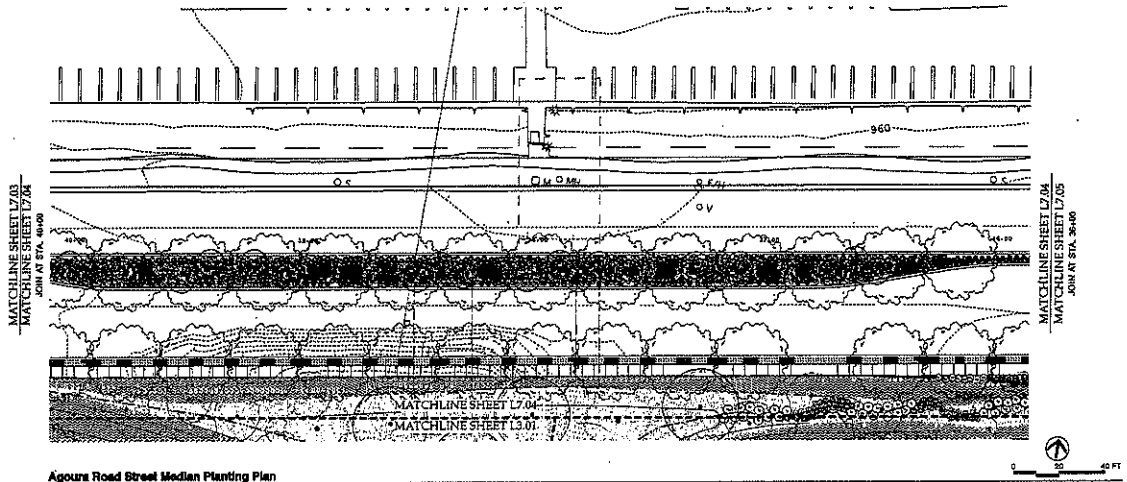
Planting Notes cont'd

- It is the Landscape Contractor's responsibility to furnish plant material free of insects or pests to furnish plant material free of insect or plant diseases. Concomitant use of liquid material shall be inspected by the Landscape Architect and verified clear of law. It is the Landscape Contractor's obligation to warranty all plant materials per the specifications. The Landscape Contractor shall provide healthy, vigorous plants which grow under adverse conditions similar to the conditions in the location of the project.
- Stowman trees will be selected and tagged by Landscape Architect prior to plant installation.
- Landscape Contractor to loosen compacted soils and mix soil amendments and conditioners to a maximum depth of 24 inches, except under the canopy of existing trees.
- Landscape Contractor is responsible to do their own quantity take-offs for all plant materials and sizes shown on plans.
- See details and specifications for setting method, plant pit dimensions and backfill requirements.
- Plant cover elevations relative to finish grade are shown on planting details and shall be strictly adhered to. Proper compaction of backfill in percent settlement shall be required.
- The Landscape Architect will approve finish grades at all landscape areas prior to planting.

Planting Notes cont'd

- The Landscape Architect will approve finish grades at all landscape areas prior to planting.
- The Landscape Contractor shall allow for the addition of specified conditioners of soil amendments and conditioners in soil preparation and finish grading.
- The General Contractor shall be responsible to establish the specified subgrade elevations, including extension, removal and deposit at an approved location. The Landscape Contractor shall be responsible to furnish and install specified import soil in any planting areas as necessary to achieve the specified finish planting grades.
- Imported soil shall be used to supplement the existing soil as necessary to meet the finish grade requirements at planting areas. Imported soil shall be free of unwanted seeds.
- The Landscape Contractor shall be responsible for positive drainage in planter areas with generally set four feet. Low spots or ponding of surface water in planter will not be tolerated in the field work.
- Trees and shrubs shall be installed prior to planting groundcover. All tree locations shall be verified in the field by the landscape architect.
- The Landscape Architect reserves the right to adjust the location of plant material taking installation as appropriate to the project.
- Landscape mulch shall be applied at 2 inches thick over all landscape surfaces except lawn areas. Mulch must be approved by landscape architect.

Tree Legend			
Scientific Name	Common Name	Size	
<i>Quercus agrifolia</i>	Coast Live Oak	40 FT DBH	(Symbol)
Planting Legend			
Symbol Name	Common Name		
Shrubs			
(Symbol)	Chionodoxa		
(Symbol)	Potentilla		
(Symbol)	Other Shrub		
(Symbol)	Cape Rush		
(Symbol)	Mediterranean Sea Purslane		
(Symbol)	Amber Carpet Plant		



Aguora Road Street Median Planting Plan

JOSEPH W. ZIGLER
 LEED ACCREDITED
 WASHINGTON DC
 PECH 2026

110 Bush Street 38th Fl
 San Francisco, CA 94111
 Tel: 415 774 3810
 Fax: 415 774 3820
 www.zgf.com

Corvick
 STRUCTURAL ENGINEER
 RUFF Consulting Engineers
 4505 Las Vergas Road, Suite 100
 Gilman, CA 91302

JEP ENGINEER
 JEP Engineering Group
 450 Howard Street, Suite 200
 San Francisco, CA 94105

LIGHTING CONSULTANT
 David Nelson and Associates, LLC
 P.O. Box 27924
 Denver, CO 80227

Owner's Consultant
 CIVIL ENGINEER
 Stettin Consulting
 230 Canal Ridge Avenue
 Thousand Oaks, CA 91320

LANDSCAPE ARCHITECT
 VANI ATTA Associates, Inc.
 238 Palm Avenue
 Santa Barbara, CA 93101

