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DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

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DATE: May 5, 2011

TO: Planning Commission

APPLICANT: Ashoor Pirouti  
12390 Chandler Boulevard, #H  
Valley Village, CA 91607

CASE NOS.: 03-CUP-022 and 05-OTP-011

LOCATION: 28454 Renee Drive - Lot 5  
(A.P.N. 2061-021-005)

REQUEST: Request for approval of a Conditional Use Permit to construct a 2,431 square-foot residence with an attached, 568 square-foot, two-car garage; and a request for approval of an Oak Tree Permit to encroach in the protected zone of seven (7) on-site oak trees and one (1) off-site oak tree for the proposed construction.

ENVIRONMENTAL DETERMINATION: Exempt from CEQA, per Section 15303, Class 3, Subsection (a) which pertains to the construction of one single-family residence.

RECOMMENDATION: Staff recommends the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-022 and Oak Tree Permit Case No. 05-OTP-011, subject to conditions, based on the findings of the attached Draft Resolution.

ZONE DESIGNATION: RS-(2)-20,000-IH (Residential Single-Family – Indian Hills Design Overlay District)

GENERAL PLAN DESIGNATION: RS – Residential Single-Family

**PROJECT BACKGROUND AND DESCRIPTION**

The applicant, Mr. Pirouti, requested, in 2005, the approval of a Conditional Use Permit to construct a 3,106 square-foot, two-story, single-family residence on a vacant lot located at 28254 Renee Drive in the RS (Residential Single-Family) and IH (Indian Hills Design Overlay) zones. The Planning Commission held a public hearing on September 1, 2005 and continued the case for a redesign. The applicant subsequently chose to withdraw the application and return to the Planning Commission at a future hearing with revised plans. The application was reviewed with a similar application to develop the adjacent lot (Lot 4) owned by the same owner with a new a new single-family residence under a separate Conditional Use Permit.

The applicant has since submitted a new Conditional Use Permit and is requesting the approval of a 2,431 square-foot single-family residence with a 568 square foot tuck-under garage. The Conditional Use Permit is required for proposed development on lots exceeding a 10% average topographic slope. In this instance, the average slope of the property is 34.60% and appears to have been graded prior to the City’s incorporation. An Oak Tree Permit is also requested for the encroachment in the protected zone of one (1) on-site and seven (7) off-site oak trees.

The lot size is 5,939 square feet and was part of a larger subdivision that was approved decades prior to the City’s incorporation. The property is significantly smaller than the 20,000 square-foot minimum sized lots called for in the underlying zoning district. However, the proposed single-family residence is a permitted use in the RS zone and the project will meet the required development standards. Listed below are the proposed development data pertaining to the project:

<b>Development Standards</b>	<b>Existing</b>	<b>Original Proposal</b>	<b>Revised Proposal</b>	<b>Allowed/ Required</b>
<b>1. Lot Size</b>	5,939 sq. ft.	Same	Same	20,000 sq. ft.
<b>2. Lot Width</b>	74 ft.	Same	Same	90 ft.
<b>3. Lot Depth</b>	83 ft.	Same	Same	100 ft.
<b>4. Building Size</b>				
A. House:	N/A	3,106 sq. ft.	2,431 sq. ft.	N/A
B. Garage:	N/A	565 sq. ft.	568 sq. ft.	N/A
Total:		3,671 sq. ft.	2,999 sq. ft.	N/A
<b>5. Building Height</b>	None	35 ft.	35 ft.	35 ft.
<b>6. Lot Coverage</b>	None	24.5%	21.8%	35%

Development Standards	Existing Allowed/	Original Proposal	Revised Proposal	Required
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**7. Building Setbacks**

A. Front:	N/A	25 ft.	25 ft.	25 ft.
B. Rear:	N/A	34 ft.	37 ft.	25 ft.
C. Side (East):	N/A	12 ft.	12 ft.	10 or 12 ft.
D. Side (West):	N/A	10 ft.	10 ft.	10 or 12 ft.

**STAFF ANALYSIS**

Site Plan

The house is proposed to be located in the center of this triangular shaped parcel in order to meet the development standards of the RS zone. The eastern side yard setback is proposed to be 10 feet and the western side yard setback is proposed to be 12 feet. The front yard setback would be 25 feet. The proposed building setback from the rear property line would be 37 feet. The proposed location of the house meets all required setbacks of the zone. Surrounding properties include a proposed two-story residence to the west which is also proposed by this applicant to be at the same finished floor elevation line as this proposal, and an existing residence to the rear (south) of the lot. Renee Drive serves the property and abuts the property to the north and east.

Vehicular access to the lot would be provided with a single driveway placed close to the western property line. The location of the driveway requires a 6-foot high retaining wall on each side. A landscape planter is proposed to soften the mass of the eastern wall. On-site pedestrian access is to be provided with stairs east of the driveway. The site would also include two retaining walls to retain a slope and provide for a graded rear yard. Other than the house, no other structural amenities are proposed at this time.

In evaluating the compatibility of the design and the size of the structure with other Indian Hills properties, staff found that the proposed residence is similar in design with other two story structures in the area out of 36 neighboring homes. Lot and home sizes within the neighborhood are shown on an attached map for reference (Exhibit B). The size of the neighboring homes (excluding the garage space) varies from 1,216 to 2,461 square feet and most have two-stories. The most recently built custom residences in the Indian Hills area include a 2,547 square-foot home on a 13,129 square-foot parcel located on Lewis Place; and 2 more prior with 2,174 square feet of living space on a 5,619 square foot lot and 2,518 on a 7,000 square foot lot on Lewis Place and Laura La Plante Drive respectively. A more recent approval includes a 3,593 square foot house on Lewis Place on three lots totaling 23,108 square feet. Construction has already started.

The residence adjacent to Lot 4, to the west, was built in the late 1980's and is 2,461 square feet and the residence to the north was built in the mid 1940's and has remained less than 1,000 square feet in total size. The proposed residence to the west (Lot 4), under concurrent review, would be 1,874 square feet in area and is on a narrower and

deeper lot. Thus, while the applicant's 2,431 square-foot home would be one of the larger homes in the neighborhood, it meets the development standards of the zone.

#### Hillside Development Standards

Furthermore, the project is subject to special regulations applicable to hillside development found in Section 9652.15. A and B, which establish development criteria within sensitive areas that provide an atmosphere and character that the residents of Agoura Hills have expressed a desire to protect. Special regulations were established to protect hillside areas from incompatible development and preserve the natural terrain, quality environment, and aesthetic character while encouraging creative, innovative and safe residential development.

One such regulation of the Hillside Ordinance, Section 9652.13.B., includes a requirement for on-site open space preservation. The minimum amount of area to remain in undisturbed open space is related to the average slope of the property. The parcel has an average slope of 34.6%. Thus, the Hillside Ordinance requires that at least 92.5% of the lot remain in undisturbed open space. The maximum amount of lot coverage, including the residence, garage, driveway and yard areas should not exceed 7.5% of the lot or 445.42 square feet which is not practical. The proposed footprint of the residence, excluding driveway and yard areas, is 1,295 square feet, or 21.8% which complies with the maximum allowed lot coverage for the RS zone.

However, in cases where it is not practical to meet the open space requirements of the Hillside Development Standards, the Planning Commission reviews maximum allowable development on a case-by-case basis and has discretion regarding the amount of lot coverage based on elements such as the existing lot size and proposed building size, oak tree encroachment, and paving materials without the need for a Variance request. Staff finds that the 445.42 square foot (7.5%) maximum lot coverage allowed under the hillside standards is not practical and that the proposed lot coverage of 1,295 square feet or 21.8% also complies with the maximum 35% lot coverage allowed in the RS zone.

Also, the lot was graded before the City's incorporation and left underdeveloped for many years. The original condition of the lot no longer exists. Such circumstance has not been addressed by the Hillside Development standards but used in the qualitative evaluation of the proposed development. As indicated by the proposed Grading Plan, the house would be situated on an already existing pad and some recounting proposed. A cut is proposed for a subterranean garage and to provide the minimum required setback between the structure and the toe of the slope. Although the project exceeds the maximum amount of hillside lot coverage, the applicant designed the project to meet the Hillside height requirement as well as all the development standards for the underlying zone.

#### Architectural Design

The house design is to include a fine spray texture in a "Tillamook" (light yellow) color for the walls and dark brown color for the trims and wrought iron railing. The windows and the garage door will also be in a dark brown color. The hip roofs will be clad with a mix of three-tone clay tiles. Two balconies are proposed on the south elevation as well.

The applicant also proposes to use colors for the concrete driveway and stone veneer for the stair case.

The Architectural Review Panel reviewed iterations of the house design on four occasions. The applicant received the Panel's recommendation of approval upon completing requested design revisions that included adding natural elements of stone veneer all around the house, on the chimney and on the retaining walls along the driveway and staircase. Sections of the exterior walls on the west façade were also furred out in order to add architectural definition. The square footage of the house was reduced by 675 square feet since the original proposal in 2005.

#### Oak Tree and Landscape Review

An Oak Tree Report was submitted and was reviewed by the City Oak Tree Consultant. The project will require the encroachment in the protected zone of seven (7) Oak trees located on site and one additional Oak tree off-site for the development of the site specifically the grading of the rear property. A mitigation measure in the form of planting is required for the expected significant encroachment of one oak tree.

A landscape plan was submitted for the City Landscape Consultant's review since the project involves graded hillside slopes. The proposed landscaping consists of lawn areas on both sides of the structure, decorative ground covers for the front yard, shrubs for the rear slopes and a mix of Jacaranda, Tulip Tree and Sycamore trees. The City Landscape Consultant has given tentative approval of the preliminary plan, subject to the attached draft conditions. A final landscape and irrigation plan will be reviewed by the City Landscape Consultant and the Los Angeles County Fire Department.

#### Engineering

The grading of the site will require 661 cubic yards of cut soil and 540 cubic yards of fill soil with a total export quantity of 121 cubic yards. The finished floor of the first floor of the residence is proposed at the 108.60-foot elevation, which would be an average of 12 feet above Renee Drive. The garage is proposed at the 96.35-foot elevation. Most of the proposed grading cuts are intended to accommodate the garage and the rear yard.

The driveway had to be designed so as to not exceed 15% slope, which dictated the pad elevation of the garage. Two retaining walls at the rear of the lot are needed for the proposed rear yard. One 6-foot high wall is proposed along the rear and side of the property to end at the front property line to retain the slope. The wall would be connected to the walls proposed on the adjacent property. A small wall is proposed, in front of it, to tie two segments of the main wall which will serve as a planter. Drainage was reviewed by the Engineering Department and conditioned accordingly. The applicant is required to extend and connect to the sewer. There is an existing short wall along the pavement that will remain; the wall is outside the property boundaries.

The applicant will be required to improve and maintain Renee Drive along the length of the parcel frontage. The City approved the vacation of Renee Drive in 2003. Since Renee Drive is a private street, the maintenance of the street is the responsibility of the property owners.

The City Geotechnical Consultant has reviewed the geotechnical reports prepared by Grover Hollingsworth and Associates, Inc. for this project. The City Geotechnical and Geological Consultant recommends approval of the reports at this planning review stage, subject to the compliance with conditions prior to the issuance of a Grading Permit.

#### Environmental Review

Staff finds that the single-family residence would not result in significant environmental impacts and is Categorically Exempt from the California Environmental Quality Act, in accordance with Section 15303, Class 3, Subsection (a) which exempts single-family residences construction from additional environmental review including a negative declaration or environmental impact report.

#### **RECOMMENDATIONS**

Based on the foregoing analysis, staff recommends that the Planning Commission adopt a motion to approve Conditional Use Permit Case No. 03-CUP-022 and Oak Tree Permit Case No. 05-OTP-011, subject to conditions, based on the findings of the attached Draft Resolution.

#### **ATTACHMENTS**

- Draft Resolution for Conditional Use Permit and Oak Tree Permit
- Conditions of Approval for Conditional Use Permit and Oak Tree Permit
- Exhibit A: Vicinity Map
- Exhibit B: Square Footage Analysis Map
- Exhibit C: City Oak Tree Consultant Memorandum
- Exhibit D: City Geotechnical/Geological Consultant Memorandum
- Exhibit E: Environmental Determination
- Exhibit F: Neighbors Letter
- Exhibit G: Architectural and Grading Plans
- Exhibit H: Rendering and Color and Material Board
- Exhibit I: Photographs of Surroundings

**CASE PLANNER:** Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE  
CITY OF AGOURA HILLS  
APPROVING CONDITIONAL USE PERMIT CASE NO. 03-CUP-022 AND  
OAK TREE PERMIT CASE NO. 05-OTP-011

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,  
RESOLVES AND ORDERS AS FOLLOWS:

Section 1. An application was duly filed by Ashour Pirouti with respect to the real property located at 28454 Renee Drive, Assessor's Parcel Number 2061-021-005, requesting the approval of a Conditional Use Permit Case No. 03-CUP-022 to allow the development of a 2,431 square-foot, two-story single-family residence and a 568 square-foot attached garage and an Oak Tree Permit Case No. 05-OTP-011 to encroach in the protected zone of 8 oak trees. A Public Hearing was duly held on April 21, 2011, at 6:30 p.m. in the Council Chambers, City Hall at 30001 Ladyface Court, Agoura Hills, California, 91301. Notice of the time, date and place and purpose of the aforesaid was duly given.

Section 2. Evidence, both written and oral, was duly presented to and considered by the Planning Commission of the aforesaid Public Hearing.

Section 3. The Planning Commission finds, pursuant to Section 9673.2.E. of the Agoura Hills Municipal Code, which establishes regulations pertaining to Conditional Use Permits, that:

- A. The proposed use as conditioned, is consistent with the objectives of this article and the purposes of the district in which the use is located. The proposed project is located within the Residential Single-Family zone and the Indian Hills Overlay District, which allows for single-family residential development. All minimum development standards have been met with regard to setbacks, lot coverage, height and architectural guidelines.
- B. The proposed use as conditioned, is compatible with the surrounding properties. The proposed building of architectural style and building materials are compatible with the neighborhood and meet the requirements of the Indian Hills Design Overlay District. The proposed development on the in-fill lot meets the Hillside Development Standards as well as the standards of the underlying zone relative to building height, lot coverage and grading thereby minimizing impacts to neighboring developed properties.
- C. The proposed use as conditioned, and the conditions under which the project will be operated or maintained will not be detrimental to the public health, safety or welfare. All the minimum yard setbacks will be met and the two-story residence is similar in design in height to neighboring residences. Geological, geotechnical, drainage studies and landscape plans have been provided and approved by the City Consultants.
- D. The proposed use as conditioned, will comply with each of the applicable provisions of the Zoning Ordinance. The project does not require any other entitlements and meets the setback, height, lot coverage of the underlying zone as well as the setback and height of the hillside development requirements. The lot was pre-graded which has caused disturbance of the natural terrain of the property. Although the proposed coverage exceeds 7.5%, the

minimum setbacks and maximum lot coverage for the zone are met on a lot that is less than 30% of the minimum lot size required for the zone. The hillside would be protected with landscaping and drainage and no other structural amenities are proposed other than the main residence and retaining walls.

