



**DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT**

ACTION DATE: May 19, 2011

TO: Planning Commission

APPLICANT: In-N-Out Burgers
13502 Hamburger Lane
Baldwin Park, CA 91706

CASE NOS.: 10-ZC-003, 10-SPR-004, 10-SP-048 and 10-VAR-005

LOCATION: 28898 Canwood Drive (A.P.N. 2048-011-034)

REQUEST: Request for the Planning Commission to provide a recommendation of approval to the City Council for a proposed Site Plan/Architectural Review to construct a 3,654 square foot fast-food restaurant with drive-through service; a Sign Permit for the restaurant's sign program; a Variance from Zoning Ordinance Sections 9544.1.A., 9655.8.B(1)(a)(j) and (k) and 9654.B to reduce the building setback from the freeway corridor, to allow larger signs on three building elevations, and to encroach in the front landscape planter in excess of 50% of the linear frontage; a Zone Change (and Ordinance) to change the zoning designation from Business Park-Manufacturing-Freeway Corridor Overlay (BP-M-FC) to Commercial Retail Service-Freeway Corridor Overlay (CRS-FC) to comply with the General Plan Designation; and the adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program.

ENVIRONMENTAL DETERMINATION: Mitigated Negative Declaration

RECOMMENDATION: Staff recommends Planning Commission recommend the Council approve Zone Change Case No. 10-ZC-003, Site Plan/Architectural Review Case No. 10-SPR-004, Sign Permit Case No. 10-SP-048 and Variance Case No. 10-VAR-005, subject to Conditions.

ZONING DESIGNATION: BP-M-FC (Business Park -Manufacturing- Freeway Corridor Overlay District)

GENERAL PLAN DESIGNATION: CRS (Commercial Retail/Service)

I. BACKGROUND AND PROJECT DESCRIPTION

The applicant, In-N-Out Burgers, is requesting the approval of a Site Plan/Architectural Review to build a 3,654 square-foot fast food restaurant with a covered drive-through and outdoor dining area on a vacant parcel located on Canwood Street between Kanan Road and Derry Avenue. The 2.7-acre site is bordered by Canwood Street to the north and west, the 101 Freeway to the south, and an office building to the east. The parcel is currently zoned Business Park Manufacturing-Freeway Corridor Overlay District (BP-M-FC) but in order to conform to the General Plan, the applicant is seeking a zone change to designate the property as Commercial Retail/Service – Freeway Corridor Overlay (CRS-FC), in which a fast food restaurant with a drive-through lane is permitted. A Variance is requested to allow a narrower setback between the building and the freeway corridor per the Freeway Corridor Overlay requirement.

The applicant is also requesting a Sign Permit to install wall-mounted signs, a monument sign, a menu board and miscellaneous directional signs on-site. All commercial projects are required to prepare a sign program in order for the Planning Commission to review a comprehensive signage proposal. In the proposal submitted to staff, the size of the wall-mounted signs was shown to exceed maximum standards relative to size and therefore the applicant is seeking approval of a second Variance from the Sign Ordinance for larger wall signage.

The proposed parking lot design is shown to encroach in the required frontage landscape planter in excess of 50% of the length of the parking lot. As such, the applicant is also seeking approval of a third Variance for a reduction in the parking landscaping requirements of the Zoning Ordinance.

The proposed project would be permitted in the CRS and FC zones. The following is a summary of the proposed development relative to the applicable Zoning Ordinance development standards:

Pertinent Data for the Proposal:

	<u>Existing</u>	<u>Proposed</u>	<u>Requirement (CRS/FC)</u>
1. <u>Lot Area</u>	118,908 sq.ft. (2.73 acres)	118,908 sq.ft. (2.73 acres)	10,000 sq.ft.
2. <u>Lot Dimensions</u>	1,080 x105 ft.	1,000 x105 ft.	100 x 100 ft.
3. <u>Building Size</u>			
a. Restaurant	N/A	3,654 sq.ft.	N/A
b. Drive-through	N/A	922 sq.ft.	N/A
c. Covered Outdoor Dining	N/A	<u>926 sq.ft.</u>	N/A
Total:		5,502 sq.ft.	N/A
4. <u>Building Height</u>	N/A	26 ft.	35 ft. max.
5. <u>Building Lot Coverage</u>	N/A	4.6%	60% max.

	<u>Existing</u>	<u>Proposed</u>	<u>Requirement (CRS/FC)</u>
6. <u>Landscape Coverage</u>	N/A	46.5%	10% max.
7. <u>Bldg. Setbacks</u>			
• Front (North)	N/A	45 ft.	20 ft./hght of bldg. min.
• Rear (South)	N/A	46 ft.	52 ft. min.
• Side (East)	N/A	15 ft.	0 ft. min.
• Side (West)	N/A	930 ft.	0 ft. min.
8. <u>Parking</u>	N/A	100 spaces	25 spaces min.
9. <u>Oak Trees</u>	None	1 oak	1 per 15,000 sq.ft. of bldg. area

II. STAFF ANALYSIS

Site Plan

Although the parcel is generally vacant, a small portion has been used over the years for temporary parking along the east side of the property where an area was paved with asphalt. The area was used for the overflow of parking generated by the office building on the adjacent property. In addition, there are four billboards along the freeway fence that have continually been used for advertising for both local and out-of-town businesses. The applicant proposes to remove the temporary parking lot and three of the four billboards as part of the development.

The property is triangular in shape with over 1,000 feet of frontage and with a depth of 10 feet on its west side and 200 feet on its east side (100 feet in depth at its midpoint). Due to the configuration of the lot, the structures are proposed to be placed closest to the eastern property line where the parcel is the widest. The site can accommodate the proposed 3,654 square-foot, fast food restaurant with a 922 square foot drive-through canopy and 926 square feet of covered outdoor dining area. The drive-through lane is designed for the queuing of 15 cars and proposed to be located along the freeway fence to wrap around the east side of the building. The dedicated drive-through lane is approximately 270 feet to the first serving window. The parcel will be served by two driveways, one on the east side of the property, and one on the west side over 400 feet apart.

The project is subject to the CRS zone and the Freeway Corridor Overlay District (FC) development standards which are the proposed zoning classifications for this parcel. The building must be setback a minimum of 20 feet from the front property line and twice the height of the building in the rear of the property from the freeway right-of-way. Per the CRS-FC development standards, the building exceeds the front yard setback by 15 feet but is deficient by 6 feet from the 52-foot required from the freeway right-of-way. The CRS zone does not require a setback from the sides nor is it a requirement of the Freeway Corridor Overlay but the applicant proposes 15 feet to the drive-through lane columns and 30 feet to the building and 930 feet from the patio cover on the other side to the western property line. The remainder of the parcel would essentially be occupied

by landscape, parking and a trash enclosure.

The applicant requests a Variance for the setback reduction from 52 to 46 feet (11.5% reduction) to the freeway right-of-way given the unusual shape of the lot. Findings for the Variance request are provided below.

Variance Case No. 10-VAR-005 (B) – Building Setback to Freeway

1. Required Finding That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Staff Analysis: The building setback requirement of the Freeway Corridor Overlay zone is based on the height of the building, and in order to maintain the building's architectural features, this single-story structure must be setback further than other projects in the same zone. A finding can be made that the unusual shape of the parcel imposes limitations on where the building can be located. Existing buildings on adjacent properties were built as close as 5 feet from the freeway right-of-way, whereas the request for setback reduction is to 46 feet instead of providing the required 52 feet.

2. Required Finding. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated.

Staff Analysis: All the buildings located on the south side of Canwood Street, abutting the 101 Freeway are built considerably closer to the Freeway Corridor right-of-way than the Zoning Ordinance permits currently (between 0 and 36 feet). Therefore, the granting of the Variance would not constitute an unfair privilege over the properties in the vicinity. The requested reduction in building setback to the freeway affects only 26 feet of the building which impacts 2.6 % of the entire freeway frontage.

3. Required Findings. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.

Staff Analysis: The building height is a function of the architectural style and placement of the mechanical equipment in the ceiling. Lowering the building further would eliminate all opportunities to create an architecturally sound design.

4. Required Finding. That the granting of the Variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

Staff Analysis: The single-story building is consistent with other retail structures in the area. The proposed location of the building footprint and parking would allow for pedestrian access, vehicular circulation, hardscape and landscaping as required by the Zoning Ordinance. The building would maintain a minimum distance of 25 feet to the top of the slope, 46 feet to the property line and 75 feet to the freeway travel lanes. The proposed 46 feet allow visibility of the building to the east with sufficient space for sign identification if required. All other building setbacks comply with the underlying zone requirements.

5. Required Finding. That the granting of the Variance will be consistent with the character of the surrounding area.

Staff Analysis: The proposed setback will maintain an open view of the distant vistas and the encroachment will still allow for a landscape buffer between the street and the parked vehicles on-site whereas the existing development to the east has very little or no landscape.

Architectural Review Panel

One of the stated purposes of the City Architectural Design Standards and Guidelines is to integrate commercial buildings in their surroundings as well as conform to the character of the community. The Freeway Corridor Overlay standards add to the requirement by encouraging projects to promote the City's image and preserve the City's natural environment. The applicant has attempted to meet these standards by adapting the fast food chain prototype design to an irregularly shaped lot and the development standards that come with the CRS-FC zone. The project was presented to the City Architectural Review Panel (ARP) who suggested changes to the building and landscaping. In order to address the City's design requirements, the project has incorporated medium tone colors, and natural materials. The request to make changes to the architecture was in an attempt to integrate the one-tenant retail building to the mix of building architectural styles and uses types on surrounding properties. Surrounding buildings include tilt up construction or Type 5 construction with flat or hip roofs.

The final design proposed by the applicant is a building, rectangular in shape, with a two-story tower element on three sides of the building connected by a parapet roof. A flat solid canopy cover is attached to the east and west elevations of the building which is used on one side for the drive-through and on the other for an outdoor dining area. The ARP recommended that the towers be more in proportion with the building so as to follow a classic style of architecture. This change would have required that the towers be lowered and/or widened and the roofs made wider to extend beyond the walls. The applicant chose to keep the towers as originally presented but changed the eaves design. An architectural element was added to the north tower visible from Canwood Street. Other recommended changes were to change the roof type of the attached covers. The ARP recommended a flat roof over the driveway since it had a more utilitarian function and that the attached cover over the outdoor dining area be designed with a pitched roof. The applicant chose to design the roof over the outdoor dining area as a flat roof as well but provided a wider plate as a transition between the roof and the supporting column. A combination of beige stucco, glass and dark brown stone-veneered walls and red awnings are the proposed materials for the building. As recommended by the ARP, the applicant chose a brown roof tile instead of the originally proposed red, and a darker accent color along the parapet wall edges. The applicant also removed an LED band originally proposed around the parapet roof. The color of the walls remained off-white.

Awnings are proposed on the building above the windows and they are red with a decorative band of palm trees which is the corporate logo.

It is also the purview of the ARP to comment on the landscaping. Landscaping carries an important visual component to the site design and promotes the image of the City as viewed from the freeway corridor. Because the parcel is unusually long, staff encouraged the applicant to soften the Canwood Street frontage of the property with the addition of berms, hedges and decorative fencing similarly to the recently completed furniture design center located further east of the parcel. The applicant, instead, chose to maintain a flat planting area and use decorative plant material with river rock as a base which is part of their corporate identity. The front landscape planter is being encroached upon by parking spaces and the width is proposed to be reduced to 10 feet from the minimum required 20 feet. It is staff's opinion that given the limited width of the area, a split rail fencing should be used along the front property line which provides vertical design element that is rustic in appearance. Other vertical design elements, such as berming, could be limited to the planter located east of the eastern driveway, north of the building where it is wider and would screen the views from Canwood Street of the cars exiting the drive-through lane. The combination of split rail fencing and berming along with landscaping, consisting of trees, shrubs and ground cover, will help modulate the visual impacts of the reduced planter width and will create a more interesting design solution along Canwood Street, a heavily traveled arterial street.

The Architectural Review Panel as well as the City Oak Tree/Landscape recommended that different plant material be used to screen headlights and along the drive-thru lane so the cars would not be seen from the freeway corridor. Both the Panel and the City Oak Tree/Landscape Consultant discourage the large amounts of an inert material such as river rock as ground cover throughout the site and that it should be restricted to a drainage course to imitate a natural creek environment. Landscaping as well as the requested reduction in planter width along Canwood Street from 20 feet to 10 feet is further discussed in the Landscaping Review section of this report. The City Oak Tree/Landscape Consultant's memorandum attached to this report and the project has been conditioned according to the comments in the Consultant's memorandum. This includes the condition to provide 50% of the required 20-foot landscape planter width along Canwood Street. If the Planning Commission approves the requested Variance, this condition will be removed. The applicant has requested to use 2 palm trees (which are not on the approved list of plants) to be planted near the building and planted to cross each other over time as an emblem of the chain. Staff requests direction from the Planning Commission whether the cross palms should be allowed.

With recommended changes, the Architectural Review Panel finds the project to comply with the City Architectural Design Standards and Guidelines.

In measuring the aesthetics impacts, a single story building is found to have the least visual impact for an in-fill lot adjacent to the freeway and surrounding commercial and offices uses.

Lighting

The applicant has selected a rectangular box-like type of parking lot light fixture. The lighting and photometric plan must meet the City lighting guidelines including no more than one foot candle of illumination at the property lines and the intent of the recently adopted lighting standard guidelines.

The proposed Lighting Plan shows twenty six (26) single-fixture light poles to be installed on the perimeter of the parking lot and drive aisles with two double head fixtures near the building where the spaces are head-to-head. The applicant is requesting this number of poles to increase security on the lot since the employees are expected to park furthest from the building and stay late at night. These light poles will not exceed 16 feet in height, including the base. Additional down lights would be installed under the drive-through canopy and outdoor dining area. The fixture specifications are attached to the plans (Sheet E11) for the Commission's review.

Sign Program

The proposed overall sign program for the building was reviewed for compliance with the Sign Ordinance Design Guidelines. The applicant is requesting a Sign Program which includes three (3) on-building signs, excluding the address number, one (1) monument sign, one (1) menu board and four (4) directional signs. The signs are proposed to be installed on the north elevation (Sign B.1 on the Sign Program Plans) and south elevation (Sign B.3) of the building, as well as on the west elevation (B.2). As defined in the Sign Ordinance, the north elevation of the building facing Canwood Street is considered the primary frontage where a maximum of 50-square foot sign is allowed. Signs above the entrance of a tenant space, in this case on the west elevation (the parking lot side) were considered secondary signs and, therefore, the maximum allowed size is 10 square feet. The Sign Ordinance also allows a maximum 25 square-foot freeway facing sign on the south side of the building. The applicant is requesting to install a 65.8 square-foot sign on the tower of the north, west and south elevations. The increase that is requested ranges from 1.3 times the maximum size of the sign to 6.58 times the size of the sign. The signs are proposed to be built with individually mounted, channel letters and logo of a formed acrylic face, in the restaurant's corporate red and yellow colors. The sign returns are made of aluminum and painted to match the white building color. The Sign Ordinance requires that the square footage of the sign be measured with two dimensions only which accounts for the gap between the individual channel letters. The arrow logo in the company sign is the primary reason for the size variance request. The applicant is requesting a Sign Variance on three signs on three separate elevations as follows:

- On the north elevation from 50 square feet to 65.8 square feet
- On the south elevation from 25 square feet to 65.8 square feet
- On the west elevation from 10 square feet to 65.8 square feet

Findings for the Variance are provided below.

Variance Case No. 10-VAR-005 (A) – Building Signs

1. Required Finding. That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Staff Analysis: The building location is at a considerable distance from the west property line access and above the freeway corridor elevation thereby restricting the visibility of the tenant's identification as viewed from a public right-of-way. In addition, the Sign Ordinance requires that the signage be measured with only 2 dimensions and in this case,

the art work (arrow) extends beyond the letters and as a result creates large areas that are not used within the outer limits of the sign copy that must be accounted for. Thus, the overall sign copy exceeds the requirements.

2. Required Finding. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated.

Staff Analysis: A recently constructed retail store was granted additional and larger, internally lit signs on a tower element for a building built at the same elevation of the freeway corridor and closer to its boundary. The corporation for this project, over the years, has used different versions of the registered trademark and the latest version has been simplified compared to past designs. The wall-mounted signs are built with 8 letters and a logo. The outline of the letters and of the logo totals 15 square feet and 17 square feet respectively which represents half of the maximum required sign for a primary elevation and slightly under the maximum allowed square footage for the freeway facing side. The sign copy would remain larger for the secondary sign. The site is 2.73 acres in area. The proposed combined building sign area, including the monument sign area, menu board and directional sign area total 272 square feet. The total sign area requested is not out of proportion in relation to the overall size of the site in comparison to other sites in the area.

3. Required Findings. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of this the Zoning Ordinance.

Staff Analysis: One of the purposes of the City Sign Ordinance is to support and promote viable businesses by allowing signage that provides adequate identification while also promoting and enhancing the quality of the visual environment of the City. Street facing signage would provide the street identification desired by the tenant, and interior facing signs would provide identification for eastbound traffic both on the street and on the freeway.

4. Required Finding. That the granting of the Variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

Staff Analysis: The signage will be integrated in the architecture of the building and not out of proportion with the building elevations walls it is attached to, and would not cause a distraction to vehicular traffic given the distance between the building elevation and the travel lanes.

5. Required Finding. That the granting of the Variance will be consistent with the character of the surrounding area.

Staff Analysis: Given the more commercial retail nature of the new businesses along Canwood Street, the additional signage will be in character with a retail zone. The

signage will help establish the identity of the building as providing restaurant services for the public at large.

The monument sign (A1) is made up of three elements, the base, a rectangular acrylic plastic box with pushed through white letters and a solid red background and the cut-out yellow arrow above. The base is a masonry structure and would be painted to match the building. The sign copy is made out of acrylic plastic faces and will be internally lit; the red background will not be illuminated. Overall, the sign is 48 square feet and 6 feet high and complies with the Sign Ordinance. The monument sign would be located at the driveway entrance located the furthest from the building for identification from the right-of-way and to direct traffic into the site.

A menu board (D1) is also proposed in the planter located adjacent to the drive-through lane. The structure is 6.5 feet high. The menu board is simplistic in design with red letters and a white colored background. The base would be clad with the same stone veneer used on the building to conceal any supporting poles. Finally, 4 directional signs (C1-C4) are proposed throughout the property with various messages measured at 3 feet high with a 3 square-foot face and stone veneer clad base. These signs also comply with the Sign Ordinance.

Landscaping Review

The project is required to include at least 10% landscape coverage for the total site, and at least 15% landscape coverage for the parking area, with 50% tree canopy coverage in the parking lot in 15 years. These measures are intended to enhance the visual appearance of the project, promote public safety, moderate the temperature and reduce noise and glare. The applicant is providing 46.5% landscape coverage for the whole site and 29% in the parking area. Despite the amount of landscaping shown on the Landscape Plans, staff finds the proposed parking lot tree canopy coverage to be less than the minimum required 50%. The City Landscape Consultant has determined that the proposed tree canopy coverage is 21%. Staff believes that the applicant can easily comply with the 50% parking lot tree canopy coverage requirement by introducing more trees to the plant palette and asks the Planning Commission adopt a condition of approval allowing the Planning Director to continue working with the applicant and the Fire District during the post entitlement phase of development to achieve the minimum shade coverage to the greatest extent possible.

The applicant has requested a Variance to reduce the width of the landscape planter along Canwood Street from 20 feet to 10 feet for a distance of 450 feet which is in excess of the maximum allowed 50% of the parking lot length of 638 feet. For any percentage of encroachment, the Zoning Ordinance requires that additional landscaping be provided elsewhere on the property to compensate for the deficiency which the project does accomplish. Findings must still be made in order to approve the Variance request. The encroachment is a result of the number of parking spaces required by the applicant which is above the minimum required by the Zoning Ordinance. During the review process, the applicant has widened the finger planters to alleviate the impacts of the reduction of the landscape planter width but does not wish to reduce the number of spaces any further.

The site is void of Oak Tree so the applicant does not need to apply for an Oak Tree Permit. The applicant is required, however, to plant one oak tree for every 15,000 square feet of floor area. In

this instance, one oak tree is required. The applicant proposes to plant 10 coast live oak trees.

Staff would note that the Caltrans chain link fence that is typically installed along the corridor was erected inside the freeway right-of-way owned by Caltrans instead of on its outside edge. The applicant is proposing a new, combination masonry and wrought iron fence to be located on the south property line for the majority of the length and a vinyl coated chain link fence for the remaining length. As proposed, the applicant's fence and the Caltrans fence would create a 10-foot wide gap between both fences. Staff requests that the applicant work with Caltrans to landscape the area so as to not leave the area void of planting.

The City Oak Tree/Landscape Consultant has identified several other issues with the proposed Landscape Plan. The Freeway Corridor Overlay zone requires 6-foot high decorative wall or berming which the project meets. The project proposes to meet the intent of this requirement through slope landscaping along the freeway right-of-way and a decorative retaining wall facing the freeway with wrought iron on top along the property line. All development in the Freeway Corridor Overlay District must also provide for the use of naturalistic and native planting. The proposed tree palette for the site is almost exclusively California native trees but the native shrubs are outnumbered by ornamental plants. The City Oak Tree/Landscape Consultant recommends increasing the number of native shrubs and substituting shrubs that do not provide sufficient screening both along the side and the rear of the property. The screening is an important aspect of the project as discussed earlier on in this report, it is recommended that fuller hedges be provided along the Canwood Street property frontage and the eastern property line to screen head lights from the vehicles stored in the drive-through lane and from the vehicles parked perpendicular to the street. The applicant has revised the Landscape Plans to add more trees, naturalistic grasses and shrubs along the freeway side which complies with the Freeway Corridor Overlay District. Some areas still provide a formal planting design and should be revised to be more naturalistic in its arrangement.

Finally, a condition of approval was added requiring the applicant reduce the use of river rock to increase the survival of the new trees. The river rock is a company theme and is used extensively on the site. Staff recommends that the use of the rock be kept to the west end of the property to look like a dry creek bed and to tie with the river rock along the northbound off-ramp nearby.

The applicant has requested to plant two palm trees near the building in a cross planted fashion. City's policy is to limit the use of non-native trees, in this instance the palm trees are decorative and serve as an emblem of the In-N-Out Burger Corporation. Staff requests direction from the Planning Commission regarding whether the Commission finds the palm trees to be appropriate. Condition No. 41 allows for the use of two palm trees for that reason. If it is the Commission's desire to eliminate the palm trees, Condition No. 41 will have to be revised.

Typically where there are remaining issues to be resolved in landscaping, as in this case, the Planning Commission has conditioned that the applicant work with staff and revise the landscape plans to staff's satisfaction as reflected in Condition No. 87. In this instance, however, given the number of issues and the significance of the necessary changes, the Planning Commission may wish to include a condition of approval that the final landscape plan return to the Planning

Commission for approval prior to issuance of building permits. Condition No. 87 would have to be amended to reflect this.

As discussed previously under ARP Review, this project does not meet the landscape planter width requirements along the Canwood Street frontage. The applicant has requested a Variance to reduce the width of the landscape planter along Canwood Street from 20 feet to 10 feet for a distance of 450 feet.

Variance Case No. 10-VAR-005 (C) – Landscape Planter Encroachment

1. Required Finding. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

Staff Analysis: The property has 1,000 feet of frontage with depths varying between 10 and 200 feet. Much of the circulation is occurring near the building with the surplus parking lined up along the front of the property as the property narrows to the west causing a necessary encroachment. Nineteen-foot wide finger landscape planters have been provided to compensate for the encroachment and an equal quantity of landscaping encroached upon has been provided elsewhere on the property.

2. Required Finding. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated.

Staff Analysis: The self-imposed number of parking spaces which need to be served by 26-wide drive aisle cover a large surface area causing the encroachment in the landscape planter to exceed 50% of the length of the parking lot.

3. Required Finding. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in impractical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance.

Staff Analysis: Although the parking provided exceeds the parking required, the usage of the parking for this use is anticipated to be high both by employees and local and traveling customers. Therefore, providing adequate parking results in less landscaping along the frontage. As conditioned, the minimum required tree canopy coverage will be provided as well as screening between the right-of-way and the parking lot.

4. Required Finding. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity.

Staff Analysis: Despite the reduction in landscape planter width, the planter size provides sufficient space for various types of landscaping which comply with commercial

properties landscaping requirements including, reducing the heat island effect, blocking headlights, screening structures and controlling noise and pollution. The project remains one of the parcels with the most frontage landscaping of all the parcels on the south side of Canwood Street.

5. Required Finding. The granting of the Variance will be consistent with the character of the surrounding area.

Staff Analysis: The new landscaping surpasses the total on-site landscape coverage all the parcels along Canwood Street, west of Kanan Road. As conditioned, split rail fencing and berming combined with the landscaping along the street frontage will help modulate the reduced width of the planting.

Grading

The site has been pre-graded however additional grading will be required. The project will generate an estimated cut of 5,400 cubic yards of soil, 13,800 cubic yards of fill, and an estimated 8,400 cubic yards of import soil from the site as a result of leveling the pad. The proposed building pad elevation will be level with the ultimate elevation of Canwood Street at the property frontage. The existing elevation rises from 869 to 899 feet from west to east and from 895 to 898 feet from south to north which will require some retaining walls up to 6 feet high to level the site where the slope is the steepest.

Also required by the Public Works Department for the commercial properties along Canwood Street is the lowering of a segment of Canwood Street between this project site and approximately 1,000 feet to the east to improve the line-of-sight for eastbound and westbound traffic. As the parcels get developed, right-of-way improvements are put in place while the project is being constructed. Both this project and a recently approved industrial project to the east will participate in the work. As a result, Canwood Street will be lowered, straightened and widened. The applicant has provided staff with photo simulations of the project to illustrate the pad and building height.

The City Geotechnical Consultant has reviewed the geotechnical report, prepared by Krazan and Associates and all subsequent supplemental information, for this project and recommends the project be approved from a Planning/Feasibility as well as from a geotechnical perspective. Conditions of Approval are included to ensure that recommendations contained in the report are incorporated into the Grading Plan are adhered to during construction. A letter of recommendation from the City Consultant is attached to the report.

Access/Circulation/Traffic/Street Improvements

A Traffic Report, prepared by ATE and Associates, was submitted. The City's Traffic Engineer reviewed the Traffic Report based on the proposed project design with respect to on-site circulation, access to and from the site as well as localized traffic congestion levels. There are two proposed points of ingress and egress onto the site. A two-way driveway would be at the westerly and easterly end of the site from Canwood Street. The driveways would be 440 feet apart allowing for worse traffic conditions. The proposed drive-through lane was designed to accommodate a queuing of 15 cars that can be access from two directions and to empty out at the eastern driveway. In

reviewing the Traffic Report and the project Site Plan, the City Traffic Consultant recommends that minor modifications be made to the parking layout near the building. In order to maximize public safety, it is recommended that 4 to 6 parking spaces be eliminated at the entrance of the drive-through lane to allow for additional storage of vehicles and avoid conflicts between vehicles queueing and parked vehicles. Furthermore, the City Traffic Engineer recommends that the cluster of 16 parking spaces in the center of the parking lot be split and separated by the drive-aisle and finally, that the eastern driveway be widened by 5 to 6 feet and directional signs installed to show the direction to the 101 Freeway and allowed movements to ease potential congestion near the drive-through exit, the east driveway entrance/exit and generally the areas near the building. An exhibit is provided to show the recommended changes.

The project Traffic Report indicated that the project will generate no AM peak hour vehicular trips since the business is closed during the designated AM peak hour, and 1,813 vehicular trips during the PM peak hour.

The report reviewed seven intersections in the vicinity of the project. These intersections include:

- U.S. 101 Northbound ramps at Kanan Road and Canwood Street
- U.S. 101 Southbound ramps at Kanan Road and Roadside Drive
- Kanan Road at Canwood Street
- Kanan Road at Thousand Oak Boulevard
- Canwood Street at Clareton Drive
- Chesbro Road at Palo Comado Canyon Road
- U.S. 101 Northbound ramps at Palo Comado Canyon Road

The study shows that the existing traffic levels of service will worsen at Canwood Street and Clareton Drive as a result of this project and future development.

Per the General Plan, Canwood Street is slated to have 3 lanes. As a result, the western driveway, in alignment with Clareton Drive, will be part of a signalized intersection (installed by the applicant) which will permit all turn movements. The center lane will be used as a left turning pocket for cars entering the site near the western driveway but will be striped in front the eastern driveway to prevent left turns into the site when traveling in a westerly direction as a safety measure. The eastern driveway will allow for right-turn in and right-turn out circulation only.