CONRAD N. HILTON FOUNDATION

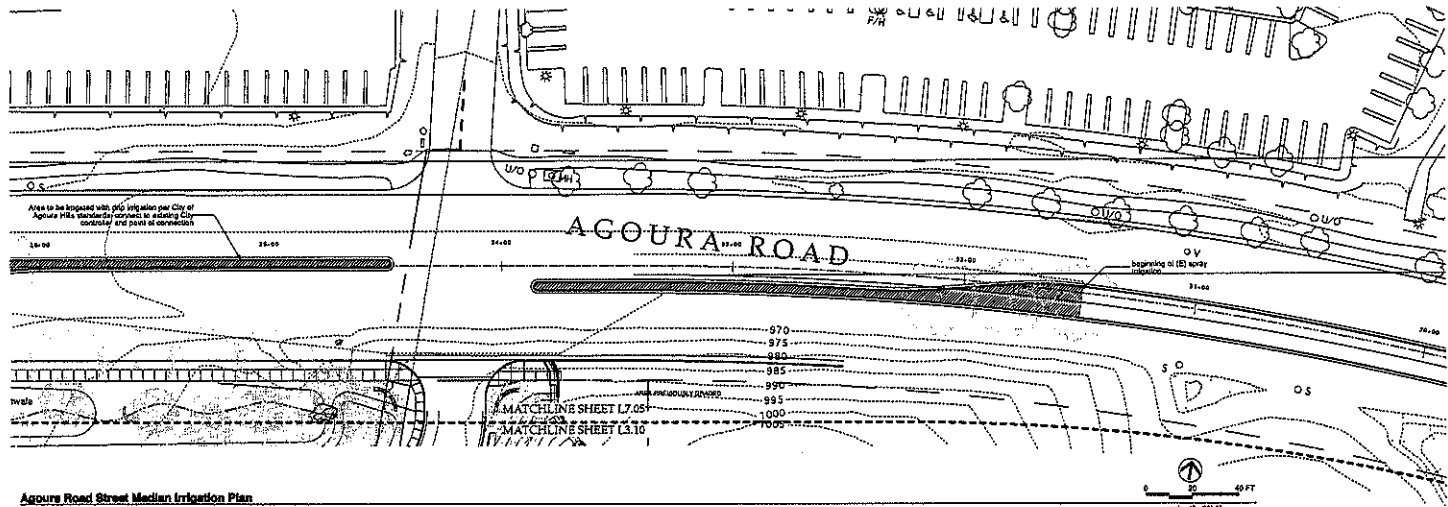
3600 AGOURA ROAD AGOURA HILLS CA

Name: PLANT/IRRIG.
 STA 40+00-36+00
 PHASE I

Date: 10/21/10
 Job No: L7/04 01
 Drawn By:
 Checked By:
 Owner's No:

L7.04
 BID SET

MATCHLINE SHEET L7.04
 MATCHLINE SHEET L7.05
 JOIN AT STA. 36+00



Agoura Road Street Median Irrigation Plan

Planting Notes

- 1. All plant materials shall be set out as shown on plan. Plant locations shall be approved by the Landscape Architect prior to planting.
- 2. Do not work with construction as designed when it is shown that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the landscape architect. Use the American Society of Landscape Architects (ASLA) Planting Manual for guidance. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 3. Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- 4. Coordinate installation of large plant material with installation of well borders, pavement and curb and gutter. Any damage to improvements by others is the responsibility of the Landscape Contractor.
- 5. See specifications for planting requirements, soil preparation, testing, methods and irrigation. Prior to starting work, Contractor shall take soil samples where different soil types are encountered on the project site. Soil shall be analyzed by an approved commercial soil testing laboratory (TSC) organizations (MPC-283-0311) or Soil Science Laboratory (MPC-283-0303) or equal, for suitability for ornamental planting. A copy of the results of this analysis shall be submitted to the Landscape Architect. Contractor shall follow the recommendations of the soil lab as to the site and methods of fertilizer application to provide a suitable medium for planting. The Contractor shall notify the Owner and Landscape Architect of any potential problems which may result due to harmful substances found in the soil. Failure to act as specified may result in the Contractor assuming financial responsibility for any damage to plants.

Planting Notes cont'd

- 6. It is the Landscape Contractor's responsibility to furnish plant material free of pests or plants to furnish plant material free of pests or plant diseases. Contractor or "Landscape" materials must be inspected by the Landscape Contractor and certified disease free. It is the Landscape Contractor's obligation to insure that plants, materials per the specifications. The Landscape Contractor shall provide healthy, vigorous plants which grow under similar conditions similar to the conditions in the vicinity of the project.
- 7. Specimen trees will be selected and tagged by Landscape Architect prior to plant installation.
- 8. Landscape Contractor to loosen compacted soils and take soil amendments and conditioners to a minimum depth of 24 inches, except where the ecology of existing trees.
- 9. Landscape Contractor is responsible to do their own quality take-offs for all plant materials and sizes shown on plans.
- 10. See details and specifications for soaking method, plant dimensions and health requirements.
- 11. Plant crown elevations relative to local grade are shown on planting details and shall be strictly adhered to. Proper computation of backfill to prevent settlement shall be required.
- 12. The Landscape Architect will approve finish grades at all landscape areas prior to planting.

Planting Notes cont'd

- 13. The Landscape Architect will approve finish grades at all landscape areas prior to planting.
- 14. The Landscape Contractor shall allow for the addition of specified quantities of soil amendments and conditioners in soil preparation and finish grading.
- 15. The General Contractor shall be responsible to establish the specified subgrade elevation, including excavation, removal and disposal at an approved location. The Landscape Contractor shall be responsible to furnish and install amended import soil in any planting areas as necessary to achieve the specified finish planting grades.
- 16. Imported soil shall be used to supplement the existing soil as necessary to meet the finish grade requirements at planting areas. Imported soil shall be free of chemical weeds.
- 17. The Landscape Contractor shall be responsible for positive drainage in planter areas with accurately set floor lines. Low spots or ponding of surface water in planters will not be accepted in the final work.
- 18. Trees and shrubs shall be installed prior to planting groundcover. All tree locations shall be verified in the field by the landscape architect.
- 19. The Landscape Architect reserves the right to adjust the location of plant material during installation as appropriate to the project.
- 20. Landscape mulch shall be applied at 2 inches thick over all landscape surfaces except lawn areas. Mulch must be approved by landscape architect.

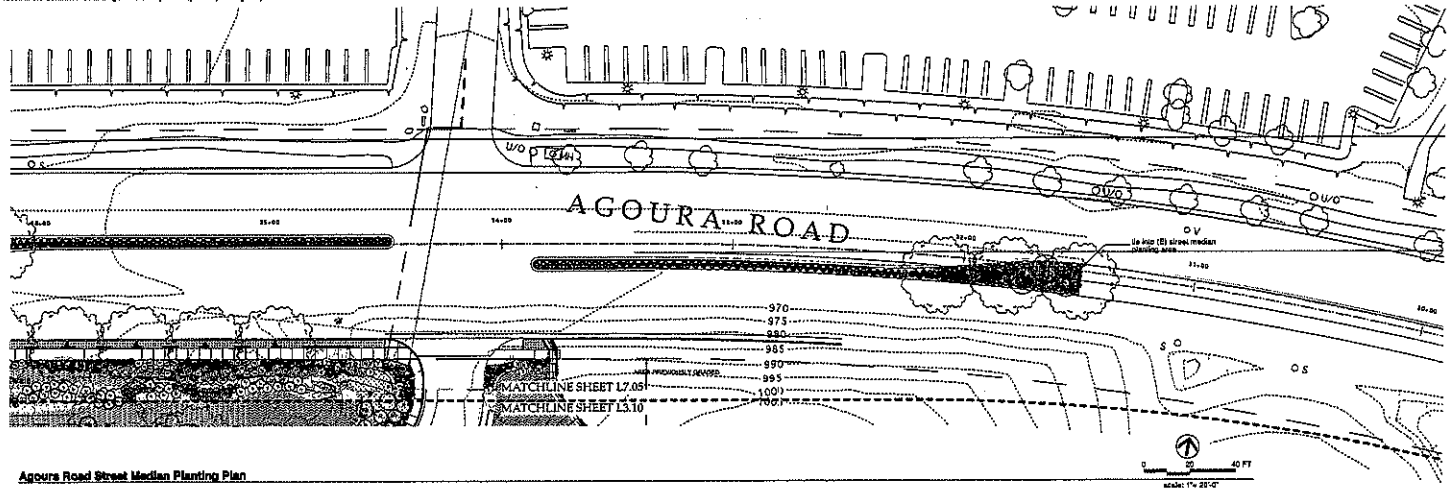
Tree Legend

Graphic Name	Scientific Name	Common Name	Size
	Quercus agrifolia	Coast Live Oak	48" dia