- E. The proposed use as conditioned, will maintain the diversity of the community by the building's rustic architecture and natural building materials. Placement of the building on this non-conforming, pre-graded lot will not negatively impact view-sheds of these properties.
- F. The proposed use as conditioned, is consistent with the goals, objectives and policies of the General Plan, specifically the Community Design Element by preserving the high quality of the City's existing residential areas.

Section 4. The Planning Commission finds, pursuant to Section 9652.15. A and B of the Agoura Hills Municipal Code which establishes special regulations for hillside development areas, that:

- A. The proposed project is located and designed so as to protect the safety of current and future community residents, and will not create significant threats to life and/property due to the presence of geologic, seismic, slope instability, fire, flood mud flow, erosion hazards or other hazards. Per the City Geotechnical and Geological Consultant's directions, the project can be built with conditions to alleviate potential threats to life and property. The cut slopes will be retained by engineered retaining walls. The disturbed areas of the slopes will be landscaped to prevent erosion and mud flows.
- B. The proposed project is compatible with the natural, biotic, cultural, scenic and open space resources of the area. The project is an-fill development and therefore is separated from any significant protected open space areas and the project does not protrude above protected ridges and minimally blocks neighbors' views. The existing oak tree resource will be preserved at the exception of one tree.
- C. The proposed project can be provided with essential public services and is consistent with the objectives and policies of the general plan. All utility services will be brought to the parcel without interference to the existing infrastructure that the neighboring developed properties already use.
- D. The proposed development will complement the community character and benefit current and future community residents. The project is one of several new houses that contribute to the revitalization of the neighborhood.

Section 5. The Planning Commission finds, pursuant to Section 9657.5.C.3 of the Agoura Hills Municipal Code, which establishes limitations on impacts to oak trees for the purpose of development on privately owned land, that:

- A. The proposed construction or proposed use will be accomplished without endangering the health of the remaining trees on the subject property. The encroachment in the protected zone of 8 oak trees is warranted for the purpose of grading and constructing retaining walls to protect a proposed residence.



- B. The removal or relocation of the oak tree(s) proposed will not result in soil erosion through the diversion or increased flow of surface waters which cannot be satisfactorily mitigated. No removal or relocation is required as part of the construction.
  
- C. The removal or relocation of the oak tree(s) proposed is necessary because the continued existence at present locations(s) prevents the planned improvement or proposed use of the subject property to such an extent that alternative development plans cannot achieve the same permitted density or that the cost of such alternative would be prohibitive or that the placement of such tree(s) precludes the reasonable and efficient use of such property for a use otherwise authorized; or that the oak tree(s) proposed for removal or relocation interferes with utility services or streets and highways, either within or outside of the subject property, and no reasonable alternative to such interference exists other than removal of the tree(s). No removal or relocation is required for the construction of the single-family residence but an encroachment slightly over 20% is required.

The proposed mitigation measures for encroachment within the protected zone of 8 oak trees for grading purposes satisfy the Oak Tree Preservation Ordinance and the City's Oak Tree/Landscape Consultant's requirements.

Section 6. The project is exempt from the California Environmental Quality Act (CEQA), per Section 15303, Class 3, Subsection (a) which pertains to the construction of a single-family residence and therefore does not require the adoption of a negative declaration or an environmental impact report.

Section 7. Based on the aforementioned findings, the Planning Commission hereby approves Conditional Use Permit Case No. 03-CUP-022 and Oak Tree Permit Case No. 05-OTP-011, subject to the attached Conditions, with respect to the property described in Section 1 hereof.

PASSED, APPROVED and ADOPTED this 21<sup>st</sup> day of April, 2011, by the following vote to wit:

AYES: (0)  
NOES: (0)  
ABSTAIN: (0)  
ABSENT: (0)

\_\_\_\_\_  
Steve Rishoff, Chairperson

ATTEST:

\_\_\_\_\_  
Michael Kamino, Secretary

**CONDITIONS OF APPROVAL**  
**(Case Nos. 03-CUP-022 & 05-OTP-011)**

STANDARD CONDITIONS

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of Approval of this Permit with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to and requires complete conformation to the labeled exhibits approved by the Planning Commission: Site Plan, Building Elevation Plans, Floor Plan, Roof Plan, Grading Plan, and Landscape Plans.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any new building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. A minimum of two (2) enclosed parking spaces shall be provided on the subject property, in conformance with the City Parking Ordinance. A minimum interior clear space of 20 feet by 20 feet must be maintained within the garage.
10. The applicant shall comply with all applicable Public Health Statutes, Ordinances and Regulations related to the disposal of sewage.

11. All structures shall conform with the requirements of the Division of Building and Safety of the City of Agoura Hills.
12. The applicant shall comply with the requirements of the Los Angeles County Fire Department prior to the issuance of Building or Grading Permits. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. Unless Conditional Use Permit Case No. 03-CUP-022 is used within two (2) years from the date of City approval, this permit will expire. A written request for a one-year extension may be considered prior to the expiration date.
14. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District. The current fee is \$2.97 per square foot.
15. No roof-mounted equipment, other than attic ventilation systems and solar panels, as allowed by the Municipal Code, shall be permitted.
16. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square foot of new floor area.
17. Prior to the issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
18. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

#### BUILDING AND SAFETY DEPARTMENT CONDITIONS

19. The City Building Code requires all new residences to be protected by a residential fire sprinkler system. The residence shall comply with this requirement.
20. All new or replacement windows shall be tempered on at least one side of the dual pane, or a 20 minute rated, or glass block per Section 704A.3.2.2 of the 2007 California Building Code.

21. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the Agoura Hills Municipal Code (AHMC).
22. As part of the permitting process and prior to building permit issuance, two (2) complete sets of construction plans, including Structural, Floor Plan, Title 24 including Cool Roofing, Mechanical, Electrical, Plumbing, Energy Plans, Septic Tank plans shall be submitted to Building and Safety Department for plan review and approval.
23. The project shall comply with Agoura Hills Municipal Code Section 1805.3.2 for hillside setback requirements.

#### ENGINEERING/PUBLIC WORKS DEPARTMENT CONDITIONS

24. Prior to permitting, all required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
25. For all work within public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at [www.ci.agoura-hills.ca.us](http://www.ci.agoura-hills.ca.us).
26. Prior to the issuance of a grading permit, the applicant shall pay a Transportation Impact Fee (TIF) in the amount of \$2,440 to the Building and Safety Department.
27. All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
28. Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.

29. The grading Plan shall show location(s) of all Oak trees, if any, within the vicinity of the site. The applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval, if any.
30. Prior to permitting, the applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original Mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.
31. Prior to permitting, the applicant shall submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer.
32. Prior to issuance of permits from the Engineering Department, this project will require the applicant to obtain a permit from Las Virgenes Municipal Water District and Los Angeles County Department of Public Works Sewer Division.
33. Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. The applicant shall contact the Engineering Department at 818.597.7322 for approved City certification forms.
34. The applicant shall extend the 8-inch main sewer line across entire property frontage.
35. Public improvements shall be designed in accordance with City Code, Specifications, approved Specific Plan, and/or approved Conditions of Approval for the area. The applicant shall install a driveway approach, extend the 8-inch main sewer line across the entire property frontage, install a sewer lateral, install all water appurtenances per LVMWD standards, and provide for a minimum of 20-foot wide paved surface with 4" asphalt concrete on top of 6" crushed aggregate base along Renee Drive, unless otherwise recommended by the soils engineer. The half-street improvements shall be provided within the applicant's property and be reviewed and approved by the City Engineer and Fire Department.
36. The section of Renee Drive across entire property fronting the project site being cut for new services or being finished with curb and gutter, may require an asphalt concrete overlay.
37. This property is within the LVMWD service area. The applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
38. All off-site work shall require written permission from the affected property owner(s) prior to issuance of a grading permit. If said permission cannot be

- obtained, then applicant shall re-design the plans to ensure work is done only on applicant's property, and commit to the City in writing permission to allow the adjacent property owner(s) to construct the improvements within the private street easement in the future to provide the minimum 20-foot-wide paved surface.
39. There is no sewer line available for direct connection in front of lot 5. The closest line is a few feet north of lot 4. The applicant's Engineer shall prepare plans for a sewer main extension along the entire property frontage of lot number 5 to provide 0.4% minimum grade.
  40. All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City. Prior to issuance of a building permit, the applicant shall provide documentation from LVMWD that all improvement requirements have been met, including fee payment.
  41. A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.
  42. Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
    1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
    2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
    3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
    4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.

43. Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Standard Urban Storm water Mitigation Plan (SUSMP) shall be submitted to and approved by the Engineering Department. The SUSMP shall be prepared per the Los Angeles County Standard Urban Storm water Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.
44. All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Storm water BMP Handbook for Construction at: [www.cabmphandbooks.com](http://www.cabmphandbooks.com) and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
  2. Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
  3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
  4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.
45. For any grading operations conducted between October 1<sup>th</sup> and April 15<sup>th</sup> of each year, the applicant shall submit a wet weather erosion control plan for review and acceptance by the City Engineer.
  46. Prior to issuance of Certificate of Occupancy, all remaining fees/ deposits required by the Engineering Department must be paid in full.

47. Prior to issuance of Certificate of Occupancy, all requirements including construction of improvements covered in Condition No. 36 must be completed to the satisfaction of the City Engineer.
48. Prior to issuance of Certificate of Occupancy, the applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *No final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless MYLAR, Record (As-built) Drawings, satisfactory to the City, are submitted.*
49. Prior to issuance of Certificate of Occupancy, the applicant shall record a covenant for continued storm water maintenance, using City-approved forms, with the Los Angeles County. An electronic copy of this document is available on the City's website: [www.agoura-hills.ca.us](http://www.agoura-hills.ca.us).
50. Upon receiving the Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by the City Engineer, to resolve said conflicts/issues. All conditions are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

#### GEOTECHNICAL CONDITIONS

51. The applicant shall comply with all of GeoDynamics, Inc.'s (The City's of Agoura Hills' Geotechnical Consultant) Conditions of Approval letter dated March 6, 2007.

#### OAK TREE AND LANDSCAPING CONDITIONS

##### Oak Trees:

52. The applicant is permitted to remove Oak Tree 1 to construct the approved site development plan for Lot 4. The diameter of the tree to be removed is nine and one-half inches (9-1/2").
53. The applicant is permitted to encroach within the protected zones of the following eight (8) oak trees in order to complete the approved site development program: Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13.
54. No activities shall be permitted within the protected zones of the remaining five (5) oak trees, Trees 7, 8, 9, 10, and A. They shall be preserved in place with no direct impacts.



55. To mitigate the removal of Oak Tree 1, a Coast Live Oak, the applicant shall plant at least nine and one-half inches (9-1/2") of diameter of new oak trees within the landscape. The applicant shall plant at least four (4) native oak trees within the site to include a minimum of (1) thirty-six inch (36") box size and two (2) twenty-four inch (24") box size Coast Live Oak trees.
56. To mitigate the significant impact to the protected zone of Oak Tree 13, a Scrub Oak, the applicant shall plant at least eight and one-half inches (8-1/2") of diameter of new oak trees within the landscape. Since Scrub Oaks are seldom available in sizes larger than fifteen gallon (15-gal) containers, it is acceptable that the required mitigation Scrub Oaks be planted from small containers.
57. The exact species, planting sizes and planting locations of the mitigation oak trees shall be subject to review and approval by the City Oak Tree Consultant.
58. All excavation within the protected zones of Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13 shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant.
59. Should the Director and the City Oak Tree Consultant determine that the required number of mitigation oak trees cannot be planted on the subject site in a practical fashion, equivalent alternative mitigation shall be established through the establishment of an in-lieu fee which the applicant shall pay into the City of Agoura Hills Oak Tree Mitigation Fund for the deficit. The amount of the in-lieu fee shall be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal.
60. The mitigation oak trees shall be maintained in perpetuity. Should any of the mitigation oak trees decline or die, they shall be replaced in accordance with the provisions of the Oak Tree Preservation and Protection Guidelines.
61. The Grading Plan shall contain a note that states that no grading will occur more than two feet (2') from the back of any proposed wall. This must be reflected on the protective fencing plan.
62. Should the applicant or any subsequent property owner wish to add a property line fence along the southerly property line, he shall go through the City of Agoura Hills Oak Tree Permit process.
63. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced with temporary chain link fencing at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
64. The applicant shall provide a forty-eight (48) hour notice to the City and the applicant's oak tree consultant prior to the start of any approved work within the protected zone of any oak tree.

65. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
66. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
67. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified tree trimmer under the direct observation of the applicant's oak tree consultant. Pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning.
68. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
69. No irrigation or planting shall be installed within the drip line of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
70. Prior to occupancy, each existing and new oak tree shall be mulched throughout the dripline with three inches (3") of approved organic mulch as needed to supplement natural leaf litter.
71. Within ten (10) days of the completion of work, the applicant's oak tree consultant shall submit written certification to the City. The certification shall describe all work performed and whether such work was performed in accordance with the above permit conditions.

Landscaping:

72. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Elemental Landscapes, dated May 19, 2010.
73. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
  - Site Plan
  - Elevations
  - Grading Plan
  - Conditions Of Approval
74. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements. The plans shall be subject to review by the City Landscape Consultant, and approval by the Director of Planning and Community Development.

- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
  - b. All plans shall be legible and clearly drawn.
  - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
  - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
  - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
  - f. The project identification number shall be shown on each sheet.
  - g. The plans shall accurately and clearly depict the following existing and proposed features:
    - Landscape trees, shrubs, ground cover and any other landscaping materials
    - Property lines
    - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
    - Buildings and structures
    - Parking areas, including lighting, striping and wheel stops
    - General contour lines
    - Grading areas, including tops and toes of slopes
    - Utilities, including street lighting and fire hydrants
    - Natural features, including watercourses, rock outcroppings
75. The Planting Plan shall indicate the botanical name and size of each plant.
76. Plant symbols shall depict the size of the plants at maturity.
77. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
78. The landscape plans shall prominently display the following notes:
- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
  - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".