The applicant is required to install a traffic signal at the intersection of Canwood Street and Clareton Drive. The requirement of the signalized intersection is a mitigation measure to what is considered a site specific impact which is a result of the added traffic on the roadway by the new use. Cumulative impacts account for future conditions of localized traffic conditions in addition to the project site. As a result, the Engineering Department can impose mitigation measures for the immediate remediation of the traffic conditions such as a signal warrant which must be complete prior to the issuance of a Certificate of Occupancy as well as future remediation of the traffic conditions. In addition to installing the traffic signal, the applicant is conditioned to pay a fair share of the cost to reconfigure the intersection of Kanan Road and Canwood Street where the impacts are the greatest. The Kanan/Canwood Street improvements would be undertaken by the City. The fair share cost is based on a percentage of the number of vehicles the project contributes to the

intersection. The intersection improvements will require to add a second southbound left turning lane on Kanan Road, and three northbound through lanes with a free right-turn lane and all related adjustments associated with the improvements. The City Engineering Department intends on constructing the intersection improvements immediately following the completion of this project.

Other physical improvements that are typically required for new commercial projects include undergrounding all the utilities in the street, paving in front of the parcel, installing curb, gutters, sidewalks, street landscaping, and the necessary striping along the project frontage which this project will be conditioned to provide. No bike lane is required on that segment and speed limits will be maintained.

Furthermore, the Municipal Code requires that a Transportation Improvement Funds (TIF) fee be paid as a part of any commercial development. The funds are used by the City to improve the circulation system within City boundaries over time. The fee is based on the square footage of the project and type of use. Since the fee is a formula and does not always reflect today's cost of required off-site street improvements associated with the project, it is expected that the cost of the off-site improvements will exceed the TIF fee amount therefore the applicant is expected to pay the difference between the fair share contribution and the TIF fee. All recommended conditions of the City Engineer for this project are included in the attached Draft Conditions of Approval and the Mitigated Negative Declaration.

Parking

The proposed project includes 100 parking spaces, 5 of which are required to be designated as handicap spaces. A minimum of 25 parking spaces are required by the Zoning Ordinance for the proposed use as it is based on the eating and waiting area. Thus, a surplus of 75 parking spaces is provided on-site.

Zone Change

In order for this project to be approved, a change in the property zoning classification would be required. This process requires a Zone Change. The current land use designation, Business Park-Manufacturing (BP-M) was changed when the City adopted General Plan 2035 but the Zoning Map has not yet been updated. The proposed Commercial Retail Service (CRS) zoning designation conforms to the General Plan Land Use Designation of CRS which is now in effect. Therefore, the proposed change can be considered a "clean-up". The project is one of the permitted uses in that zone. The decision to update the zoning classifications was based on the fact that commercial rather than industrial development would be more appropriate for that particular area and the parcel should not be isolated from a use standpoint from properties on the south side of Canwood Street and east of the project site already zoned CRS.

As the Zone Change is a legislative Act, the Planning Commission is requested to provide a recommendation to the City Council to adopt an Ordinance for the Zone Change. If this legislative action is not approved, all other entitlements associated with this project would not be valid.

III. Environmental Review/Mitigated Negative Declaration

An Initial Study was prepared in accordance with the requirements of the California Environmental Quality Act (CEQA) to analyze the potential environmental consequences of the proposed project. The purposes of an Initial Study are:

- A. To provide the Lead Agency (City of Agoura Hills) with the necessary information to decide whether to prepare an Environmental Impact or a Mitigated Negative Declaration;
- B. To enable the Lead Agency to modify a project, mitigating adverse impacts thus avoiding the need to prepare an EIR;
- C. To provide sufficient technical analysis of the environmental effects of a project to permit a judgment based on the record as a whole, that the environmental effects of a project have been adequately mitigated.

Based upon the findings contained in that Initial Study, City staff determined that there was no substantial evidence that the Project could have a significant effect on the environment and a Mitigated Negative Declaration was prepared. Thereafter, City staff provided public notice of the public comment period and of the intent to adopt the Mitigated Negative Declaration as required by law. The public comment period commenced on April 7, 2011 and expired on May 9, 2011. Copies of the documents have been available for public review and inspection at the offices of the Department of Community Development, located at City Hall.

Three written comments were received prior to the public hearing and a response to all of the comments made therein was prepared, submitted to the Planning Commission and incorporated into the administrative record of the proceedings. The comments received and addressed in the Mitigated Negative Declaration include:

1. a letter from Adler Realty Investments, Inc., resident and developer in the City of Agoura Hills
2. an email message from the California Department of Fish and Game
3. a letter from the Native American Heritage Commission

In the case of the proposed project, staff reviewed the project against the recently adopted General Plan EIR and is tiering of the adopted policies to focus on more specific issues such as traffic.

The following matrix briefly identifies environmental issue areas addressed in the MND that were found to have potentially significant impacts, and identifies the recommended mitigation measures. All impacts were found to be mitigatable to a less than significant level upon implementation of the measures.

Issue Area	Impact	Mitigation
<i>Biological Resources</i>	Impacts to nesting birds	Time restriction on pruning and removal of trees and /or Monitor nesting and/or Delay construction
<i>Cultural Resources</i>	Unexpected discovery of archaeological or paleontological resources or human remains	Monitor construction if discovery of a resource. Work to cease and the appropriate officials contacted and find assessed; mitigation work as necessary.
<i>Geology and Soils</i>	Site preparation Soil expansion Foundation system design Site drainage	Comply with all measures in the geotechnical report
<i>Traffic</i>	Street Frontage	Improvement of the length of the property frontage
	TIF	Payment of fees toward the city wide transportation system
	Site specific impacts at nearby intersection	Install a traffic signal at Clareton and Canwood Streets
	Cumulative impacts at nearby intersections	Fair Share payment to mitigate impacts at selected intersections

The applicant has accepted the proposed mitigation measures which staff finds would reduce the environmental impacts associated with the project to less than significant levels. For these reasons, staff finds the use of a Mitigated Negative Declaration for CEQA processing of this application to be appropriate.

If the Planning Commission chooses to recommend approval of the project to the City Council, it must also recommend the adoption of the Mitigated Negative Declaration and Mitigation Monitoring Program and all comments received regarding the Mitigated Negative Declaration prior to and at the May 19, 2011 public hearing, and based on the whole record before it, must find that: (1) the Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Negative Declaration reflects the independent judgment and analysis of the Planning Commission.

If the Planning Commission chooses not to recommend approval of the project to the City Council, no action on the Final MND is required.

IV. RECOMMENDATION

Since this project's review requires a legislative action (Zone Change), the entitlements associated with the project including the Site Plan/Architectural Review, and the Variance, the Sign Permit will be forwarded to the Council for final action concurrent with the Zone Change.

It is recommended that the Planning Commission recommend approval of Site Plan/Architectural Review Case No. 10-SPR-004, Sign Permit Case No. 10-SP-048 and Variance Case No. 10-VAR-005, subject to conditions as well as the Zone Change Case No. 10-ZC-003 for the proposed development.

Staff also recommends the Planning Commission recommend the City Council adopt the Final Mitigated Negative Declaration and Mitigation Monitoring Program.

V. ATTACHMENTS

- Draft Resolution and Conditions of Approval for the Site Plan/Architectural review and Adoption of the Final Mitigated Negative Declaration
- Draft Resolution and Conditions of Approval for the Sign Permit with a Variance Request
- Draft Resolution and Conditions of Approval for the Setback and Landscaping Variance Requests
- Draft Resolution for the Zone Change
- Draft Ordinance for the Zone Change with Exhibit Page
- Exhibit A: Applicant's Burden of Proof for the Setback, Encroachment and Signage
- Exhibit B: Vicinity/Zoning Map
- Exhibit C: Reduced Photocopies of the Plans
- Exhibit D: Memorandum from the City Oak Tree/Landscape Consultant
- Exhibit E: Memorandum from the City Traffic Engineer with Exhibit Page
- Exhibit F: Renderings and Photo-simulations
- Exhibit G: Photographs of the Site and Color Copy of the Color and Material Board
- Exhibit H: Final Mitigated Negative Declaration and Monitoring Plan

CASE PLANNER: Valerie Darbouze, Associate Planner

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF
SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
& A MITIGATED NEGATIVE DECLARATION AND MONITORING PLAN

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS, RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by In-N-Out Burgers with respect to the real property located at 28898 Canwood Drive (A.P.N. 2048-011-034) requesting a recommendation of approval of a Site Plan/Architectural Review application to build a 3,654 square-foot fast food restaurant building with a covered 922 square-foot drive-through and a covered 926 square-foot outdoor dining area; and a request for adoption of a Mitigated Negative Declaration and Mitigation Monitoring Program. A public hearing was duly held on May 19th, 2011 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. Pursuant to Section 9677.7.G. of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. The proposed use, as conditioned, is consistent with the objectives and provisions of the Zoning Ordinance and the purposes of the land use district in which the use is located, and will comply with each of the applicable provisions of the Zoning Ordinance. Upon implementation of the CRS zone, the proposed development will meet the development standards for the zone relative to lot coverage, and building height, building setback, parking and landscape coverage. In addition to the CRS zone requirements, the project was designed to address the Freeway Corridor Overlay District (FC) requirements. The size, placement and bulk of the building were the result of minimizing the impacts of the massing onto the corridor and impacts of the freeway noise onto the occupants of the buildings built along the corridor; although the FC required building setback to the freeway frontage is reduced because of its architectural features, the building is a one story structure at a higher elevation without openings on the freeway side and, therefore, meets the objectives of the FC zone. Consideration of a Variance is required however.

B. The proposed use, as conditioned, and the manner in which it will be operated or maintained, will not be detrimental to the public health, safety, or general welfare. The building will be constructed to comply with the most recent Building Code requirements. The access in and out of the site is conditioned to maximize safety in the right-of-way in relation to traffic flow, intersecting streets and nearby existing private driveways. The placement and design of the building would preserve the light, air, privacy to the adjacent parcel.

C. The proposed use, as conditioned, will not conflict with the character and design of the buildings and surrounding area and is compatible with the surrounding properties. Because of its placement, the building allows for visibility from the freeway corridor of existing commercial buildings as the building is setback a considerable distance from the property lines unlike adjacent

properties. The drive-through lane is designed to be screened with landscaping to avoid impacts onto the building to the east and the freeway corridor to the south. The building proposes similar architectural features as nearby buildings including Spanish tile, and light color stuccoed surfaces. The outdoor dining is protected from the weather, noise and vehicles with a roof and half wall enclosure. As demonstrated by the existing buildings, the style of architecture is compatible with other styles in the area. The project design complies with the desired image of freeway corridor development.

D. The proposed use as conditioned at the exception of the Variance request for setback, signage and landscaping, will comply with each of the applicable provisions of the Zoning Ordinance in that the project is consistent with the development standards of the CRS zone. The size and dimensions of the parcel are more than adequate for a CRS zoning classification. As a result, the parcel allows for large expanse of landscaping which helps maintain a less urbanized appearance as viewed from the freeway corridor.

E. The proposed use as conditioned, is consistent with the goals and policies of the General Plan, in that the project contributes to the diversity of uses along the corridor which reduces the need to travel to adjoining communities. The proposed project is adequate for the size and shape of the parcel. The city benefits from an improved street frontage, off-site transportation system improvements and a parcel with only 4.6% of building coverage. The proposed fast food restaurant is a permitted use as prescribed in the General Plan Land Use Element.

F. The proposed use as conditioned, preserves and enhances the particular character and assets of the surrounding area and its harmonious development. The proposed use is suited for an irregularly shaped parcel in a transitional zone located between less traveled industrial uses and more frequented commercial retail uses. The parking design can absorb overflow of vehicles without impacting Canwood Street.

Section IV. The Planning Commission hereby makes the following environmental findings and determinations in connection with the approval of the In-N-Out Burger (the "Project"):

- A. Pursuant to California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, City staff prepared an Initial Study of the potential environmental effects of the approval of the In-N-Out Burger as described in the Initial Study (the "Project"). Based upon the findings contained in that Study, City staff determined that there was no substantial evidence that the Project could have a significant effect on the environment and a Mitigated Negative Declaration was prepared.
- B. Thereafter, City staff provided public notice of the public comment period and of the intent to adopt the Mitigated Negative Declaration as required by law. The public comment period commenced on April 7, 2011 and expired on May 9, 2011. Copies of the documents have been available for public review and inspection at the offices of the Department of Community Development, located at City Hall, 30001 Ladyface Court, California, 91301.
- C. Three written comments were received prior to the public hearing and a response to all of the comments made therein was prepared, submitted to the Planning Commission and incorporated into the administrative record of the proceedings.

- D. The Planning Commission has reviewed the Mitigated Negative Declaration and all comments received regarding the Negative Declaration prior to and at the May 19th, 2011 public hearing, and based on the whole record before it, finds that: (1) the Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Negative Declaration reflects the independent judgment and analysis of the Planning Commission.

- E. Based on the findings set forth in this Resolution, the Planning Commission hereby recommends that the City Council adopt the Mitigated Negative Declaration prepared for the Project.

Section V. Based on the aforementioned findings, the Planning Commission hereby recommends the City Council approve Site Plan/Architectural Review Case No. 10-SPR-004, and the Mitigated Negative Declaration and Monitoring Plan, subject to the attached conditions, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 19th day of May, 2011 by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Steve Rishoff, Chairperson

Doug Hooper, Secretary

**CONDITIONS OF APPROVAL
(CASE NO. 10-SPR-004)**

PLANNING CONDITIONS

Entitlement Requirements

1. This decision, or any aspect of this decision, can be appealed to the City Council within fifteen (15) days from the date of Planning Commission action, subject to filing the appropriate forms and related fees.
2. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of these Permits with the Department of Planning and Community Development.
3. Except as modified herein, the approval of this action is limited to, and requires complete conformation to, the approved labeled exhibits: Site Plan; Elevation Plans; Floor Plans, Roof Plan, Landscape Plan and Grading Plan.
4. All exterior materials used in this project shall be in conformance with the materials samples submitted as a part of this application.
5. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
6. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse, provided that the applicant has been given written notice to cease such violation and has filed to do so for a period of thirty (30) days.
7. All requirements of the Zoning Ordinance and of the specific zoning designation of the subject property must be complied with unless set forth in the Permit or on the approved Site Plan.
8. No occupancy shall be granted for any building until all Conditions of Approval have been complied with as determined by the Director of Planning and Community Development.
9. Unless this permit is used within two (2) years from the date of City approval, Case No. 10-SPR-004 will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
10. The applicant shall pay to the City the applicable General Plan Update Recovery Fee prior to the issuance of a Building Permit. The current fee is \$1.41/\$1,000 of building valuation. Actual fees will be determined at the time of building permit issuance.

Conditions of Approval

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11. The applicant shall comply with all applicable Public Health Statutes, Ordinances, and Regulations related to the disposal of sewage.
12. The Forester and Fire Warden shall be consulted to ascertain the required fire flows and fire hydrants to accommodate the proposed development.
13. The applicant shall comply with the school impact fee requirements of the Las Virgenes Unified School District that is currently established at \$0.47 per square-foot of new floor area.
14. Prior to the issuance of a Building Permit, the applicant shall pay the Fire District Development Fee, at the rate in effect at the time of Building Permit issuance. The current rate is \$ 0.9296 per square-foot of new floor area.
15. Prior to issuance of a Building Permit, the applicant shall submit a letter to the Director of Planning and Community Development agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until the City's Environmental Planner is notified and a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Director of Planning and Community Development.
16. The approved grading plan and construction plans, resolution, conditions of approval, the mitigated negative declaration and the mitigation monitoring and reporting program and a color and material board shall be on site at all time during the construction of the project.
17. All outstanding fees owed to the City, if any, shall be paid by the applicant within thirty (30) days from the date of this approval.

Construction Requirements

18. Prior to the starting construction, the site shall be temporarily fenced and screened on all sides for the duration of the construction project. The height of the fence shall be six (6) feet and fence material shall be overlaid on the exterior with a dark, opaque vinyl screen, or other equivalent fencing and screening material as approved by the Director of Planning and Community Development. Temporary construction fencing and gates shall be maintained in good order at all times.
19. All proposed retaining walls shall consist of materials subject to review and approval by the Director of Planning and Community Development.
20. Vehicle routes and access to the property for construction purposes shall be subject to review and approval by the City Engineer.

21. No construction work or repair work shall be performed between the hours of 7:00 p.m. to 7:00 a.m., or any Sunday or holiday.
22. The applicant and delegated contractors shall participate with City staff in a pre-construction meeting prior to issuance of a grading permit. Any change in the construction team shall be reported to the Building and Safety Department in a timely manner.
23. A detailed Lighting and Photometric Plan shall be submitted for review and approval by the Director of Planning and Community Development, prior to issuance of a Building Permit.
24. A copy of all communications between the City and the applicant pertaining to the approved plans shall be kept on-site at all times.
25. It is the responsibility of the applicant and/or his or her representatives to report to the City any changes related to any aspects of the construction prior to undertaking the changes.
26. Intermittent inspections shall be scheduled by the applicant as required by the Building and Safety Department and coordinated with the Engineering and Planning Departments.

SOLID WASTE MANAGEMENT REQUIREMENTS

27. To ensure that solid waste generated by the project is diverted from the landfill and reduced, reused, or recycled, the applicant shall submit a "Waste Reduction & Recycling Plan" to the City for review and approval. The plan shall provide for at least 50% of the waste generated on the project to be diverted from the landfill. Plans shall include the entire project area, even if tenants are pursuing or will pursue independent programs. The plan shall be submitted to and approved by the Department of Planning and Community Development prior to issuance of a building permit. The plan shall include the following information: material type to be recycled, reused, salvaged, or disposed; estimated quantities to be processed, management method used, and destination of material, including the hauler name and facility location. The City's Waste Reduction & Recycling Plan form or a similar format shall be used.
28. The project shall comply with the plan and provide for the collection, recycling, and/or reuse of materials (i.e. concrete, wood, metal, cardboard, green waste, etc.) and document results during demolition and/or construction of the proposed project. After completion of demolition and/or construction, the applicant shall complete a Waste Reduction & Recycling Summary Report and provide legible copies of weight tickets, receipts, invoices or letters of verification for materials sent to disposal or reuse/recycling facilities. For other discarded or salvaged materials, the applicant shall provide documentation, on the disposal facility's letterhead, identifying where the materials were taken, type of materials, and tons or cubic yards disposed, recycled or

reused and the project generating the discarded materials. The Waste Reduction & Recycling Summary Report shall be submitted and approved prior to issuance of a certificate of occupancy, or final inspection if issuance of a certificate of occupancy is not applicable.

29. The applicant shall arrange for materials collection during construction, demolition, and occupancy with a City permitted hauling company, or shall arrange for self-hauling to an authorized facility.

ENVIRONMENT REQUIREMENTS

30. The applicant shall comply with each mitigation measure listed in the Final Mitigated Negative Declaration and outlined in the Mitigation Monitoring Program for the project. The Mitigation Monitoring Program is attached to these Conditions of Approval.
31. A list of all project conditions of approval and mitigation measures found in the Mitigated Negative Declaration shall be included, along with a signed copy of the Resolution, on the construction plans submitted prior to issuance of a Grading or Building Permit.
32. Air quality measures (Rule 403) shall be copied onto the cover sheets of the Grading Plans.

LANDSCAPING/IRRIGATION

Landscaping

33. All development in the FC overlay district shall provide for the use of naturalistic and native landscaping, particularly native oaks, throughout the development. The applicant and his landscape architect shall work with the City Landscape Consultant to ensure this requirement is met.
34. The plans shall generally conform to the Preliminary Landscape Plan prepared by Integrated Design Group LLP Landscape Architecture and Planning, dated March 2, 2011. However, the plans shall be modified to conform to all conditions set forth below.
35. One copy of each of the following approved plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions Of Approval
36. Prior to the approval of building permits, the applicant shall submit three (3) sets of plans meeting the following requirements:

Conditions of Approval

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- a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.
 - c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant. Plans should show the current date.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants, if applicable
 - Natural features, including watercourses, rock outcroppings
 - h. The Planting Plan shall indicate the botanical name, common name, and size of each plant.
37. Plant symbols shall depict the size of the plants at maturity, and be drawn to scale. Spacing of trees and shrubs shall be adjusted to allow for optimum growth of each species.
 38. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director.
 39. All plant material must be considered compatible with Sunset Zone 18.

40. The landscape plan shall not include any non-native plants considered invasive in the Santa Monica Mountains by the California Native Plant Society or the California Exotic Pest Plant Council.
41. The final plans shall not include any palm species with the exception of one pair of the applicant's signature crossed palms.
42. The landscape plan shall include at least one (1) twenty-four inch (24") box size oak tree per fifteen thousand (15,000) gross square feet of building area. According to the plans provided, one (1) such tree will be required.
43. The landscape plans shall prominently display the following notes:
 - All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
44. Proposed light standard locations shall be depicted on the planting plan. Any conflicts between light standard and tree locations shall be resolved to the satisfaction of the City Landscape Consultant.
45. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
46. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over-spray on adjoining areas.
47. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - Design and static pressures
 - Point of connection
 - Backflow protection
 - Valves, piping, controllers, heads, quick couplers
 - Gallon requirements for each valve
48. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.

49. A complete Landscape Documentation package shall be required at the time of initial plan check submittal, prepared in accordance with Article IX, Section 9658.6 – Water Efficient Landscaping, contained in the Zoning Code.
50. The landscape plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.
51. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
52. Poor landscape practices such as topping, hedging and “lollipoping” shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
53. A minimum of ten percent (10%) of the total lot shall be landscaped.
54. A minimum of fifteen percent (15%) of the parking lot, including driveways and aisles, shall be landscaped, distributed evenly throughout the parking lot.
55. All finger planters shall be at least eight feet (8’) wide and spaced no more than ten (10) stalls apart.
56. Landscaped areas shall be a minimum of four feet (4’) wide (including curbs).
57. No other usage or storage shall be permitted within any required yard, including transformers and trash enclosures.
58. Any unsightly uses, including trash enclosure and transformers shall be screened with berms, decorative walls or landscaping.
59. Any new perimeter walls shall be decorative with a height and design subject to review and approval by the City Landscape Consultant and the Director.
60. All development adjacent to the freeway in the FC overlay district shall provide for the provision of a six foot (6’) high decorative wall or equivalent berming and planting for the full frontage of the freeway.
61. The applicant shall provide for the installation and maintenance of landscaping and automatic irrigation within the strip of unimproved ground between the site’s south property line and the Caltrans fence. The applicant must obtain permission from the California Department of Transportation for this work within the Caltrans right-of-way.
62. The applicant shall provide planting at the proposed chain-link fence at the south property line to obscure visibility of the fence.
63. Shade trees shall be provided such that fifty percent (50%) of the parking lot, including driveways and aisles, shall be covered by tree canopies within fifteen (15) years after installation. The applicant has not demonstrated that this condition has been met but will work with staff to ensure the proposed design meets the highest percentage of canopy coverage that can be achieved.
64. The applicant shall provide a twenty-foot (20’) wide fully landscaped planter along the full property line adjacent to Canwood Street. Up to ten feet (10’) of

- parking encroachment shall be allowed within this landscape planter for no more than fifty percent (50%) of the length of the required twenty foot (20') wide fully landscaped. The reduction in the landscape area due to parking encroachment shall be substituted for an equal amount of landscaping elsewhere on the property.
65. The applicant shall provide screening of the parking area along Canwood Street through the use of plant material and landscape berming and/or split rail fencing to reduce the visibility of automobiles from the public right-of-way to the satisfaction of the City Landscape Consultant.
 66. The applicant shall provide screening along Canwood Street at the northeast corner of the site to reduce the visibility of vehicles and headlight glare from the public right-of-way. Screening shall be accomplished through the use of plant material and landscape berming to the satisfaction of the City Landscape Consultant.
 67. The applicant shall provide substantial screening of headlights and vehicles adjacent to the drive-through lane, especially for the benefit of the office building to the east. Screening shall include a low wall on the order of three feet (3') in height, supplemented by planting, to the satisfaction of the City Landscape Consultant.
 68. The applicant's landscape architect shall eliminate the use of cobblestones in the immediate vicinity of the proposed trees. Each tree shall be mulched with three inches (3") to four inches (4") of approved organic matter. Mulch shall be applied to a minimum five-foot (5') radius around the trunk of each tree, keeping the mulch three inches (3") from the trunk.
 69. Landscape planting shall be provided at the westerly end of the site that will provide screening from the freeway but still allow visibility of the hotel and other commercial buildings along the north side of Canwood Street. The applicant and his landscape architect shall work with the City Landscape Consultant to modify the proposed planting to provide such screening.

ENGINEERING CONDITIONS

70. PRIOR TO PERMITTING (GRADING, BUILDING, ENCROACHMENT, ETC)

A. General

- 1.01 Applicant shall merge all parcels pursuant to the Subdivision Map Act and in accordance with City Code.
- 1.02 All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the City Engineer for review and approval.
- 1.03 For all work within public right-of-way, the applicant shall obtain an Encroachment Permit. Prior to issuance of this permit, all public

improvement plans, which include but are not limited to, street, water, sewer, storm drain, lighting, signing and striping, etc shall be reviewed and approved by the City Engineer. Water plans shall be designed to meet LVMWD standards and contain a signature block for the City Engineer. All associated fees and securities shall be based upon completed Engineering Cost Estimate forms, approved by the Engineering Department. Forms are available for download from the City's website at www.ci.agoura-hills.ca.us.

- 1.04 In lieu of constructing the required public improvements, an agreement and security deposit in the amount of \$75,000 to the City may be submitted to guarantee proper construction of the public improvements at the intersection of Kanan Raod and Canwood Street. All security must be acceptable to City Attorney's office, pursuant to Government Code, Section 66499 and City's Subdivision Ordinance.
- 1.05 Applicant shall pay all applicable Transportation Impact Fees (TIF) to the Building and Safety Department.
- 1.06 All existing street and property monuments within or abutting this project site shall be preserved consistent with AB1414. If during construction of onsite or offsite improvements monuments are damaged or destroyed, the applicant shall retain a licensed land surveyor or civil engineer to reset those monuments per City's Standards and file the necessary information with the County Recorder's office.
- 1.07 Detailed on-site utility information shall be shown on the grading plan, which includes, but is not limited to, backflow prevention devices, exact location of laterals water meter size and location, invert elevations and grades for all gravity lines. The grading plan will not be approved by the Engineering Department until this detailed utility information is included on the plans.
- 1.08 Grading Plan shall show location(s) of all Oak trees within the vicinity of the site. Applicant shall adhere to all requirements pertaining to Oak trees as outlined in the City's Oak Tree Consultant's Conditions of Approval.
- 1.09 The applicant shall submit electronic files (i.e., CAD file, on disc) of project-related off-site improvement plans as deemed necessary by the City Engineer. These electronic files shall accompany original mylars of improvement plans to be approved/signed by the City Engineer. Improvement plans will not be approved by the City Engineer if not accompanied by CAD files.

1.10 Submit a soils/geology report to the project engineer for review and approval in accordance with Government Code, Section 66434.5 as required by the City Engineer. The report shall be reviewed and approved by the City Geotechnical/Geological Consultant.

1.11 Other Agency Permit/Approval: Prior to issuance of permits from the Engineering Department, this project is subject to a permit from the following agencies:

- Caltrans
- Los Angeles County Health Department
- Los Angeles County Flood Control District (LACFCD)
- FEMA
- Las Virgenes Municipal Water District
- Army Corps of Engineers (ACOE)
- California Department of Fish & Game
- Other Agency: _____

1.12 Building Permits shall not be issued until graded building pad(s) have been certified for compaction and elevation to the City's satisfaction. Contact Engineering Department @ 818.597.7322 for approved City certification forms.

1.13 Provide a preliminary title report not older than 30 days.

B. Public Improvements

1.14 Design full public improvements in accordance with City Code, Specifications, approved specific plan, and/or approved Conditions of Approval for the area. Such public improvements may include, but not be limited to, the following:

Improvement Item	Canwood Street
Curb & Gutter	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replace Damaged <input type="checkbox"/> Remove existing & Relocate
AC Pavement	<input checked="" type="checkbox"/> Replacement <input checked="" type="checkbox"/> Widen; along frontage, including pavement transitions
PCC Drive Approach	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement
Sidewalk	<input checked="" type="checkbox"/> New

Improvement Item	Canwood Street
	<input type="checkbox"/> Replacement
ADA Access Ramp	<input checked="" type="checkbox"/> New <input type="checkbox"/> Replacement
Parkway	<input checked="" type="checkbox"/> Trees <input checked="" type="checkbox"/> Landscaping (w/irrigation)
Raised Median	<input type="checkbox"/> Trees <input type="checkbox"/> Landscaping (w/irrigation) <input type="checkbox"/> Hard Landscaping
Street Lights	<input checked="" type="checkbox"/> New <input type="checkbox"/> Relocation
Sewer Service (See sec. 2C)	<input type="checkbox"/> Main <input checked="" type="checkbox"/> Lateral
All water appurtances are per LVMWD standards (see Section 2D)	<input checked="" type="checkbox"/> Yes
Storm Drain (See sec. 2E)	<input type="checkbox"/> Main <input type="checkbox"/> Catch Basin
Traffic Signal Facilities (See sec. 2G)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modification <input type="checkbox"/> Relocation
Traffic Signing and Striping (See sec. 2G)	<input checked="" type="checkbox"/> New <input type="checkbox"/> Modification
Bus Stop and/or Turn-out (See Sec. 2G)	<input type="checkbox"/> New <input type="checkbox"/> Modification
Underground Overhead Utilities	<input checked="" type="checkbox"/> Yes
Equestrian Trail Construct	<input type="checkbox"/> Trail Only <input type="checkbox"/> Trail & Fence
Removal of	_____
Other req'd improvements	_____

SPECIFIC NOTES FOR IMPROVEMENTS LISTED IN ITEM ABOVE. The applicant shall design and construct Canwood Street to full width along the project frontage and any necessary transitions. Said improvements shall include asphalt concrete, curb, gutter, sidewalk, street lights, landscaping, and all pavement markings. The design shall include traffic signals, signage, striping,

and all associated appurtenances at the intersection of Canwood Street and Clareton Street. The design of the roadway improvements shall be reviewed and approved by the City Engineer.