Planting Legend

Graphic Name	Common Name
	Dark Bush
	Malibu Border Plantation
	Amber Caprol Plant

MATCHLINE SHEET L7.04
 MATCHLINE SHEET L7.05
 JOIN AT STA. 36+00



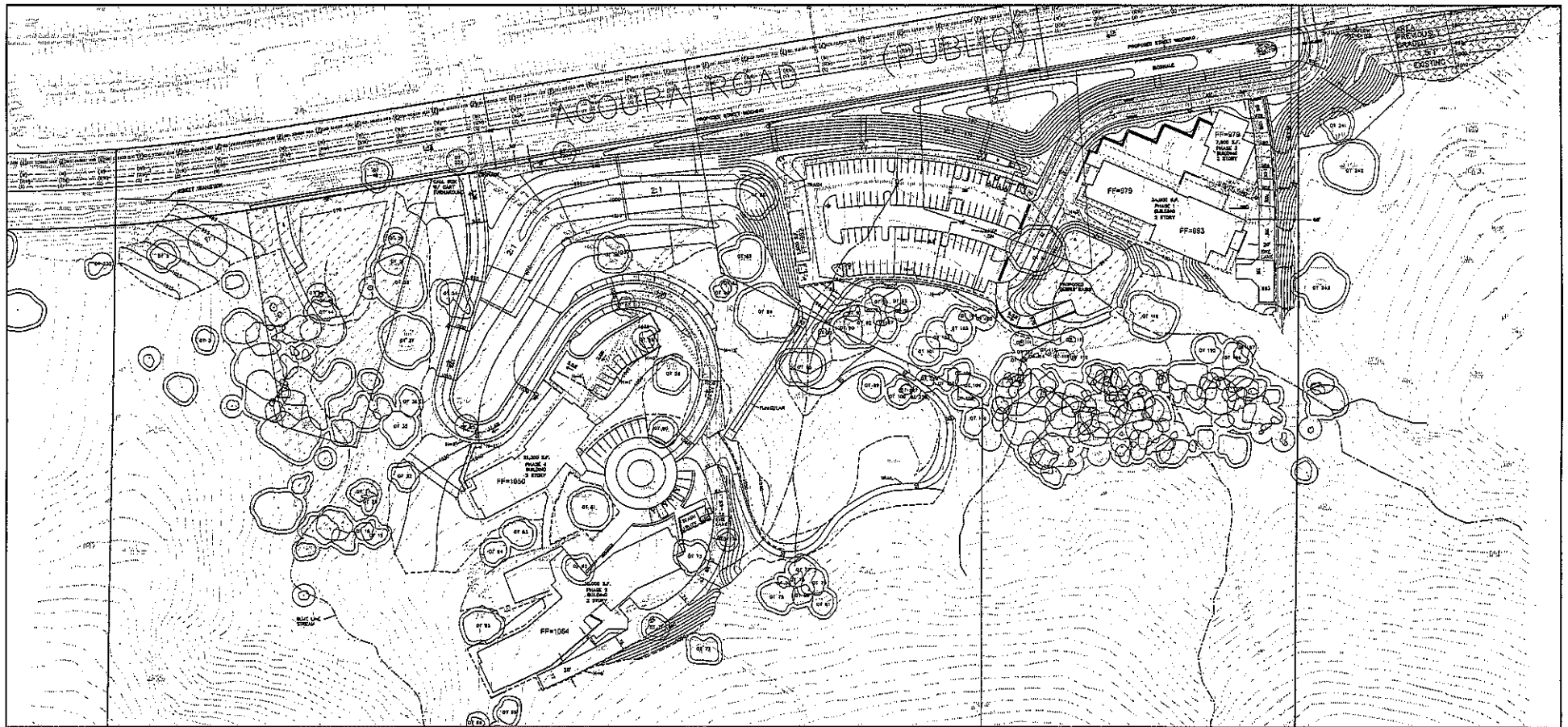
Agoura Road Street Median Planting Plan

CONRAD N. HILTON FOUNDATION
 3602 AGOURA ROAD AGOURA HILLS, CA

Drawing No.
PLANT/IRRIG.
 STA 36+00 - 30+00
PHASE I

Date: 10/20/09
 Job No: L7.04.01
 Drawn By:
 Checked By:
 Drawing:

L7.05
 BID SET

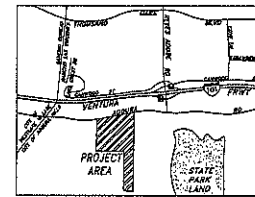


BM - 10429
 ELEVATION - 978.806
 SURVEY DATE - 3/6/07

LEGEND

- | | | | |
|--|--|---|--|
| <ul style="list-style-type: none"> --- PROP. STORM DRAIN LINE --- PROP. SEWER LINE --- PROP. WATER LINE --- PROP. FIRE WATER LINE --- PROP. RECLAIMED WATER LINE --- PROP. COMMUNICATION LINE --- PROP. ELEC. LINE --- PROP. GAS LINE --- EXIST. STORM DRAIN LINE --- EXIST. SEWER LINE --- EXIST. WATER LINE --- EXIST. RECLAIMED WATER LINE --- EXIST. COMMUNICATION LINE --- EXIST. ELEC. LINE --- EXIST. GAS LINE | <ul style="list-style-type: none"> FF 1020 1030.0 | <ul style="list-style-type: none"> FF EXISTING DRAINAGE EXISTING CONTOUR PROPOSED CONTOUR DAYLIGHT LINE CENTER LINE PROPERTY LINE RETAINING WALL HEADWALL SPOT ELEVATION SLOPE SYMBOL BUILDING FOOTPRINT RIP RAP | <ul style="list-style-type: none"> PROPOSED LOS ANGELES COUNTY STORM DRAIN EASEMENT OF XX OAK TREE AND PROTECTIVE ZONE |
|--|--|---|--|

VICINITY MAP
 NOT TO SCALE



PREPARED: 1/10/2011

LAND USE

EXISTING LAND USE: VACANT
 PROPOSED LAND USE: OFFICE
 EXISTING ZONING: SPECIFIC PLAN
 PROPOSED ZONING: SPECIFIC PLAN

		DRAFT		PREPARED BY: Sinar Consulting Services, Inc. 328 Conroy Ridge Avenue Thousand Oaks, CA, 91320-1234 Fax: 805.330.1237 www.sinar.com		CITY OF AGOURA HILLS APPROVAL							
				PROJECT ENGINEER: _____ DATE: _____		REVIEWED BY: _____ DATE: _____		RAHMO ADEVA III CITY ENGINEER		CITY OF AGOURA HILLS		VESTING TENTATIVE PARCEL MAP #71284 30440 AND 30500 AGOURA ROAD, AGOURA HILLS, CA	
REVISION #	SYMBOL	DESCRIPTION OF CHANGE	APPROVED	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	SHEET 2 OF 2	