- c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
79. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
80. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.
81. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
  - a. Design and static pressures
  - b. Point of connection
  - c. Backflow protection
  - d. Valves, piping, controllers, heads, quick couplers
  - e. Gallon requirements for each valve
82. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
83. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
84. Poor landscape practices such as topping, hedging and "lollipoping" shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
85. Plants located in the planters below the retaining walls within the protected zones of the oak trees shall be irrigated with drip irrigation or bubblers only.
86. Proposed plant material shall not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
87. The final plant palette shall reflect a naturalistic and native theme.
88. All plant material shall be considered compatible with Sunset Zone 18.

89. Any *Ailanthus altissima* (Tree of Heaven) shall be permanently eradicated. The landscape plans shall contain a note to this effect and specify the method of eradication.
90. The Landscape Plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.

#### FIRE DEPARTMENT CONDITIONS

91. The applicant shall comply with all conditions of the Los Angeles County Fire District prior to the issuance of a building permit.

#### SOLID WASTE MANAGEMENT STANDARD CONDITIONS

92. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
93. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.
94. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

SPECIAL CONDITIONS

95. All proposed garden walls shall consist of split-faced block or other decorative materials, subject to review and approval by the Director of Planning and Community Development.
96. All proposed building retaining walls for the house shall consist of stucco facing and stone, as shown on the plans, subject to review and approval by the Director of Planning and Community Development.
97. The driveway material shall consist of decorative pavement subject to the review and approval of the Director of Planning and Community Development.
98. No roof-mounted equipment shall be permitted other than solar panels.

END



**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT A**

**VICINITY/ZONING  
MAP**

CONDITIONAL USE PERMIT - CASE NO. 03-CUP-022  
CONDITIONAL USE PERMIT - CASE NO. 03-CUP-023  
OAK TREE PERMIT - CASE NO. 05-OTP-011  
OAK TREE PERMIT - CASE NO. 05-OTP-012

City of Agoura Hills  
Project  
Vicinity/Zoning  
Map



Project Sites







**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT B**

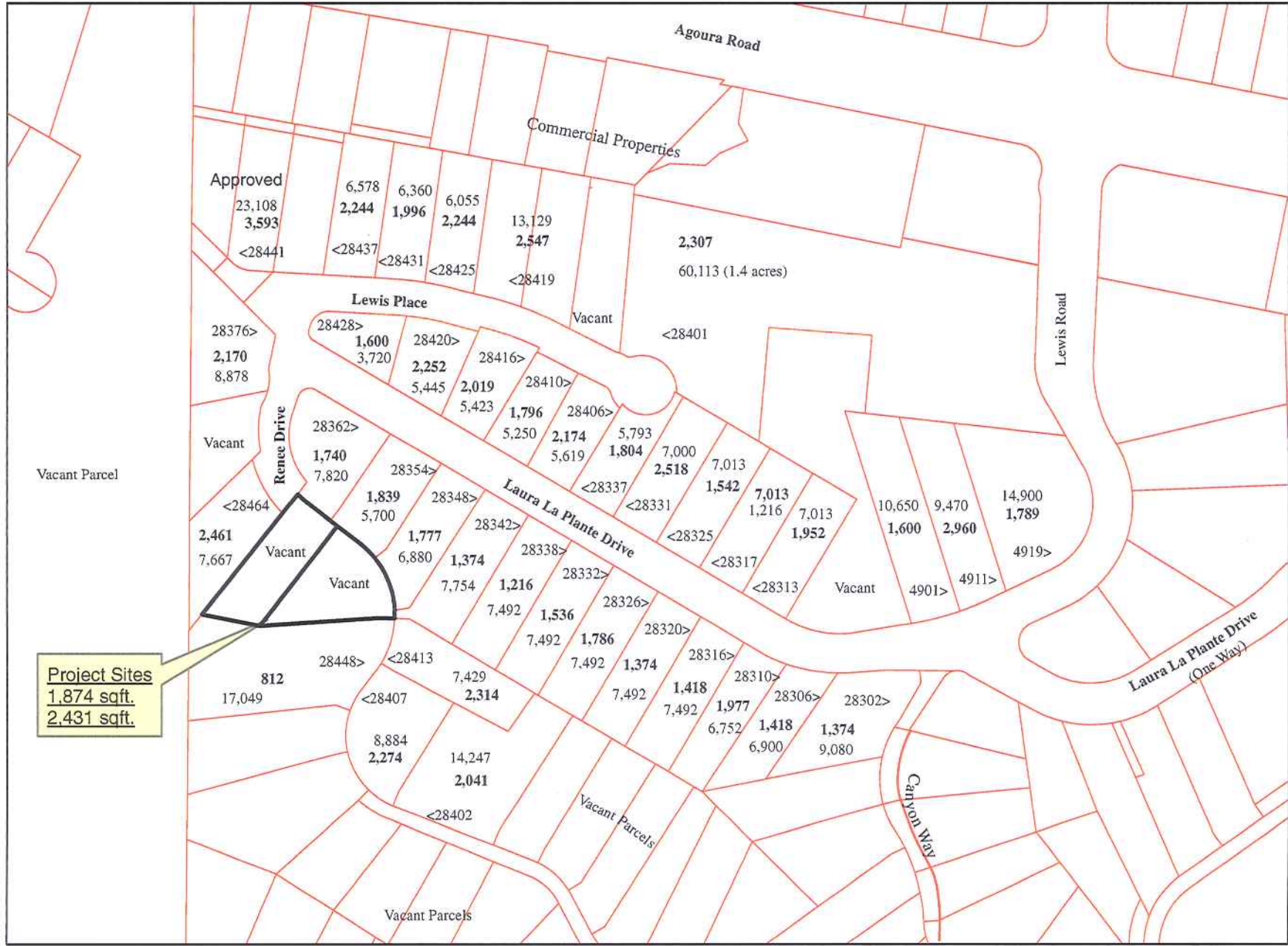
**SQUARE FOOTAGE ANALYSIS  
MAP**

CONDITIONAL USE PERMIT CASE NO. 03-CUP-022  
 CONDITIONAL USE PERMIT CASE NO. 03-CUP-023  
 OAK TREE PERMIT CASE NO. 05-OTP-011  
 OAK TREE PERMIT CASE NO. 05-OTP-012

**LEGEND**

2,000 sqft. = House Square Footage  
 10,000 sqft. = Lot Square Footage  
 <2222 = House Address

**Square Footage Analysis Map**



**Project Sites**  
 1,874 sqft.  
 2,431 sqft.





**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT C**

**CITY OAK TREE CONSULTANT  
MEMORANDUM**

# Memo

**To:** Valerie Darbouze, City of Agoura Hills  
**From:** Ann Burroughs for Kay Greeley, Landscape and Oak Tree Consultant  
**Date:** April 6, 2011  
**Re:** 03-CUP-022/05-OTP11 (Lot 5) and 03-CUP-023/05-OTP-012 (Lot 4) – Pirouti, Ashoor

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We recommend the following comments be considered in connection with the review of the subject entitlement request:

There are a total of eleven (11) major clumps of Scrub Oak (*Quercus berberidifolia*) and one (1) Coast Live Oak tree (*Quercus agrifolia*) within the subject site which consists of two (2) adjoining lots. There is one (1) additional Coast Live Oak tree and one (1) additional Scrub Oak located on the adjacent property to the south.

The applicant proposes to construct one (1) single-family residence on each lot. We have separated direct impacts to the oak trees by lot as requested. However, impacts cannot be segregated entirely since the retaining walls would require redesign if either property were to be developed separately. During the design process the applicant revised the rear retaining walls, terrace and stairs to reduce the impacts to a number of the oak trees. However there would still be significant impacts to oak trees from the proposed construction.

Construction on Lot 4 would encroach within the protected zones of Oak Trees 1 through 6, all Scrub Oaks, and Oak Tree 12, a Coast Live Oak. Construction on Lot 5 would encroach within the protected zones of Oak Trees 2 through 6, 11, and 13, all Scrub Oaks, and Oak Tree 12.

The Oak Tree Ordinance limits overall oak tree removal to a maximum of ten percent (10%) of the protected zone of the oak resources overall. Based on our analysis the proposed development would result in direct impacts to twenty percent (20%) of the oak tree resource on and off the site. The proposed overall impact therefore would exceed the impact permitted by the Zoning Code.

Our analysis of proposed encroachments to the oak trees is detailed below. This analysis is based on the applicant's statement that grading impacts can be limited to a distance of two feet (2') behind the proposed retaining walls.

Oak Tree 1, a Scrub Oak, lies within the proposed graded pad for the structure on Lot 4. If the project is to proceed as proposed this oak would require removal to enable construction.

Construction of the retaining walls for both lots would encroach within the protected zones but not the driplines of Oak Trees 4, 5, 6, and 12, and for Lot 5 only, Oak Tree 11. Construction would also encroach within the protected zone and dripline of Oak Tree 3. The percentages of these encroachments vary from a low of two percent (2%) to a high of eighteen percent (18%) of the trees' protected zones. Encroachments within the dripline of Oak Tree 3 would amount to less than one percent (1%) of the protected zone and would encroach no closer than ten feet (10') from the trunk. It is our opinion these trees could survive the proposed direct impacts and would remain viable as long as the work is performed carefully.

Construction of the retaining wall for both lots would encroach within the protected zone and dripline of Oak Tree 2, impacting twenty-one percent (21%) of the protected zone. Encroachment within the

dripline would amount to one percent (1%) of the protected zone and grading would occur no closer than nine feet (9') from the trunk. The Municipal Code limits allowable impacts to individual trees to a maximum of twenty percent (20%) of the protected root zone, provided a determination can be made that the tree will remain viable. It is our opinion this tree could survive the proposed impacts and remain viable if the work is performed carefully. Therefore, we do not feel mitigation is required for this tree.

Construction of a retaining wall for Lot 5 would encroach within thirteen percent (13%) of the protected zone of Oak Tree 13, the off-site Scrub Oak. Although this amount of encroachment is not always significant enough to harm a tree, grading for a corner of the proposed retaining wall and concrete v-ditch would occur within thirty-inches (30") of the tree's trunk. For this reason we believe this impact may be significant enough to cause the tree to experience premature decline and death. We therefore recommend mitigation be required for Oak Tree 13.

Oak Trees 7, 8, 9, 10, and A, a Coast Live Oak, would be preserved in place with no direct impacts.

The proposed Landscape Plan provides a total of thirteen (13) new Coast Live Oak and Scrub Oak trees having a total diameter of thirteen and one-half inches (13-1/2"). Four (4) new Coast Live Oak trees would be planted, two (2) on each lot. Nine (9) new Scrub Oak trees, would be planted, six (6) on Lot 4 and three (3) on Lot 5. An additional four and one-half inches (4-1/2") of new oak tree diameter would be required to provide a total of eighteen inches (18") of trunk diameter of Coast Live Oak and Scrub Oak trees to mitigate for the removal of Oak Tree 1 and significant impacts to Oak Tree 13.

The planting of all proposed mitigation oak trees is subject to final site layout, site conditions such as rocky and/or excessively steep slope conditions, and review by the County of Los Angeles Fire Department Fuel Modification Unit. If any of these prevents planting of the total number of required mitigation oak trees on the subject site, equivalent alternative mitigation would be required through planting of mitigation trees off-site in a location acceptable to the Director and/or the establishment of an in-lieu fee. The amount of the in-lieu fee would be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal. This fee would be paid by the applicant into the City of Agoura Hills Oak Tree Mitigation Fund.

If the project is to proceed as proposed our recommended conditions of approval are as follows:

Oak Trees:

1. The applicant is permitted to remove Oak Tree 1 to construct the approved site development plan for Lot 4. The diameter of the tree to be removed is nine and one-half inches (9-1/2").
2. The applicant is permitted to encroach within the protected zones of the following eight (8) oak trees in order to complete the approved site development program: Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13.
3. No activities shall be permitted within the protected zones of the remaining five (5) oak trees, Trees 7, 8, 9, 10, and A. They shall be preserved in place with no direct impacts.
4. To mitigate the removal of Oak Tree 1, a Coast Live Oak, the applicant shall plant at least nine and one-half inches (9-1/2") of diameter of new oak trees within the landscape. The applicant shall plant at least four (4) native oak trees within the site to include a minimum of (1) thirty-six inch (36") box size and two (2) twenty-four inch (24") box size Coast Live Oak trees.
5. To mitigate the significant impact to the protected zone of Oak Tree 13, a Scrub Oak, the applicant shall plant at least eight and one-half inches (8-1/2") of diameter of new oak trees within the landscape. Since Scrub Oaks are seldom available in sizes larger than fifteen gallon (15-gal) containers, it is acceptable that the required mitigation Scrub Oaks be planted from small containers.
6. The exact species, planting sizes and planting locations of the mitigation oak trees shall be subject to review and approval by the City Oak Tree Consultant.
7. All excavation within the protected zones of Oak Trees 2, 3, 4, 5, 6, 11, 12, and 13 shall be performed using only hand tools under the direct observation of the applicant's oak tree consultant.