- 1.15 The following existing streets being cut for new services or being finished with curb and gutter may require an asphalt concrete overlay:
Canwood Street.
- 1.16 This property is within the LVMWD service area. Applicant shall make arrangements with LVMWD for those services and provide the City with proof that all LVMWD fees have been paid.
- 1.17 The improvements for lowering the grade of Canwood Street and relocating associated utilities have been previously conditioned for a project in this area. In the event construction for that project has not commenced on the road improvements prior to grading permit issuance, the applicant shall design and construct interim street improvements deemed necessary by the City Engineer.

Such improvements shall include but not be limited to: sidewalk, curb, gutter, landscaping, and transitions along property frontage. In addition, the applicant shall be responsible for design and construction of any on-site utilities that tie-in to Canwood Street as a result of the ultimate road improvements. When the ultimate improvements to lower Canwood Street are constructed by the other project, applicant shall reconstruct all necessary frontage improvements affected by the ultimate construction, including paving, to the extent deemed necessary by the City Engineer. Applicant shall complete reconstruction of these improvements within six months after the completion of the Canwood Street lowering. Applicant shall submit all necessary securities and fees required to complete the aforementioned reconstruction.

C. Sewer

- 1.18 8-inch sewer line is available for connection by this project in Canwood Street. [Ref. Sewer Plan Dwg # C02-190.]
- 1.19 Applicant shall use existing laterals, whenever provided, for connection to the public sewer system.

D. Water

- 1.20 All water facilities shall be designed to comply with all LVMWD requirements. Final plans must be reviewed and approved by LVMWD and City.

E. Drainage/Hydrology

- 1.21 A hydrology study and drainage analysis, prepared and signed by a Civil Engineer registered in the State of California, in accordance with the Los Angeles County Hydrology Manual, is required. Additional drainage facilities or portions of the site/grading plan may need to be altered as a result of the findings of this study.

F. Stormwater (NPDES)

- 1.22 Prior to the approval of the Grading Plan and issuance of Grading Permits, an Erosion and Sediment Control Plan (ESCP) shall be submitted to and approved by the Engineering Department. The Erosion and Sediment Control Plan shall specifically identify the Best Management Practices (BMPs) that will be implemented on this project, during construction, to reduce the discharge of sediment and other pollutants into the City's storm drain system. Said plan shall ensure, among other things, that the following minimum requirements are effectively implemented at all construction sites:
- Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
 - Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
 - Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
 - Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.
- 1.23 Prior to the approval of the Grading Plan and issuance of Grading Permits, a completed Urban Stormwater Mitigation Plan (USMP) shall be submitted to and approved by, the Engineering Department. The USMP shall be prepared per the Los Angeles County Standard Urban Stormwater Mitigation Plan (SUSMP) design guidelines. SUSMP shall identify, among other things, all Post-Construction, Site Design, Source Control and Treatment Control Best Management Practices (BMPs) that will be incorporated into the development project in order to minimize the adverse effects on receiving waters.

- 1.24 All projects that develop one (1) acre or more of total land area, or which are part of a larger phased development that will disturb at least one acre of land, are required to obtain coverage under the State Water Resources Control Board's General Permit For Storm Water Discharges Associated With Construction Activity. Proof of filing a Notice of Intent (NOI) with the State for coverage under this permit is required prior to approval of the grading plan and issuance of grading permits. The applicant shall submit a copy of the Waste Dischargers Identification Number (WDID) for coverage under the General Construction Permit to the Engineering Department.
- 1.25 SWPPP Plan – All projects that develop one (1) acre or more of total land area or which are part of a larger phased development that will disturb at least one acre of land, are required to prepare a Storm Water Pollution Prevention Plan (SWPPP), utilizing the model form in Appendix B of the 2003 CASQA Stormwater BMP Handbook for Construction at: www.cabmphandbooks.com and submit a copy of the plan to the City of Agoura Hills Engineering Department for review. A copy of the adopted SWPPP shall be maintained in the construction site office at all times during construction, and the Site Superintendent shall use the plan to train all construction site contractors and supervisory personnel in construction site Best Management Practices, prior to starting work on the site.

Said plan shall, among other things, ensure that the following minimum requirements are effectively implemented at all construction sites:

- Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
- Construction-related materials, wastes, spills, or residues shall be retained at the project site to avoid discharge to the streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site;
- Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes and covering erosion susceptible slopes.

G. Traffic/Transportation

- 1.26 The applicant shall pay a fair-share equal to 10.6% of the construction costs for the proposed ultimate improvements at the intersection of Kanan Road and Canwood Street to mitigate the traffic impacts resulting from the project. Prior to grading permit issuance, applicant shall submit a deposit in the amount of \$75,000. Any portion of the deposit fee exceeding 10.6% of the actual construction costs for those improvements shall be refunded to the applicant. Applicant's total fair-share shall not exceed \$75,000.

71. PRIOR TO CERTIFICATE OF OCCUPANCY

- 2.01 All remaining fees/deposits required by the Engineering Department must be paid in full.
- 2.02 All requirements including construction of improvements covered in Section 2 must be completed to the satisfaction of the City Engineer.
- 2.03 The Applicant's Engineer shall submit a set of MYLAR, Record (as-built) Drawings, for off-site improvements, to accurately reflect the constructed improvements. This set of Record Drawings reflecting all change orders during construction, must be submitted to the City via City's inspection prior to scheduling of final inspection for acceptance of the improvements. *Please note that no final inspection will be scheduled and subsequently no release of securities, posted for the project if any, will take place unless **MYLAR**, Record (As-built) Drawings, satisfactory to the City, are submitted.*
- 2.04 The applicant shall *record a covenant for continued stormwater maintenance, using City-approved forms*, with the Los Angeles County. An electronic copy of this document is available on the City's website: www.agoura-hills.ca.us.
- 2.05 All monuments shall be set in accordance with the final map, and all centerline ties shall be submitted to the Engineering Department. Any monuments damaged as a result of construction, shall be reset to the City's satisfaction.
- 2.06 Other Conditions: Upon receiving Title Report, if conflicts/issues arise regarding recorded documents over property, applicant shall take all measures necessary, as directed by City Engineer, to resolve said conflicts/issues. All items listed are to be complied with to the satisfaction of the City Engineer in accordance with the applicable provisions of the Agoura Hills Municipal Code.

BUILDING AND SAFETY

72. Per Section 903.2 of Chapter 2 of the Agoura Hills Municipal Code (AHMC), this structure is required to be fire sprinklered.
73. This project must meet all requirements for the fuel modification plan Per Section 704A.6 of Chapter 2 of AHMC.
74. An accessible path of travel must be provided from public right-of-way to the main entrance of the building(s) on site.
75. Please provide number and the location of all accessible and van accessible parking stalls in the project on plan.
76. All exterior materials used for eaves, sidings, porch, patio, carport and other similar structures need to meet the Very High Fire Hazard Severity Zone (VHFHSZ) as outlined in Chapter 2 of Article VIII in the AHMC.
77. As part of the permitting process and prior to permit issuance, two (2) full sets of construction plans, including Structural and Energy calculations, need to be submitted to Building and Safety Department to be reviewed for compliance with the latest adopted codes. Please be advised that this is a preliminary review and does not constitute a final Building and Safety approval.
78. The City Building Code requires that a minimum setback of structure to toe of slope per Agoura Hills Building Code, Sec. 1806.5.3, shall be demonstrated. Minimum setback from a descending slope is $H/2$, ($1/2$ the vertical height of the slope, including portions not on property), or provide the equivalent protection determined by the soils engineer. This deviation will need to be verified by City Soils Engineer and approved by Building Official.
79. Dual pane windows shall be utilized, as required for Fire Zone 4 compliance.
80. Projects shall demonstrate the use of Class-A roofing material.
81. Preliminary and final site plan and construction plan shall show location of A/C condensing units or other HVAC equipment located on or around structure.
82. Building Permits shall not be issued until grading is approved and City, Fire District and all other Departments' requirements have been satisfied.

SPECIAL CONDITIONS

83. On-site decorative paving shall be provided at the driveway entrance serving the site and the walking pathway around the proposed buildings. The color, materials and length of the decorative paving shall be subject to review and approval by the Director of Planning and Community Development.

Conditions of Approval

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84. All transformers, other equipment, and refuse containers shall be screened from view. A plan showing this shall be reviewed and approved by the Director of Planning and Community Development.
85. All parking stalls shall be pinstriped.
86. Lighting requirements shall prohibit any light to shine on the right-of-way and adjacent parcels. The lighting fixtures shall be decorative and subject to the final review and approval of the Director of the Planning and Community Development Department.
87. The applicant shall submit a Landscape Plan, to be reviewed and approved by the Director of the Planning and Community Development Department, addressing all conditioned.

END

DRAFT RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF
SIGN PERMIT CASE NO. 10-SP-048 & VARIANCE CASE NO. 10-VAR-005(A)

Section I. An application was duly filed by In-N-Out Burgers, with respect to the real property located at 28898 Canwood Drive (A.P.N. 2048-011-034) requesting a recommendation of approval of a Sign Program Case No. 10-SP-048 and a Variance Case No. 10-VAR-005(A) to allow larger signs on three elevations of a new building. A public hearing was duly held on May 19th, 2011, at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California on the appeal. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. Pursuant to Section 9655 of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. The proposed sign program, as conditioned, is consistent with the objectives of the Zoning Ordinance regarding the Sign Ordinance and the purposes of the land use district in which the use is located. The sign program preserves and enhances the visual appearance of the City by providing signs that serve both motorists and pedestrians within the project site. The proposed sign program lighting and materials are compatible with the design of the building on the project site.

B. The proposed sign program, as conditioned, is consistent with the development standards of the Freeway Corridor Overlay zone in that the materials and size of the signs are consistent with other wall-mounted signs on buildings with frontage along the freeway. Other businesses share the same color and method of construction both on the north and south sides of the freeway.

C. The proposed sign program, as conditioned, will not be detrimental to the public health, safety, or welfare. All signs will allow for visual clearance for motorists and pedestrians. The project is required to comply with all requirements of the Uniform Building Code and the Agoura Hills Building and Safety Department.

D. The proposed sign program, as conditioned, will comply with each of the applicable provisions of this Zoning Ordinance. The proposed signs, at the exception of the wall-mounted signs, comply with the provisions of the Commercial and Freeway Corridor Overlay District zones in regard to number, placement, and height.

E. That the proposed uses, as conditioned, are consistent with the goals and policies of the General Plan in that the signs are organized in that they are sufficiently separated from each other and are affixed to their own individual architectural feature. The Sign Program is designed to

add identity to the building and not distract from its design. The ground-mounted signs will direct traffic throughout the site and to either driveway. The proposed square footage is in keeping with the building design.

Section IV. Pursuant to Section 9676.2.E. of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The building location is at a considerable distance from the west property line access and above the freeway corridor elevation thereby restricting the visibility of the tenant's identification as viewed from a public right-of-way. In addition, the Sign Ordinance requires that the signage be measured with only 2 dimensions and in this case, the art work (arrow) extends beyond the letters and as a result creates large areas that are not used within the outer limits of the sign copy that must be accounted for. Thus, the overall sign copy exceeds the requirements.

B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. A recently constructed retail store was granted additional and larger, internally lit signs on a tower element for a building built at the same elevation of the freeway corridor and closer to its boundary. The corporation for this project, over the years, has used different versions of the registered trademark and the latest version has been simplified compared to past designs. The wall-mounted signs are built with 8 letters and a logo. The outline of the letters and of the logo totals 15 square feet and 17 square feet respectively which represents half of the maximum required sign for a primary elevation and slightly under the maximum allowed square footage for the freeway facing side. The sign copy would remain larger for the secondary sign. The site is 2.73 acres in area. The proposed combined building sign area, including the monument sign area, menu board and directional sign area total 272 square feet. The total sign area requested is not out of proportion in relation to the overall size of the site in comparison to other sites in the area.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in impractical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. One of the purposes of the City Sign Ordinance is to support and promote viable businesses by allowing signage that provides adequate identification while also promoting and enhancing the quality of the visual environment of the City. Street facing signage would provide the street identification desired by the tenant, and interior facing signs would provide identification for eastbound traffic both on the street and on the freeway.

D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The signage will be integrated in the architecture of the building and not out of proportion with the building elevations walls it is attached to, and would not cause a distraction to vehicular traffic given the distance between the building elevation and the travel lanes.

E. The granting of the Variance will be consistent with the character of the surrounding area. Given the more commercial retail nature of the new businesses along Canwood Street, the additional signage will be in character with a retail zone. The signage will help establish the identity of the building as providing restaurant services for the public at large.

Section V. The Planning Commission hereby makes the following environmental findings and determinations in connection with the approval of the In-N-Out Burger (the "Project"):

- A. Pursuant to California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, City staff prepared an Initial Study of the potential environmental effects of the approval of the In-N-Out Burger as described in the Initial Study (the "Project"). Based upon the findings contained in that Study, City staff determined that there was no substantial evidence that the Project could have a significant effect on the environment and a Mitigated Negative Declaration was prepared.
- B. Thereafter, City staff provided public notice of the public comment period and of the intent to adopt the Mitigated Negative Declaration as required by law. The public comment period commenced on April 7, 2011 and expired on May 9, 2011. Copies of the documents have been available for public review and inspection at the offices of the Department of Community Development, located at City Hall, 30001 Ladyface Court, California, 91301.
- C. Three written comments were received prior to the public hearing and a response to all of the comments made therein was prepared, submitted to the Planning Commission and incorporated into the administrative record of the proceedings.
- D. The Planning Commission has reviewed the Mitigated Negative Declaration and all comments received regarding the Negative Declaration prior to and at the May 19th, 2011 public hearing, and based on the whole record before it, finds that: (1) the Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Negative Declaration reflects the independent judgment and analysis of the Planning Commission.
- E. Based on the findings set forth in this Resolution, the Planning Commission hereby recommends that the City Council adopt the Mitigated Negative Declaration prepared for the Project.

Section VI. Based on the aforementioned findings, the Planning Commission hereby recommends the City Council approve Sign Permit Case No. 10-SP-048 and Variance Case No. 10-VAR-005(A), subject to the attached conditions, with respect to the property described in Section I hereof.

Draft Resolution No. ____

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PASSED, APPROVED, and ADOPTED this 19th day of May, 2011, by the following vote
to wit:

AYES: (0)

NOES: (0)

ABSTAIN: (0)

ABSENT: (0)

Steve Rishoff, Chairperson

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case Nos. 10-SP-048 & 10-VAR-005(A))

STANDARD CONDITIONS

1. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.
2. Except as modified herein, the approval of this action is limited to and requires complete conformation to the Special Conditions stated below.
3. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
4. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
5. Unless the approval is used within two (2) years from the date of City approval, Case Nos. 10-SP-048 and 10-VAR-005 (A) will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
6. The Sign Permit Case No. 10-SP-048 and the Variance Case No. 10-VAR-005 (A) are valid only in conjunction with 10-ZC-003, 10-SPR-004, and 10-VAR-005 (B&C) and the approved Conditions of approval therein.

END

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING APPROVAL OF
VARIANCE CASE NO. 10-VAR-005(B & C)

Section I. An application was duly filed by In-N-Out Burgers, with respect to the real property located at 28898 Canwood Drive (A.P.N. 2048-011-034) requesting a recommendation of approval of a Variance Case No. 10-VAR-005(B & C) to allow a reduced building setback to the freeway corridor and an encroachment of the parking lot in the front landscape planter in excess of 50%. A public hearing was duly held on May 19th, 2011, at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California on the appeal. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. Pursuant to Section 9544.1.A. of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. Because in the Freeway Corridor, the building setback is a function of the height of the building and that because of the building's architectural features, this single-story structure must be setback further than other projects in the same zone. A finding can be made that the unusual shape of the parcel imposes limitations on where the building can be located. Buildings on adjacent properties were built as close as 5 feet from the freeway right-of-way whereas the request is 46 feet instead of 52 feet.

B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. All the buildings located on the south side of Canwood Street, abutting the 101 Freeway are built considerably closer to the Freeway Corridor right-of-way than the Zoning Ordinance permits currently (between 0 and 36 feet). Therefore, the granting of the Variance would not constitute an unfair privilege over the properties in the vicinity. The requested reduction in building setback to the freeway affects only 26 feet of the building which impacts 2.6 % of the entire freeway frontage.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The building height is a function of the architectural style and placement of the mechanical equipment in the ceiling. Lowering the building further would eliminate all opportunities to create an architecturally sound design.

D. The granting of the Variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The single-story building is consistent with other retail structures in the area. The proposed location of the building footprint and parking would allow for pedestrian access, vehicular circulation, hardscape and landscaping as required by the Zoning Ordinance. The building would maintain a minimum distance of 25 feet to the top of the slope, 46 feet to the property line and 75 feet to the freeway travel lanes. The proposed 46 feet allow visibility of the building to the east with sufficient space for sign identification if required. All other building setbacks comply with the underlying zone requirements.

E. The granting of the Variance will be consistent with the character of the surrounding area. The proposed setback will maintain an open view of the distant vistas and the encroachment will still allow for a landscape buffer between the street and the parked vehicles on-site whereas the existing development to the east has very little or no landscape.

Section V. Pursuant to Section 9654.5.B. of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification. The property has 1,000 feet of frontage with depths varying between 10 and 200 feet. Much of the circulation is occurring near the building with the surplus parking lined up along the front of the property as the property narrows to the west causing a necessary encroachment. Nineteen-foot wide finger landscape planters have been provided to compensate for the encroachment and an equal quantity of landscaping encroached upon has been provided elsewhere on the property.

B. The granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. The self-imposed number of parking spaces which need to be served by 26-wide drive aisle cover a large surface area causing the encroachment in the landscape planter to exceed 50% of the length of the parking lot.

C. The strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in impractical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. Although the parking provided exceeds the parking required, the usage of the parking for this use is anticipated to be high both by employees and local and traveling customers. Therefore, providing adequate parking results in less landscaping along the frontage. As conditioned, the minimum required tree canopy coverage will be provided as well as screening between the right-of-way and the parking lot.

D. The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. Despite the reduction in landscape planter width, the planter size provides sufficient space for various types of landscaping which comply with commercial properties landscaping requirements

including, reducing the heat island effect, blocking headlights, screening structures and controlling noise and pollution. The project remains one of the parcels with the most frontage landscaping of all the parcels on the south side of Canwood Street.

E. The granting of the Variance will be consistent with the character of the surrounding area. The new landscaping surpasses the total on-site landscape coverage all the parcels along Canwood Street, west of Kanan Road. As conditioned, split rail fencing and berming combined with the landscaping along the street frontage will help modulate the reduced width of the planting.

Section IV. The Planning Commission hereby makes the following environmental findings and determinations in connection with the approval of the In-N-Out Burger (the "Project"):

- A. Pursuant to California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, City staff prepared an Initial Study of the potential environmental effects of the approval of the In-N-Out Burger as described in the Initial Study (the "Project"). Based upon the findings contained in that Study, City staff determined that there was no substantial evidence that the Project could have a significant effect on the environment and a Mitigated Negative Declaration was prepared.
- B. Thereafter, City staff provided public notice of the public comment period and of the intent to adopt the Mitigated Negative Declaration as required by law. The public comment period commenced on April 7, 2011 and expired on May 9, 2011. Copies of the documents have been available for public review and inspection at the offices of the Department of Community Development, located at City Hall, 30001 Ladyface Court, California, 91301.
- C. Three written comments were received prior to the public hearing and a response to all of the comments made therein was prepared, submitted to the Planning Commission and incorporated into the administrative record of the proceedings.
- D. The Planning Commission has reviewed the Mitigated Negative Declaration and all comments received regarding the Negative Declaration prior to and at the May 19th, 2011 public hearing, and based on the whole record before it, finds that: (1) the Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Negative Declaration reflects the independent judgment and analysis of the Planning Commission.
- E. Based on the findings set forth in this Resolution, the Planning Commission hereby recommends that the City Council adopt the Mitigated Negative Declaration prepared for the Project.

Section VII. Based on the aforementioned findings, the Planning Commission hereby recommends the City Council approve Variance Case No. 10-VAR-005(B & C), subject to the attached conditions, with respect to the property described in Section I hereof.

Draft Resolution No. ____

Page 4 of 4

PASSED, APPROVED, and ADOPTED this 19th day of May, 2011, by the following vote
to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Steve Rishoff, Chairperson

Doug Hooper, Secretary

CONDITIONS OF APPROVAL
(Case No. 10-VAR-005(B & C))

STANDARD CONDITIONS

1. This action shall not be effective for any purpose until the applicant has agreed in writing that the applicant is aware of, and accepts all Conditions of this Permit with the Department of Planning and Community Development.
2. Except as modified herein, the approval of this action is limited to and requires complete conformation to the Special Conditions stated below.
3. It is hereby declared to be the intent that if any provision of this Permit is held or declared to be invalid, the Permit shall be void and the privileges granted hereunder shall lapse.
4. It is further declared and made a Condition of this action that if any Condition herein is violated, the Permit shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days.
5. Unless the approval is used within two (2) years from the date of City approval, Case No. 10-VAR-005 (B & C) will expire. A written request for a one (1) year extension may be considered prior to the expiration date.
6. The Variance Case No. 10-VAR-005 (B & C) is valid only in conjunction with 10-ZC-003, 10-SPR-004, and 10-VAR-005 (A) and the approved Conditions of approval therein.

END

DRAFT RESOLUTION NO. _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF AGOURA HILLS
RECOMMENDING THE CITY COUNCIL APPROVE
ZONE CHANGE CASE NO. 10-ZC-003

THE PLANNING COMMISSION OF THE CITY OF AGOURA HILLS HEREBY FINDS,
RESOLVES, AND ORDERS AS FOLLOWS:

Section I. An application was duly filed by In-N-Out Burgers with respect to the real property located at 28898 Canwood Drive (A.P.N. 2048-011-034) shown on Exhibit "A" requesting a recommendation of approval of a Zone Change to change the zone from BP-M-FC (Business Park-Manufacturing – Freeway Corridor Overlay) to CRS-FC (Commercial Retail Service-Freeway Corridor Overlay) to conform to the adopted General Plan designation. A public hearing was duly held on May 19th, 2011 at 6:30 p.m. in the City Hall Council Chambers, City Hall, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

Section II. Evidence, both written and oral, was duly presented to and considered by the Planning Commission at the aforesaid public hearing.

Section III. Pursuant to Section 9672 of the Agoura Hills Zoning Ordinance, the Planning Commission finds that:

A. The proposed Zone Change is necessary to carry out the City's desire to develop the project as a retail services-oriented neighborhood given its proximity to the freeway and commercial centers.

B. The proposed Zone Change will be consistent with the proposed General Plan designation of the subject property in that both the Zoning and the General Plan will provide for a Commercial Retail Service use.

C. The proposed Zone Change to CRS will potentially broaden the City's economic base in that the Zone Change will provide for a wider range of commercial land uses.

D. The project provides employment, maintains a professional identity, and is incorporated into its surrounding and has exceeded the minimum development standards established by the Zoning Ordinance.

Section IV. The Planning Commission hereby makes the following environmental findings and determinations in connection with the approval of the In-N-Out Burger (the "Project"):

A. Pursuant to California Environmental Quality Act ("CEQA") and the City's local CEQA Guidelines, City staff prepared an Initial Study of the potential environmental effects of the approval of the In-N-Out Burger as described in the Initial Study (the "Project"). Based upon the findings contained in that Study,

City staff determined that there was no substantial evidence that the Project could have a significant effect on the environment and a Mitigated Negative Declaration was prepared.

- B. Thereafter, City staff provided public notice of the public comment period and of the intent to adopt the Mitigated Negative Declaration as required by law. The public comment period commenced on April 7, 2011 and expired on May 9, 2011. Copies of the documents have been available for public review and inspection at the offices of the Department of Community Development, located at City Hall, 30001 Ladyface Court, California, 91301.
- C. Three written comments were received prior to the public hearing and a response to all of the comments made therein was prepared, submitted to the Planning Commission and incorporated into the administrative record of the proceedings.
- D. The Planning Commission has reviewed the Mitigated Negative Declaration and all comments received regarding the Negative Declaration prior to and at the May 19th, 2011 public hearing, and based on the whole record before it, finds that: (1) the Negative Declaration was prepared in compliance with CEQA; (2) there is no substantial evidence that the Project will have a significant effect on the environment; and (3) the Negative Declaration reflects the independent judgment and analysis of the Planning Commission.
- E. Based on the findings set forth in this Resolution, the Planning Commission hereby recommends that the City Council adopt the Mitigated Negative Declaration prepared for the Project.

Section V. Based on the aforementioned findings, the Planning Commission hereby recommends the City Council approve Zone Change 10-ZC-003 and Ordinance No. 11-____ and the Mitigated Negative Declaration and Monitoring Plan, with respect to the property described in Section I hereof.

PASSED, APPROVED, and ADOPTED this 19th day of May, 2011 by the following vote to wit:

AYES: (0)
NOES: (0)
ABSTAIN: (0)
ABSENT: (0)

Steve Rishoff, Chairperson

Doug Hooper, Secretary

ORDINANCE NO. 11-__

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF AGOURA HILLS, CALIFORNIA, APPROVING A ZONE CHANGE (CASE NO. 10-ZC-003)

THE CITY COUNCIL OF THE CITY OF AGOURA HILLS DOES ORDAIN AS FOLLOWS:

WHEREAS, an application for a recommendation of approval of a zone change was duly filed by In-N-Out Burgers to rezone the properties shown on Exhibit "A". The property (A.P.N. 2048-012-022) is currently zoned BP-M-FC (Business Park-Manufacturing-Freeway Corridor) and the General Plan designation is CG. The request is to conform to the General Plan designation and change the zoning classification to CRS (Commercial Retail/Service).

WHEREAS, the City Planning Commission held a public hearing on the Mitigated Negative Declaration on May 5th, 2011 in the City Council Chambers, at which public comments were received, and the Planning Commission made the following recommendations to City Council: recommend approval of the Mitigated Negative Declaration and adopt the Mitigation Monitoring and Reporting Program (MMRP).

WHEREAS, a duly noticed public hearing was held on _____ at 6:00 p.m. in the City Hall Council Chambers, 30001 Ladyface Court, Agoura Hills, California. Notice of the time, date, place and purpose of the aforesaid hearing was duly given.

WHEREAS, evidence, both written and oral, was duly presented to and considered by the City Council of the City of Agoura Hills at the aforesaid public hearing.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Agoura Hills hereby finds, per Section 9672 of the City of Agoura Hills Zoning Ordinance that:

1. The proposed Zone Change is necessary to carry out the City's desires to develop the subject area as a retail services-oriented neighborhood given its proximity to the freeway.
2. The proposed Zone Change will be a transitional use between the industrial park and the freeway corridor.
3. The proposed Zone Change is necessary to implement the General Plan.

Based upon the aforementioned findings, the City Council hereby approves the request for an amendment to the Zoning Map.