RESOLUTION NO. 11-1020

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS RECOMMENDING APPROVAL OF
CONDITIONAL USE PERMIT NO. 09-CUP-001

THE CITY COUNCIL OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES
AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Conrad N. Hilton Foundation with respect to real property located at 30440 and 30500 Agoura Road (Assessor's Parcel No. 2061-002-024 and 2061-002-048), requesting approval of a Conditional Use Permit (Case No. 09-CUP-001) to construct a 90,300 square foot office complex. A public hearing was duly held on January 20, 2011, at 6:30 p.m. in the City Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section 3. Pursuant to the Agoura Hills Zoning Ordinance, the Planning Commission finds as follows:

- A. The proposed use, as conditioned, is consistent with the objectives of the Zoning Ordinance and the purposes of the zoning district in which the use is located. The property is located in the Ladyface Mountain Specific Plan area. The project provides for business park development as called for this parcel within Specific Plan.
- B. The proposed use, as conditioned, are compatible with the surrounding properties. The project is adjacent to similar land uses including the Agoura Hills Corporate Point project this under construction and is located to the east, and office uses and research and development uses to the north. Property located to the west of the project is currently vacant. The applicant's preservation of open space above the 1,100-foot elevation will sustain the natural habitat of the area.
- C. The proposed use, as conditioned, and the condition in which it will be maintained will not be detrimental to the public health, safety, or general welfare. The applicant will be required to construct the project in full compliance with the City Building Code and development standards of the Ladyface Mountain Specific Plan. Additionally, the applicant is responsible to mitigate against potentially significant environmental impacts relating to the project prior to and during construction.
- D. The proposed use, as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project meets the development standards of the Ladyface Mountain Specific Plan and the Zoning Ordinance relative to required yard areas, building height, lot coverage and landscape coverage.

- E. The distance from other similar and like uses is sufficient to maintain the diversity of the community. The Agoura Road corridor has several office complexes, however development within the Ladyface Mountain Specific Plan is primarily intended for business park development. Although an office complex is under construction on a parcel located immediately east of the project site, the other nearest general office complexes to the applicant property are located approximately 400 feet to the northwest and 100 feet to the northeast. Also, the applicant's property is the second truly vacant parcel within the Specific Plan area to be developed.
- F. The proposed use, as conditioned, is consistent with the goals, objectives and policies of the General Plan. Goal LU-23 of the General Plan Land Use and Community Form Element calls for Ladyface Mountain to be developed with economically viable business parks that are designed to reflect its natural setting at the base of Ladyface Mountain, while providing high-quality jobs. The project meets this goal through the design of LEED Platinum building within a proposed business park complex that will be located below the 1,100-foot elevation of Ladyface Mountain.
- G. The proposed use, as conditioned, will not mar the property's unique natural elements and has a positive relationship to the character of Ladyface Mountain. Although the building mass will be highly visible, the project is to include large quantities of native landscaping as a component of the development. This landscaping will provide significant visual screening. This design element combined with the limitation of development below the 1,100 foot elevation, the incorporation of unique exterior architectural elements complimentary to the surrounding environment, conformance with the Ladyface Mountain Specific Plan and the provision of compliant setbacks from Agoura Road, will reduce the visual impact to the Agoura Road corridor. The applicant is designing the project to achieve LEED Platinum certification.
- H. Adequate evidence and guarantees have been provided to indicate that all provisions of the Specific Plan can be satisfied. The applicant has worked closely with staff and the Architectural Review Panel in designing a project within pad areas that are allowed per the Specific Plan. Creative design techniques have been incorporated into the project design that preserve open space areas, allow for fewer retaining walls, provide for access for up to four buildings, and incorporate variation in building pad heights and natural building materials that are compatible with the natural features of the area.
- I. The proposed building density increase to Scenario 2-A of the Ladyface Mountain Specific Plan will not adversely affect the goals, objectives and policies of the General Plan or the Specific Plan. As called for in General Plan Land Use and Community Form Element Policies, the project will preserve view corridors along Ladyface Mountain and be designed within the specifications of the Ladyface Mountain Specific Plan. The design criteria of the Ladyface Mountain Specific Plan help ensure that all development within the

Specific Plan area is compatible with the surrounding natural environment and includes architectural design of utmost quality. Additionally, the project is designed to achieve LEED Platinum certification and will promote extensive landscaping while emphasizing drought-tolerant plant materials. The preservation of open space above the 1,100-foot elevation will assist in maintaining open space resources for the purposes of maintaining the visual quality of the City.

- J. The proposed building density will not reduce traffic Level of Service (LOS) to a lower level of service and is offset by increases in roadway capacity or other acceptable mitigation measures. The traffic impact study prepared for the project notes that the development (all four phases) would generate 721 vehicle trips to the City's road system. Of these total vehicle trips, 135 trips would occur during the AM peak period and 127 during the PM peak period. Project trip generation during the off-peak hours (primarily between 9:00 AM to 4:00 PM) would be approximately 459 trips, or fewer than 66 trips on average per hour. The PM peak period traffic estimates generated by the project is within the 200 peak hour trips the Specific Plan has allotted for development of this parcel at the higher density (Scenario 2-A).

A total of eight (8) roadway intersections in Agoura Hills and Westlake Village were analyzed for potential traffic impacts associated with the project. The project traffic report concludes that volume/capacity (V/C) ratios or delays would range from less than 0.01 to 0.06. All studied intersections would operate at level of service (LOS) C or better under projected conditions. Therefore, the project would not generate project specific impacts based on City thresholds.

- K. The proposed building density will not create any potentially significant environmental effects. The Final Environmental Impact Report (FEIR) prepared for this project includes a detailed analysis the following issues: Aesthetics, Agricultural and Forestry Resources, Air Quality, Biological Resources, Cultural Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Noise, Population and Housing, Public Services, Recreation, and Transportation/Traffic. While anticipated environmental impacts are identified within the DEIR, all can be mitigated to levels of insignificance with the exception of Biological Resources. However, it is recommended that a Statement of Overriding Considerations be adopted for this impact.
- L. Although proposed cut slopes exceeding 25 feet in height are necessary for the widening of Agoura Road, no manufactured slopes will exceed a ratio of 2:1.
- M. The increased density will result in the loss of oak trees. The majority of the oak trees proposed for removal is located near the required debris basins and need to be cleared for maintenance access, and along the Agoura Road frontage where road widening

improvements would be required regardless of the proposed increase in density. Scrub oak removal is necessary for the Phase II construction, which is situated on the property to reduce grading impacts to the site and additional oak tree removal. All oak removals will be fully mitigated to less than significant impacts.