8. Should the Director and the City Oak Tree Consultant determine that the required number of mitigation oak trees cannot be planted on the subject site in a practical fashion, equivalent alternative mitigation shall be established through the establishment of an in-lieu fee which the applicant shall pay into the City of Agoura Hills Oak Tree Mitigation Fund for the deficit. The amount of the in-lieu fee shall be based upon tree appraisal standards contained in the 9th Edition of the Guide for Plant Appraisal.
9. The mitigation oak trees shall be maintained in perpetuity. Should any of the mitigation oak trees decline or die, they shall be replaced in accordance with the provisions of the Oak Tree Preservation and Protection Guidelines.
10. The Grading Plan shall contain a note that states that no grading will occur more than two feet (2') from the back of any proposed wall. This must be reflected on the protective fencing plan.
11. Should the applicant or any subsequent property owner wish to add a property line fence along the southerly property line, he shall go through the City of Agoura Hills Oak Tree Permit process.
12. Prior to the start of any work or mobilization at the site, each oak tree to be preserved shall be fenced with temporary chain link fencing at the edge of the protected zone or at the approved work limits, in accordance with Article IX, Appendix A, Section V.C.1.1. The City Oak Tree Consultant shall approve the fencing locations.
13. The applicant shall provide a forty-eight (48) hour notice to the City and the applicant's oak tree consultant prior to the start of any approved work within the protected zone of any oak tree.
14. No grading, scarifying or other soil disturbance shall be permitted within the portion of the protected zone of any oak tree not directly impacted by the project construction.
15. No vehicles, equipment, materials, spoil or other items shall be used or placed within the protected zone of any oak tree at any time, except as specifically required to complete the approved work.
16. No pruning of live wood shall be permitted unless specifically authorized by the City Oak Tree Consultant. Any authorized pruning shall be performed by a qualified tree trimmer under the direct observation of the applicant's oak tree consultant. Pruning operations shall be consistent with ANSI A300 Standards – Part 1 Pruning.
17. No herbicides shall be used within one hundred feet (100') of the dripline of any oak tree unless the program is first reviewed and endorsed by the City Oak Tree Consultant.
18. No irrigation or planting shall be installed within the drip line of any oak tree unless specifically approved by the City Oak Tree Consultant and the Director.
19. Prior to occupancy, each existing and new oak tree shall be mulched throughout the dripline with three inches (3") of approved organic mulch as needed to supplement natural leaf litter.
20. Within ten (10) days of the completion of work, the applicant's oak tree consultant shall submit written certification to the City. The certification shall describe all work performed and whether such work was performed in accordance with the above permit conditions.

Landscaping:

21. The final landscape plan shall generally conform to the approved preliminary landscape plan, as prepared by Elemental Landscapes, dated May 19, 2010.
22. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
  - Site Plan
  - Elevations
  - Grading Plan
  - Conditions Of Approval

23. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
  - b. All plans shall be legible and clearly drawn.
  - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
  - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
  - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
  - f. The project identification number shall be shown on each sheet.
  - g. The plans shall accurately and clearly depict the following existing and proposed features:
    - Landscape trees, shrubs, ground cover and any other landscaping materials
    - Property lines
    - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
    - Buildings and structures
    - Parking areas, including lighting, striping and wheel stops
    - General contour lines
    - Grading areas, including tops and toes of slopes
    - Utilities, including street lighting and fire hydrants
    - Natural features, including watercourses, rock outcroppings
24. The Planting Plan shall indicate the botanical name and size of each plant.
25. Plant symbols shall depict the size of the plants at maturity.
26. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
27. The landscape plans shall prominently display the following notes:
- a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
  - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
  - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
28. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
29. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over spray on adjoining areas.

30. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
  - a. Design and static pressures
  - b. Point of connection
  - c. Backflow protection
  - d. Valves, piping, controllers, heads, quick couplers
  - e. Gallon requirements for each valve
31. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
32. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
33. Poor landscape practices such as topping, hedging and "lollipopping" shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
34. Plants located in the planters below the retaining walls within the protected zones of the oak trees shall be irrigated with drip irrigation or bubblers only.
35. Proposed plant material shall not be considered invasive in the Santa Monica Mountains, as it could negatively impact the adjacent natural area. Lists of exotic material can be obtained from the California Native Plant Society and/or the California Exotic Pest Plant Council.
36. The final plant palette shall reflect a naturalistic and native theme.
37. All plant material shall be considered compatible with Sunset Zone 18.
38. Any *Ailanthus altissima* (Tree of Heaven) shall be permanently eradicated. The landscape plans shall contain a note to this effect and specify the method of eradication.
39. The Landscape Plan shall be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.

Please advise should there be any comments or questions.





**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT D**

**CITY GEOTECHNICAL/GEOLOGICAL CONSULTANT  
MEMORANDUM**

Date: March 6, 2007  
GDI #: 06.00103.0116

## CITY OF AGOURA HILLS - GEOTECHNICAL REVIEW SHEET

To: Valerie Darbouze

Project Location: Lot 5, 28454 Renee Drive, Agoura Hills, California.

Planning Case #: 03-CUP-022/05-OTP-011/Pirouti

Building & Safety #: None

Geotechnical Report: GeoConcepts, Inc. (2007), "Update Report, Tract 8793, Lot 5, 28454 Renee Drive, Agoura Hills, California," Project 2606, dated January 10, 2007..

GeoConcepts, Inc. (2006), "Addendum Report No. 2, Tract 8793, Lot 5, 28454 Renee Drive, Agoura Hills, California," Project 2606, dated July 7, 2006.

GeoConcepts, Inc. (2004), "Supplemental Report No. 1, 5754 Renee Drive, Agoura Hills, California," Project 2606, dated November 19, 2004.

GeoConcepts, Inc. (2004), "Supplemental Report No. 1, 5754 Renee Drive, Agoura Hills, California," Project 2606, dated March 8, 2004.

GeoConcepts, Inc. (2003), "Preliminary Geologic and Soils Engineering Investigation, Proposed Single Family Residences, Tract 8793, Lots 4 & 5, Renee Drive, Agoura Hills, California," Project 2606, dated August 21, 2003.

Plans: John Dolinsky Associates, "Grading Plans and Grade Sections, Lot 4 and Lot 5, Renee Drive, Agoura Hills, California", 10-scale, dated 11-18-03.

Previous Reviews: January 29, 2004; March 30, 2004, November 29, 2004 and August 4, 2006 .

### Findings

Geotechnical Report

Acceptable as Presented

Response Required

### Remarks

GeoConcepts, Inc. (GCI; consultant) provided an "Update Report" to address changes to the proposed development plans at Lot 5, 28454 Renee Drive, City of Agoura Hills, California. The proposed development includes construction of a single-family residence and retaining walls. The City of Agoura Hills – Planning Department reviewed the referenced report from a geotechnical perspective for compliance with applicable codes, guidelines, and standards of practice. GeoDynamics, Inc. (GDI) performed the geotechnical review on behalf of the City.

Based upon the City's review, the referenced reports are acceptable as presented. Plan-Check comments should be addressed in Building & Safety Plan Check. A separate geotechnical submittal is not required for plan-check comments.

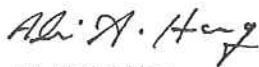
**Plan-Check Comments**

1. The name, address, and phone number of the Project Geotechnical Consultant and a list of all the applicable geotechnical reports shall be included on the building/grading plans.
2. The grading plan should include the limits and depths of overexcavation of the building pad areas as recommended by the Consultant.
3. The following note must appear on the grading and foundation plans: *"Tests shall be performed prior to pouring footings and slabs to determine the expansion index of the supporting soils, and foundation and slab plans should be reviewed by the Geotechnical Consultant and revised, if necessary, accordingly."*
4. The following note must appear on the grading and foundation plans: *"Excavations shall be made in compliance with CAL/OSHA Regulations."*
5. The following note must appear on the foundation plans: *"All foundation excavations must be observed and approved, in writing, by the Project Geotechnical Consultant prior to placement of reinforcing steel."*
6. Foundation plans and foundation details shall clearly depict the embedment material and minimum depth of embedment for the foundations.
7. Drainage plans depicting all surface and subsurface non-erosive drainage devices, flow lines, and catch basins shall be included on the building plans.
8. Final grading, drainage, shoring, and foundation plans shall be reviewed, signed, and wet stamped by the project geotechnical consultant.
9. Provide a note on the grading and foundation plans that states: *"An as-built report shall be submitted to the City for review. This report prepared by the Geotechnical Consultant must include the results of all compaction tests as well as a map depicting the limits of fill, locations of all density tests, outline and elevations of all removal bottoms, keyway locations and bottom elevations, locations of all subdrains and flow line elevations, and locations and elevations of all retaining wall backdrains and outlets. Geologic conditions exposed during grading must be depicted on an as-built geologic map. The as-built grading report shall include final foundation recommendations along with supporting calculations."*

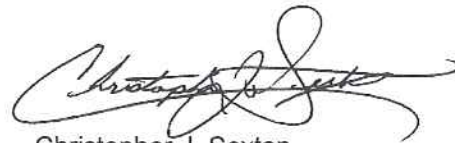
If you have any questions regarding this review letter, please contact GDI at (805) 496-1222.

Respectfully Submitted,

**GeoDynamics, INC.**



Ali Abdel-Haq  
Geotechnical Engineering Reviewer  
GE 2308 (exp. 12/31/07)



Christopher J. Sexton  
Engineering Geologic Reviewer  
CEG 1441 (exp. 11/30/08)



**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT E**

**ENVIRONMENTAL DETERMINATION**

## Notice of Exemption

To: [ ] Office of Planning and Research  
1400 Tenth Street, Room 121  
Sacramento, Ca 95814

From: City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, California 91301

[ ] County Clerk  
County of Los Angeles  
Los Angeles County Clerk  
12400 E. Imperial Hwy.  
Norwalk, CA 905690

**Project Title:** Pirouti Single Family Residences

**Project Location-Specific:** 28454 and 28458 Renee Drive  
Agoura Hills, California  
APN: 2061-021-036 and 2061-021-005

**Project Location-City:** City of Agoura Hills

**Project Location-County:** Los Angeles

**Description of Nature, Purpose, and Beneficiaries of Project:** The 0.3 acre project site is vacant. Two homes, each with tucked-under garages, are proposed: (1) 1,874 square-foot home with a 616 square-foot garage; (2) 2,431 square-foot home with a 568 square-foot garage. The request is for a conditional Use Permit and Oak Tree Permit.

The site improvements include retaining walls to support the hillside in the rear of the project and retaining walls for the tucked-under garage. Access to the sites will be with two side-by-side driveways connecting to Renee Drive. Utilities will be brought to the site and the street repaved the width of both parcels. There are oak trees on the slopes of the parcels. It is expected that one oak tree will be removed and the grading will encroach in the protected zone of 8 other oak trees; five additional oak trees will remain intact. The property is adjacent to other developed residential properties.

Each proposed structure complies with the front, rear yard and side setback, height, and other relevant standards prescribed by the Residential Single-Family Density zoning classification. The aesthetic value of the project will be consistent with the area.

**Name of Public Agency Approving Project:** City of Agoura Hills

**Name of Person or Agency Carrying Out Project:** City of Agoura Hills  
30001 Ladyface Court  
Agoura Hills, California 91301

**Exempt Status:** (Check One)

- Statutory Exemption (14 Cal. Code of Regs. Sections 15260 et seq.);
- No Possibility of physical impact. (14 Cal Code of Regs. Section 15061 (b)(3));
- Ministerial (14 Cal Code of Regs. Sec. 15268);
- Declared Emergency (14 Cal Code of Regs. Sec. 15269(a));
- Emergency Project (14 Cal Code of Regs Sec. 15269(b),(c), (d) and (e));
- Categorical Exemption (14 Cal Code of Regs. Sections 15300 et seq.) State of California CEQA Guidelines Section 15303

**Reasons why project is exempt:** This exemption is based on the finding that the actions which will result in the construction of a new structure which is within the exemptions contained in Section 15300 of the list of permitted exemptions in CEQA Guidelines, Class 3. This exemption consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include, but are not limited to:

- (a) One single-family residence, or a second dwelling unit in a residential zone (...)."

This project is, in fact, served by all necessary public services and facilities and is not located in an environmentally sensitive area. Review of the evidence in the record as a whole, including an architectural plans, grading and street improvement plans and review of City and State CEQA thresholds applicable to the project, shows that the request demonstrates that the project meets these criteria. Therefore, this project will not have a significant impact on the environment and consequently, the project is exempt from further CEQA review.

**Lead Agency Contact Person:** Valerie Darbouze, Associate Planner

**Area Code/Telephone/Extension:** (818) 597-7328

Signature:  Date: 4/26/2011 Title: Associate Planner



**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT F**

**NEIGHBORS LETTER**

## Questions for Planning Committee

Re: Public Hearing Scheduled for April 21<sup>st</sup>, 2011  
Case #03-CUP-023 & 05-OTP-012  
And Case #03-CUP-022 & 05-QTP-011

To Whom It May Concern:

My name is Deborah Rahm. I live next door to the 2 lots that are under review for development. My home address is: 28464 Renee Drive, Agoura Hills, Lot 3, APN: 2061-021-026. The following are questions I would like addressed at this hearing:

### TOPIC #1

1. Is the city taking any responsibility for this development being that the city (per their sign on Renee Drive) does NOT maintain the road past my house, i.e. "private read"?
2. And if the city is not assuming any responsibility than who is?
3. What happens if the road is damaged?
4. What are our rights as homeowners if the road is damaged during construction?
5. And if the city assumes no responsibility how does that impact the current residences with respect to their public safety?
6. Where will the nearest fire hydrant be?
7. What are the codes re: Fire Hydrants and the Fire Department, i.e.:
  - Distances between hydrants
  - Turn around radius for the Fire Trucks (as there is NONE)
  - Pumping water pressure for fire hydrants
  - Availability of H2O for the area
8. Does any of the Fire authorities need to approve these plans as well?
9. Does the fact that at the top of Renee Drive, the home owner Terry Aherns, built an enclosed gate for his home; which denies any Fire trucks access/entry to the fire roads for out street?

### TOPIC #2

1. What exactly is the owner's/builder's obligation to the current homeowners?
2. **More specifically, what are my rights? As I am the only home in the building zone area with respect to noise; dirt damage; and any and all other possible damages?**
3. What are our rights from the city as well? Being that the city will be the entity approving the development.
4. Will the land owner, Mr. Ashoor Pirouti be responsible for the widening of the current road? Being that the street is so narrow now that it can not even handle the current traffic, with the existing residences going in and out?
5. **Is the city aware of the "blind spot" on this street; esp. if developed?**
6. Where are his construction trucks going to park? As there is no room on the street!
7. And what happens if they do park in the street? What are our rights as current residences, as it will block all ingress/egress for our street?



### TOPIC #3

1. Is the current owner, Ashoor Pirouti, working on the pre-approved plans from the previous owner, Vandenberg's, lawsuit?
2. If so, is he honoring Vandenberg's original promise to the city from when he owned these 2 lots including mine, with respect to the size of the homes he would build per lot, the amount of space he would dedicate to the city per lot, set back lines per lot, etc..??
3. How long are those original plans good for?
4. And if the new owner modified the original plans would the decision from the lawsuit still be valid?
5. If yes, how long is it valid for?
6. HOWEVER, if he did modify the original plans, how come there was no public hearing for the modification?
7. What plans have been approved so far? Site Plans? Tentative Tract Map? Final Tract Map?
8. Has Mr. Pirouti already been approved to build based on the spec per the hearing notice?
9. Have permits been pulled and approved?
10. Has he submitted a topography map?
11. Has he submitted a proper survey?
12. Has there been any recordation yet?
13. Were there or are there any conditions to his approval?