PASSED, APPROVED, AND ADOPTED this _____, by the following vote to wit:

AYES: ()
NOES: ()
ABSENT: ()
ABSTAIN: ()

Harry Schwarz, Mayor

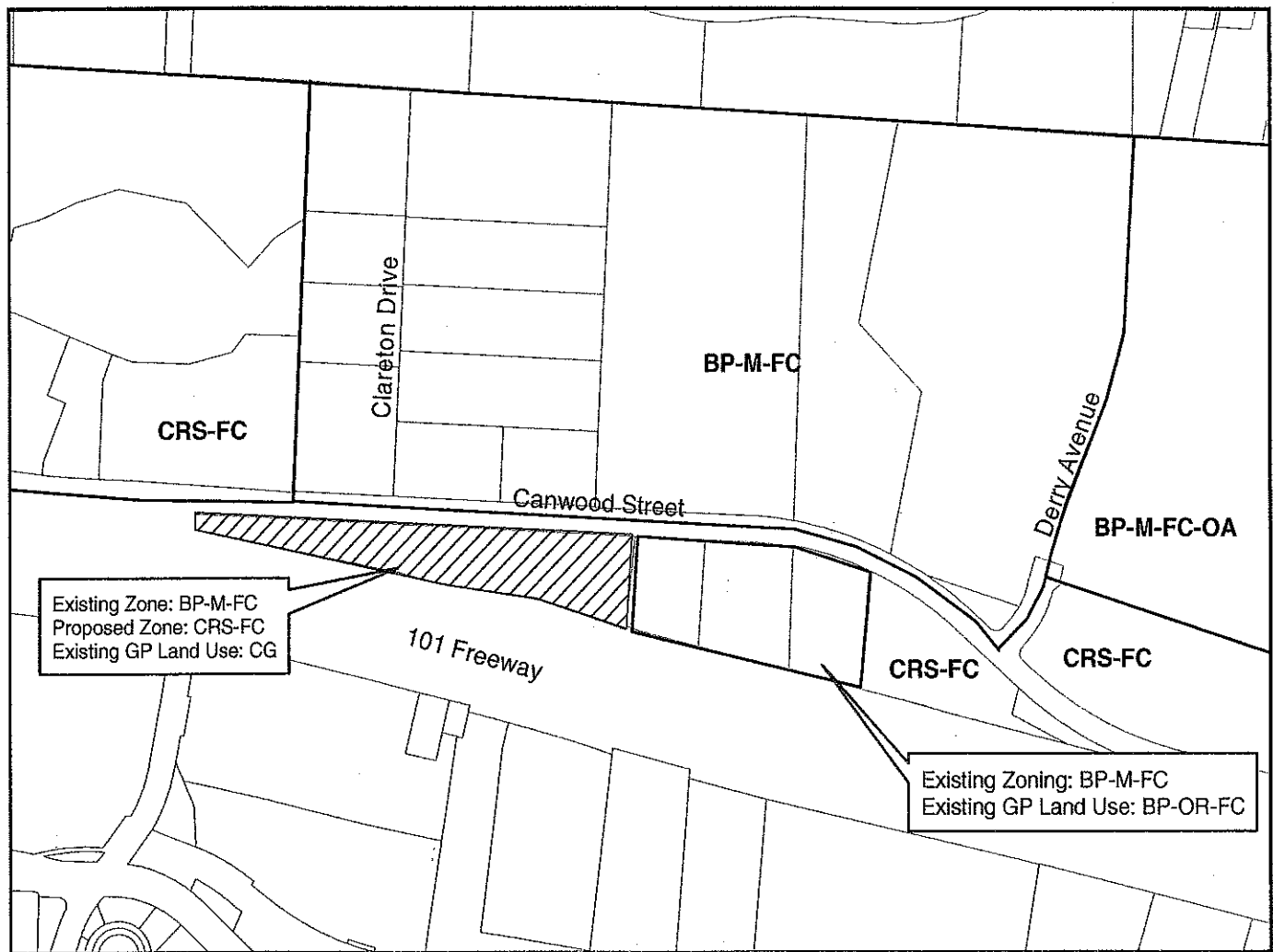
ATTEST:


Kimberly M. Rodrigues, City Clerk

APPROVED AS TO FORM:

Craig A. Steele, City Attorney

Exhibit A
ZONE CHANGE—CASE NO. 10-ZC-003



 Parcel subject to the Zone Change





SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT A

Applicant's Burden of Proof

VARIANCES
BURDEN OF PROOF FORM

In addition to the information required in the application, the applicant shall substantiate, in writing, the following required findings of fact to the satisfaction of the Director. Please provide detailed answers and use additional sheets of paper, as necessary.

- 1. That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification;

Variations are being requested from the following Zoning Ordinances. 1. Zoning Ordinance 9544.1.A
to locate the In-N-Out Building less than 56 feet from the freeway right-of-way; 2. Zoning Ordinance
9655.5.F.2.iii to allow the In-N-Out monument sign to exceed the maximum height of 6 feet; 3. Zoning
Ordinance 9655.8.B.1.j and k to allow the In-N-Out wall signs on the west and south facades to
exceed the maximum sign area of 10 square feet and 25 square feet respectively; and 4. Zoning
Ordinance 9654.5 to allow the parking spaces to encroach 10 feet into the required 20 foot landscape
planter located along the street frontage (north property line).
.....

.....
1. Zoning Ordinance 9544.1.A - The 2.73 acre site has a triangular configuration. The eastern
property line is 233.87 feet, the north property line is 1084.39 feet, the south property line is 1088.84
feet, and the site tapers to the west property line of 11.18 feet. Due to the shape of the site, the
In-N-Out building was located in the widest portion of the site. Due to the building size and
operational requirements of the drive-thru the building can only be located a minimum of 43 feet from
the south property line. The building directly adjacent to the east property line of the site is located
less than four (4) feet from the south property line.
.....

.....
----- (See Attached Sheet for Continuation) -----
.....

CONTINUATION SHEET

2. Variance from Zoning Ordinance 9655.5.F.2.iii. – The In-N-Out monument sign is 6' 6" tall with an area of 14.5 square feet. Exceeding the maximum height of 6 feet as required by the zoning ordinance is due to the unusual configuration of the In-N-Out logo. The sign area of the monument sign is less than one-third of the signage area allowed by the zoning ordinance. In addition the City no longer allows freeway oriented pylon signs to identify the site, of which one is enjoyed by the property west of the subject site.
3. Variance from Zoning Ordinance 9655.8.B.1.j – In-N-Out has developed a signage program for their buildings which is compatible and proportional to the proposed architectural style and massing of the building. Each In-N-Out wall sign is 41.6 square feet including the text and logo. A 10 square foot sign on the west elevation of the building would not be compatible and proportional to the architectural style and massing of the building. Due to the shape of the site, the sign on the west elevation of the building is necessary as it would be the only building sign visible to customers headed east bound on Canwood Street. Since the site would not be entitled to a freeway oriented pylon sign, as enjoyed by the property west of the subject site, the additional sign area would help identify the In-N-Out location to customers heading east bound on both Canwood Street and the Ventura Freeway.

Variance from Zoning Ordinance 9655.8.B.1.k - In-N-Out has developed a signage program for their buildings which is compatible and proportional to the proposed architectural style and massing of the building. Each In-N-Out wall sign is 41.6 square feet including the text and logo. Due to the unusual configuration of the site and the location of the building on the adjacent property to the east, visibility of the In-N-Out building and the freeway facing signage will be severely obstructed to west bound vehicles on the Ventura Freeway. Since the site would not be entitled to a freeway oriented pylon sign, as enjoyed by the property west of the subject site, the additional sign area would help identify the In-N-Out location to customers headed west bound on the Ventura Freeway.

4. Variance from Zoning Ordinance 9654.5 – Due to the shape of the site ten (10) feet of parking spaces encroach within the required 20 foot landscaped planters adjacent to the public street and highway. The site as designed will have landscape coverage of approximately 45.47%. This is almost three times the minimum landscape requirement of the Municipal Code.

2. That the granting of the Variance will not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated;

1. Variance from Zoning Ordinance 9544.1.A - The granting of the Variance will not constitute a grant of special privileges as the shape of the site severely limits the development of the site. Compliance with the strict letter of the noted zoning ordinance would increase the limits on the development. Additionally the building directly east of the subject site is located less than four (4) feet from the freeway right-of-way.

2. Variance from Zoning Ordinance 9655.5.F.2.iii - The granting of the Variance will not constitute a grant of special privileges as the monument sign only exceeds the zoning ordinance height limitation by six inches, the additional height is due to the unusual shape of the In-N-Out logo, and the monument sign area is 14.5 square feet which is less than one-third of the monument signage area allowed by the zoning ordinance.

3. Variance from Zoning Ordinance 9655.8.B.1.j & Zoning Ordinance 9655.8.B.1.k - The granting of the Variance will not constitute a grant of special privileges as the requested signage areas are compatible and in proportion (two primary goals of the zoning ordinance) to the architecture of the building. In addition these signs would assist customers on the adjacent streets and the Ventura Freeway to locate the In-N-Out Restaurant as the project is not entitled to a freeway oriented pylon sign, as enjoyed by the project west of the project site.

4. Variance from Zoning Ordinance 9654.5 - The granting for the Variance will not constitute a grant of special privileges as the shape of the site severely limits the development of the site. The ordinance allows the Planning Commission the discretion to grant this request due to the irregular lot configuration.

3. That the strict interpretation and enforcement of the provisions of the Zoning Ordinance would result in practical difficulty or unnecessary hardship inconsistent with the objectives of the Zoning Ordinance;

1. Variance from Zoning Ordinance 9544.1.A - Due to the irregular configuration of the site strict interpretation and and enforcement of the provision of the Zoning Ordinance would result in practical difficulty inconsistent with the objectives of the Zoning Ordinance. The In-N-Out building was located at the widest portion of the site and positioned to efficiently use the site and meet the operational needs of In-N-Out's drive thru business. In-N-Out has taken great care in designing their building footprint to operate with high efficiency.

2. Variance from Zoning Ordinance 9655.5F.2.iii - The strict interpretation and enforcement of the Zoning Ordinance would result in practical difficulty and unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. With the exception of the additional 6 inches of height the In-N-Out meets all of the requirements of the City's sign ordinance. In-N-Out is a privately owned family business and their signs have been designed as an integral part of their operation. As such changes to the size of the signs would require In-N-Out to have new molds created, at great expense, to manufacture signs just for this particular location.

3. Variance from Zoning Ordinance 9655.8.B.1.j & Zoning Ordinance 9655.8.B.1.k - The strict interpretation and enforcement of the Zoning Ordinance would result in practical difficulty and unnecessary hardship inconsistent with the objectives of the Zoning Ordinance. The proposed wall signs meet the Intent of the sign ordinance, as listed in section 9655. The size of the wall signs have been designed to be compatible and in proportion to the scale and architecture of In-N-Out's building. In-N-Out is a privately owned family business and their signs have been designed as an

(See Attached Sheet for Continuation)

4. Variance from Zoning Ordinance 9654.5

9654.5. Parking Lot Landscaping.

- A. *Purpose.* The intent and purpose of this section is to provide attractive landscaping by regulating the size, placement, and design of said landscaping. Parking area landscaping is intended to enhance the visual environment, promote public safety, moderate the temperature, and reduce noise and glare.
- B. *Area requirements.* Fifteen (15) percent of the total parking area, including the driveway areas, shall be landscaped. Such landscaped areas shall be distributed throughout the entire parking area, as evenly as possible, in a manner approved by the director of planning and community development.

In addition, except for approved access ways, a twenty-foot-wide fully landscaped planter shall be provided along the full property lines adjacent to any public or private street or highway whenever the parking area abuts a public or private street. The planning commission may allow for up to ten (10) feet of parking space encroachment within this landscape planter where it can be adequately demonstrated that the encroachment is necessitated due to on-site design constraints such as irregular lot configurations or parcel size, or would result in an improved site design. No more than fifty (50) percent of the length of the required twenty-foot-wide fully landscaped planter located along the full property lines adjacent to a public or private street or highway may be encroached upon. Any reduction in the landscape area due to parking encroachment shall be substituted for an equal amount of landscaping elsewhere on the property.

A variance is being requested to allow ten (10) feet of parking space encroachment within the landscaped planters adjacent to the public street and highway due to the irregular lot configuration. The site as designed will have landscape coverage of approximately 45.47%. This is almost three times the minimum landscape requirement of the Municipal Code.

4. That the granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity; and

1. Variance from Ordinance 9544.1.A - The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. Due to the irregular shape of the site the In-N-Out building was located in the widest portion of the site and In-N-Out has proposed a design which will meet their high standards of quality, both in design and operation of the project.

2. Variance from Zoning Ordinance 9655.5.F.2.iii - The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The request is for a 6 inches of addition height above the maximum height requirement of 6 feet due to the unusual shape of the In-N-Out logo.

3. Variance from Zoning Ordinance 9655.8.B.1.j & Zoning Ordinance 9655.8.B.1.k - The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The request is to allow In-N-Out to install wall signs which are compatible and in proportion to the architectural design of the building.

4. Variance from Zoning Ordinance 9654.5 - The granting of the Variance will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements of the aesthetic value in the vicinity. The site is currently undeveloped. Granting of the Variance would allow development of the site into an In-N-Out restaurant.

CONTINUATION SHEET

3. (continued) integral part of their operation. As such changes to the size of the signs would require In-N-Out to have new molds created, at great expense, to manufacture signs just for this particular location.

4. Variance from Zoning Ordinance 9654.5 – Due to the irregular configuration of the site the strict interpretation and enforcement of the Zoning Ordinance would result in practical difficulty inconsistent with the objectives of the Zoning Ordinance. The eastern property line is 233.87 feet, the north property line is 1084.39 feet, the south property line is 1088.84 feet, and the site tapers to the west property line of 11.18feet. The current site design provides 45.47% of landscape coverage. Strict interpretation of the Zoning Ordinance would make the entire western half of the site undevelopable.

5. That the granting of the Variance will be consistent with the character of the surrounding area.

1. Variance to Zoning Ordinance 9544.1A - Granting of the Variance will be consistent with the character of the surrounding area as it would allow the development of an undeveloped site into an In-N-Out restaurant. The In-N-Out would be setback from the freeway right-of-way a minimum of 43 feet as compared to the existing building on the property directly east of the site, which is less than 4 feet from the freeway right-of-way.

2. Variance to Zoning Ordinance 9655.5.F.2.iii - Granting of the Variance will be consistent with the character of the surrounding area as only a small portion of the monument sign is above the 6 foot maximum height limit and the area of the sign, 14.5 square feet, is less than one-third of the monument signage area allowed by the zoning ordinance.

3. Variance from Zoning Ordinance 9655.8.B.1.j & Zoning Ordinance 9655.8.B.1.k - Granting of the Variance will be consistent with the character of the surrounding area as the proposed signs are compatible and in proportion to the architecture of the building. These signs would assist customers in locating the In-N-Out restaurant when traveling on the Ventura Freeway.

4. Variance from Zoning Ordinance 9654.5 - Granting of the Variance will be consistent with the character of the surrounding area as the project will contain approximately 45% of landscape coverage.

END



SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT B

Vicinity/Zoning Map

City of Agoura Hills

Site Plan/Architectural Review - Case No. 10-SPR-004

Sign Permit - Case No. 10-SP-048

Variance Request - Case No. 10-VAR-005

Zone Change - Case No. 10-ZC-003

Vicinity/Zoning
Map



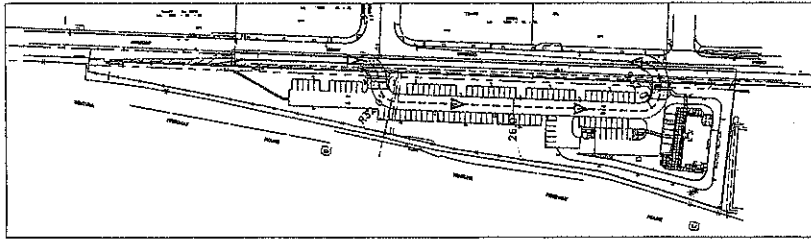
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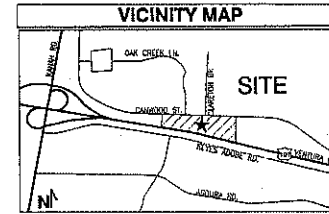
SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT C

Reduced Photocopies of the Plans



FIRE TRUCK ACCESS ROUTE
N.T.S.



PROJECT SUMMARY	
ZONING CLASSIFICATION	
JURISDICTION	CITY OF AGOURA HILLS, CA
EXISTING ZONE	BP-M (BUSINESS PARK-MANUFACTURING DISTRICT)
PROPOSED ZONE	CRS (COMMERCIAL RETAIL/SERVICE)
SITE AREA	
TOTAL NET SITE AREA	108,068 SF (± 2.481 AC)
STREET DEDICATION	10,842 SF (± 0.249 AC)
TOTAL GROSS SITE AREA	118,908 SF (± 2.730 AC)

BUILDING AREA	
IN-N-OUT BURGER	9,854 SF

PARKING SUMMARY			
USER	RATIO REQUIRED	SPACES REQ'D	SPACES
IN-N-OUT BURGER	15 SP/1000 SF (OF SEATING 25' OR WAITING FLOOR AREA-INDOOR-1,639 SF)	25'	95
H/C SPACES			5
TOTAL			100
CAR STACKING IN DRIVE-THRU:			16

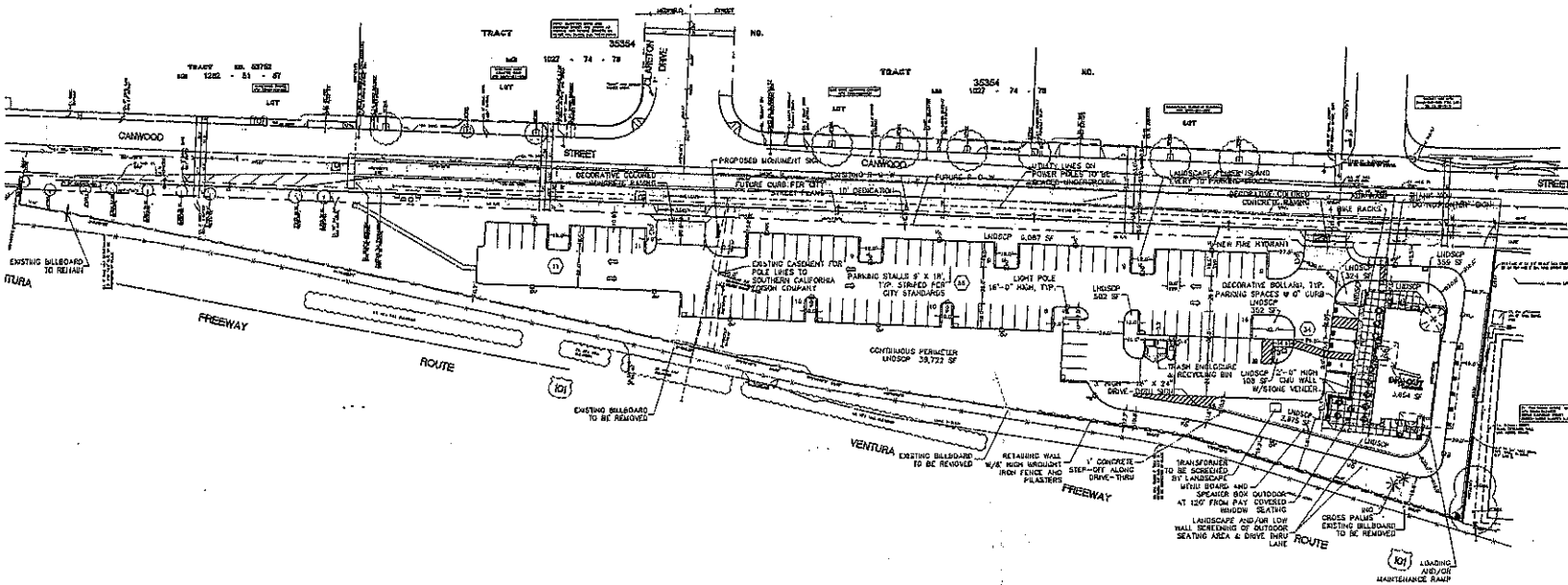
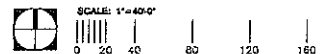
*NOTE: REQUIRED PARKING CALCULATED BASED ON INDOOR SEATING & WAITING AREA ONLY.

BUILDING SETBACKS		
	SETBACK REQ'D	SETBACK PROV'D
FRONT (TO PL)	EQUAL TO BLDG HT., MIN 20'	43.0'
REAR (TO PL)	EQUAL TO BLDG HT., MIN 10'	15.0'
SIDE (TO PL)	0' OR 10' TO RESIDENTIAL OR STREET	45.8'

LANDSCAPE SETBACK		
	SETBACK REQ'D	SETBACK PROV'D
FRONT (TO R-O-W OF CANWOOD ST)	20.0'	10.0'
REAR (TO PL)	20.0'	20.0'
SIDE (TO R-O-W OF HWY 101)	20.0'	10.0'

LANDSCAPE COVERAGE	
LANDSCAPE COVERAGE (TOTAL SITE)	± 50,220 SF (± 48.47%)
PARKING AREA LANDSCAPE COVERAGE (INCL. DRIVEWAYS AND DRIVE-THRU LANE)	± 20,500 SF (± 29.35%)

SITE PLANNER	
SITE DEV. COORDINATOR	DOUG COUPER
CLIENT CONTACT	JOHN PUENTE



LEGAL DESCRIPTION

REFERENCE: FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT DATED FEBRUARY 22, 2010 WITH A COMMITMENT NUMBER OF NCS-30605-LA2. THE FOLLOWING LEGAL DESCRIPTION WAS TAKEN WORD FOR WORD FROM SCHEDULE "A" OF THE REFERENCED TITLE REPORT:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCELS 17, 18, 20 AND 21 OF LICENSED SURVEYORS MAP AS SHOWN ON MAP FILED IN BOOK 16, PAGES 8 AND 9 OF RECORD OF SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY.

EXCEPT THAT PORTION OF LAND LYING SOUTH OF THE NORTH RIGHT OF WAY LINE OF STATE ROUTE 101 (VENTURA FREEWAY) AS DESCRIBED IN DEED RECORDED NOVEMBER 6, 1971, AS INSTRUMENT NO. 2423, IN BOOK D-5248, PAGE 712 OF OFFICIAL RECORDS OF LOS ANGELES COUNTY.

APN 2048-011-034

PROJECT NOTES

THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. SITE SPECIFIC INFORMATION SUCH AS EXISTING CONDITIONS, ZONING, PARKING LANDSCAPE REQUIREMENTS MUST BE VERIFIED.

ALL CURB CUTS AND TRAFFIC SIGNALS SHOWN, EXISTING AND PROPOSED, MUST BE VERIFIED. THIS SITE PLAN IS BASED ON PLAN PREPARED BY MSI ENGINEERING, INC., DATED 10.12.2010.

APPLICANT

IN N OUT BURGER, a CALIFORNIA CORPORATION
JOHN PUENTE
13502 HAMBURGER LANE
BALDWIN PARK, CA 91706
T: 626.813.6299 F: 626.338.6173

ARCHITECT

GREENBERGFARROW
DOUG S. COUPER, SR. SITE DEVELOPMENT COORDINATOR
1920 MAIN STREET, SUITE 1150
IRVINE, CA 92614
T: 949.236.0450 F: 949.236.0478

PROFESSIONAL SEAL



GreenbergFarrow

1620 Main Street, Suite 1150
Irvine, CA 92614
t: 949 236 0450 f: 949 236 0478



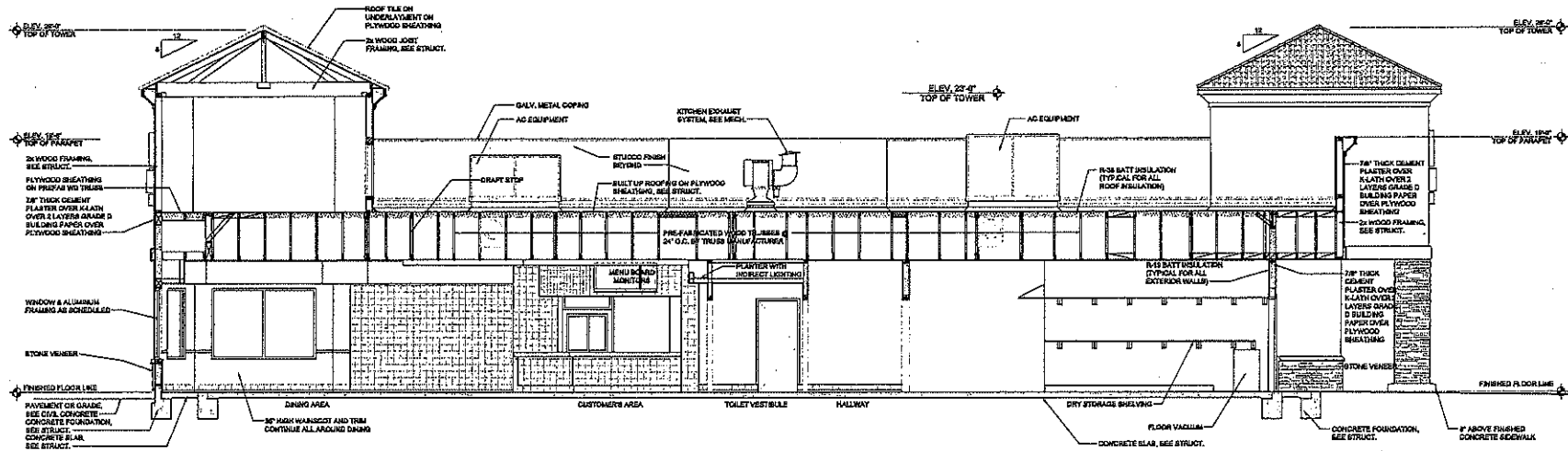
MSI ENGINEERING, INC.
CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
402 WEST ARROW HWY., SUITE 4, SAN DAMAS, CA, 94779
(925) 305-2365 FAX (925) 305-2367

IN-N-OUT BURGER
28898 CANWOOD STREET
AGOURA HILLS, CA

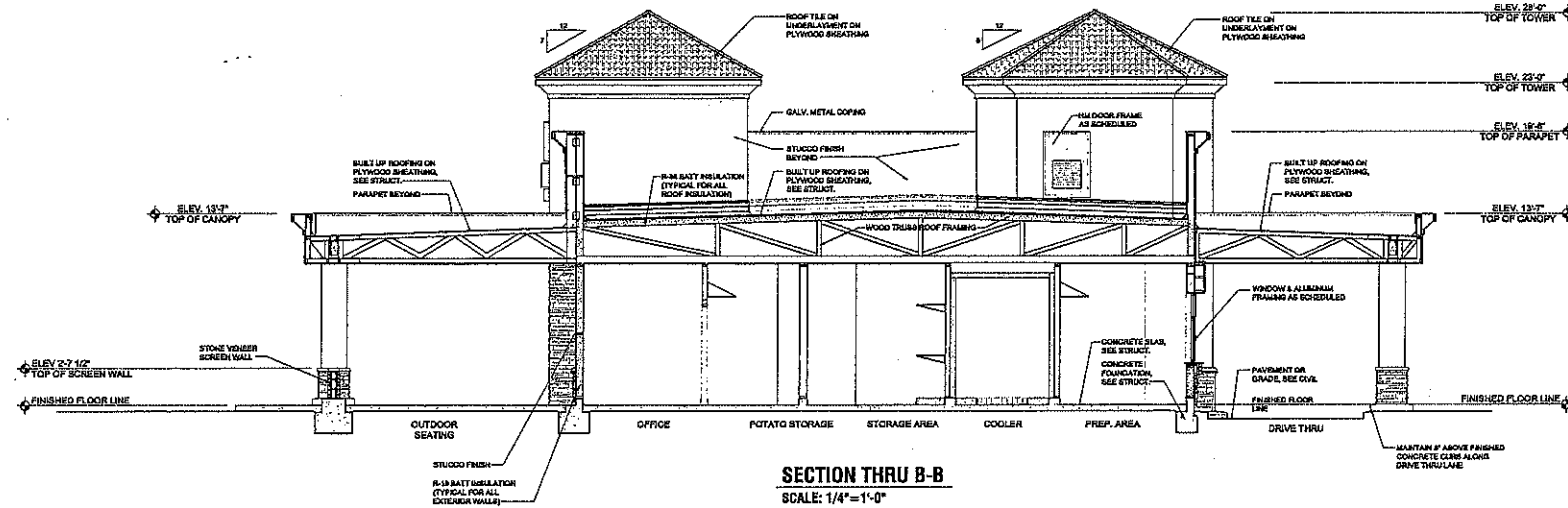
SITE PLAN (SP 24)

2009025.0

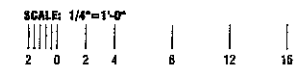
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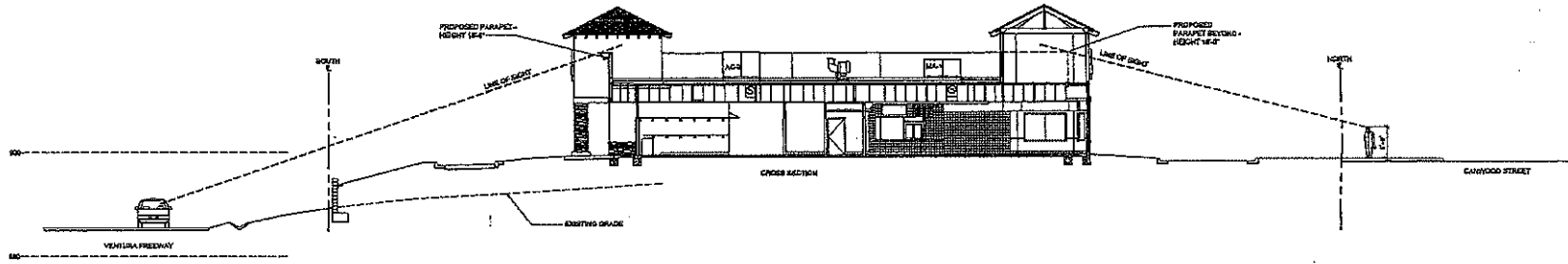