- N. Exposed retaining walls will be used only to enhance design or to protect oak trees. The retaining walls are proposed to reduce the extent of grading on the site, thereby preserving oak trees and other existing biological resources. Retaining walls greater than 6 feet in height will be soil-nail walls consistent with the Ladyface Mountain Specific Plan Amendments approved in April of 2010. The visual appearance of soil-nail walls is compatible with promoting the natural visual qualities of the site, including oak trees.
- O. Grading will be limited and innovative building techniques such as stepped massing, sculpturing the building into the hillside, undergrounding parking, or other similar mitigating measures will be incorporated into the project. The building pads are clustered at the east and west ends of the property on varying pad levels, and all will be primarily served with a centralized parking lot that will be placed underground during the fourth phase of construction. These siting techniques, including the use of a funicular between the easterly and westerly development areas, reduce required grading area on the overall property will still accommodating for the widening of Agoura Road.
- P. Landscaping will be provided that exceeds the minimum requirements. The conceptual landscape plan for the project includes the planting of several large boxed oak tree specimens in the incorporation of primarily native plant species into the buildable area of the property. A multitude of existing live and valley oak species throughout the property will be preserved and incorporated in the project site plan. The use of native landscaping will help integrate the built environment with the natural environment.
- Q. The proposed project with the proposed building density will comply with the maximum developable land area, maximum building pad, and minimum open space requirements provided for Scenario 1-A in Table IV-1 of the Ladyface Mountain Specific Plan. The maximum development potential of the parcel, as specified in Scenario 1-A in the Specific Plan, includes a development area of 52.5% of the parcel (under the Hillside Ordinance regulations) a requirement of 47.5% to remain as open space. The maximum developable pad area is 4.55 acres. The applicant is proposing building pad areas totaling 2.03 acres and building lot coverage of 1.03 acres. Thus, the project complies with the Ladyface Mountain Specific Plan criteria.

Section 4. In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt an Environmental Impact Report for this project. Following consideration of the entire record of information received at the public hearing and due consideration of the proposed Project and recommends that the City Council certify the Final

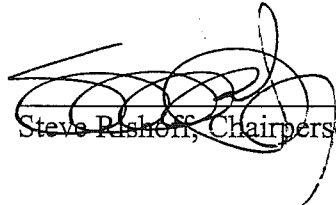
Program Environmental Impact Report, make the environmental findings pursuant to the CEQA, adopt a Statement of Overriding Considerations, and adopt a Mitigation Monitoring and Reporting Program.

Section 5. The Planning Commission has reviewed the Development Agreement proposed for the project and finds that: 1) the Agreement and the vested rights it grants is consistent with the General Plan and 2) the Agreement is consistent in terms of the rights it grants and the concessions it requires with the other approvals and conditions of the project.

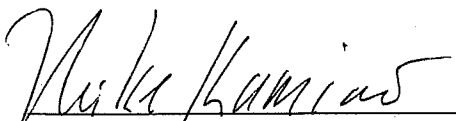
Section 6. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 09-CUP-001, subject to attached conditions, with respect to the property described in Section I herein.

PASSED, APPROVED and ADOPTED this 20th day of January, 2011, by the following vote to wit:

AYES: (5) Buckley Weber, Justice, Moses, O'Meara, Rishoff
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)



Steve Rishoff, Chairperson



Mike Kamino, Secretary

RESOLUTION NO. 11-1021

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF VARIANCE CASE NO. 10-VAR-004(A)
TO CONSTRUCT RETAINING WALLS IN EXCESS OF SIX FEET IN HEIGHT

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Conrad N. Hilton Foundation, with respect to the real property located at 30440 and 30500 Agoura Road (A.P.N. 2061-002-024 and 2061-002-048), requesting approval of a Variance from Zoning Ordinance Section 9606.2(D) to construct retaining walls in excess of 6 feet in height for construction of an office complex. A public hearing was duly held on January 20, 2011, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

- A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. Excluding the steep undevelopable portions of the property to the south, the average natural slope of the property is 31.63%. Due to the steep and varying topography of the site, the grading plans for this project include retaining walls in excess of six feet to reduce the development footprint, cubic yards of grading, protect biological resources (such as oak trees), promote interconnectivity between buildings and to allow for ADA (Americans with Disabilities Act) conformance. With the use of retaining walls in excess of six feet, the ratio of undeveloped land to total land area would be 77%.
- B. The granting of the Variance, as conditioned, will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. The development regulations of the Ladyface Specific Plan allow for the construction of walls in excess of six feet as long as the exposed walls are rock faced or other decorative surfaces are incorporated into the design. The Ladyface Mountain Specific Plan requires retaining walls on the project in excess of six feet to be designed and constructed to incorporate rock facing or decorative surfaces similar to other projects within the City. Additionally, other projects within the City of Agoura have incorporated decorative retaining walls in excess of six feet such as the northeast corner of Kanan Road and Canwood Street.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The incorporation of retaining walls in excess of six feet into the grading plan is a practical solution that contributes to the minimization of the development footprint and impacts to environmental resources. Removal or reduction in the size of the walls will result in an expansion of cut and fills slopes, which would result in additional impacts to oak trees and an increase in the mitigation costs. The objectives of the Ladyface Specific Plan include ensuring that projects are compatible with the unique natural elements of the property and Ladyface Mountain. Minimizing the footprint of the project by using retaining walls in excess of six feet would also contribute to the compatibility of the project with its setting.

D. The granting of the Variance, as conditioned, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The proposed retaining walls in excess of six feet have been designed and will be constructed in conformance with the City's Building Code standards. Conformance with the City standards will ensure the variance for retaining walls in excess of six feet are not a hazard to public health, safety and welfare.

From an aesthetic perspective, retaining walls in excess of six feet will incorporate a decorative façade that incorporates earth tones found in rock exposures on the site. The decorative façades in combination with the landscape plan and topography will blend these walls into the natural setting and maintain the aesthetic value of the site. The soil nail wall design will be compatible with the visual appearance of the oak trees.

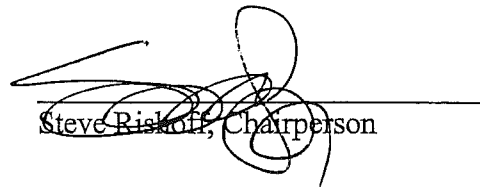
E. The granting of the Variance, as conditioned, will be consistent with the character of the surrounding area. The retaining walls in excess of six feet will reduce the development footprint by alleviating the need for cut and fill slopes. Additionally, these walls will incorporate a decorative façade that incorporates the color schemes for within the rock outcroppings on the site and in the surrounding area. The decorative façades in combination with the landscape plan and topography will blend these walls into site and surrounding area.


Section IV. In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt an Environmental Impact Report for this project. Following consideration of the entire record of information received at the public hearing and due consideration of the proposed Project and recommends that the City Council certify the Final Program Environmental Impact Report, make the environmental findings pursuant to the CEQA, adopt a Statement of Overriding Considerations, and adopt a Mitigation Monitoring and Reporting Program.