### TOPIC #4

1. Has his designs been approved by the "review board"?
2. What is the city's minimum lot size per home?
3. What are the set back codes/guidelines for our area and his development?
4. What are the city ordinances regarding this?
5. What are the city's height requirements?
6. Why are his garages so big? Aren't standard sizes 400 sq. ft.?

I realize I have addressed a lot of questions/concerns regarding this matter and perhaps beyond the scope of what may be matters to be discussed at the hearing. But because I do not recall ever having a formal hearing regarding this development, in any way shape or form, my need to have these issues addressed is imperative, especially topics 1 & 2, given I am the one and only homeowner that will be immediately impacted by this construction/development.

Please make copies of this letter for all the committee members who will be attending the hearing on April 21<sup>st</sup>, 2011 as I would like all these questions/concerns to be addressed by the committee at this hearing.

Sincerely,



Deborah Rahm

Home Owner

(c) 818.618.3593

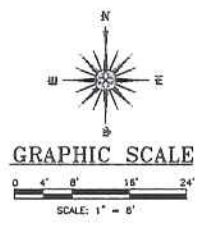


**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT G**

**REDUCED ARCHITECTURAL  
AND  
GRADING PLANS**



**PROJECT DATA:**

DESCRIPTION: 2 - SINGLE FAMILY DWELLINGS ON 2 - ADJACENT LOTS  
 2 - STORY EACH OVER BASEMENT, GARAGE FOR 2 - CARS  
 EACH. THE LOTS ARE PRESENTLY VACANT. HILLSIDE AREA

ADDRESS: 28458 & 28454 RENEE DRIVE, AGOURA HILLS

ASSESSOR'S L.O.: 2061-021-035 & 2061-021-038

LEGAL: LOT 4 & LOT 5, BLOCK 4, TRACT No. 8703, M.B. 145-65-84

ARCHITECT: JOHN C. DOLINSKY ARCHITECT, 6381 HOLLYWOOD BLVD., #510,  
 HOLLYWOOD, CA 90228, (323)465-4643

APPLICANT: ASHOOR PIROUTI, 12380 CHANDLER BLVD., UNIT 11,  
 VALLEY VILLAGE, CA 91607, (618)324-0085

**LEGEND:**

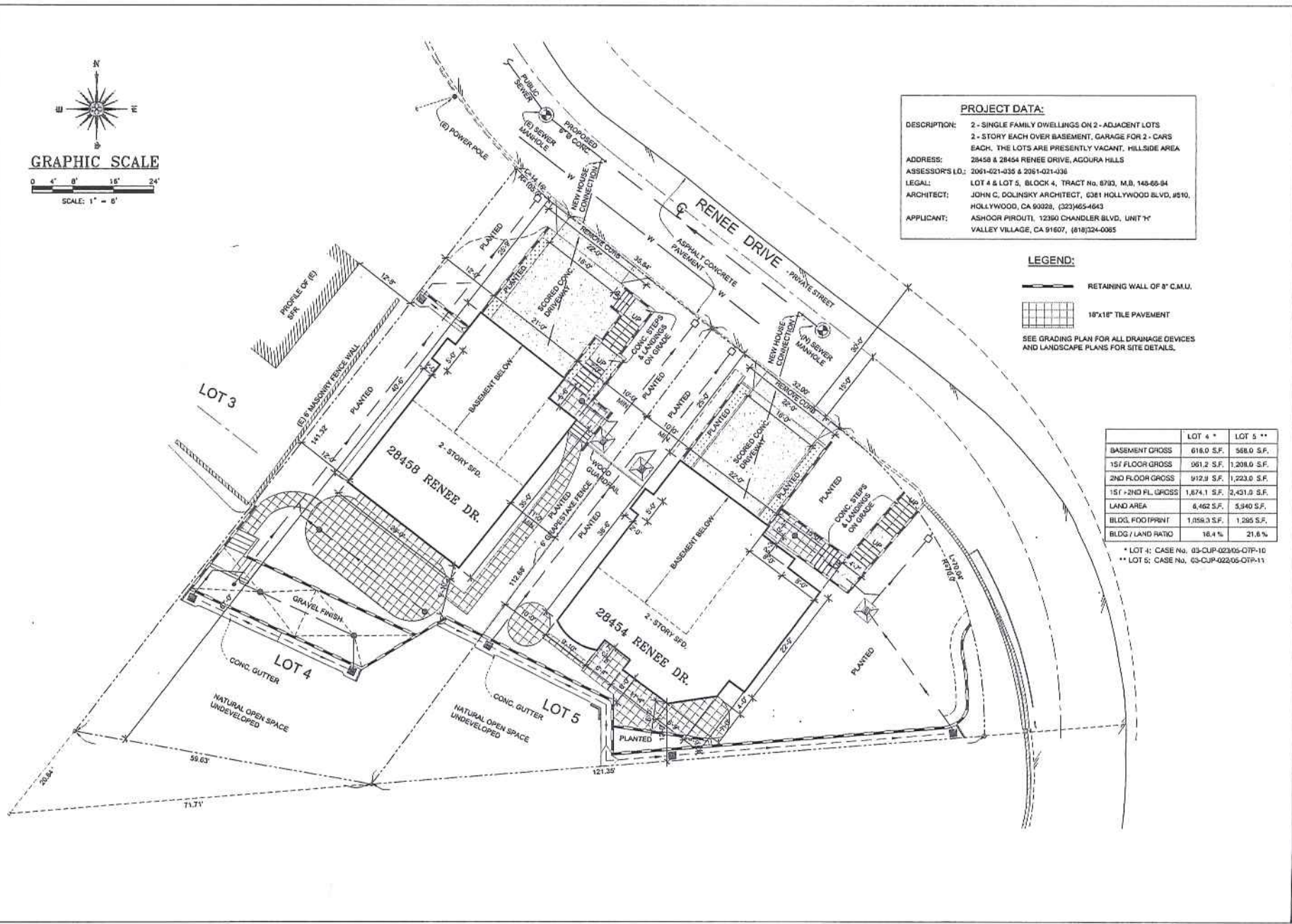
RETAINING WALL OF 8" C.M.U.

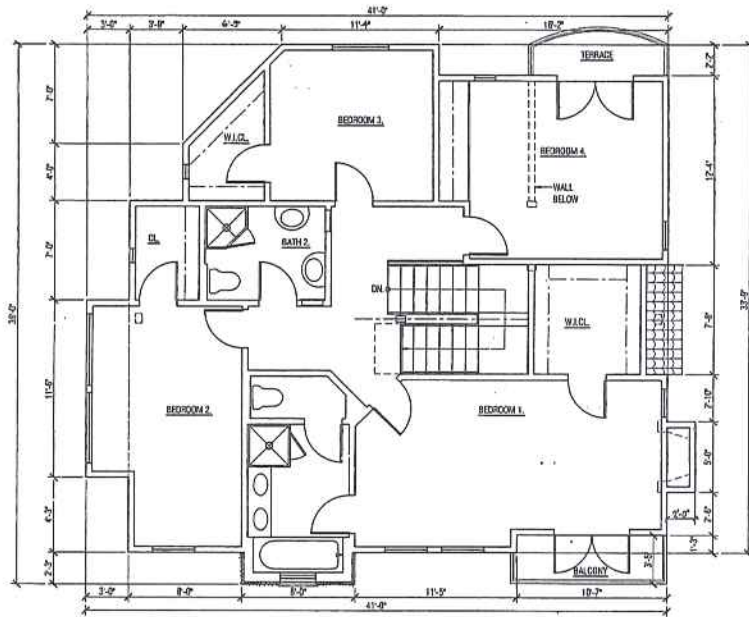
18"x18" TILE PAVEMENT

SEE GRADING PLAN FOR ALL DRAINAGE DEVICES  
 AND LANDSCAPE PLANS FOR SITE DETAILS.

	LOT 4 *	LOT 5 **
BASEMENT GROSS	618.0 S.F.	558.0 S.F.
1ST FLOOR GROSS	961.2 S.F.	1,208.0 S.F.
2ND FLOOR GROSS	912.9 S.F.	1,223.0 S.F.
1ST + 2ND FL. GROSS	1,874.1 S.F.	2,431.0 S.F.
LAND AREA	6,462 S.F.	5,940 S.F.
BLDG. FOOTPRINT	1,058.3 S.F.	1,295 S.F.
BLDG. / LAND RATIO	16.4 %	21.6 %

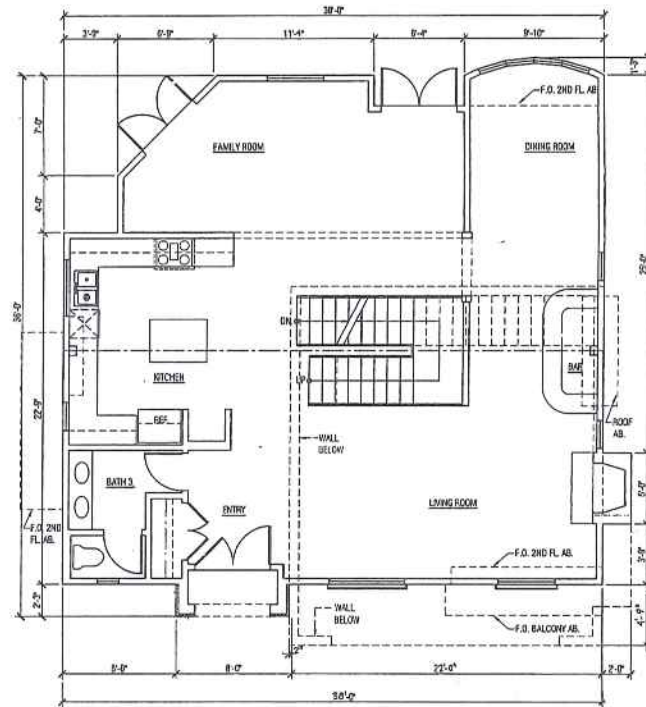
\* LOT 4: CASE No. 03-CUP-02305-07P-10  
 \*\* LOT 5: CASE No. 03-CUP-02205-07P-11





**SECOND FLOOR PLAN**  
1/4" = 1'-0"

GROSS FLR. AREA: 1,223.4 S. F.



**FIRST FLOOR PLAN**  
1/4" = 1'-0"

GROSS FLR. AREA: 1,209 S. F.

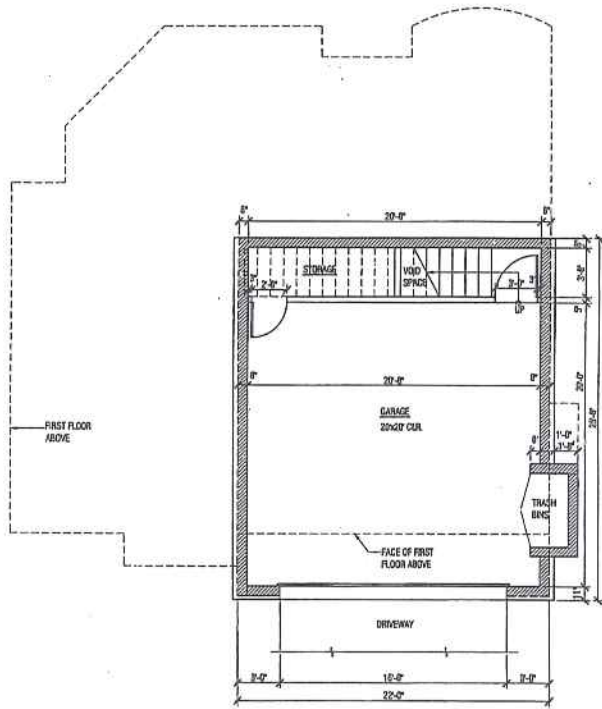
REVISIONS	BY

**JOHN DOLINSKY ASSOCIATES**  
6381 HOLLYWOOD BLVD., SUITE 510, HOLLYWOOD, CA 90028  
(323) 465-4643

SINGLE FAMILY DWELLING  
LOT 5: 28454 RENEE DR.,  
AGOURA HILLS, CA

FLOOR PLANS

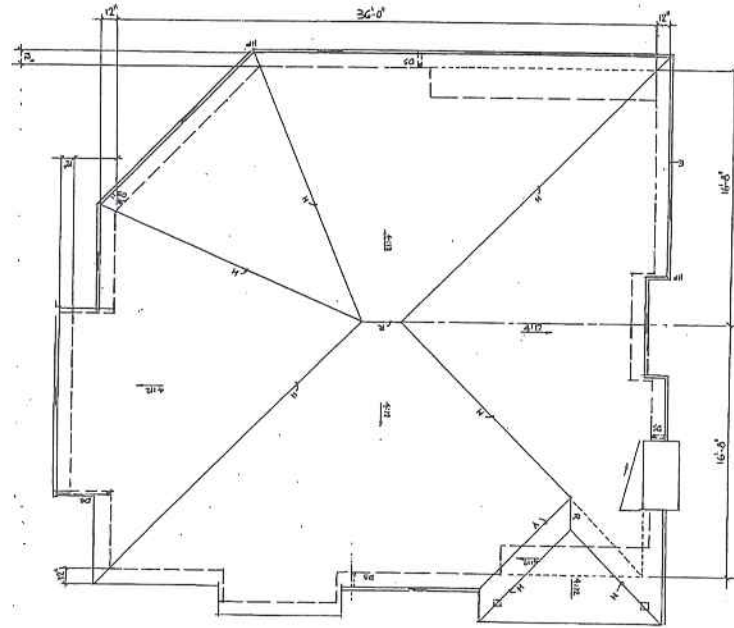
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Of:	Sheets



**BASEMENT FLOOR PLAN**

1/4"=1'-0"

GROSS FLR. AREA: 568.0 S. F.