SECTION THRU A-A
SCALE: 1/4"=1'-0"

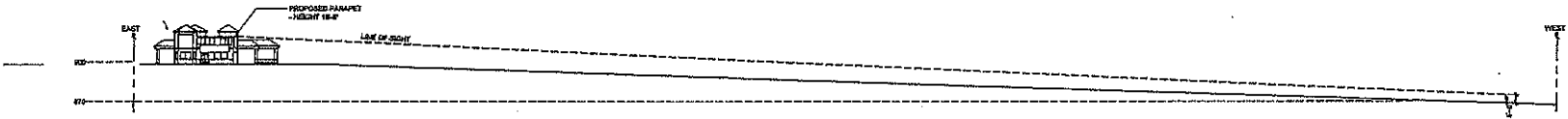


SECTION THRU B-B
SCALE: 1/4"=1'-0"

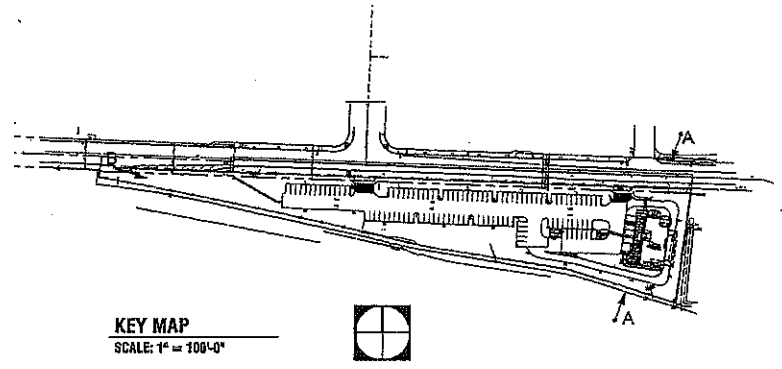




LINE OF SIGHT A-A
SCALE: 1" = 10'-0"



LINE OF SIGHT B
SCALE: 1" = 40'-0"

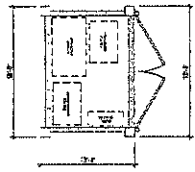


KEY MAP
SCALE: 1" = 100'-0"

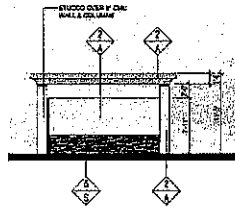
GreenbergFarrow
1920 Main Street, Suite 1150
Irvine, CA 92614
949 236 0450 f 949 236 0479



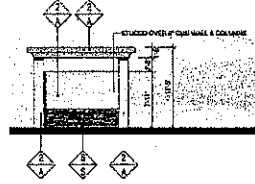
IN-N-OUT BURGER | **LINE OF SIGHT**
28898 CANWOOD STREET
AGOURA HILLS, CA
20090025.0 | 10.15.2010



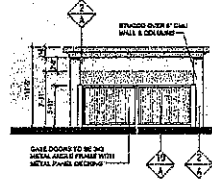
TRASH ENCLOSURE - FLOOR PLAN
SCALE: 1/8"=1'-0"



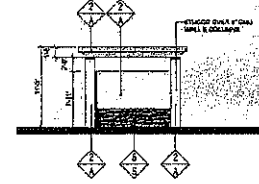
TRASH ENCLOSURE NORTH ELEVATION
SCALE: 1/8"=1'-0"



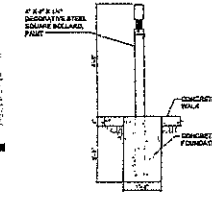
TRASH ENCLOSURE EAST ELEVATION
SCALE: 1/8"=1'-0"



TRASH ENCLOSURE SOUTH ELEVATION
SCALE: 1/8"=1'-0"



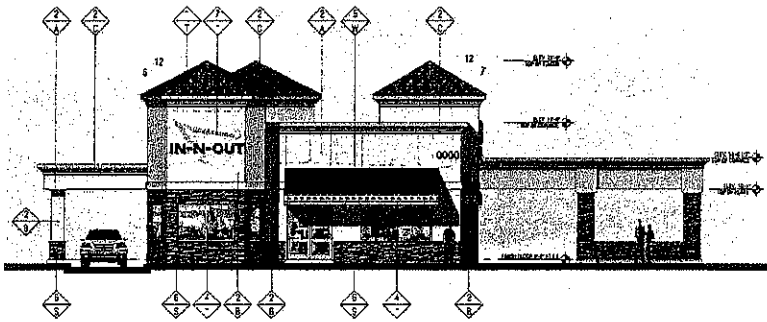
TRASH ENCLOSURE WEST ELEVATION
SCALE: 1/8"=1'-0"



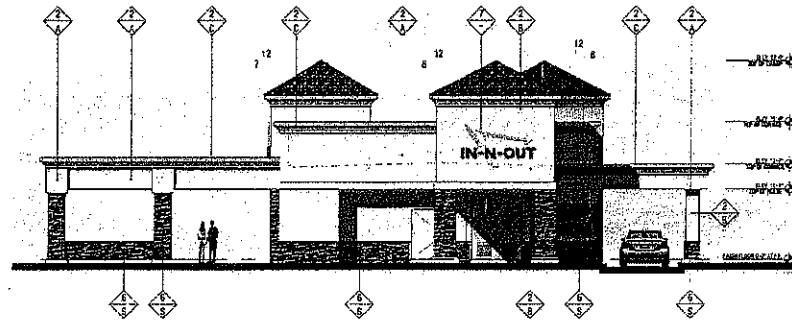
BOLLARD DETAIL
SCALE: 1/2"=1'-0"

FINISH SCHEDULE

- FINISH MATERIAL**
- 1 TILE ROOF
 - 2 STUCCO WITH SAND FLOAT TEXTURE FINISH
 - 3 CLEAR ANODIZED ALUMINUM STOREFRONT DOORS
 - 4 CLEAR ANODIZED ALUMINUM WINDOWS
 - 5 PVC COATED WICK AWNING
 - 6 STONE VENEER WITH MATCHING WAHNSCOT SILL
 - 7 ILLUMINATED LOGO SIGN UNDER SEPARATE PERMIT
 - 8 ACCENT FEATURE W/ TILE
- FINISH COLOR**
- A DUNN EDWARDS - DEW339 - BONE CHINA
 - B DUNN EDWARDS - DEW339 - BONE CHINA
 - C DUNN EDWARDS - DEC715 - SANDAL
- S CORONADO STONE - EASTERN MTN LEDGE - CARMEL
 T EAGLE ROOFING - CAPISTRANO STYLE
 MONTEREY BLEND SCC8807
 W IN-N-OUT CUSTOM COLORS



NORTH ELEVATION
SCALE: 1/8"=1'-0"

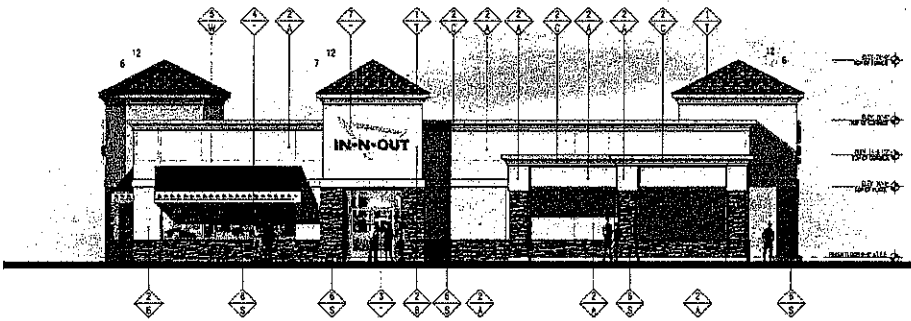


SOUTH ELEVATION
SCALE: 1/8"=1'-0"

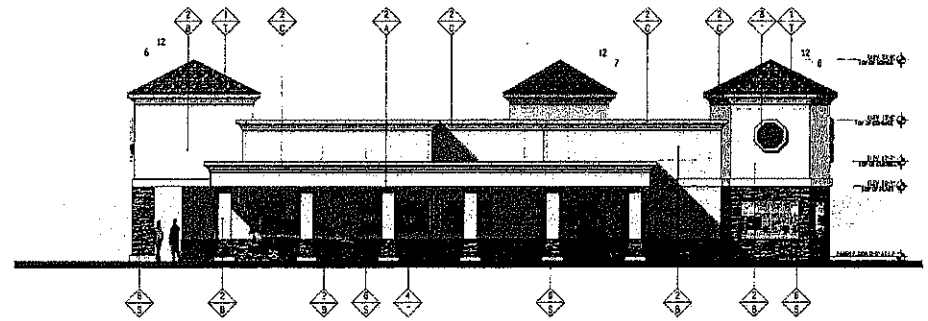
Note:
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.

SCALE: 1/8"=1'-0"

4 0 4 8 16 24 32



WEST ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

GreenbergFarrow

1920 Main Street, Suite 1150
Irvine, CA 92614
C 949 296 0450 F 949 296 0479

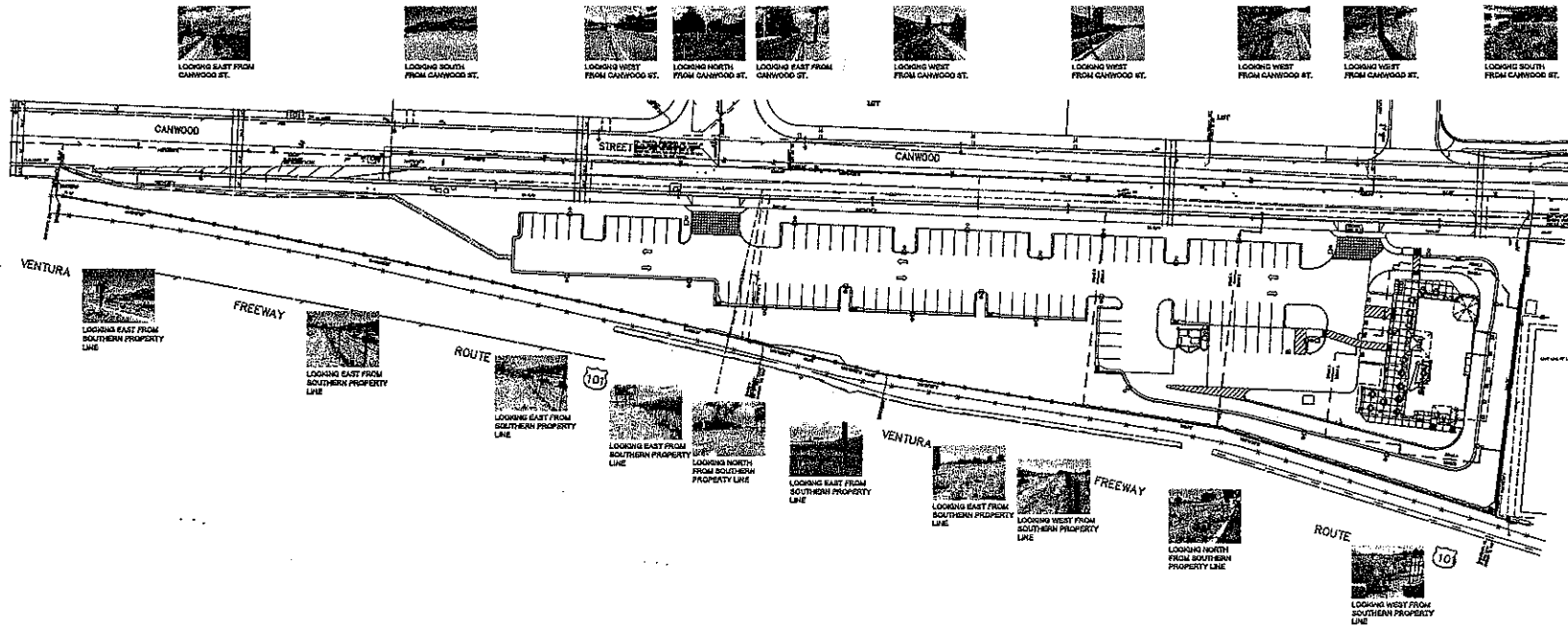


IN-N-OUT BURGER
2889B CANWOOD STREET
AGOURA HILLS, CA

BUILDING & TRASH ENCLOSURE ELEVATIONS

20090025.0

02.15.2011



LOOKING EAST FROM CANWOOD ST.
 LOOKING SOUTH FROM CANWOOD ST.
 LOOKING WEST FROM CANWOOD ST.
 LOOKING NORTH FROM CANWOOD ST.
 LOOKING EAST FROM CANWOOD ST.
 LOOKING WEST FROM CANWOOD ST.
 LOOKING WEST FROM CANWOOD ST.
 LOOKING WEST FROM CANWOOD ST.
 LOOKING WEST FROM CANWOOD ST.
 LOOKING SOUTH FROM CANWOOD ST.

LOOKING WEST FROM CANWOOD ST.
 LOOKING WEST FROM CANWOOD ST.
 LOOKING SOUTH FROM CANWOOD ST.
 LOOKING SOUTHWEST FROM CANWOOD ST.
 LOOKING EAST FROM CENTER OF SITE

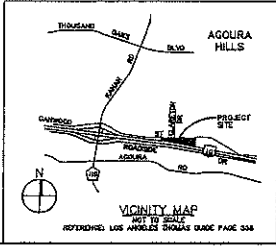
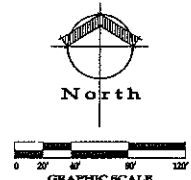
LOOKING EAST FROM SOUTHERN PROPERTY LINE
 LOOKING EAST FROM SOUTHERN PROPERTY LINE

LOOKING EAST FROM SOUTHERN PROPERTY LINE
 LOOKING NORTH FROM SOUTHERN PROPERTY LINE

LOOKING EAST FROM SOUTHERN PROPERTY LINE
 LOOKING EAST FROM SOUTHERN PROPERTY LINE
 LOOKING WEST FROM SOUTHERN PROPERTY LINE

LOOKING NORTH FROM SOUTHERN PROPERTY LINE
 LOOKING WEST FROM SOUTHERN PROPERTY LINE

EXISTING PLANT MATERIAL NOTE:
 A. ALL EXISTING PLANT MATERIAL TO BE REMOVED AND DISPOSAL OF OFFSITE UNLESS OTHERWISE NOTED.
 B. STREET ALONG CANWOOD STREET AND DRIVEWAYS ON SLOPE ADJACENT TO FREEWAY ARE PART OF CALTRANS PROPERTY AND NOT IN SCOPE. THIS PLANT MATERIAL IS TO REMAIN.



IN-N-OUT BURGER
 PREPARED FOR: IN-N-OUT BURGERS (OWNER)
 13522 HAMBURGER LANE
 BALDWIN PARK, CA 91704-6885
 CONTACT: JOHN PUENTE
 PHONE: (626) 613-6688

REVISIONS

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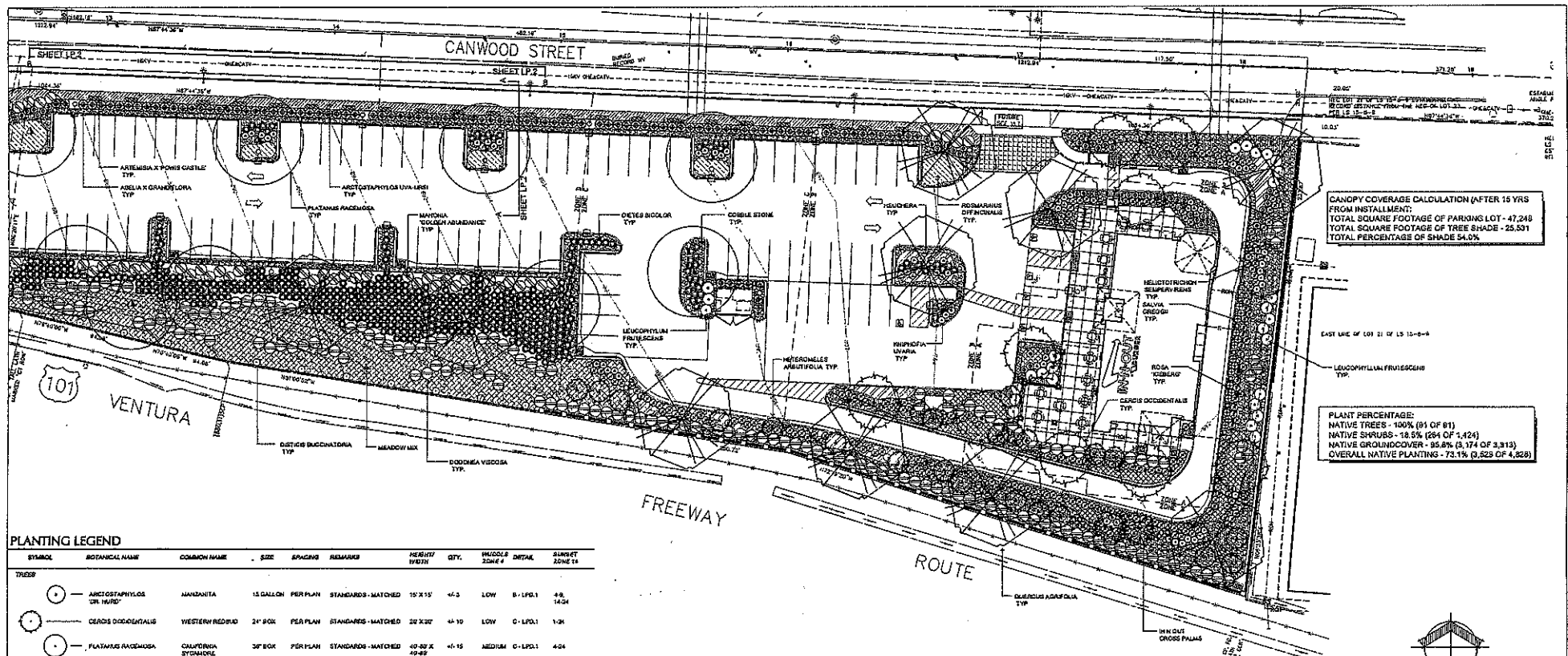
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Integrated Design Group LLP
 LANDSCAPE ARCHITECTURE-PLANNING
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 LIFLAND, CALIFORNIA 91744
 Telephone: 951.945.9001 Fax: 951.944.5422
 www.idgllp.com



IN-N-OUT BURGERS
 28898 CANWOOD STREET
 (SOUTH SIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

EXISTING LANDSCAPE EXHIBIT
 SCALE: 1"=40'
 DATE: 03/02/11



CANOPY COVERAGE CALCULATION (AFTER 15 YRS FROM INSTALLMENT)
 TOTAL SQUARE FOOTAGE OF PARKING LOT - 47,248
 TOTAL SQUARE FOOTAGE OF TREE SHADE - 25,531
 TOTAL PERCENTAGE OF SHADE 54.0%

PLANT PERCENTAGE:
 NATIVE TREES - 100% (91 OF 91)
 NATIVE SHRUBS - 18.5% (264 OF 1,424)
 NATIVE GROUNDCOVER - 95.8% (3,174 OF 3,313)
 OVERALL NATIVE PLANTING - 73.1% (9,525 OF 13,168)

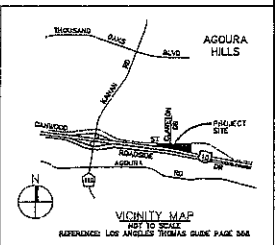
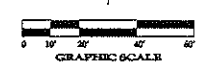
PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	HEIGHT / WIDTH	QTY.	MISC. DETAIL	SUNSET ZONE 14
○	ARTEMISIA X PINNATIFIDA	MANGONITA	15 GALLON	PER PLAN	STANDARDS - MATCHED	10' X 15'	4-3	LOW	B - LPO.1 4-8, 14-24
○	CEADIS DODDONAEALIS	WESTERN REDBUD	24" BOX	PER PLAN	STANDARDS - MATCHED	22' X 30'	4-10	LOW	C - LPO.1 1-9K
○	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	36" BOX	PER PLAN	STANDARDS - MATCHED	40-42 X 40-42	4-15	MEDIUM	C - LPO.1 4-24
○	QUERCUS AGRIFFOLIA	COAST LIVE OAK	36" BOX	PER PLAN	STANDARDS - MATCHED	30" X 30" / 17'	4-18	LOW	C - LPO.1 3-6, 14-24
○	WASHINGTONIA FLAUREA	CALIFORNIA FAN PALM	24" BOX MINIMUM	PER PLAN	SEE TRUNKS TO MAX 3' BELOW HEAD.	50' X 20'	4-2	LOW	D - LPO.1 11-24
○	ABELIA X GRANDIFLORA	SHRUBS ABELIA	5 GALLON	48" O.C.	TRIANGULAR SPACING	3'-4" X 3'-9"	4-133	MEDIUM	B - LPO.1 4-24
○	ARTEMISIA X PINNATIFIDA	SHRUBS MANGONITA	5 GALLON	48" O.C.	TRIANGULAR SPACING	5'-6" X 5'-6"	4-58	LOW	B - LPO.1 6-6, 14-24
○	DETELS BICOLOR	FORTNIGHT LILY	5 GALLON	36" O.C.	TRIANGULAR SPACING	2'-2" X 2'-2"	4-88	MEDIUM	B - LPO.1 4-6, 9, 12-24
○	DODONAEA VISCOSA	PURPLE HOPPED BUSH	5 GALLON	60" O.C.	TRIANGULAR SPACING	12-18 X 12-18	4-179	MEDIUM	B - LPO.1 7-24
○	HELIOTROPION CURVIFOLIUM	BLUE OAT GRASS	5 GALLON	36" O.C.	TRIANGULAR SPACING	2'-3" X 2'-3"	4-21	MEDIUM	B - LPO.1 1-12, 14-24
○	ROSARINUS OFFICINALIS	RED HOT PINKER	5 GALLON	36" O.C.	TRIANGULAR SPACING	2'-2" X 2'-4"	4-58	LOW	B - LPO.1 2-6, 14-24
○	LAVANDULA STOECHAS	SPANISH LAVENDER	5 GALLON	36" O.C.	TRIANGULAR SPACING	2'-3" X 2'-7"	4-53	LOW	B, E - LPO.1 4-24
○	LEUCOPHYLLUM FRUSTRANS	TEXAS RANGER	5 GALLON	60" O.C.	TRIANGULAR SPACING	3' X 3'	4-24	LOW	B, E - LPO.1 7-24
○	MADONIA GOLDEN MARIANNE	OREGON GRAPE	5 GALLON	60" O.C.	TRIANGULAR SPACING	3' X 3'	4-58	MEDIUM	B, E - LPO.1 2-12, 14-24
○	ROSARINUS CALIFORNICA	COFFEESBERRY	5 GALLON	48" O.C.	TRIANGULAR SPACING	5'-12" X 4'-6"	4-61	LOW	B - LPO.1 2-6-10, 14-24
○	ROSA ICEBERG	WINE FLOWERING ROSE	5 GALLON	36" O.C.	TRIANGULAR SPACING	3'-4" X 3'-4"	4-370	MEDIUM	B - LPO.1 1A, 2-24
○	SALVIA DUBLANDII	CLEVELAND SAGE	5 GALLON	36" O.C.	TRIANGULAR SPACING	3'-4" X 2'-2"	4-77	LOW	B - LPO.1 6-6, 9, 12-24
○	SALVIA GRECHNI	RED FLOWERING AUTUMN SAGE	5 GALLON	36" O.C.	TRIANGULAR SPACING	3'-4" X 3'-4"	4-170	LOW	B - LPO.1 6-24

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	HEIGHT / WIDTH	QTY.	MISC. DETAIL	SUNSET ZONE 14
○	ARTEMISIA X PINNATIFIDA	WORM HOOK	5 GALLON	24" O.C.	TRIANGULAR SPACING	2'-3" X 9"	4-90	LOW	B - LPO.1 4-24
○	DETELS BICOLOR	BLOOD RED TRUMPET VINE	15 GALLON	36" O.C.	TRIANGULAR SPACING	12'30" X 12'30"	4-26	MEDIUM	B - LPO.1 8-8, 14-24
○	HELIOTROPION CURVIFOLIUM	TOYON	15 GALLON	PER PLAN	STANDARDS - MATCHED	5'-12" X 5'-10"	4-41	LOW	B - LPO.1 5-6, 14-24
<p>GROUNDCOVER</p> <p>COBBLE STONE AS INDICATED TO BE 6 TO 8" DIA, ROUNDED TIGHTLY INSTALLED, SANDED AND TAMPED. REFER TO CURT LUTY FOR SOURCE AND SCHEDULES.</p> <p>ARTEMISIA X PINNATIFIDA / MADONIA COMPACTA: 1 GALLON 36" O.C. TRIANGULAR SPACING 1' X 3' 4" 4-1,500 LOW A - LPO.1 1-8, 14-24</p> <p>DETELS BICOLOR: 1 GALLON 12" O.C. TRIANGULAR SPACING 6'-12" X 2'-4" 4-1,500 MEDIUM A - LPO.1 4-24</p> <p>HELIOTROPION CURVIFOLIUM: 1 GALLON 18" O.C. TRIANGULAR SPACING 7' X 2' 4-1,089 MEDIUM A - LPO.1 1-6, 14-24</p> <p>ROSARINUS OFFICINALIS / HUNTINGTON BLUE ROSEMARY: 1 GALLON 24" O.C. TRIANGULAR SPACING 18' X 4' 4-1,245 LOW A - LPO.1 4-24</p> <p>CALIFORNIA NATIVE MIX: HYDRANGEA 1 POUND PER 400 SQUARE FEET. CONTAINS: FERTILIZER, MULCH, AND WATERING. REFER TO CURT LUTY FOR SOURCE AND SCHEDULES.</p>									

NOTE: ALL PLANT MATERIAL TAKEN FROM COUNTY OF LOS ANGELES FIRE DEPARTMENT'S FIRE MODIFICATION UNIT APPROVED PLANT LIST. CONTRACTOR SHALL INSTALL 3" OF MULCH (4" IN-OUT APPROVED MULCH) BY ALL AREAS NOT DESIGNED TO RECEIVE ROCK MULCH OR HYDRANGEA.



IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGERS (OWNER)
 15502 HAMBURGER LANE
 BALDWIN PARK, CA 91706-5685
 CONTACT: JOHN PUENTE
 PHONE: (928) 919-8282

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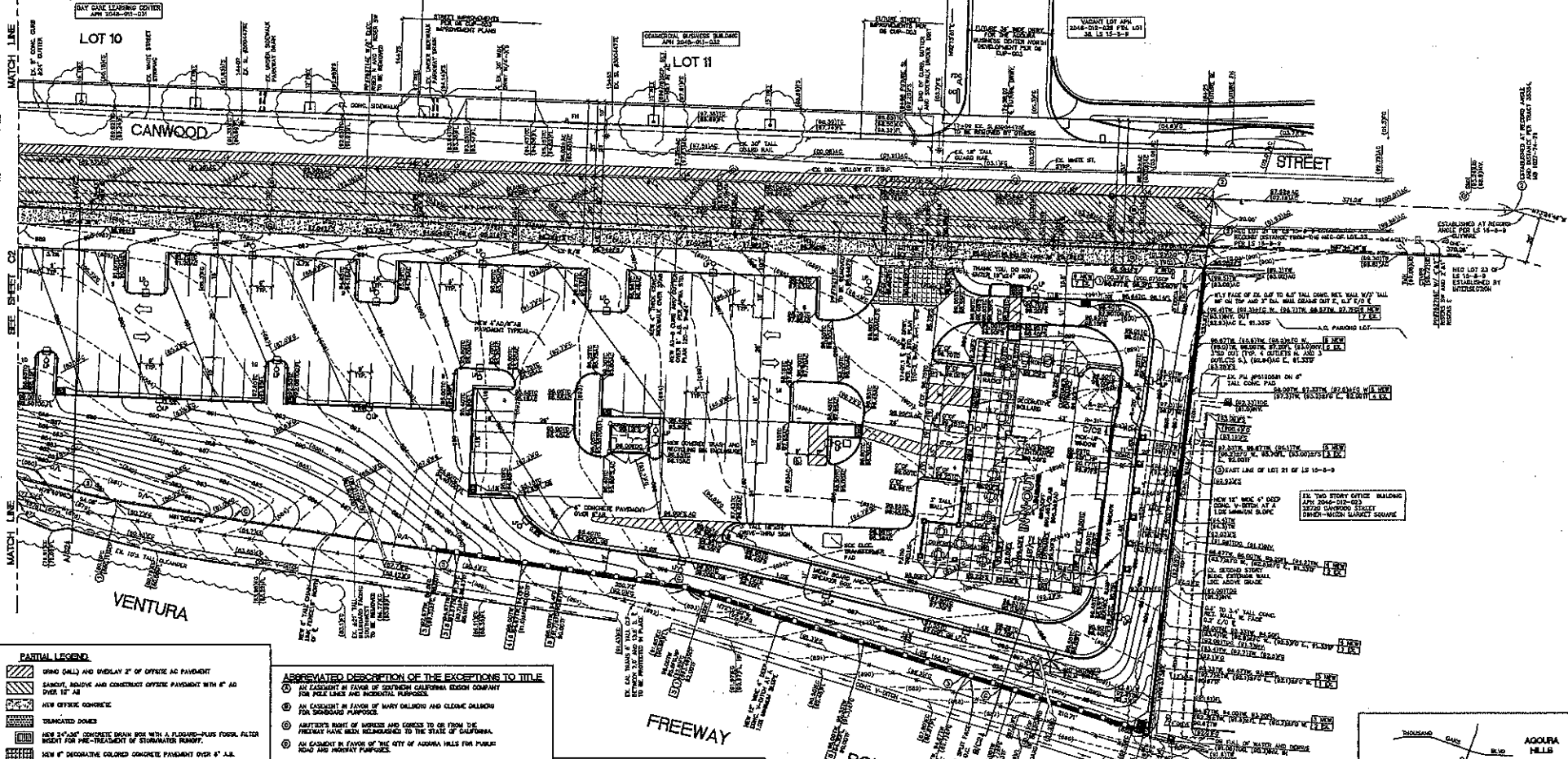
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Integrated Design Group LLP
 LANDSCAPE ARCHITECTURE - PLANNING
 1504 MONTE VISTA AVE. SUITE #5
 LIPLAND, CALIFORNIA 91764
 Telephone: 925-914-6800 Fax: 925-914-6166
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IN-N-OUT BURGERS
 28898 CANWOOD STREET
 (SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

PRELIMINARY LANDSCAPE PLANNING PLAN
 SCALE: 1"=20'
 DATE: 03-02-2011

TRACT NO. 35354
 MB 1027 - 74 - 76



- PARTIAL LEGEND**
- WIND DRILL AND OVERLAY 2" OF OFFSET TO PAVEMENT
 - EASEMENT AND CONSTRUCT OFFSET PAYMENT WITH 4' AIR OVER 10' AIR
 - NEW OFFSET CONCRETE
 - DELINEATED DOMES
 - NEW 24"x24" CONCRETE DRAIN BOX WITH A FLOATING-PLUS FOAM FILTER INSET FOR PRE-TREATMENT OF STORMWATER RUNOFF
 - NEW 4' DIAMETER COLORED CONCRETE PAVEMENT OVER 4" A.S.
 - NEW 1/2" TALL LIGHT POLE
 - NEW 2' TO 10' TALL EXPOSED CAST SPLIT FACE RETAINING WALL WITH A 4' TALL STEEL BEAM ON TOP, NEW 4' TALL 18" X 18" CAST SPLIT FACE PILASTERS AT 10' ON CENTER ALONG THE ENTIRE PROPERTY LINE AS SHOWN
 - PROPOSED 3' HIGH SURFACE DELINEATED SCALE TO CLEAN THE STORMWATER RUNOFF
 - 2x4 FRAMING, SET A 2x4 WOOD STUD AND NAIL IN DIRT ON RECORD PROPERTY CORNER
 - 2x4 FRAMING, SET 2x4 STUD
 - ESTABLISHED AT RECORD ANGLE AND DISTANCE FOR INSTRUMENT MARKING 1/4" STEEL ROD DRIVEN 18" IN FIRM SOIL, MARK IN 18" CIRCULAR DEPRESSION AS SHOWN ON THE STATE OF CALIFORNIA DIVISION OF MINES AND GEOLOGY MAP NUMBER 1-22114 AND 1-22179-2 DATED MAY 14, 1974 FILED AS PL 13017, SHEETS A8 AND A10 OF A18
 - HEIGHT OF EXPOSED RETAINING WALL IN FEET

APPROVED DESCRIPTION OF THE EXCEPTIONS TO TITLE

1. AN EASEMENT IN FAVOR OF BESTWAY CALIFORNIA EGGON COMPANY FOR POLE LINES AND INCIDENTAL PURPOSES.
2. AN EASEMENT IN FAVOR OF MANY DOLLARS AND CLEGG DOLLARS FOR SIGNAGE PURPOSES.
3. ABBOTT'S RIGHT OF BORROW AND CONVEY TO OR FROM THE FREEWAY HAVE BEEN RELINQUISHED TO THE STATE OF CALIFORNIA.
4. AN EASEMENT IN FAVOR OF THE CITY OF AGOURA HILLS FOR PUMP-OUT AND INCIDENT PURPOSES.

CITY ENTITLEMENT CIVIL DRAWING INDEX SHEET

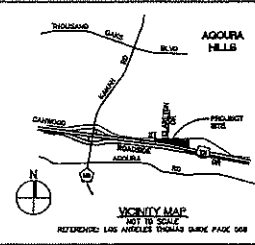
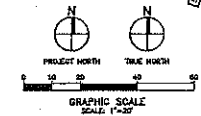
NO.	SHEET TITLE
01	CITY ENTITLEMENT GRADING AND DRAINAGE PLAN-EAST HALF
02	CITY ENTITLEMENT GRADING AND DRAINAGE PLAN-WEST HALF
03	CITY ENTITLEMENT STREET AND STORM DRAIN PLAN-EAST HALF
04	CITY ENTITLEMENT UTILITY AND STORM DRAIN PLAN-WEST HALF
05	CITY ENTITLEMENT EROSION CONTROL PLAN-EAST HALF
06	CITY ENTITLEMENT EROSION CONTROL PLAN-WEST HALF
07	CITY ENTITLEMENT ALTA/A.C.S.M. LAND TITLE SURVEY MAP-EAST HALF
08	CITY ENTITLEMENT ALTA/A.C.S.M. LAND TITLE SURVEY MAP-WEST HALF
09	CITY ENTITLEMENT ALTA/A.C.S.M. LAND TITLE SURVEY MAP-EAST HALF
10	CITY ENTITLEMENT EROSION CONTROL PLAN-EAST HALF
11	CITY ENTITLEMENT EROSION CONTROL PLAN-WEST HALF

SITE EQUIPMENT SCREENING NOTE

LIQUID WASTEWATER SHALL BE TREATED ON THE BASIS OF THE ABOVE GRADE SITE EQUIPMENT BASIS ON THE REQUIREMENTS OF THE COUNTY HEALTH DEPARTMENT. THE USE OF ABOVE GRADE SITE EQUIPMENT INCLUDES BUT ARE NOT LIMITED TO THE USE OF SEPTIC TANKS, SEPTIC SYSTEMS, THE DEPARTMENT COMMERCIAL DOMESTIC WATER SIGHT/LOW DEVICE, AND THE SOLI ELECTRIC TRANSDUCER PUMP.

ENCUMBRANCE AND LOT LINE NOTES

1. REFER TO SHEET 02 FOR A DESCRIPTION OF THE ENCUMBRANCE TO THE SHOWN AS 10, 03 AND 04 HEREON.
2. REFER TO SHEETS 08 AND 09 FOR THE LOCATION OF THE 3 EXISTING RECORD LOT LINES WITHIN THE OVERALL PROPERTY SHOWN AS APR. 2004-01-01-02.



INN-OUT BURGER

PREPARED FOR: INN-OUT BURGER (OWNER)
 13502 HAMBURGER LANE
 BALDWIN PARK, CA 91705-0885
 CONTACT: JOHN PUENTE
 PHONE: (626) 815-8260

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Mark S. Langbein
 MARK S. LANGBEIN R.C.E. 38382 EXP. 03-31-11 DATE



INN-OUT BURGER

28898 CANWOOD STREET
 (SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

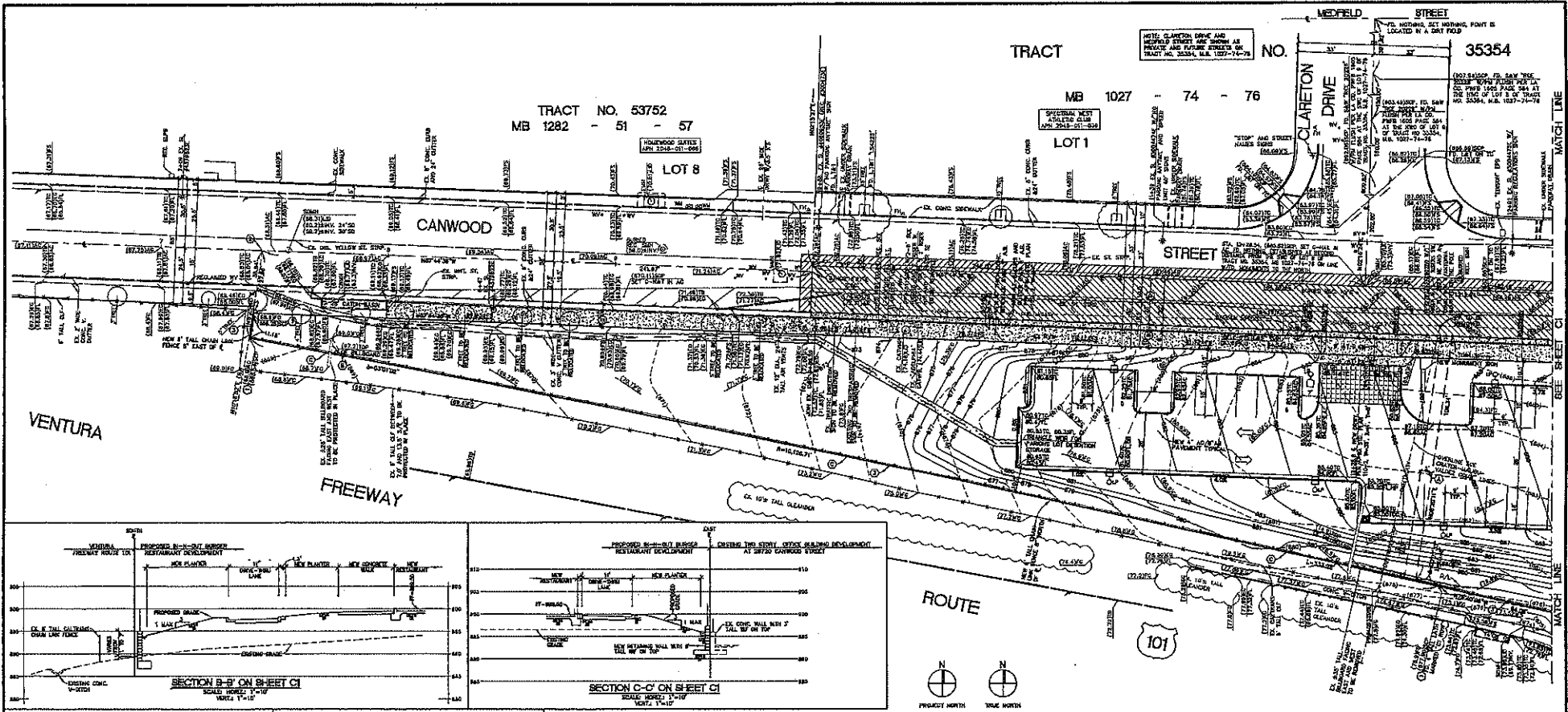
CITY ENTITLEMENT GRADING AND DRAINAGE PLAN-EAST HALF

SCALE: 1"=20'

INO

C1

SHEET 1 OF 11



PARTIAL LEGEND

- GRID (GALL) AND OVERLAY 2" OF OFFICE AC PAVEMENT
- SEALCO, REMOVE AND CONSTRUCT OFFICE PAVEMENT WITH 4" AC OVER 1" OF AS
- NEW OFFICE CONCRETE
- TRUNCATED DORMER
- NEW 24" DIA. CONCRETE BRAM WITH A FLANGE-PLUG FORM, PATCH HOLE FOR PRE-TREATMENT OF STORMWATER RUNOFF.
- NEW 6" DEPRESSIVE COLORED CONCRETE PAVEMENT OVER 4" AS.
- NEW 6" TALL LIGHT POLE
- NEW 6" TO 8" TALL EXPOSED CURB SLAB INCLUDING WALL WITH A 6" TALL TYPED EDGE, FENCE OR TOP, NEW 6" TALL 1/2" DIA. 1/2" FACE FLANGES AT TOP ON CENTER ALONG THE SOUTH PROPERTY LINE AS SHOWN.
- PROPOSED 6" WIDE SURFACE INVOLVED TO CLEAN THE STORMWATER RUNOFF.

PRELIMINARY ESTIMATED ONSITE EARTHWORK QUANTITIES

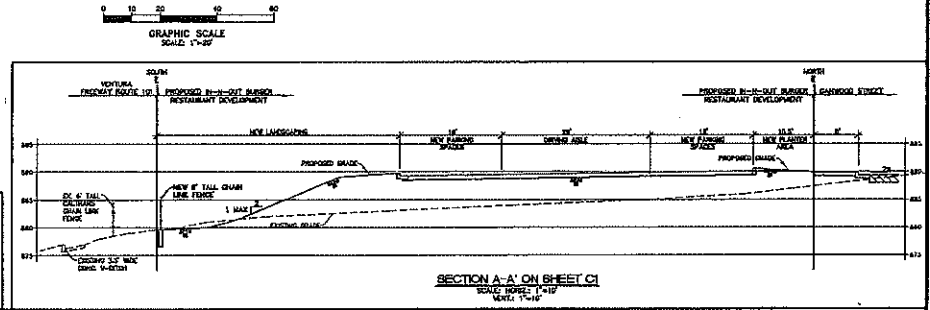
- RAVE CUT (EXCLUDES 700 C.Y. FOOTING EXCAVATION AND UTILITY SPIKES) 200 CU. YDS.
- UNDERSIDEWAY ASSUMED UPPER 4 FEET OF LOOSE SOIL UNDER THE BUILDING AND TRASH ENCLOSURE 710 GRADE (SEE PLAN) 2,000 CUBIC YDS.
- UNDERSIDEWAY AN ASSUMED UPPER 1/2 FEET OF LOOSE SOIL UNDER THE RISE WALL BARRIAGE (AT ADDRESS) 1,140 CU. YDS.
- RAVE CUT 8,000 CU. YDS.
- RAVE CUT 8,000 CU. YDS.
- REINFORCEMENT OF PRECAST CONCRETE WALL DOWNS 3, 3 AND 4 ARMED WITH AN ASSUMED THE SURFACE LAYS 5,000 CU. YDS.
- TOTAL CONCRETE PAV. 1,830 CU. YDS.
- ESTIMATED AMOUNT OF DIRT TO IMPORT TO THE SITE 8,000 CU. YDS.

ENCUMBRANCE AND LOT LINE NOTES

- REFER TO SHEET C FOR A DESCRIPTION OF THE LOCATION TO THE SHOWN AS (A), (B), (C) AND (D) HEREON.
- REFER TO SHEETS 2B AND 2C FOR THE LOCATION OF THE 3 EXISTING RECORD SET LINES WITHIN THE OVERALL PROPERTY SHOWN AS APRN 2018-01-04.

ABBREVIATED DESCRIPTION OF THE EXCEPTIONS TO TITLE

- AN EASEMENT IN FAVOR OF SANDPAPER CALIFORNIA EDISON COMPANY FOR FIRE LINES AND SIGNALING PURPOSES.
- AN EASEMENT IN FAVOR OF SANDPAPER CALIFORNIA EDISON COMPANY FOR SIGNALING PURPOSES.
- AN EASEMENT IN FAVOR OF THE CITY OF AGOURA HILLS FOR PUBLIC ROAD AND HIGHWAY PURPOSES.



IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGER (OWNER)
18602 HAMBURGER LANE
GARDEN PARK, CA 91705-0885
CONTACT: JOHN FLUENTE
PHONE: (818) 819-8288

REVISIONS

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MSL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
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(909) 505-2265 FAX (909) 505-2267

Mark S. Lamoureux
MARK S. LAMOUROUX REG. 24382 EXP. 03-31-11 DATE



IN-N-OUT BURGER
28898 CANWOOD STREET
(SOUTHWEST SIDE OF CANWOOD STREET AT CLARETTON DRIVE)
AGOURA HILLS, CA 91301

CITY ENTITLEMENT GRADING AND DRAINAGE PLAN-WEST HALF
SCALE: 1"=20'
INO

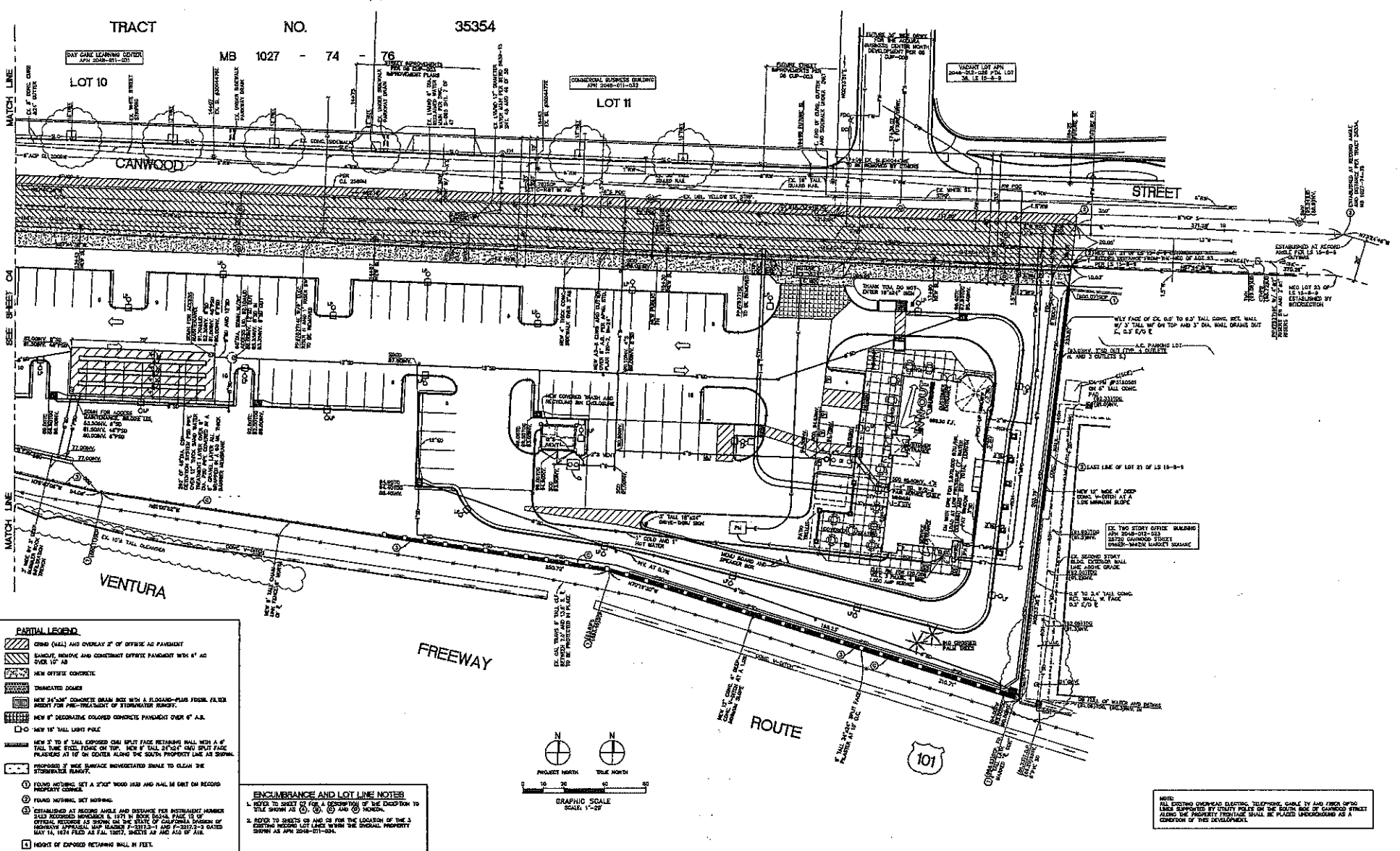
C2
SHEET 2 OF 11

TRACT NO. 35354

MB 1027 - 74 - 76

LOT 10

LOT 11



- PARTIAL LEGEND**
- CRIB (WALL) AND OVERLAY 2" OF OTFITE AS PAVEMENT
 - SANDLOT, REMOVE AND CONCRETE OTFITE PAVEMENT WITH 4" AC OVER 10" AS
 - NEW OTFITE CONCRETE
 - THICKENED CONCRETE
 - NEW 24" W/ 2" CONCRETE DRAIN BOX WITH A FLOODING-PLUG FROM FLOOR READY FOR PRE-TREATMENT OF STORMWATER RUNOFF.
 - NEW 8" DEGRADED COLORED CONCRETE PAVEMENT OVER 4" A.S.
 - NEW 18" TALL LIGHT POLE
 - NEW 2" TO 4" TALL COLORED CRIP GRATE RETURN WALL WITH A 4" TALL LINE STEEL FENCE ON TOP. NEW 4" TALL 24" CRIP GRATE FLASHERS AT 10' ON CENTER ALONG THE SOUTH PROPERTY LINE AS SHOWN.
 - PROPOSED 2" WIDE SURFACE INDICATED TO CLEAN THE STORMWATER RUNOFF.
 - FOUND NOTHING, SET A 4" X 6" WOOD SIGN AND NAIL IN GIRT ON RECORD PROPERTY CORNER.
 - FOUND NOTHING, SET MARKING.
 - ESTABLISHED AT RECORD ANGLES AND DISTANCE FOR INSTRUMENT NUMBER 2322 EXHIBIT REFERENCE IS 1971 IN BOOK 2044 PAGE 15 12 OTHER RECORDS ARE SHOWN IN THE SOUTH CORNER OF THE PROPERTY APPLICABLE MAP PLANS P-23113-1 AND P-23113-2 DATED MAY 14, 1974 FILED AS P.L. 10073, SHEETS A7 AND A10 OF A16.
 - HEIGHT OF EXPOSED RETURN WALL IN FEET.

ENCUMBRANCE AND LOT LINE NOTES

1. REFER TO SHEET 02 FOR A DESCRIPTION OF THE DIRECTION TO THE SHOWN AS (1), (2) AND (3) HEREIN.
2. REFER TO SHEET 03 AND 04 FOR THE LOCATION OF THE 3 EXISTING WELLS LOT 11 (WELL WITHIN THE ORIGINAL PROPERTY SHOWN AS APR 2008-011-012).

IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGER (OWNER)
 13002 HAMBURGER LANE
 BALDWIN PARK, CA 91706-0885
 CONTACT: JOHN PUEBLITE
 PHONE: (826) 819-8288

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 (801) 335-2855 FAX (801) 305-2867

Mark S. Langbein
 MARK S. LANGBEIN R.C.E. 58262 EXP. 03-31-11 DATE



IN-N-OUT BURGER

28898 CANWOOD STREET
 (SOUTH SIDE OF CANWOOD STREET
 ALONG CLARETON DRIVE)
 AGOURA HILLS, CA 91301

CITY ENTITLEMENT UTILITY AND STORM DRAIN PLAN - EAST HALF

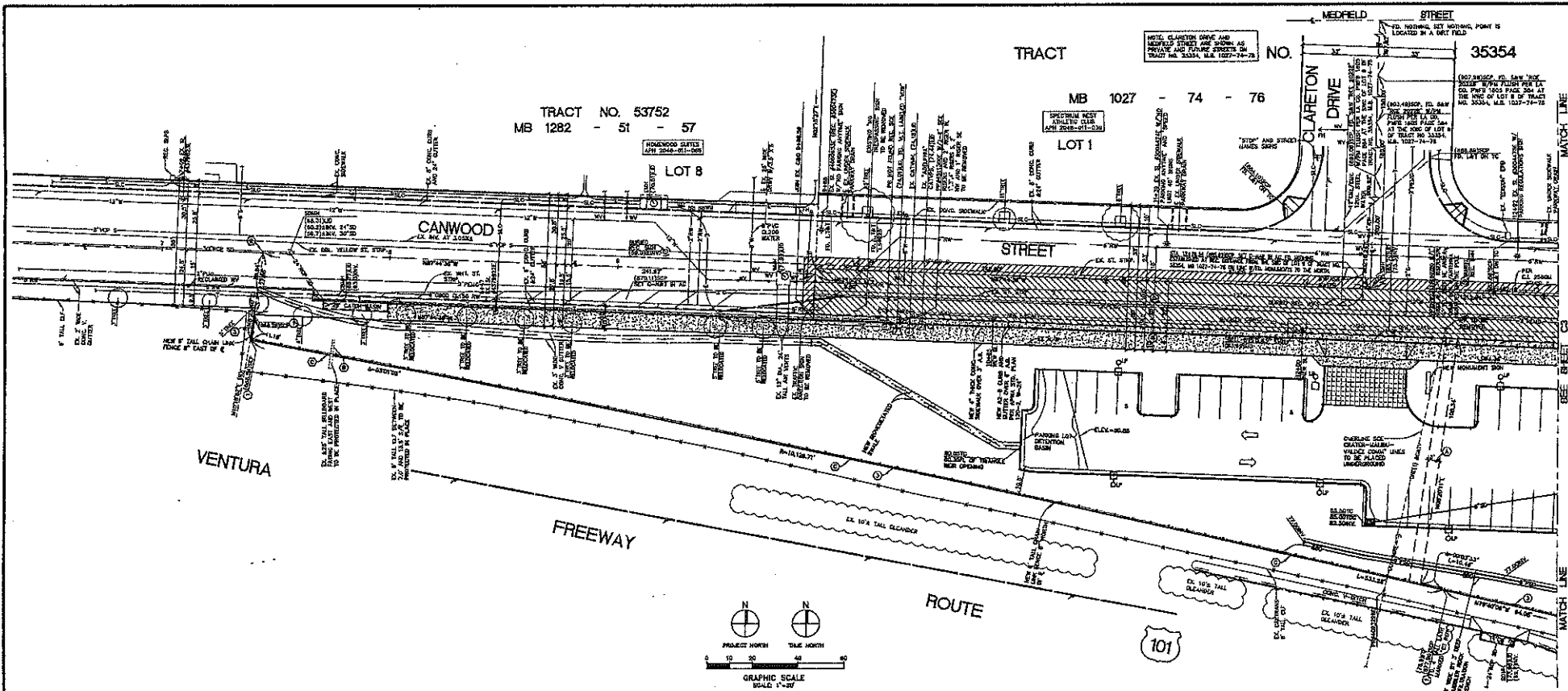
SCALE: 1"=20'

INO

C3

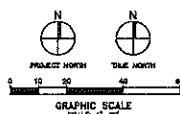
SHEET 3 OF 11

NOTE: ALL EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC LINES SUPPLIED BY UTILITY POLES ON THE SOUTH SIDE OF CANWOOD STREET ALONG THE PROPERTY PERMITS SHALL BE PLACED UNDERGROUND AS A CONDITION OF THIS DEVELOPMENT.



TRACT NO. 53752
 MB 1282 - 51 - 57
 ROWENWOOD GATES
 APR 2044-011-005
 LOT 8

TRACT NO. 35354
 MB 1027 - 74 - 76
 SPECTRUM MEET
 TRACT NO. 35354, E.A. 1027-74-76



- PARTIAL LEGEND**
- DRIVE (ASLT) AND OVERLAY 2\"/>
 - SCHEDULE, REMOVE AND CONSTRUCT DRIVE PAVEMENT WITH 6\"/>
 - NEW DRIVE CONCRETE
 - TRUNCATED CURBS
 - NEW 24\"/>
 - NEW 6\"/>
 - NEW 18\"/>
 - NEW 6\"/>
 - PREPARED 4\"/>
 - FOUND NOTHING, SET A 2\"/>
 - FOUND NOTHING, SET NOTHING
 - ESTABLISHED BY RECORD ANGLE AND DISTANCE FOR INTERSECTION MARKER SHALL BE RECORDED NOVEMBER 6, 1971 IN BOOK 0204, PAGE 21 OF OFFICIAL RECORDS AS SHOWN ON THE STATE OF CALIFORNIA DIVISION OF HIGHWAYS APPROVAL, JOB NUMBER 6-5113-1 AND 6-5113-2 DATED MAY 14, 1971 FILED AS FILE 10957, SHEETS A8 AND A10 OF A16.
 - HEIGHT OF EXPOSED RETAINING WALL IN FEET

ENCUMBRANCE AND LOT LINE NOTES

1. REFER TO SHEET C2 FOR A DESCRIPTION OF THE EXCEPTION TO TITLE SHOWN AS (A), (B), (C) AND (D)
2. REFER TO SHEETS B5 AND B6 FOR THE LOCATION OF THE 3 EXISTING RECORD LOT LINES, UNDER THE ORIGINAL PROPERTY SHOWN AS APR 2044-011-005.