Section V. Based on the aforementioned findings, the Planning Commission hereby approves recommends the City Council approve Variance Case No. 10-VAR-004(A), subject to attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 20th day of January, 2011, by the following vote to wit:

AYES: (5) Buckley Weber, Justice, Moses, O'Meara, Rishoff
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)


Steve Riskoff, Chairperson

ATTEST:

Mike Kamino, Secretary

RESOLUTION NO. 11-1022

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF VARIANCE CASE NO. 10-VAR-004(B)
TO PROVIDE REDUCTION IN REQUIRED PARKING SPACES

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Conrad N. Hilton Foundation, with respect to the real property located at 30440 and 30500 Agoura Road (A.P.N. 2061-002-024 and 2061-002-048), requesting approval of a Variance from Zoning Ordinance Section 9654.6 to provide a reduction in required parking spaces for construction of an office complex. A public hearing was duly held on January 20, 2011, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance, that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The subject property is constrained by a number of environmental resources that limit the developable area of the subject property. In order to address the Foundation's reduced parking demand and limit the project's disturbance to these environmental resources, the applicant has requested a 10% reduction to the parking requirement of one stall per 300 square feet of office space. At buildout, the 10% reduction would result in a total of 271 parking spaces as opposed to the required 300. The reduction would allow for the majority of parking to be accommodated in a centralized lot that reduces the development footprint, and grading quantities.

B. The granting of the Variance, as conditioned, will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. The proposed Hilton Foundation Headquarters campus represents a unique project in that the applicant will be the owner operator of the facility. As the owner operator, the Foundation has designed the interior office space at a lower density than typical office space affording more square feet per employee. In addition to addressing the reduced density, the parking reduction would also help minimize the footprint of the development. Due to the topographic and environmental constraints of the site, there is limited space for development. The reduction in the number of parking spaces would allow the parking for the project to be accommodated

within a smaller footprint. The provision of parking beyond the project's demand would likely result in a larger development footprint and additional impacts.


- C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The intent of the requested parking reduction is to address the actual parking demand for the Foundation's programming and minimize the footprint of the development thereby reducing the project's affect on environmental resources. Without the 10% parking reduction, the development would be over-parked and would likely have an expanded footprint resulting in additional impacts and associated construction/mitigation costs. The zoning designation for the parcel is SP – Specific Plan. The objectives of the Ladyface Specific Plan include ensuring that projects are compatible with the unique natural elements of the property and Ladyface Mountain. Minimizing the footprint of the project by reducing the parking required for the project would contribute to the compatibility of the project with its setting.
- D. The granting of the Variance, as conditioned, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The proposed parking lots have been designed and will be constructed in conformance with the City's Building Code standards. Conformance with the City standards will ensure the modification for reduced parking is not detrimental to public health, safety and welfare. As previously discussed, the proposed modification would contribute to maintaining a minimized development footprint and to minimize grading. Minimizing the development footprint will help maintain the aesthetic value of the site and its setting.
- E. The granting of the Variance, as conditioned, will be consistent with the character of the surrounding area. Reducing the number of parking spaces provided on the site will address the project's actual parking demand, help minimize the project's coverage of the site, and maintain the rural character of the surrounding area.

Section IV. In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt an Environmental Impact Report for this project. Following consideration of the entire record of information received at the public hearing and due consideration of the proposed Project and recommends that the City Council certify the Final Program Environmental Impact Report, make the environmental findings pursuant to the CEQA, adopt a Statement of Overriding Considerations, and adopt a Mitigation Monitoring and Reporting Program.


Section V. Based on the aforementioned findings, the Planning Commission hereby approves recommends the City Council approve Variance Case No. 10-VAR-004(B), subject to attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 20th day of January, 2011, by the following vote to wit:

AYES: (5) Buckley Weber, Justice, Moses, O'Meara, Rishoff
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)


Steve Rishoff, Chairperson

ATTEST:


Mike Kamino, Secretary

RESOLUTION NO. 11-1023

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF OAK TEE PERMIT NO. 09-OTP-003

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Conrad N. Hilton Foundation, with respect to the real property located at 30440 and 30500 Agoura Road (A.P.N. 2061-002-024 and 2061-002-048), requesting approval of an Oak Tree Permit to remove 65 oak trees and encroach within the protected zone of 36 oak trees for the proposed construction of a 90,300 square foot office complex. A public hearing was duly held on January 20, 2011, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. The Planning Commission finds, pursuant to Agoura Hills Zoning Ordinance Section 9657.5 that:

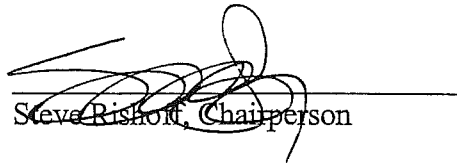
- A. The proposed construction will be accomplished without endangering the health of the remaining trees on the subject property.
- B. The removal and encroachment of the oak trees will not result in soil erosion through the diversion or increased flow of surface waters in which cannot be satisfactorily mitigated. The approved grading plan for the construction of the project ensures for adequate and property drainage on-site and off-site as a result of construction and for the protection against soil erosion.
- C. The removal and encroachment of the oak trees is necessary because the continued existence at present locations prevents the planned improvement to such an extent that alternative development plans cannot achieve the same permitted density.

Section IV. In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt an Environmental Impact Report for this project. Following consideration of the entire record of information received at the public hearing and due consideration of the proposed Project and recommends that the City Council certify the Final Program Environmental Impact Report, make the environmental findings pursuant to the CEQA, adopt a Statement of Overriding Considerations, and adopt a Mitigation Monitoring and Reporting Program.

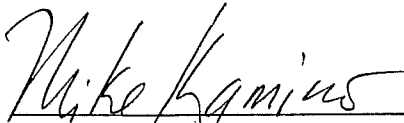
Section V. Based on the aforementioned findings, the Planning Commission hereby approves recommends the City Council approve Oak Tree Permit Case No. 09-OTP-003, subject to attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 20th day of January, 2011, by the following vote to wit:

AYES: (5) Buckley Weber, Justice, Moses, O'Meara, Rishoff
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)


Steve Rishoff, Chairperson

ATTEST:


Mike Kamino, Secretary

RESOLUTION NO. 11-1024

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF VESTING TENTATIVE PARCEL MAP NO. 71284

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by Conrad N. Hilton Foundation, with respect to the real property located at 30440 and 30500 Agoura Road (Assessor's Parcel No. 2061-002-024 and 2061-002-048), requesting approval of a Vesting Tentative Parcel Map to adjust the lot lines of two parcels totaling 70.27 acres in size. A public hearing was duly held on January 20, 2011, at 6:30 p.m. in the City Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid Public Hearings.

Section III. The Planning Commission finds, pursuant to the Agoura Hills Zoning Ordinance and Subdivision Ordinance, that:

A. The proposed Vesting Tentative Parcel Map, as conditioned, is consistent with the City's General Plan designation of PD (Planned Development) in that the proposed Parcel Map will allow for buildings to be clustered on-site to minimize grading and modifications of the natural topography, with development located below the 1,100-foot elevation, as called for in Policy LU-23.3 of the Land Use and Community Form Element of the General Plan.