**ROOF PLAN**

1/4"=1'-0"

REVISIONS	BY

**JOHN DOLINSKY ASSOCIATES**  
 6383 HOLLYWOOD BLVD, SUITE 510, HOLLYWOOD, CA 90028  
 (323) 465-4633 (323) 465-8588

**SINGLE FAMILY DWELLING**  
 LOT 5; 28454 RENEER DR.,  
 AGOURA HILLS, CA

**BASEMENT & ROOF PLAN**

Date:	01-31-11
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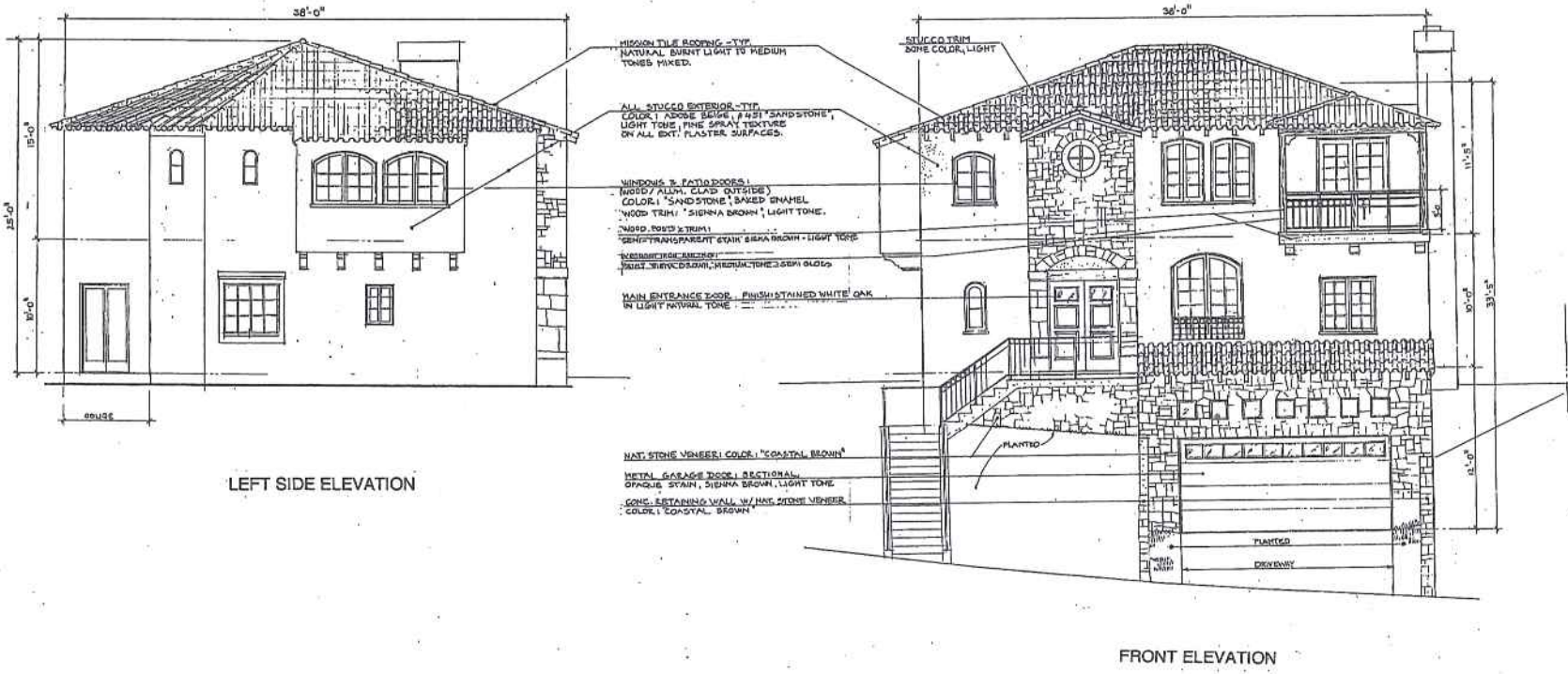
REVISIONS	BY

**JOHN DOLINSKY ASSOCIATES**  
 6321 HOLLYWOOD BL. W. SUITE 510 HOLLYWOOD, CA 90023  
 (323) 465-1613

**SINGLE FAMILY DWELLING**  
 LOT 5: 28454 RENEE DRIVE, AGOURA HILLS, CA.

**ELEVATIONS**

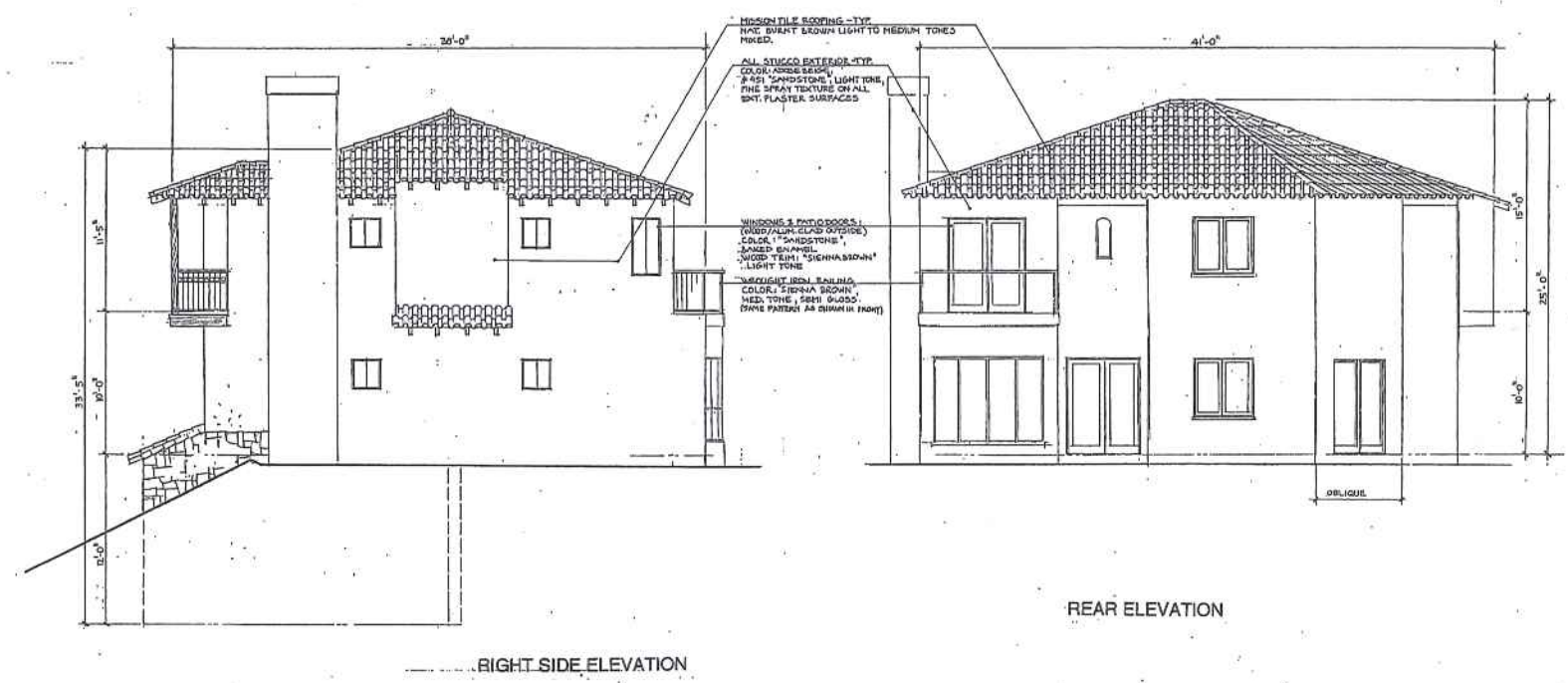
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LEFT SIDE ELEVATION

FRONT ELEVATION

- MIRRORED TILE BEARING - TOP  
NATURAL BURNT LIGHT TO MEDIUM TONES MIXED.
- ALL STUCCO EXTERIOR - TOP  
COLOR: ABOVE SIDING: #151 "SANDSTONE", LIGHT TONE, FINE SPRAY TEXTURE ON ALL EXT. PLASTER SURFACES.
- WINDOWS & PARTIAL DOORS  
WOOD / ALUM. CLAD (OUTSIDE)  
COLOR: "SANDSTONE", BAKED ENAMEL  
WOOD TRIM: "SIENNA BROWN", LIGHT TONE.
- WOOD ROOF & TRIM  
SEMI-TRANSPARENT STAIN: SIENNA BROWN - LIGHT TONE
- VERMONT/DOOR FRAME  
PAINT: SIENNA BROWN, MEDIUM TONE, SEMI GLOSS
- MAIN ENTRANCE DOOR - FINISH: STAINED WHITE OAK  
IN LIGHT NATURAL TONE
- NAT. STONE VENEER: COLOR: "COASTAL BROWN"
- METAL GARAGE DOOR: SECTIONAL  
OPAQUE STAIN, SIENNA BROWN, LIGHT TONE
- CONC. RETAINING WALL: W/ NAT. STONE VENEER  
COLOR: "COASTAL BROWN"



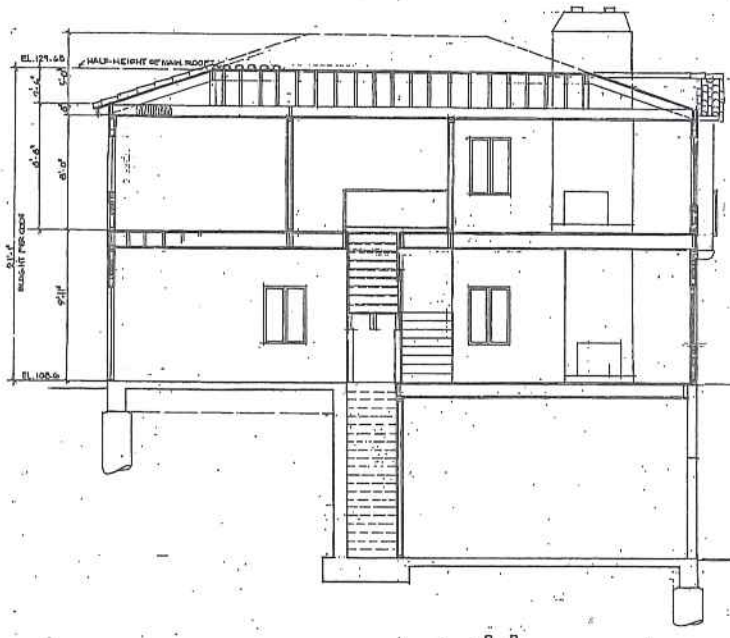
REVISIONS	BY

**JOHN DOLINSKY ASSOCIATES**  
 6331 HOLLYWOOD BLVD., SUITE 513 - HOLLYWOOD, CA 90028  
 (323) 465-4643

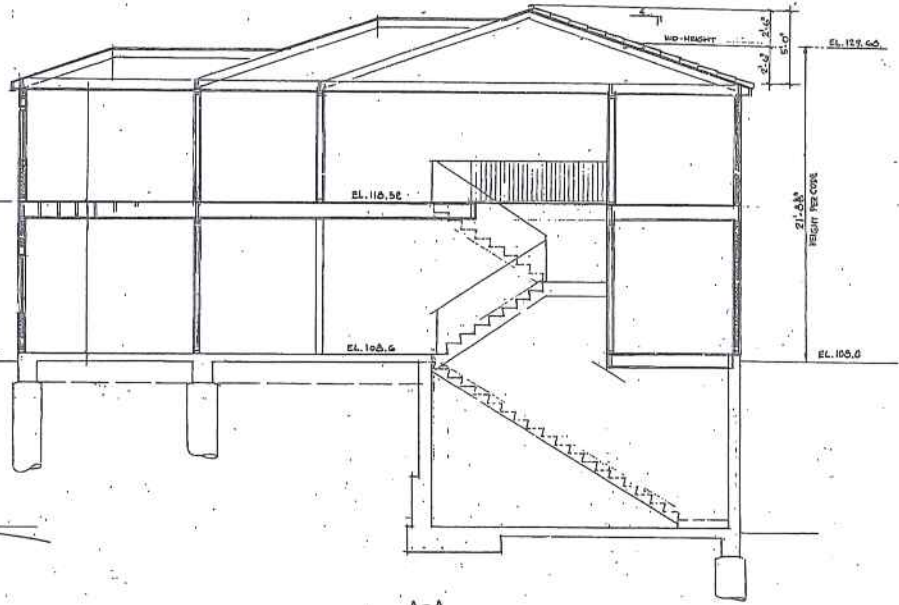
SINGLE FAMILY DWELLING  
 LOT 5: 28454 RENEE DR., AGOURA HILLS, CA.