NOTE
 ALL EXISTING OVERHEAD ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC LINES SHOWN BY UTILITY POLY ON THE SOUTH SIDE OF CANWOOD STREET ALONG THE PROPERTY FRONTAGE SHALL BE PLACED UNDERGROUND AS A CONDITION OF THIS DEVELOPMENT.

IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGER (OWNER)
 18602 HAMBURGER LANE
 BALDWIN PARK, CA 91706-6985
 CONTACT: JOHN PUENTE
 PHONE: (626) 615-6228

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MSI ENGINEERING, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
 402 WEST ARROW HWY., SUITE A, SAN DIMAS, CA 91779
 (909) 395-2266 FAX (909) 395-2267

Mark S. Landrum
 MARK S. LANDRUM E.C.E. 38386 EXP. 03-31-11 DATE



IN-N-OUT BURGER
 28898 CANWOOD STREET
 (SOUTH SIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

CITY ENTITLEMENT UTILITY AND WEST DRAIN PLAN - WEST HALL

SCALE: 1"=20'
INO

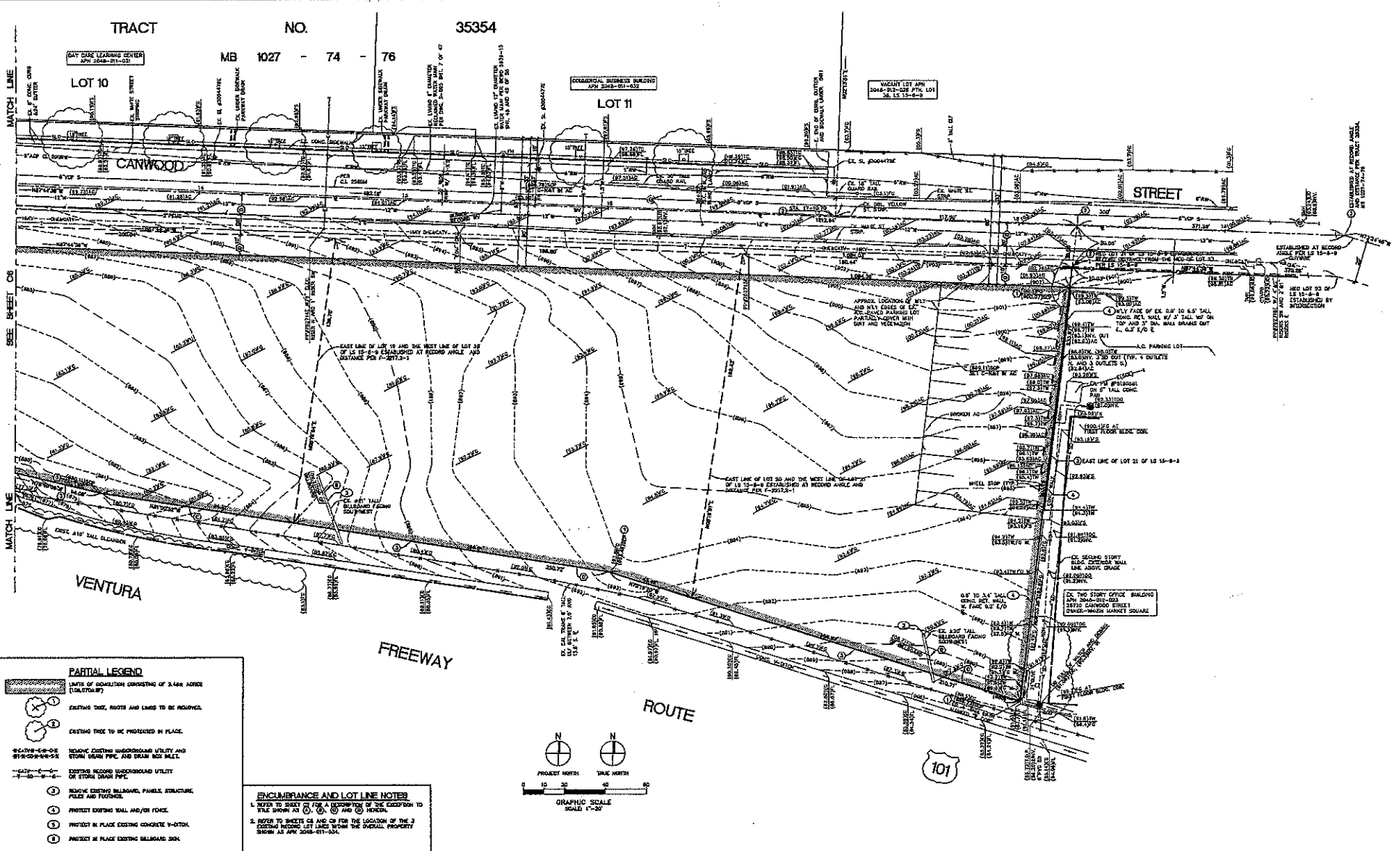
C4
 SHEET 4 OF 11

TRACT NO. 35354

MB 1027 - 74 - 76

LOT 10

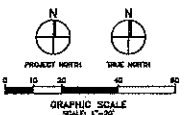
LOT 11



PARTIAL LEGEND

- LINE OF DEMOLITION CONCERNING 3.666 ACRES (UNLAWFUL)
- EXISTING TREE, ROOTS AND LIMBS TO BE REMOVED.
- EXISTING TREE TO BE PROTECTED IN PLACE.
- EXISTING UNDERGROUND UTILITY AND STORM DRAIN PIPE AND DRAIN BOX SIAEL.
- EXISTING RECORD UNDERGROUND UTILITY OR STORM DRAIN PIPE.
- REMOVE EXISTING BELTBOARD, PANELS, STRUCTURE, FENCE AND FENCEPOSTS.
- PROTECT EXISTING WALL AND/OR FENCE.
- PROTECT IN PLACE EXISTING CONCRETE V-DITCH.
- PROTECT IN PLACE EXISTING BELTBOARD BOX.

ENCUMBRANCE AND LOT LINE NOTER
 1. REFER TO SHEET 22 FOR A DESCRIPTION OF THE ENCUMBRANCE TO THIS SHEET AS (1), (2), (3) AND (4).
 2. REFER TO SHEETS 24 AND 25 FOR THE LOCATION OF THE 3 EXISTING RECORD LOT LINES WITHIN THE OVERALL PROPERTY SHOWN AS APR 2004-071-034.



IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGER (OWNER)
 18802 HAMBURGER LANE
 BALDWIN PARK, CA 91706-6886
 CONTACT: JOHN PUENTE
 PHONE: (626) 815-8298

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MSL ENGINEERING, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
 402 WEST ARROW HWY., SUITE A, SAN DIMAS, CA 91774
 (909) 307-2264 FAX (909) 307-2267

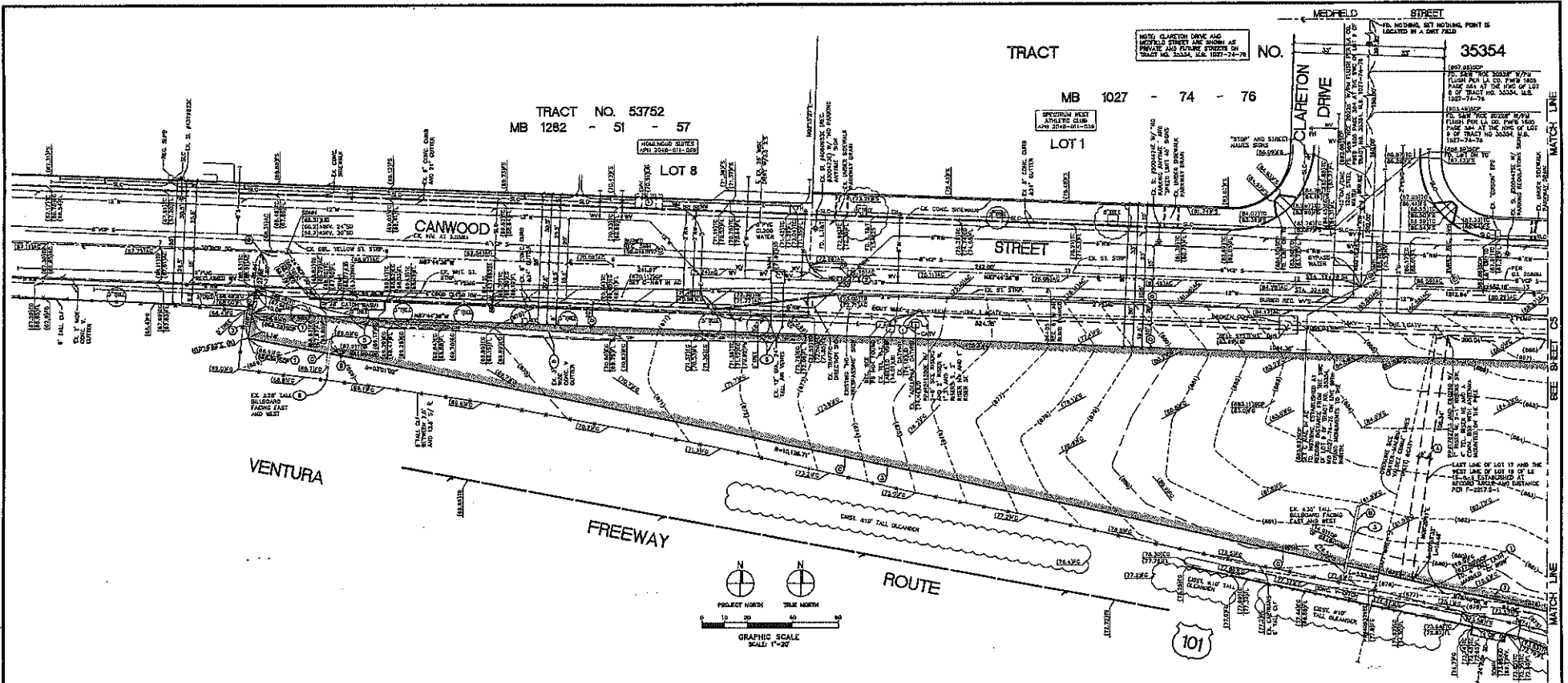
Mark S. Langmuir
 MARK S. LANGMUIR E.C.E. 34382 EXP. 03-31-11 DATE 12-15-10

IN-N-OUT BURGER
 28898 CANWOOD STREET
 (SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

CITY ENTITLEMENT DEMOLITION PLAN-EAST HALF

SCALE: 1"=20'
INO

C5
 SHEET 5 OF 11

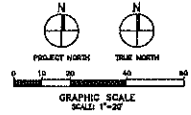


NOTE: CLARETTON DRIVE, AGG. METEEL STREET AND SHOWN AS PRIVATE AND ESTATE STREETS ON TRACT NO. 35354, S.A. 11097-74-76

TRACT NO. 53752
MB 1282 - 51 - 57

TRACT NO. 1027 - 74 - 76
LOT 1

TRACT NO. 35354



PARTIAL LEGEND

- LIMITS OF DEMOLITION EXISTING OF 2.446 ACRES (LONG/THIN)
- EXISTING TREE, ROOTS AND LIMBS TO BE REMOVED.
- EXISTING TREE TO BE PROTECTED IN PLACE.
- INDICATE EXISTING UNDERGROUND UTILITY AND STORM DRAIN PIPE, AND DRAIN SOLE INLET.
- EXISTING RECORD UNDERGROUND UTILITY OR STORM DRAIN PIPE.
- REMOVE EXISTING BILLBOARD, PANELS, STRUCTURES, FENCE AND FOOTINGS.
- PROTECT EXISTING WALL AND/OR FENCE.
- PROTECT IN PLACE EXISTING CONCRETE V-DITCH.
- PROTECT IN PLACE EXISTING BILLBOARD SOIL.

ENCUMBRANCE AND LOT LINE NOTES

- REFER TO SHEET 60 FOR A DESCRIPTION OF THE ENCUMBRANCE TO TITLE SHOWN AS (A), (B), (C) AND (D).
- REFER TO SHEETS 60 AND 61 FOR THE LOCATION OF THE 3 EXISTING RECORD LOT LINES WITHIN THE ORIGINAL PROPERTY SHOWN AS APRIL 2008-011-02A.

IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGER (OWNER)
18602 HAMBURGER LANE
GALDWIN PARK, CA 91705-0885
CONTACT: JOHN FUENTE
PHONE: (562) 813-6285

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CIVIL ENGINEER:
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CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
402 NORTH ARROW HWY., SUITE 4, SAN DIMAS, CA 91770
(909) 302-2265 FAX (909) 302-2267

Mark S. Lamoureux
MARK S. LAMOUROUX R.C.E. 34582 EXP. 03-31-11 DATE 12-16-10



IN-N-OUT BURGER
28898 CANWOOD STREET
(SOUTHSIDE OF CANWOOD STREET AT CLARETTON DRIVE)
AGOURA HILLS, CA 91301

CITY ENTITLEMENT DEMOLITION PLAN-WEST HALF

SCALE: 1"=20'
INO

C6
SHEET 6 OF 11

TITLE COMPANY NOTE

THE SURVEY WAS MADE WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT DATED FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02.

EXCEPTIONS TO TITLE

1. ALL EASEMENTS, CLAIMS OR TITLE TO WATER, REVEALED OR NOT SHOWN BY THE PUBLIC RECORDS.

2. ANY EASEMENTS FOR POLE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SOUTHWESTERN CALIFORNIA Edison COMPANY, A CORPORATION AS INCORPORATED IN DOCUMENT NUMBER 2514 RECORDED NOVEMBER 10, 1976 IN BOOK 3024, PAGE 24 IN OFFICIAL RECORDS OF LOS ANGELES COUNTY.

3. ANY EASEMENTS FOR POLE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SOUTHWESTERN CALIFORNIA Edison COMPANY, A CORPORATION AS INCORPORATED IN DOCUMENT NUMBER 2514 RECORDED NOVEMBER 10, 1976 IN BOOK 3024, PAGE 24 IN OFFICIAL RECORDS OF LOS ANGELES COUNTY. THIS ITEM SHOULD BE DERIVED FROM THE REPORT BECAUSE IT IS LOCATING POINTS OF THE 100 FEET WIDE RIGHT ALONG THE SURVEYED PROPERTY.

4. ANY EASEMENTS CONTAINED WITHIN THE DOCUMENT ENTITLED "AGREEMENT TO CONVEY" HANDED AND SIGNED BY ONE SETH OR BROTHERS, INC. TO THE PUBLIC RECORDS OF LOS ANGELES COUNTY ON FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THIS ITEM SHOULD BE DERIVED FROM THE REPORT BECAUSE IT IS LOCATING POINTS OF THE 100 FEET WIDE RIGHT ALONG THE SURVEYED PROPERTY.

5. ANY EASEMENTS CONTAINED WITHIN THE DOCUMENT ENTITLED "AGREEMENT TO CONVEY" HANDED AND SIGNED BY ONE SETH OR BROTHERS, INC. TO THE PUBLIC RECORDS OF LOS ANGELES COUNTY ON FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THIS ITEM SHOULD BE DERIVED FROM THE REPORT BECAUSE IT IS LOCATING POINTS OF THE 100 FEET WIDE RIGHT ALONG THE SURVEYED PROPERTY.

6. A TRUST PROPERTY DEED OF TRUST TO SECURE AN ORIGINAL INTEREST OF BROTHERS, INC. RECORDED NOVEMBER 22, 2006 ALONG WITH MARKET SQUARE, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY AS TRUSTEE, FIVE HAMBURGER, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE, AND LAND MARK FUND, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE. THIS TRUST PROPERTY IS LOCATED IN OFFICIAL RECORDS OF LOS ANGELES COUNTY, THIS TRUST DEED ENCUMBERS THE SURVEYED PROPERTY PLUS OTHER LAND NOT A PART OF THE SURVEYED PROPERTY.

7. A TRUST PROPERTY DEED OF TRUST TO SECURE AN ORIGINAL INTEREST OF BROTHERS, INC. RECORDED NOVEMBER 22, 2006 ALONG WITH MARKET SQUARE, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY AS TRUSTEE, FIVE HAMBURGER, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE, AND LAND MARK FUND, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE. THIS TRUST PROPERTY IS LOCATED IN OFFICIAL RECORDS OF LOS ANGELES COUNTY, THIS TRUST DEED ENCUMBERS THE SURVEYED PROPERTY PLUS OTHER LAND NOT A PART OF THE SURVEYED PROPERTY.

8. AN EASEMENT FOR PUBLIC ROAD AND INCIDENT PURPOSES IN FAVOR OF THE CITY OF AGOURA HILLS AS INCORPORATED IN INSTRUMENT NUMBER 85-29766 RECORDED JULY 1, 1983 IN OFFICIAL RECORDS OF LOS ANGELES COUNTY.

GENERAL SITE NOTES

1. CROSS AREA - 11409 SQ. FT. OR 1700 SQ. YARDS.
2. THE SURVEY WAS MADE WITH REFERENCE TO THE FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT DATED FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02.

EXCEPTIONS TO TITLE

1. ALL EASEMENTS, CLAIMS OR TITLE TO WATER, REVEALED OR NOT SHOWN BY THE PUBLIC RECORDS.

2. ANY EASEMENTS FOR POLE LINES AND INCIDENTAL PURPOSES IN FAVOR OF SOUTHWESTERN CALIFORNIA Edison COMPANY, A CORPORATION AS INCORPORATED IN DOCUMENT NUMBER 2514 RECORDED NOVEMBER 10, 1976 IN BOOK 3024, PAGE 24 IN OFFICIAL RECORDS OF LOS ANGELES COUNTY.

3. ANY EASEMENTS CONTAINED WITHIN THE DOCUMENT ENTITLED "AGREEMENT TO CONVEY" HANDED AND SIGNED BY ONE SETH OR BROTHERS, INC. TO THE PUBLIC RECORDS OF LOS ANGELES COUNTY ON FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THIS ITEM SHOULD BE DERIVED FROM THE REPORT BECAUSE IT IS LOCATING POINTS OF THE 100 FEET WIDE RIGHT ALONG THE SURVEYED PROPERTY.

4. ANY EASEMENTS CONTAINED WITHIN THE DOCUMENT ENTITLED "AGREEMENT TO CONVEY" HANDED AND SIGNED BY ONE SETH OR BROTHERS, INC. TO THE PUBLIC RECORDS OF LOS ANGELES COUNTY ON FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THIS ITEM SHOULD BE DERIVED FROM THE REPORT BECAUSE IT IS LOCATING POINTS OF THE 100 FEET WIDE RIGHT ALONG THE SURVEYED PROPERTY.

5. ANY EASEMENTS CONTAINED WITHIN THE DOCUMENT ENTITLED "AGREEMENT TO CONVEY" HANDED AND SIGNED BY ONE SETH OR BROTHERS, INC. TO THE PUBLIC RECORDS OF LOS ANGELES COUNTY ON FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THIS ITEM SHOULD BE DERIVED FROM THE REPORT BECAUSE IT IS LOCATING POINTS OF THE 100 FEET WIDE RIGHT ALONG THE SURVEYED PROPERTY.

6. A TRUST PROPERTY DEED OF TRUST TO SECURE AN ORIGINAL INTEREST OF BROTHERS, INC. RECORDED NOVEMBER 22, 2006 ALONG WITH MARKET SQUARE, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY AS TRUSTEE, FIVE HAMBURGER, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE, AND LAND MARK FUND, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE. THIS TRUST PROPERTY IS LOCATED IN OFFICIAL RECORDS OF LOS ANGELES COUNTY, THIS TRUST DEED ENCUMBERS THE SURVEYED PROPERTY PLUS OTHER LAND NOT A PART OF THE SURVEYED PROPERTY.

7. A TRUST PROPERTY DEED OF TRUST TO SECURE AN ORIGINAL INTEREST OF BROTHERS, INC. RECORDED NOVEMBER 22, 2006 ALONG WITH MARKET SQUARE, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY AS TRUSTEE, FIVE HAMBURGER, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE, AND LAND MARK FUND, L.L.C. A CALIFORNIA LIMITED LIABILITY COMPANY AS TRUSTEE. THIS TRUST PROPERTY IS LOCATED IN OFFICIAL RECORDS OF LOS ANGELES COUNTY, THIS TRUST DEED ENCUMBERS THE SURVEYED PROPERTY PLUS OTHER LAND NOT A PART OF THE SURVEYED PROPERTY.

ALTA / ACSM LAND TITLE SURVEY
PORTION OF PARCELS 17, 19, 20 AND 21 OF LICENSED SURVEYOR'S MAP IN THE CITY OF AGOURA HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA FILED IN BOOK 15, PAGES 8 AND 9 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

FLOOD ZONE INFORMATION

THE SUBJECT PROPERTY IS LOCATED IN THE "X" FLOOD ZONE DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE SUBJECT PROPERTY IS LOCATED IN THE "X" FLOOD ZONE DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE SUBJECT PROPERTY IS LOCATED IN THE "X" FLOOD ZONE DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LEGAL DESCRIPTION

REFERENCED FIRST AMERICAN TITLE INSURANCE COMPANY PRELIMINARY REPORT DATED FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THE SUBJECT PROPERTY IS LOCATED IN THE "X" FLOOD ZONE DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BASIS OF BEARINGS

THE BEARING NOTED AT THE CORNER OF CLARETON DRIVE AS SHOWN ON MAP FILED IN BOOK 3334, PAGE 1277-77-78, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN ON THIS ALTA MAP HAVE BEEN LOCATED FROM FIELD SURVEY AND ALL BEST INFORMATION FURNISHED TO THE SURVEYOR BY THE UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRELATE ALL SUCH UTILITIES IN THE AREA EITHER BY SERVICE OR ALIGNMENT.

IN-N-OUT BURGER
PREPARED FOR: IN-N-OUT BURGER (OWNER)
15602 HAMBURGER LANE
SALDWIN PARK, CA 91705-9685
CONTACT: JOHN BLUETTE
PHONE: (626) 813-8269

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MSL ENGINEERING, INC.
CIVIL ENGINEER AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
405 WEST ARSON WAY, SUITE 4, SAN GABRIEL, CA 91775
MARK S. LAURIEUX P.L.S. 5792 EXP. 08-30-12

IN-N-OUT BURGER
28898 CANWOOD STREET
(SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
AGOURA HILLS, CA 91301

CITY ENTITLEMENT
A.L.T.A./A.C.S.M. LAND TITLE SURVEY MAP TITLE SHEET
SCALE: AS NOTED
INO

C7
SHEET 7 OF 11

UTILITY CONTACTS

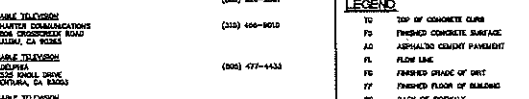
EL PASO	1401 GABLE (LAPD) (951) 738-4122 (951) 466-7623
NATIONAL BELL	700 JUD (LAPD) (818) 791-1338 15250 WOODBURN (818) 320-2021
GSM TELEVISION	CHARTER COMMUNICATIONS 3026 CRENSHAW ROAD MIRALTA, CA 91024 (310) 409-9010
GSM TELEVISION	THE GSM COMPANY 977 CHAMBER LAKE 94 HILLY, CA 91030 (800) 477-4433
GSM TELEVISION	1020 SHILOH DRIVE VICTORIA, CA 92083 (360) 477-4433
GSM TELEVISION	THE NUMBER CALL L.A. REGION (818) 248-0666
TELEPHONE	DAVE ENGLES (LAPD) (818) 779-7252 (818) 225-2784
TELEPHONE	ROBERTA BROWNE (LAPD) (818) 321-2182 (818) 201-2128
TELEPHONE	(818) 325-2328
TELEPHONE	(818) 325-2328
TELEPHONE	(800) 288-1428

BENCH MARK

USPS (145)
N 1/2 COR. 1/4 SEC. 23 T. 12 N. R. 13 E. S. 34
ELEVATION = 828.91 FT
2003 ADJUSTMENT

LEGEND

- 101 TOP OF CONCRETE CURB
- FD FRESHEN CONCRETE SURFACE
- AS ASPHALT CONCRETE PAVEMENT
- FL FLOOR LINE
- 17 FINISHED GRADE OF GUT
- 17 FINISHED FLOOR OF BUILDING
- 88 BACK OF BOOKS
- 88 EDGE OF OUTLET
- 161 FRONT
- 161 GRADE BREAK
- 161 HIGH POINT
- 18 TOP OF MOUND
- ED EDGE OF A.C. PAVEMENT
- E PROPERTY LINE
- ED CENTER LINE
- T TOP OF WALL
- 178 TOP OF RETAINING WALL
- 178 TOP OF FOOTING
- 100 TOP OF BRICK BOX GRATE
- ED EDGE OF A.C. PAVEMENT
- ED CORNERED FLOW LINE
- ED SHEET PILE DRAINAGE
- ED TOP OF HEADWALL
- (31.02) EXISTING ELEVATION
- (31.02) EXISTING CENTER ELEVATION
- ED PROPOSED ELEVATION
- ED PROPOSED CENTER ELEVATION
- ED NOISE BARRIER
- ED OUTSIDE DIAMETER
- ED GAS MAIN
- ED WATER MAIN
- ED SANITARY SEWER
- ED UNDERGROUND ELECTRICAL CONDUIT
- ED UNDERGROUND TELEPHONE CONDUIT
- ED STORM DRAIN
- ED UNDERGROUND GAS TELEPHONE CONDUIT
- ED TRAFFIC SIGNAL CABINET
- ED WATER VALVE
- ED WATER METER
- ED FIRE HYDRANT
- ED GAS METER
- ED SANITARY SEWER MANHOLE
- ED POWER POLE
- ED STREET LIGHT
- ED CLEANOUT
- ED ROOF PILE
- ED LIGHT POLE
- ED STORM DRAIN MANHOLE
- ED REINFORCED CONCRETE PIPE
- ED CHAIN LINK FENCE
- ED IRONMATION CONTROL VALVE
- ED IRONMATION CONTROL BOX
- ED GUARD POST
- ED WOODEN SIGN FENCE
- ED WEEDING ROAD SIGN
- ED TRAFFIC SIGNAL POLE
- ED PAUL BOX
- ED LANDSCAPED PLANTER AREA
- ED TELEPHONE POLE BOX
- ED TELEPHONE MANHOLE
- ED ELECTRIC POLE BOX
- ED TRAFFIC SIGNAL CABINET
- ED STREET LIGHT CABINET
- ED TRAFFIC SIGNAL POLE BOX
- ED TRAFFIC SIGNAL POST
- ED IRONMATION PREVENTION DEVICE
- ED TRAMP ENCLOSURE
- ED ELECTRIC PAD MOUNT TRANSFORMER
- ED CATCH BASIN
- ED ROOF DRAIN
- ED FURNISH REGULATION SIGN
- ED SPEED LIMIT SIGN
- ED FLAG POLE
- ED DIRECTIONAL SIGN
- ED WOODEN SIGN
- ED WEEDING WATER



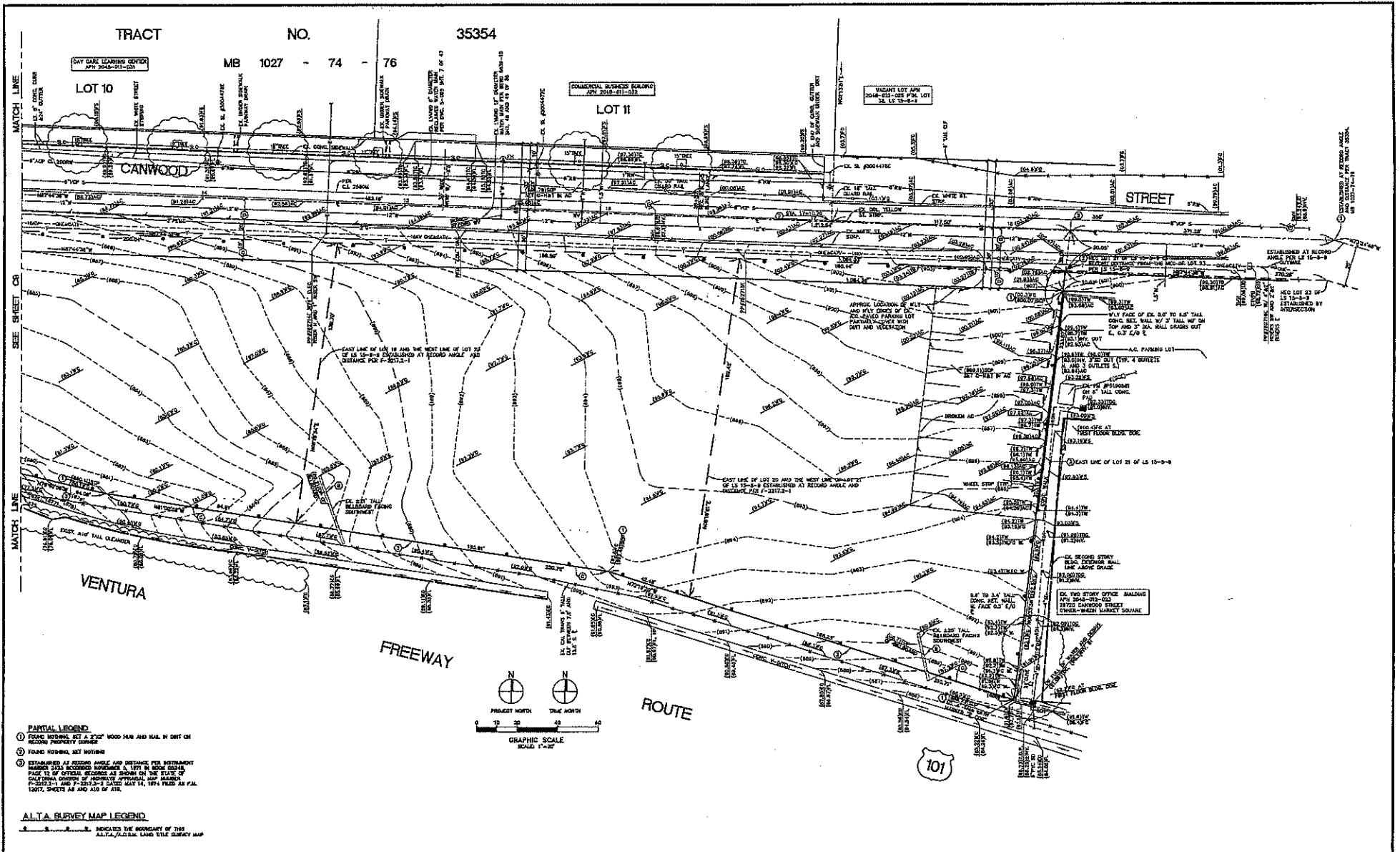
RECORD OWNER
WEST MARKET SQUARE, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY.