B. The site is physically suitable for future development in that the parcels of the Vesting Tentative Parcel Map are within proposed buildings which meet the development standards of the SP (Ladyface Mountain Specific Plan) zone relative to building locations, lot coverage, and building height.

C. The design of the Vesting Tentative Parcel Map and proposed improvements are not likely to cause substantial environmental damage or serious public health problems. Street improvements and on-site property improvements will be required upon development of the vacant parcels.

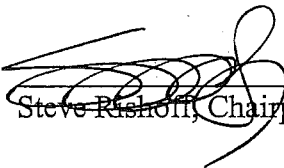
D. The design of the Vesting Tentative Parcel Map or type of improvement will not conflict with easements acquired by the public at large for access through or use of property within the proposed development. Access to the parcels will be provided via Agoura Road.

Section IV. In accordance with the California Environmental Quality Act, the City has provided public notice of the intent to adopt an Environmental Impact Report for this project. Following consideration of the entire record of information received at the public hearing and due consideration of the proposed Project and recommends that the City Council certify the Final Program Environmental Impact Report, make the environmental findings pursuant to the CEQA, adopt a Statement of Overriding Considerations, and adopt a Mitigation Monitoring and Reporting Program.


Section V. Based on the aforementioned findings, the Planning Commission hereby recommends the City Council approve of Vesting Tentative Parcel Map No. 71284, subject to the attached conditions, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 20th day of January, 2011, by the following vote to wit:

AYES: (5) Buckley Weber, Justice, Moses, O'Meara, Rishoff
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)



Steve Rishoff, Chairperson

ATTEST:


Mike Kamino, Secretary

RESOLUTION NO. 11-1025

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF AGOURA HILLS
RECOMMENDING THE CITY COUNCIL APPROVE AN ORDINANCE
APPROVING A DEVELOPMENT AGREEMENT BETWEEN
CONRAD N. HILTON FOUNDATION AND THE CITY OF AGOURA HILLS
(CASE NO. 09-DA-001)

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS DOES HEREBY RESOLVE, FIND, DETERMINE, AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Conrad N. Hilton Foundation with respect to a request for a Development Agreement (Draft Ordinance - Case No. 09-DA-001) on property located at 30440 and 30500 Agoura Road (Assessor's Parcel Nos. 2061-002-024 and 2061-002-048) in the City of Agoura Hills, in the County of Los Angeles, State of California requesting approval to construct a 90,300 square foot office complex in four phases over a 25-year period, with entitlement proposed for Phase I that includes a 24,000 sq. ft., two-story office building; a Variance from Zoning Ordinance Section 9606.2(D) to construct retaining walls in excess of 6 feet in height, and Section 9654.6 to provide a reduction in required parking spaces; an Oak Tree Permit to remove 65 oak trees and encroach within the protected zone of 36 oak trees; a Vesting Tentative Parcel Map to adjust the parcel lines of two parcels totaling approximately 70 acres; and certification of the Final EIR, along with approval of a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program. A duly noticed public hearing was held by the Planning Commission on January 20, 2011, at 6:30 p.m. in the City Hall Council Chambers and notice of the time, date, place and purpose of the aforesaid hearing was duly given, all as required by Section 96821.6 of the Agoura Hills Municipal Code.

Section 2. Evidence, both written and oral, was presented to and considered by the Planning Commission at the aforesaid public meeting.

Section 3. Based on the full record of these proceedings, the Planning Commission hereby finds the Development Agreement:

1. Is consistent with the General Plan as the Development Agreement will provide an economically viable business park that is designed to reflect its natural setting at the base of Ladyface Mountain, while providing high-quality jobs, as called for in Goal LU-23 of the General Plan Land Use & Community Form Element; and
2. Is in conformity with public conveniences and good land use practices as the project approvals, mitigation monitoring program and Development Agreement will guarantee adequate infrastructure for the development and land uses that are compatible with their surroundings; and

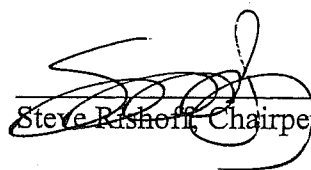
3. Will not be detrimental to the health, safety and general welfare as the project approvals, mitigation monitoring program and the Development Agreement will guarantee adequate infrastructure, safety measures and public services such as police, fire, utilities and sanitation; and
4. Will not adversely affect the orderly development of property or the preservation of property values because the proposed development is conditioned so as to be consistent with the General Plan and compatible with surrounding land uses. The buildings will be located below the 1,100-foot elevation, thereby preserving open space with the Ladyface Mountain Specific Plan area.
5. Is consistent with the provisions of Government Code 65864 through 65869.5.

Section 4. The Planning Commission has recommended adoption of the findings and Statement of Overriding Considerations required by CEQA and applicable to this Project as a part of its approval of 09-CUP-001, 10-VAR-004 (A&B), 09-OTP-003, and VTPM No. 71284, (Resolution Nos. 11-1020, 11-1021, 11-1022, 11-1023, 11-1024). Those actions apply equally to this approval and are incorporated herein by this reference.

Section 5. Based upon the aforementioned findings, the Planning Commission hereby recommends that the City Council adopt the attached Ordinance to approve the proposed draft Ordinance for a Development Agreement (Case No. 09-DA-001) between Conrad N. Hilton Foundation and the City of Agoura Hills.

PASSED, APPROVED, and ADOPTED this 20th day of January, 2011, by the following vote to wit:

AYES: (5) Buckley Weber, Justice, Moses, O'Meara, Rishoff
NOES: (0)
ABSENT: (0)
ABSTAIN: (0)



Steve Rishoff, Chairperson

ATTEST:



Mike Kamino, Secretary

RESOLUTION NO. 11-1026

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS, CALIFORNIA, RECOMMENDING CERTIFICATION OF THE FINAL ENVIRONMENTAL IMPACT REPORT FOR THE CONRAD N. HILTON FOUNDATION HEADQUARTERS CAMPUS PROJECT (STATE CLEARINGHOUSE NO. 2010071025); MAKING ENVIRONMENTAL FINDINGS PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT; RECOMMENDING ADOPTION OF A STATEMENT OF OVERRIDING CONSIDERATIONS; AND RECOMMENDING ADOPTION OF A MITIGATION MONITORING AND REPORTING PROGRAM (CONDITIONAL USE PERMIT CASE NO. 09-CUP-001; VARIANCE CASE NO. 10-VAR-004 (A&B), OAK TREE PERMIT CASE NO. 09-OTP-003, VESTING TENTATIVE PARCEL MAP NO. 71284, AND DEVELOPMENT AGREEMENT CASE NO. 09-DA-001)

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, DETERMINES, AND ORDERS AS FOLLOWS:

Section 1. An application for approval of the Conrad N. Hilton Foundation Headquarters Campus Project ("Project") was duly filed by Conrad N. Hilton Foundation for property located at 30440 and 30500 Agoura Road (APN 2061-002-024 and 2061-002-048), for construction of 90,300 square foot office complex (Conditional Use Permit Case No. 09-CUP-001, Variance Case No. 10-VAR-004 (A&B), Oak Tree Permit Case No. No. 09-OTP-003, Vesting Tentative Parcel Map 71284, and Development Agreement Case No. 09-DA-001. A public hearing was duly held by the Planning Commission on January 20, 2011, at 6:30 p.m. in the Council Chambers of City Hall, 30001 Ladyface Court, Agoura Hills, California, 91301.