ELEVATIONS

Date	01-31-11
Scale	1/4" = 1'-0"
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Job	
Sheet	5
Of	Drawn



11'-4"  
FINISH



REVISIONS	BY

**JOHN DOLINSKY ASSOCIATES**  
 7621 FULLERTON E. RD. SUITE 219 FULLERTON, CA 92708  
 714.241.4644 714.241.4644

**SINGLE FAMILY DWELLING**  
 LOT 5: 28454 RENEE DR.,  
 AGOURA HILLS, CA

**BUILDING SECTIONS**

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Of	panels





**GRADING NOTES**

- ALL GRADING SHALL BE IN ACCORDANCE WITH ARTICLE 8 OF THE AGOURA HILLS MUNICIPAL CODE.
- A PRE-CONSTRUCTION CONFERENCE OF ALL INTERESTED PARTIES SHALL BE HELD PRIOR TO ANY CONSTRUCTION. THIS SHALL INCLUDE ALL APPROPRIATE CITY STAFF.
- ALL EXPORT MATERIAL SHALL BE DELIVERED TO A SITE APPROVED BY THE CITY.
- ALL GEOLOGIC AND SOIL RECOMMENDATIONS IMPOSED BY THE CONSULTANT OR CONTAINED IN THE CONSULTANT SOILS AND GEOLOGIC REPORT ARE TO BE COMPLIED WITH AND ARE HEREBY MADE AN INTEGRAL PART OF THE GRADING SPECIFICATIONS AND NOTES.
- ANY CHANGES IN THE WORK HEREON SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
- THE PERMITTEE SHALL EMPLOY A REGISTERED CIVIL ENGINEER TO PROVIDE CONSTANT ON-SITE GRADING SUPERVISION TO ASSURE COMPLIANCE WITH THE APPROVED PLANS AND A SOILS ENGINEER TO PROVIDE CONSTANT SOILS INSPECTION IN ACCORDANCE WITH THE AGOURA HILLS MUNICIPAL CODE.
- REPORTS REQUIRED
  - ROUGH GRADING REPORT. PRIOR TO THE CONSTRUCTION OF ANY STRUCTURE, A ROUGH GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL, STATING THAT ALL ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED GRADING PLANS.
  - FINAL GRADING REPORT. PRIOR TO THE FINALIZATION OF ANY GRADING PROJECT, A FINAL GRADING REPORT MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL. THE REPORT SHALL BE BY THE ENGINEER OF RECORD, STATING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED, AND THE SLOPE PLANTING AND IRRIGATION SYSTEMS HAVE BEEN INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS AND REQUIREMENTS OF THE CITY OF AGOURA HILLS.
- AN AS-BUILT SOILS REPORT SHALL BE SUBMITTED TO THE CITY FOR REVIEW. THIS REPORT, PREPARED BY THE GEOTECHNICAL CONSULTANT, MUST INCLUDE DOCUMENTATION OF ANY FOUNDATION INSPECTIONS, THE RESULTS OF ALL COMPACTION TESTS, AS WELL AS A MAP DEPICTING THE LIMITS OF FILL, LOCATIONS OF ALL BENCH TESTS, OUTLINE AND ELEVATIONS OF ALL REMOVAL SETTINGS, KEYWAY LOCATIONS AND BOTTOM ELEVATIONS, LOCATIONS OF ALL SUBBRANS AND FLOWLINE ELEVATIONS, AND LOCATION AND ELEVATION OF ALL RETAINING WALL, BACKBRANS AND GUTTERS. GEOLOGIC CONDITIONS EXPOSED DURING GRADING MUST BE DEPICTED ON AN AS-BUILT GEOLOGIC MAP.
- TESTS SHALL BE PERFORMED PRIOR TO POURING FOOTINGS AND SLABS TO DETERMINE THE EXPANSION INDEX OF THE SUPPORTING SOILS. IF THE EXPANSION INDEX IS GREATER THAN 1%, FOUNDATION AND SLAB PLANS SHOULD BE REVISED ACCORDINGLY.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
- A COPY OF THE GRADING PERMIT AND GRADING PLANS SHALL BE AVAILABLE ON-SITE AT ALL TIMES.
- ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE HOURS OF 7:00 AM TO 7:00 PM, HONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. NO CONSTRUCTION SHALL BE PERMITTED ON GOVERNMENT-OBSERVED HOLIDAYS.

**INSPECTION NOTES**

THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT AT LEAST TWO WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF WORK.

**ABBREVIATIONS**

- |                         |                           |
|-------------------------|---------------------------|
| AC - ASPHALTIC CONCRETE | INV - INVERT              |
| BF - BOTTOM OF FOOTING  | ND - NATURAL GROUND       |
| CB - CATCH BASIN        | NTS - NOT TO SCALE        |
| CF - CURB FACE          | PL - PROPERTY LINE        |
| CL - CENTERLINE         | PA - PLANTER              |
| CU - CHAIN LINK FENCE   | PDB - POINT OF BEGINNING  |
| CO - CLEAN OUT          | SPM - STORM DRAIN MANHOLE |
| DB - DEBRIS BASIN       | SM - SEWER MANHOLE        |
| D/L - DAYLIGHT          | SS - SANITARY SEWER       |
| EG - EDGE OF GUTTER     | TB - TOP OF BENCH         |
| EP - EDGE OF PAVEMENT   | TC - TOP OF CURB          |
| FF - FINISHED FLOOR     | TF - TOP OF FOOTING       |
| FG - FINISHED GRADE     | TG - TOP OF GRADE         |
| FH - FIRE HYDRANT       | TV - TOP OF WALL          |
| FL - FLOWLINE           | TYP - TYPICAL             |
| FS - FINISH SURFACE     | WR - WATER METER          |
| HC RMP - HANGUP RAMP    | WV - WATER VALVE          |
| GB - GRADE BRAKE        |                           |
| GS - GRADE SHOT         |                           |
| HP - HIGH POINT         |                           |

**LEGEND AND SYMBOLS**

- |                           |            |
|---------------------------|------------|
| PROJECT BOUNDARY          | ---        |
| EXISTING GRADE CONTOUR    | ----- 1100 |
| PROPOSED GRADE CONTOUR    | ----- 1100 |
| SPOT ELEVATION            | 1100       |
| PROPOSED GRADE PER PLAN   | 1100       |
| RETAINING WALL            | =====      |
| DAYLIGHT CUT/FILL LINE    | =====      |
| DIRECTION OF FLOW (SLOPE) | =====      |
| CONSTRUCTION NOTE NUMBER  | (B)        |

**BENCHMARK**

QUAD MALIBU  
YEAR 2003  
BM NUMBER Y 10425  
ELEVATION 306.250 FEET  
276.615 METER  
DESCRIPTION: SPV BM TAG IN S CS 1 H C/O BEN B  
SC COR. AGOURA RD & LEVELS RD 16H C  
E 11.5M S/O C/A INT.  
RAISE ALL ELEV. AT SITE BY 894.78 FEET TO MATCH THE CITY BENCHMARK.

**LEGAL DESCRIPTION**

THAT PORTION OF LOT 4 & LOT 5 OF TRACT NO. 8792, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 148 PAGES 88-94, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BASIS OF BEARING**

THE BEARING HEREON ARE BASED ON THE BEARING N 45°29'21" V OF A COURSE IN THE SOUTHWESTERLY LINE OF RENEE DRIVE AS SHOWN ON THE TRACT MAP NO. 8792 RECORDED IN BOOK 148 PAGES 88-94, RECORDS OF LOS ANGELES COUNTY.

**PUBLIC UTILITIES / SERVICES**

- |            |   |
|------------|---|
| WATER      | LAS VIRGENES MUNICIPAL WATER DISTRICT<br>4232 LAS VIRGENES ROAD<br>CALABASAS, CA 91302<br>(818) 880-4110  |
| ELECTRICAL | SOUTHERN CALIFORNIA Edison<br>2389 FIDMILL DRIVE<br>THOUSAND OAKS, CA 91321<br>(805) 494-7916   |
| TELEPHONE  | SBC (PAC BELL)<br>1620 RAYNER STREET, #115<br>VAN NUYS, CA 91406<br>(818) 373-6089  |
| GAS        | SOUTHERN CALIFORNIA GAS<br>9406 DANFALL AVENUE<br>CHATEAUVILLE, CA 91304<br>(818) 701-3224  |
| SEWER      | LA COUNTY, DEPT. OF PUBLIC WORKS<br>SEWER MAINTENANCE DIVISION<br>1800 S. FREDRICK AVENUE, BLDG A9 EAST<br>ALHAMBRA, CA 91802<br>(626) 300-3388 |
| CABLE      | ABOLPHIA<br>2323 TELLER ROAD<br>NEWBURY PARK, CA 91320<br>(805) 375-5211  |
| CABLE      | CHARTER COMMUNICATIONS<br>3806 CHESSCREEK ROAD<br>MILLBRAE, CA 94028<br>(415) 456-9010  |
| CALTRANS   | CALTRANS<br>1666 RESEDA BOULEVARD<br>TARZANA, CA 91326<br>(805) 388-1426  |



**STORMWATER POLLUTION NOTES**

- APPLICANT IS RESPONSIBLE FOR SUBMITTING A SITE-SPECIFIC "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS OUTLINED IN THE MODEL PROGRAM FOR STORMWATER MANAGEMENT WITHIN THE COUNTY OF LOS ANGELES. THE SWPPP SHALL BE SIGNED AND STAMPED BY A STATE-LICENSED CIVIL ENGINEER. THE SWPPP SHALL OUTLINE "BEST MANAGEMENT PRACTICES" (BMP) PROCEDURES TO BE USED IN ORDER TO PREVENT THE TRANSPORT OF CHIMIC POLLUTANTS TO OFFSITE LOCATIONS DURING AND AFTER CONSTRUCTION.
- A SITE-SPECIFIC "WET-WEATHER EROSION CONTROL PLAN" SHALL BE PREPARED IN CONJUNCTION WITH THE SWPPP AND SHALL DESCRIBE BMP'S TO BE USED DURING CONSTRUCTION IN THE RAINY SEASON AND REPORT THEIR LOCATIONS RELATIVE TO THE SITE. THE PLAN MUST BE AVAILABLE ON-SITE BY OCTOBER 1ST, AND IMPLEMENTED FROM NOVEMBER 1ST THROUGH APRIL 15TH.
- IT IS THE PROPERTY OWNERS RESPONSIBILITY TO MAINTAIN ALL ONSITE BRADNAGIC STRUCTURES UNLESS OTHERWISE APPROVED BY THE CITY. CATCH BASIN FILTER INSERTS SHALL BE CLEANED OUT A MINIMUM OF TWICE PER YEAR, ONCE BEFORE THE RAINY SEASON, AND AGAIN AFTER THE RAINY SEASON, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER.

**OAK TREE NOTES**

- THE GRADING / DRAINAGE PLAN COMPLIES WITH THE RECOMMENDATIONS AND MITIGATION MEASURES AS STATED WITHIN BIOLOGICAL ASSESSMENT SERVICES OAK TREE REPORT DATED 8/2/07 AND FOLLOW-UP ASSESSMENT REPORTS DATED 1/12/09 AND 2/22/09.

**INDEX OF DRAWINGS**

SHEET NO.	DESCRIPTION
1	GRADING NOTES, LEGEND, & VICINITY MAP
2	GRADING & DRAINAGE PLAN
3	SECTION
4	EROSION CONTROL PLAN
5	EROSION CONTROL NOTES & DETAILS

**OWNER**

NAME: ASHDDR PISJUTI  
ADDRESS: 12325 CHANDLER BLVD, UNIT N, VALLEY VILLAGE, CA 91607  
REPRESENTATIVE:  
TELEPHONE: (818) 324-0055

**CIVIL ENGINEER**

NAME: JK ASSOCIATES  
ADDRESS: 1225 LOS ANGELES ST, BLDG 4 GLENDALE, CA 91204  
REPRESENTATIVE: JOHNSON KARAH  
TELEPHONE: (818) 307-9881

**GEOTECHNICAL ENGINEER**

NAME: GEO CONCEPT  
ADDRESS: 612 WILSHIRE BLVD, SUITE MONICA, CA 90401  
REPRESENTATIVE: S & ASSOCIATES  
TELEPHONE: (310) 395-3481

**BENCHMARK:**

DESCRIPTION: BM NO. Y 10425, ELEVATION 306.250 FEET, SURVEY DATE: 06-02-07.

**RECORD DRAWING STATEMENT**

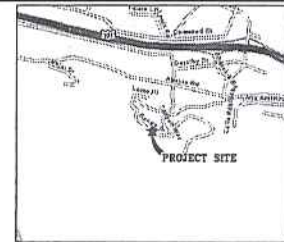
I, \_\_\_\_\_, HEREBY CERTIFY, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE OWNER AND GENERAL CONTRACTOR, THAT THE WORK ON SHEET NO. \_\_\_\_\_ THROUGH \_\_\_\_\_ MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THESE PLANS, SPECIFICATIONS, REVISIONS, CHANGE ORDERS, AND FIELD CHANGES.

REGISTERED CIVIL ENGINEER DATE: \_\_\_\_\_ REC. NO. \_\_\_\_\_ EXP. DATE \_\_\_\_\_

**SOILS APPROVAL**

THIS PLAN HAS BEEN REVIEWED, AND IS IN CONFORMANCE WITH THE RECOMMENDATIONS IN OUR REPORT(S) DATED \_\_\_\_\_

REGISTERED GEOLOGIST DATE: \_\_\_\_\_ REC. NO. \_\_\_\_\_ EXP. DATE \_\_\_\_\_  
REGISTERED GEOTECHNICAL ENGINEER DATE: \_\_\_\_\_ REC. NO. \_\_\_\_\_ EXP. DATE \_\_\_\_\_



**VICINITY MAP**

**GRADING NOTES, LEGEND, AND VICINITY MAP**

LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA, 91301  
PROJECT NO. \_\_\_\_\_ SHEET 1 OF 5

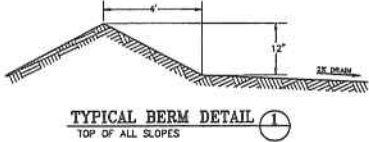
**JK ASSOCIATES INC.**  
THE ENGINEERING CHOICE  
ONE LANTANA DRIVE  
1000 W. PARKWAY PL. SUITE 100  
MILPITAS, CA 95034



PREPARED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY OF AGOURA HILLS APPROVAL  
REVIEWED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
RAMIRO ADEVA  
CITY ENGINEER



REV	SYMBOL	GENERAL GRADING REVISION & WIDENING STREET TO 20'	RCE	DATE	ENGINEER	DATE
1			37138	08-12-07		



**TYPICAL BERM DETAIL**  
TOP OF ALL SLOPES

**CONSTRUCTION NOTES**

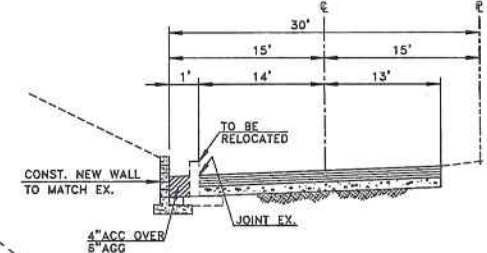
- 1 CONST. DRIVEWAY PER APWA STD PLAN 110-1 TYPE "B"
- 2 CONST. AREA DRAIN PER DETAIL #4 SHT#1
- 3 CONST. CLEAN OUT PER DETAIL #5 SHT#1
- 4 CONST. 3.5" MAX SUMP STONE RET. WALL PER STRUCTURAL PLAN
- 5 CONST. WALL CUTTER PER DETAIL #3 SHT#1
- 6 CONST. 24"x24" CATCH BASIN PER DETAIL #1 SHT#1
- 7 CONST. JUNCTION BOX
- 8 CONST. BERM PER DETAIL #1 HEREON
- 9 CONST. SPLASH WALL PER DETAIL #2 SHT#1
- 10 CONST. FOSSIL FILTER PER DETAIL #1 SHOWN ON SHT.#5
- 11 REMOVE EXISTING RET. WALL & CONST. NEW 3' HIGH RET. WALL TO MATCH EXIST.
- 12 SAW CUT EXIST. PAVEMENT & CONST. 4" A.C. OVER 6" AGG BASE
- 13 LIMIT OF FOOTING
- 14 OAK TREE #1 TO BE REMOVED
- 15 CONST. 6" HIGH CONC. CURB

**BENCHMARK**

QUAD: MALIBU  
YEAR: 2003  
BM NUMBER: Y 10425  
ELEVATION: 996.050 FEET  
278.185 METER  
DESCRIPTION: 8" DIA. GALV. IN S. C.S. 1" M. C/O. BOR. @ SE. COR. AGOURA RD & LEWIS RD 15M E & 11.5M S/D C/L. INT.