Section 2. Evidence, both written and oral, was presented to the Planning Commission at the aforesaid public hearing.

Section 3. On October 21, 2010, a Draft Environmental Impact Report (DEIR) was published for the Project in the City of Agoura Hills. A Notice of Preparation and Request for Agency Input Regarding the Scope of the EIR was properly noticed and circulated for public review.

Section 4. The availability of the Draft Environmental Impact Report (DEIR) for public review was duly noticed. The DEIR was circulated to the State Clearinghouse for the State of California's Office of Planning and Research, as well as to other responsible, trustee, and/or interested agencies and persons. The DEIR was circulated for public comment for a period of 45 days, as required by law. On November 4, 2010, the Planning Commission held a public meeting to receive comments regarding the adequacy of the DEIR. The City of

Agoura Hills (City) accepted and responded in writing to comments relating to California Environmental Quality Act (CEQA) issues, as required by law. Both the comments and the City's written responses thereto were incorporated in the Final Environmental Impact Report (FEIR) as required by CEQA. Responses were returned to the commenting agencies at least ten (10) days prior to the certification of the FEIR, pursuant to Public Resources Code Section 21092.5. The Planning Commission finds that the public and government agencies have been afforded ample notice and opportunities to comment on the Notice of Preparation and Request for Agency Input Regarding the Scope of the EIR, the DEIR and the FEIR.

Section 5. In accordance with CEQA, the City's Local CEQA Guidelines, and State CEQA Guidelines, the City prepared the Final Environmental Impact Report (Final Program EIR) for the project. The Final EIR was comprised of the DEIR, the technical appendices noted and incorporated therein, public comments and the City's responses thereto, amendments to the DEIR, and the Mitigation Monitoring and Reporting Program.

Section 6. On January 20, 2011, the Planning Commission considered the Project and FEIR at a duly noticed public hearing, as prescribed by law, at which time interested persons had an opportunity to, and did, testify either in support of or opposition to this matter.

Section 7. The Planning Commission hereby finds that the FEIR for the Project was completed in compliance with the provisions of CEQA and the guidelines promulgated pursuant thereto, the City's local CEQA guidelines, and is legally adequate. The Planning Commission has reviewed and considered the contents of the FEIR prior to deciding whether to recommend approval of the proposed Project. Based on the facts stated in this Resolution and substantial evidence in the record of this proceeding, the Planning Commission hereby recommends the City Council certifies the FEIR.

Section 8. Based upon the FEIR, public comments, and the record before the Planning Commission, the Planning Commission hereby finds that the FEIR identifies less than significant impacts to the following areas: land use/planning; transportation/traffic; hazards and hazardous materials; public services; aesthetics; population/housing; agricultural and forest resources; mineral resources; utilities/service systems; hydrology and water quality; and greenhouse gas emissions.

Section 9. Based upon the FEIR, public comments, and the record before the Planning Commission, the Planning Commission hereby finds that the FEIR identifies the potentially significant environmental effects for which feasible mitigation measures have been identified that will avoid or reduce the effects to a less than significant level: air quality (construction dust control); biology (wildlife: sensitive wildlife survey, bird nesting surveys, and lighting requirements; jurisdictional drainages: agency consultation, replacement ratio, and riparian habitat restoration; oak trees: oak tree protection and mitigation, grading, and

oak tree replacement; and rare plants: flagging and buffers for Agoura Hills Dudleya); cultural resources (archaeological resources: construction monitoring, and archaeological discovery; and paleontological resources: paleontological monitoring); and geology and soils (erosion control measures).

Section 10. The Planning Commission recommends the City Council adopts the mitigation measures set forth in the FEIR and to impose each mitigation measure as a condition of approval of the Project. The Planning Commission further recommends the City Council adopt the Mitigation Monitoring and Reporting Program included as part of the FEIR.

Section 11. Statement of Overriding Considerations. The FEIR identifies the following significant impacts for which mitigation measures have been incorporated to the extent feasible, but which are not mitigable to a less than significant level, and therefore are considered to be "significant and unavoidable" impacts of the Project.

1. The Ojai navarettia plant species is seriously threatened in California. Construction of Phase I of the project parking lot and access road would remove approximately 0.27 acres of this species, and construction of the Phase II access trail would remove an additional 15 individual Ojai navarettia plants. Besides direct effects associated with the loss of habitat, the Ojai navarettia species would be subjected to indirect effects associated with the change of land use to a business park use. Given the location of the population adjacent to the parking lot, the primary indirect effects to the remaining habitat would be micro-climate changes associated with solar heating of the parking lot, possible over-irrigation associated with landscaping plants, and use of pesticides. Because of the relative rareness of this species and the loss of about 87% of known occupied habitat at this site, this is considered a significant impact.

The FEIR identifies and analyzes a reasonable range of alternatives to the Project, as required by CEQA. For the reasons specified herein and in the FEIR, the Planning Commission hereby finds that the economic, legal, social, technical and other benefits of the Project have been balanced against the Project's environmental risks. Further, none of the alternatives identified in the FEIR fully accomplishes the goals and objectives of the proposed Project. The Planning Commission finds that each and any one of the following benefits of the proposed Project, standing alone or in combination with the others, outweighs each unavoidable adverse environmental effect of the Project being approved at this time, and the Planning Commission recommends the City Council adopt a Statement of Overriding Considerations as required by CEQA.

1. The project, as designed, will preserve additional biological resources on the site, including oak habitat, and will enhance open space protection elsewhere on the property.
2. The project preserves the bio-swale and bio-detention basin designs that needed to reduce off-site drainage.
3. The project, as designed, will eliminate the need for additional parking structures or additional surface parking area.
4. The project, as designed, minimizes potential visual impacts as viewed from the public roadway.
5. The central parking lot best serves the ultimate build-out of the four phases of building construction by concentrating the parking in an area that will serve all four buildings and reducing additional surface grading.
6. The project will provide a high quality building design that provides for office use as allowed in the Ladyface Mountain Specific Plan, and would generate additional tax revenues and employment opportunities in the City.
7. The phased development of construction will ensure protection of the natural areas of the property until expansion of the office complex is needed.
8. The City is legally required to permit economically viable development of private property.

Section 12. Following consideration of the entire record of information received at the public hearing and due consideration of the proposed Project, the Planning Commission hereby recommends that the City Council certify the Final Program Environmental Impact Report (Sate Clearinghouse No. 2010071025), make the environmental findings pursuant to the CEQA, adopt a Statement of Overriding Considerations, and adopt a Mitigation Monitoring and Reporting Program.