**NOTE**

RAISE ALL ELEV. AT SITE BY 64.78 FEET TO MATCH THE CITY BENCHMARK.



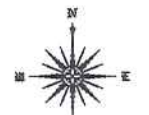
**TYPICAL CROSS SECTION**  
**RENEE DRIVE**  
NOT TO SCALE

**NOTE**

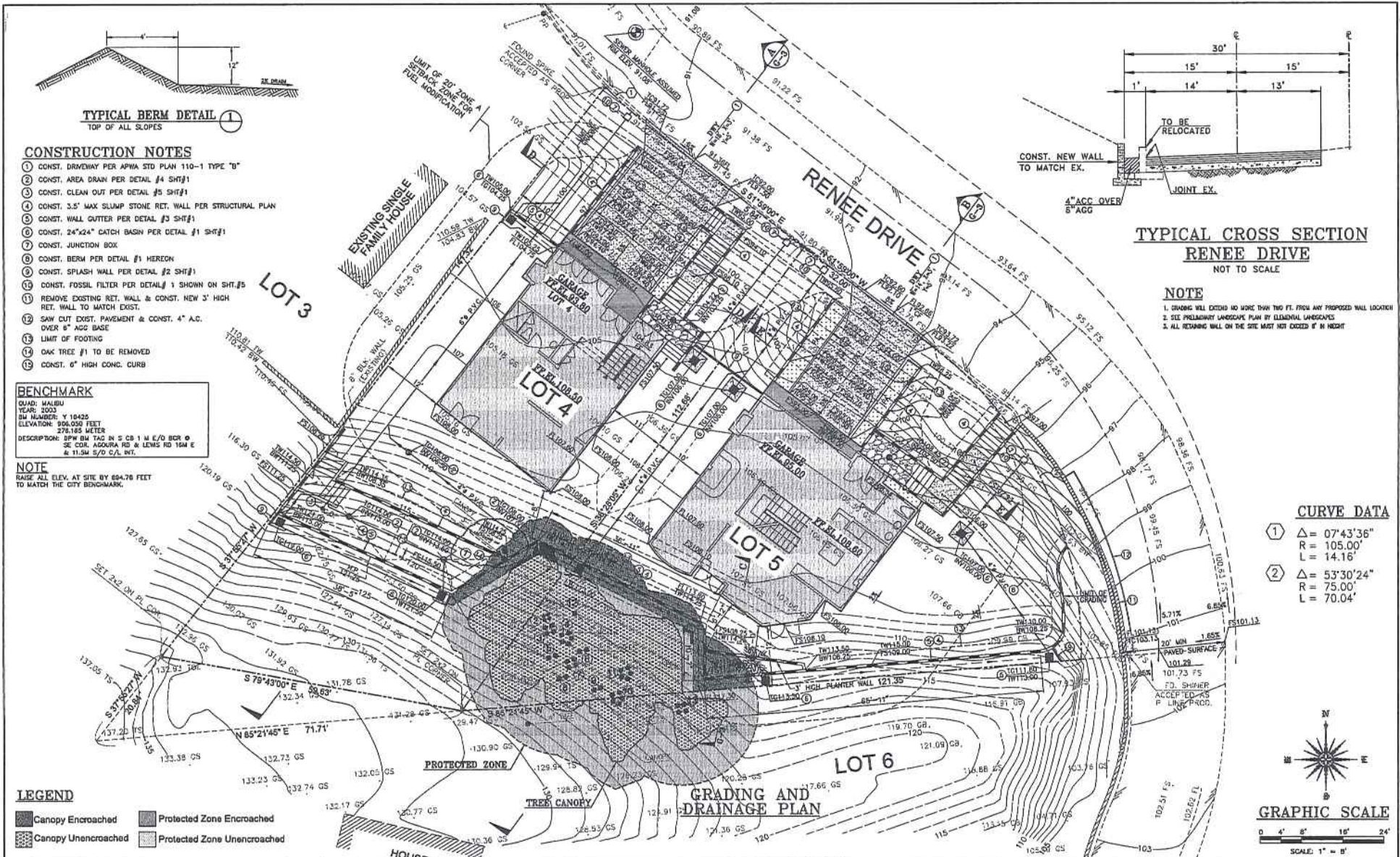
1. GRADING WILL EXTEND NO MORE THAN TWO FEET FROM ANY PROPOSED WALL LOCATION
2. SEE PRELIMINARY LANDSCAPE PLAN BY ELEMENTAL LANDSCAPES
3. ALL RETAINING WALL ON THE SITE MUST NOT EXCEED 8' IN HEIGHT

**CURVE DATA**

- 1  $\Delta = 07'43'36"$   
 $R = 105.00'$   
 $L = 14.16'$
- 2  $\Delta = 53'30'24"$   
 $R = 75.00'$   
 $L = 70.04'$



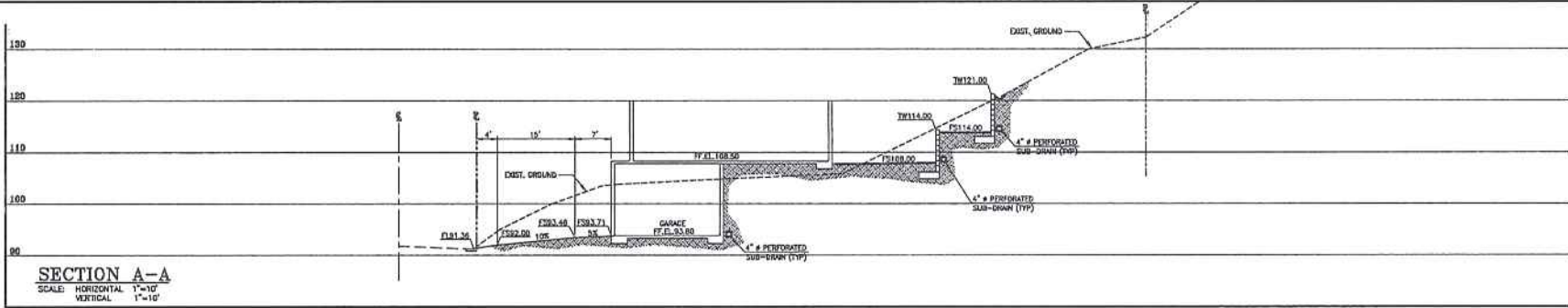
**GRAPHIC SCALE**  
SCALE: 1" = 8'



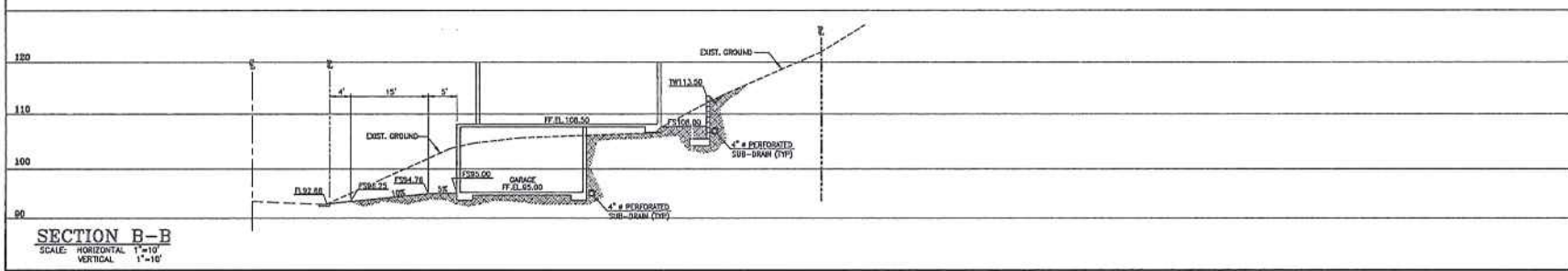
**LEGEND**

- Canopy Encroached
- Protected Zone Encroached
- Canopy Unencroached
- Protected Zone Unencroached

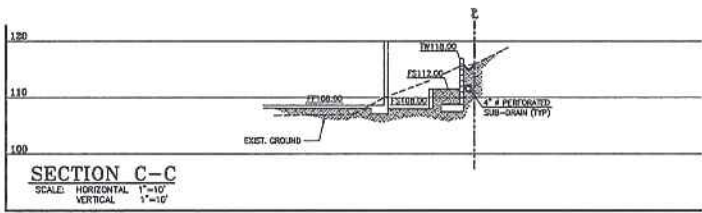
<p><b>JK ASSOCIATES THE CHOICE</b> GENERAL GRADING REVISION &amp; WIDENING STREET TO 20' 37138 08-12-07 RCE DATE ENGINEER DATE</p>				<p>CITY OF AGOURA HILLS APPROVAL</p>				<p>AGOURA HILLS</p>	
<p>REVIEWED BY _____ DATE _____</p>				<p>RAMIRO AZEVA CITY ENGINEER</p>				<p><b>GRADING &amp; DRAINAGE PLAN</b> FOR LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA. 91301 PROJECT NO. _____ SHEET 2 OF 5</p>	



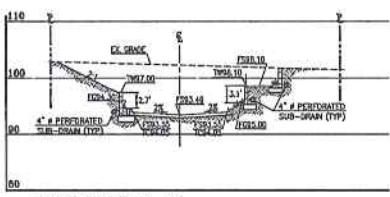
**SECTION A-A**  
SCALE: HORIZONTAL 1"=10'  
VERTICAL 1"=10'



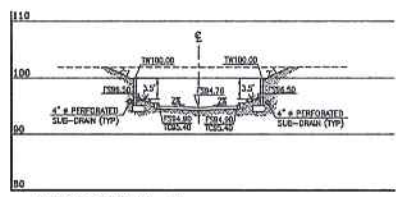
**SECTION B-B**  
SCALE: HORIZONTAL 1"=10'  
VERTICAL 1"=10'



**SECTION C-C**  
SCALE: HORIZONTAL 1"=10'  
VERTICAL 1"=10'



**SECTION D-D**  
SCALE: HORIZONTAL 1"=10'  
VERTICAL 1"=10'



**SECTION E-E**  
SCALE: HORIZONTAL 1"=10'  
VERTICAL 1"=10'

REV	SYMBOL	DESCRIPTION OF CHANGE	RCE	DATE	ENGINEER	DATE
Δ		GENERAL GRADING REVISION & WIDENING STREET TO 22'	37156	08-12-07		

PREPARED BY  
**JK ASSOCIATES THE CHOICE**  
JULIE KAY ASSOCIATES ENGINEERS  
1200 100 WILSON DR. SUITE 200, CARLSBAD, CA 92008  
TEL: (760) 437-3900 FAX: (760) 437-3902

REGISTERED PROFESSIONAL ENGINEER  
No. 37138  
Exp. 4-30-10

CITY OF AGOURA HILLS APPROVAL

REVIEWED BY \_\_\_\_\_ DATE \_\_\_\_\_  
RABINDR ADEVA  
CITY ENGINEER

DATE \_\_\_\_\_ RCE NO. \_\_\_\_\_ EXP DATE \_\_\_\_\_



**SECTIONS**  
FOR  
LOT 4 AND LOT 5 RENEE DRIVE AGOURA HILLS CA. 91301

PROJECT NO. \_\_\_\_\_ SHEET 3 OF 6



**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT H**

**RENDERING  
AND  
COLOR AND MATERIAL BOARD**



STU**3D**IO.COM

28454 RENEE DRIVE  
AGOURA HILLS, CA



No: SHC8711  
Name: Puesta Del Sol Blend

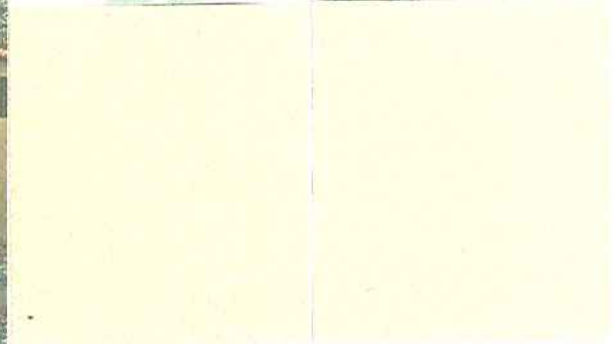
★★★No: SHC8711  
Name: Puesta Del Sol Blend



### American Heirloom



### Shamrock Stucco

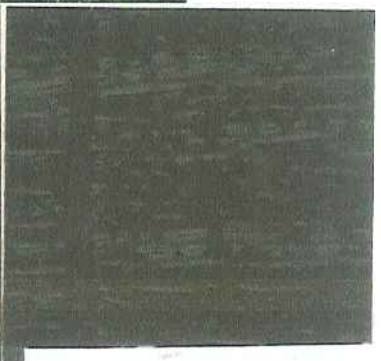
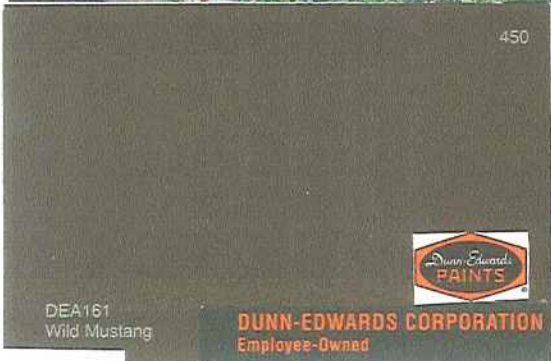


112 Tillamook  
A-100

112 Tillamook  
A-100



### VENETIAN COBBLE



DEA161  
Wild Mustang

**DUNN-EDWARDS CORPORATION**  
Employee-Owned

TRIM AROUND THE DOORS AND WINDOWS

GARAGE DOOR AND RAILING



**CONDITIONAL USE PERMIT – CASE NO. 03-CUP-022  
AND  
OAK TREE PERMIT 05-OTP-011**

**FOR THE PROPERTY LOCATED AT  
28454 RENEE DRIVE, AGOURA HILLS**

**EXHIBIT I**

**PHOTOGRAPHS OF SURROUNDINGS**



# PIROUTI RESIDENCES