SURVEYOR'S CERTIFICATE

I, MARK S. LAURIEUX, A CALIFORNIA CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY.
THE ACCOMPANYING SURVEY WAS MADE ON THE ORIGINAL AND CORRECTLY SHOWN THE LOCATION OF THE LANDS SURVEYED ON THE ABOVE PROCEEDING. THAT THE PROPERTY DESCRIBED HEREIN IS THE SAME AS THE PROPERTY DESCRIBED IN RECORDS TO THE COUNTY OF LOS ANGELES, CALIFORNIA, DATED FEBRUARY 23, 2010 WITH A COMMITMENT NUMBER OF NCS-0300-0-02. THAT ALL EASEMENTS, CLAIMS OR TITLE TO WATER, REVEALED OR NOT SHOWN BY THE PUBLIC RECORDS WITHIN THE CERTAIN RIGHT OF WAY, HAVE BEEN PLACED THEREON OR INCORPORATED AS THEIR EFFECT ON THE SUBJECT PROPERTY, AND THAT THERE ARE NO OTHER EASEMENTS, CLAIMS OR TITLE TO WATER, REVEALED OR NOT SHOWN BY THE PUBLIC RECORDS WITHIN THE CERTAIN RIGHT OF WAY, EXCEPT AS SHOWN HEREON.
DATE: JULY 19, 2010



THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH STANDARD STANDARD METRIC REQUIREMENTS FOR ALL ALTA/LAND TITLE SURVEYS. AND THAT THE SURVEY WAS MADE BY ALLTA, A.C.S.M. AND A.S.M. IN 2010, AND INCLUDES FEET - 1/4, 1/2, 3/4, 1, 1 1/4, 1 1/2, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.



PREPARED FOR: IN-N-OUT BURGER (OWNER)
18802 HAMBURGER LANE
BALDWIN PARK, CA 91705-6885
CONTACT: JOHN PUENTE
PHONE: (626) 813-8289

REVISIONS

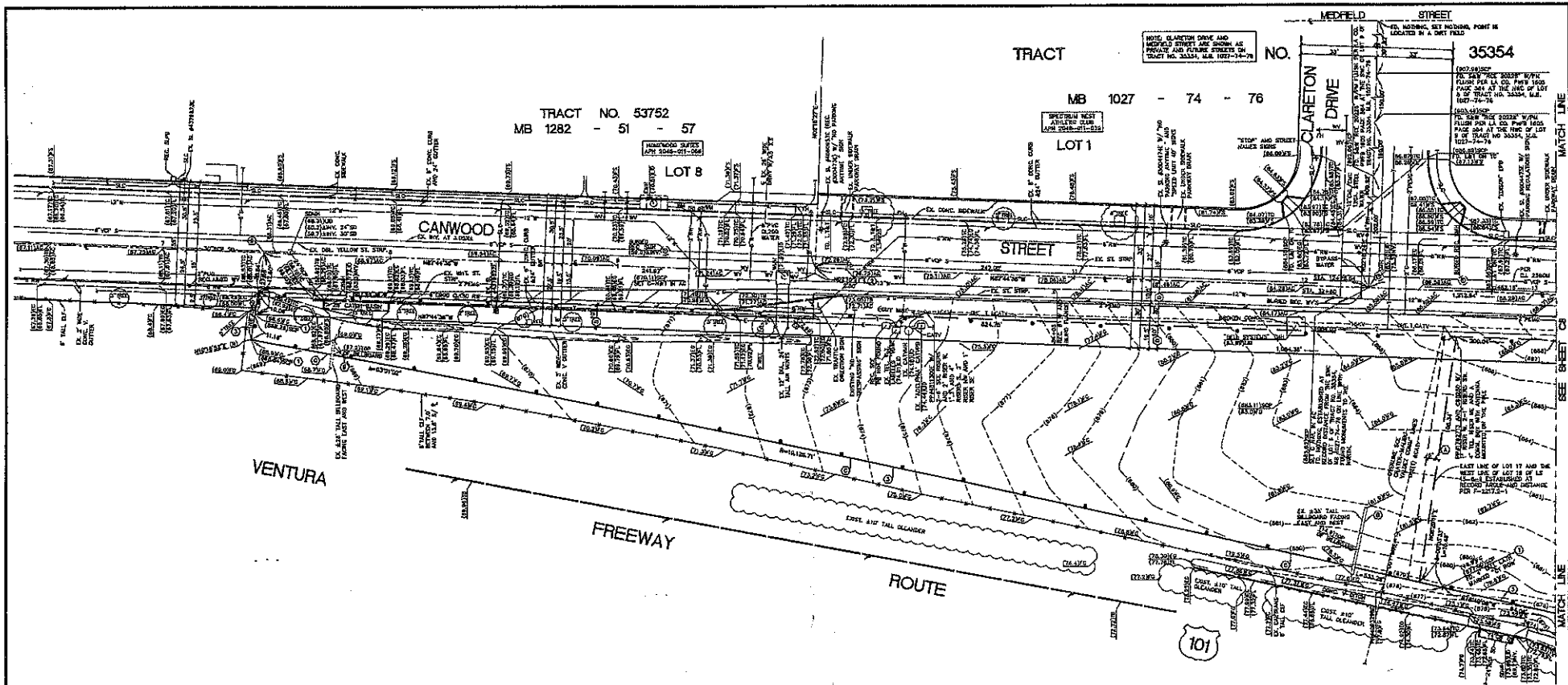
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CIVIL ENGINEER:
MSI ENGINEERING, INC.
CIVIL ENGINEER AND LAND SURVEYOR SPECIALIZING IN SITE DEVELOPMENT
402 WEST ARROW HWY., SUITE 4 SAN DIMAS, CA 91773
(909) 305-2285 FAX (909) 305-2287
Mark S. Langford
MARK S. LANGFORD P.L.S., 5794 EXP. 06-30-12 DATE



IN-N-OUT BURGER
28898 CANWOOD STREET
(SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
AGOURA HILLS, CA 91301

CITY ENTITLEMENT
A.L.T.A./A.C.S.M.
LAND TITLE SURVEY MAP
SCALE: AS NOTED
INO

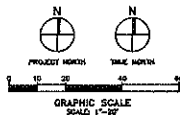


PARTIAL LEGEND

- ① FOUND RECORD SET & "X" WOOD NAIL AND NAIL IN BRICK ON RECORD PROPERTY CORNER
- ② FOUND RECORD SET WITHIN
- ③ ESTABLISHED BY RECORD, NADINE AND OFFICERS FOR INSTRUMENT NUMBER 5193 RECORD NUMBER 5, 1979 IN VOL. 22304, PAGE 13 OF OFFICIAL RECORDS AT BUREAU OF THE STATE OF CALIFORNIA DIVISION OF LAND RECORDS, 100 BUREAU, FORTY-NINTH FLOOR, SAN FRANCISCO, CALIFORNIA 94104, SHEETS AS SHOWN AND OF A1E.

ALTA SURVEY MAP LEGEND

— — — — — INDICATES THE BOUNDARY OF THIS ALTA SURVEY MAP



PREPARED FOR: IN-N-OUT BURGER (OWNER)
 13802 HAMBURGER LANE
 BALDWIN PARK, CA 91706-6885
 CONTACT: JONAH FUENTE
 PHONE: (626) 813-8298

REVISIONS
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MSL ENGINEERING, INC.
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 (909) 305-2285 FAX (909) 305-2287
Mark S. Lamoreaux
 MARK S. LAMOREAUX P.L.S. 3794 EXP. 08-30-12 DATE

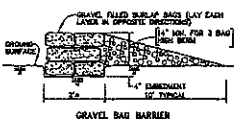
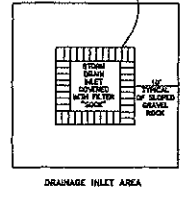
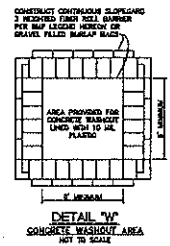
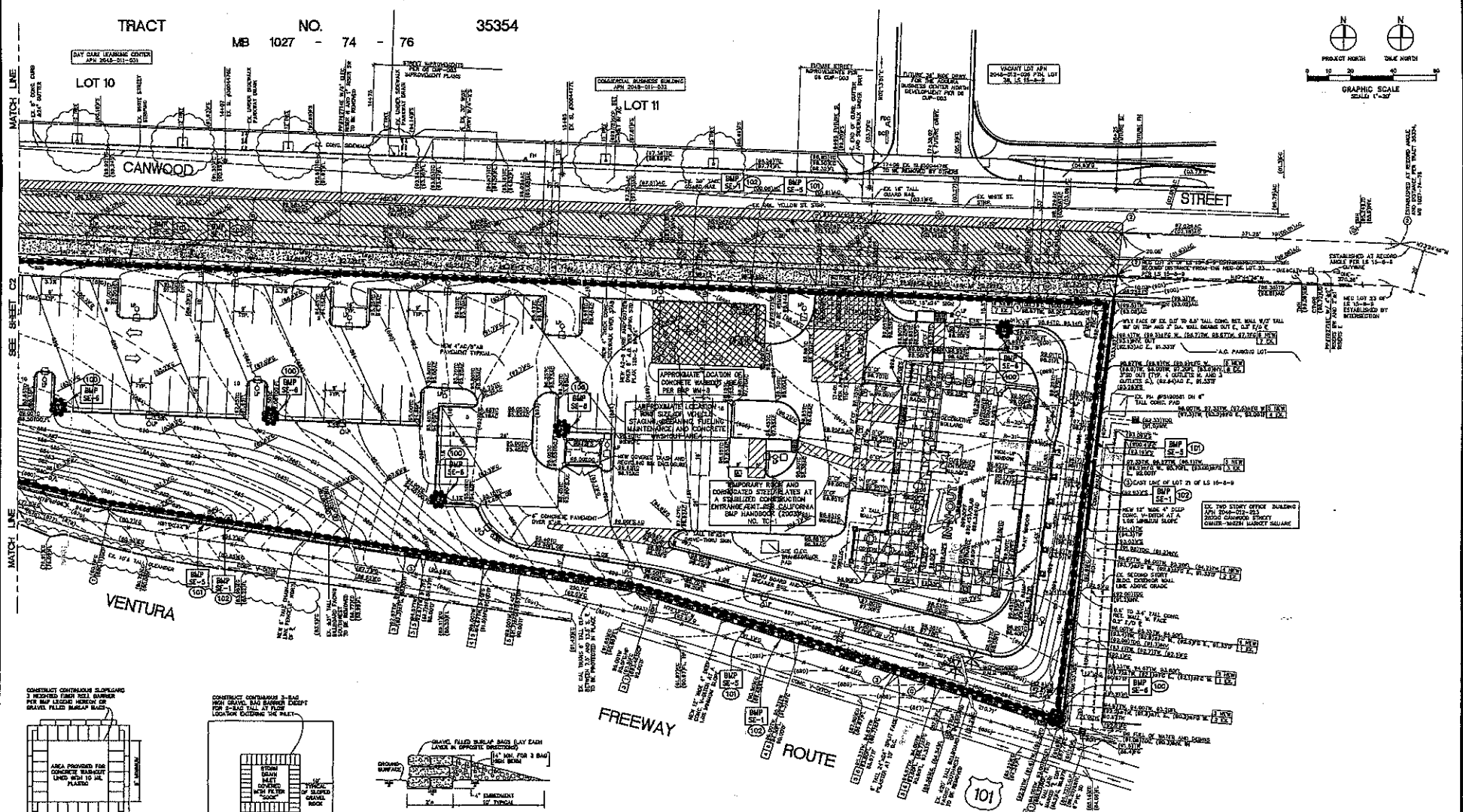
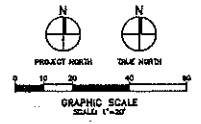


IN-N-OUT BURGER
 28898 CANWOOD STREET
 (SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

CITY ENTITLEMENT
A.L.T.A./A.C.S.M.
LAND TITLE SURVEY MAP
 SCALE: AS NOTED
INO

C9
SHEET 9 OF 11

TRACT NO. 35354
 MB 1027 - 74 - 76



ENCUMBRANCE AND LOT LINE NOTES
 1. REFER TO SHEET C10 FOR A DESCRIPTION OF THE EXCEPTION TO THE BOUNDARY AS (A), (B), (C) AND (D).
 2. REFER TO SHEETS C10 AND C11 FOR THE LOCATION OF THE 3 EXISTING SECOND LOT LINES WITHIN THE OVERALL PROPERTY BOUNDARY AS SHOWN ON SHEET C10.



PREPARED FOR: IN-N-OUT BURGER (OWNER)
 18902 HAMBURGER LANE
 GARDEN PARK, CA 91706-6886
 CONTACT: JOHN PUENTE
 PHONE: (925) 915-8229

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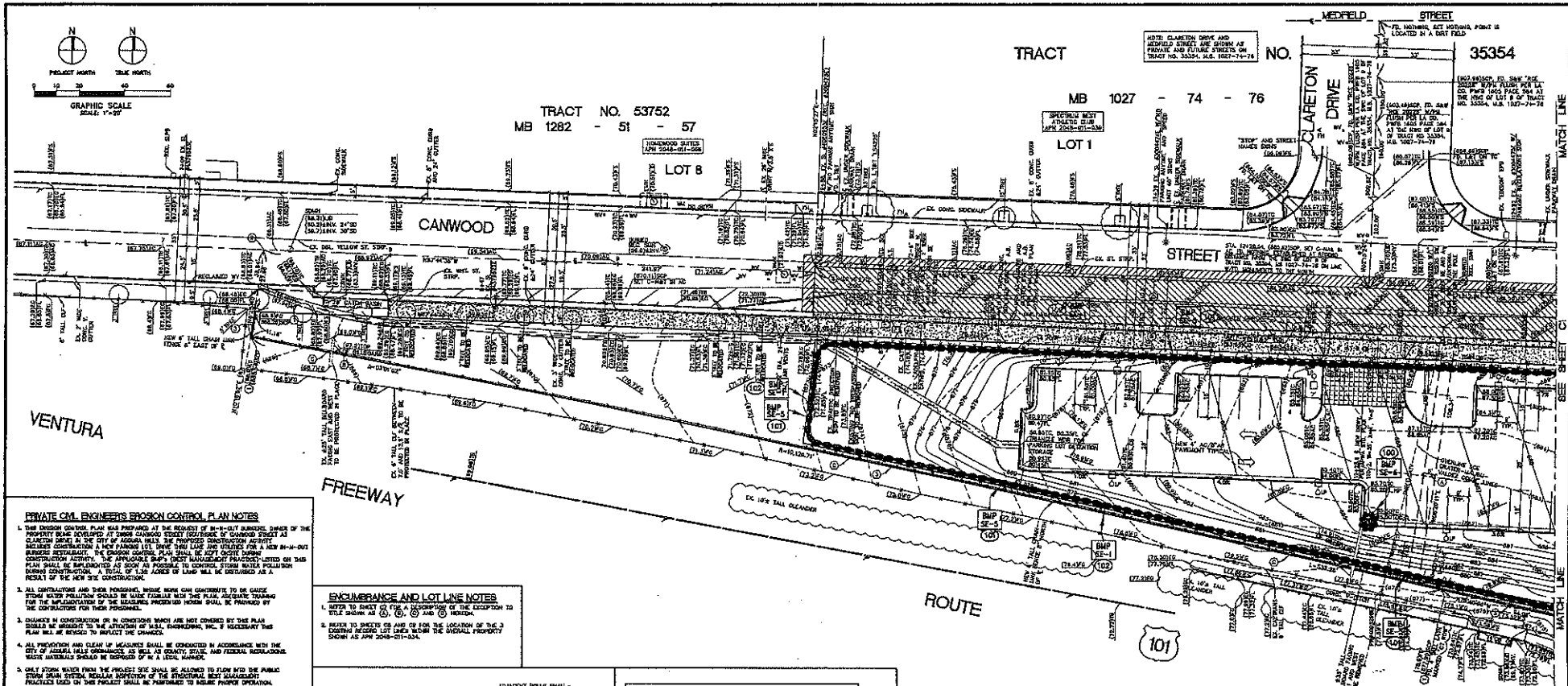
CIVIL ENGINEER:
MSI ENGINEERING, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS SPECIALIZING IN SITE DEVELOPMENT
 402 WEST ARROW HAY, SUITE 4, SAN CARLOS, CA 95070
 (925) 552-2266 FAX (925) 552-2267
 Mark S. Laidman
 MARK S. LAIDMAN E.C.E. 30322 EXP. 03-31-11 DATE



IN-N-OUT BURGER
 28898 CANWOOD STREET
 (SOUTHSIDE OF CANWOOD STREET AT CLARETON DRIVE)
 AGOURA HILLS, CA 91301

CITY ENTITLEMENT EROSION CONTROL PLAN-EAST HALF
 SCALE: 1"=20'
INO

C10
 SHEET 10 OF 11

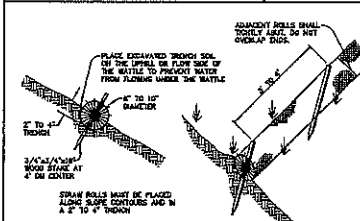


PRIVATE CIVIL ENGINEER'S EROSION CONTROL PLAN NOTES

1. THIS EROSION CONTROL PLAN WAS PREPARED AT THE REQUEST OF IN-N-OUT BURGERS, OWNER OF THE PROPERTY BEING DEVELOPED AT 28898 CANWOOD STREET (SOUTH SIDE OF CANWOOD STREET AT CLARETTON DRIVE) IN THE CITY OF AGOURA HILLS. THE PROPOSED CONSTRUCTION ACTIVITY CONSISTS OF CONSTRUCTING A NEW 800-SQ-FT IN-N-OUT BURGERS RESTAURANT. THE EROSION CONTROL PLAN SHALL BE ADDED DURING CONSTRUCTION ACTIVITY. THE APPROXIMATE 800-SQ-FT RESTAURANT LOCATED ON THIS PLAN SHALL BE DEMOLISHED AS SOON AS POSSIBLE TO PREVENT STORM WATER POLLUTION DURING CONSTRUCTION. A TRAIL OF LOW VOLTAGE WIRE SHALL BE INSTALLED AS A RESULT OF THIS SITE CONSTRUCTION.
2. ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK IS SUBJECT TO BE GUIDED BY THIS EROSION CONTROL PLAN SHALL BE MADE FAMILIAR WITH THE PLAN AND THE TRAINING FOR THE IMPLEMENTATION OF THE MEASURES PROVIDED HEREON SHALL BE PROVIDED BY THE CONTRACTORS FOR THEIR PERSONNEL.
3. CHANGES IN CONSTRUCTION OR IN CONDITIONS WHICH ARE NOT COVERED BY THIS PLAN SHALL BE SUBJECT TO THE APPROVAL OF MSL ENGINEERING, INC. IF NECESSARY THIS PLAN WILL BE REVISED TO REFLECT THE CHANGES.
4. ALL PREVENTION AND CLEAN UP MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF AGOURA HILLS ORDINANCES AS WELL AS COUNTY, STATE, AND FEDERAL REGULATIONS. WASTE MATERIALS SHOULD BE DISPOSSED OF IN A LEGAL MANNER.
5. ONLY STORM WATER FROM THE PROJECT SITE SHALL BE ALLOWED TO FLOW INTO THE PUBLIC STORM DRAIN SYSTEM. REGULAR INSPECTION OF THE STRUCTURAL BEST MANAGEMENT PRACTICES USED ON THIS PROJECT SHALL BE PERFORMED TO INSURE PROPER OPERATION.
6. ON A DAILY AS-NECESSARY BASIS AND AFTER CONSTRUCTION HAS BEEN COMPLETED, THE SITE INSPECTION AND MAINTENANCE RECORDS AND SERVICES SHALL BE KEPT ON FILE. ALL SOILS AND LEFTOVER MATERIALS SHALL BE REMOVED FROM THE SITE. ALL LANDSCAPING AND PLANTING AREAS SHALL BE WELL MAINTAINED TO PREVENT SOILS AND SEDIMENTATION.
7. DISTURBED SOILS SHALL BE WATERED AS OFTEN AS NECESSARY TO KEEP SOIL MOIST. VEGETATION SHALL BE PLANTED AND CONSTRUCTION TO BE COMPLETED. ONLY WHEN PLANTING HAS BEEN COMPLETED AND THE CLEANUP OF CONSTRUCTION RELATED DIRT ON ADJACENT PROPERTIES TO THE SITE.
8. THE CONTRACTOR SHALL INCORPORATE EROSION CONTROL MEASURES WHICH SHOULD BE NECESSARY BY THE PROJECT ARCHITECT, CONSTRUCTION MANAGER, OR HIS REPRESENTATIVE. NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONSTRUCTION LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY EROSION CONTROL DEVICES WHEN NEEDED.
9. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE PROJECT ARCHITECT OR CONSTRUCTION MANAGER.
10. ALL REMOVED TEMPORARY EROSION CONTROL DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WITH THE 2-DAY MAXIMUM PROBABILITY FORECAST EXCEEDS 40 PERCENT.
11. AFTER A RAINFALL, ALL SILT AND DEBRIS SHALL BE REMOVED FROM GRAVEL BAG BARRIERS.
12. PAUL NORMAN, IN-N-OUT BURGERS DIRECTOR OF NEW CONSTRUCTION FOR AN ASSIGNED REPRESENTATIVE IN CONNECTION WITH THE SUCCESSFUL GENERAL CONTRACTOR SHALL BE NOTIFIED AT LEAST 30-DAYS IN AN ADVISORY MANNER.
13. THE PROJECT OWNER'S LIABILITY OF LAW THAT THE DOCUMENT AND ALL ATTACHMENTS ARE BEING SUBMITTED UNDER NO WARRANTY OR GUARANTEE. UNDERSTAND THAT BY THE SIGNATURE OF THIS PROJECT, I WILL BE REQUIRED TO SIGNIFY THAT ALL ATTACHMENTS TO THIS PLAN SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND ALL OF ITS ATTACHMENTS.

ENCUMBRANCE AND LOT LINE NOTES

1. REFER TO SHEET 02 FOR A DESCRIPTION OF THE EXCEPTION TO THE SHOWN ENCUMBRANCE.
2. REFER TO SHEET 03 FOR THE LOCATION OF THE 3' EROSION CONTROL LOT LINE WITHIN THE GENERAL PROPERTY SHOWN AS APR 2008-01-08.



SPECIFICATION

STREAM WATER BARRIERS SHALL BE MANUFACTURED FROM RIGID POLYMER AND SHALL BE SUPPLIED IN A TUBULAR BLACK PLASTIC SHEATH. THE SHEATH SHALL HAVE A STRAIN RATIO OF 3:1 AND A TENSILE STRENGTH OF 100 LBS. AND A WEIGHT OF 1.5 LBS PER FOOT (LBS PER LINEAL FOOT). THE SHEATH SHALL BE 18\"/>

DETAIL "A"

HYDRO-SOAK CUSTOMER SERVICE (909) 345-4177

STREAM WATER BARRIER DETAIL OPTION

NOTE

REFER TO PREPARE GRADING AND DRAINAGE PLAN FOR ADEQUATE SLOPE TO PREVENT STAGNATION AND TO PREVENT THE USE OF THE EROSION CONTROL DEVICES TO PREVENT THE WASTEWATER FROM FLOWING UNDER THE WATER.

BMP LEGEND

RETAIN SLOPESIDE 3' DISTURBED EROSION FROM RAIN PER BMP SE-3 SUPPLIED BY DISTRICT CONTRACTORS INC. AT 80-100-YD INTERVALS. CONTACT DRAINAGE INSTALLATION SPECIALISTS AT 800-800-8000 FOR THE LOCAL SERVICE INSTALLATION AND MAINTENANCE SERVICE. SUPPLYING IS SUPPLIED IN 4' DIAMETER BY 4' LENGTH COVERED BY A "SAFETY DRAIN" OVER THE WATER WITH A WEIGHT OF APPROXIMATELY 10 POUNDS PER FOOT.

FINISHED AREA TO BE USED FOR MOBILE STORAGE, STORAGE, CLEANING, FUELING AND MAINTENANCE FOR BMP SE-3, SE-4 AND SE-5. CONSTRUCTION MATERIALS, EQUIPMENT AND STORAGE PER BMP SE-1, SE-2, SE-3, SE-4, SE-5 AND SE-6.

TEMPORARY ROAD AT STABILIZED CONSTRUCTION ENTRANCE/EXIT WITH COMPACTED STEEL PLATES PER BMP SE-1.

SILT FENCE PER BMP SE-1.

INSTALL GRAVEL BAG BARRIER PER BMP SE-4 FOR DETAIL "A" SHOWN ON SHEET 02.

INSTALL BMP SE-5 STREAM WATER BARRIERS FROM ROLL BARRIER PER DETAIL "A" SHOWN ON SHEET 02. AS AN ACCEPTABLE ALTERNATIVE TO THE SLOPESIDE MATERIAL, GRAVEL BAG BARRIERS.

INSTALL 4' TALL TEMPORARY MOVABLE CHAIN LINK SILT FENCE WITH WOODS ACROSS AND MAKE ACCESS GATES AS REQUIRED BY THE DISTRICT CONTRACTOR MANAGER PER BMP SE-1.

LIST OF MAJOR CONSTRUCTION MATERIALS, WASTE AND ACTIVITIES AT THE PROJECT SITE

1. CONCRETE AND ASPHALT PAVED.
2. CONCRETE CURBS, CURBS AND OUTLETS, AND WALLS.
3. UTILITY AND STORM DRAIN SERVICE TO THE PROPOSED BUILDING.
4. LANDSCAPING AND BONDING.
5. ON-SITE EARTHWORK MOVED AND GRADED.
6. CONSTRUCTION OF A NEW 800-SQ-FT BURGERS RESTAURANT BUILDING AND COVERED/ENCLOSED TRASH ENCLOSURE STRUCTURE.
7. PAVING LOT SURF.

EROSION CONTROL CONSTRUCTION NOTES

1. INSTALL GRAVEL BAG BARRIER PER BMP SE-4 FOR DETAIL "A" SHOWN ON SHEET 02.
2. INSTALL BMP SE-5 STREAM WATER BARRIERS FROM ROLL BARRIER PER DETAIL "A" SHOWN ON SHEET 02. AS AN ACCEPTABLE ALTERNATIVE TO THE SLOPESIDE MATERIAL, GRAVEL BAG BARRIERS.
3. INSTALL 4' TALL TEMPORARY MOVABLE CHAIN LINK SILT FENCE WITH WOODS ACROSS AND MAKE ACCESS GATES AS REQUIRED BY THE DISTRICT CONTRACTOR MANAGER PER BMP SE-1.

LIST OF BEST MANAGEMENT PRACTICES (BMP'S)-USE AS APPLICABLE

(DEFINING CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICE HANDBOOK FOR CONSTRUCTION ACTIVITY, JANUARY 2003)

EROSION CONTROL CONSTRUCTION NOTES	WATER QUALITY MANAGEMENT AND MATERIAL MANAGEMENT (BMP'S)
1. CONCRETE AND ASPHALT PAVED.	WQ-1 WATER CONSERVATION PRACTICES
2. CONCRETE CURBS, CURBS AND OUTLETS, AND WALLS.	WQ-2 WASTEWATER OPERATIONS
3. UTILITY AND STORM DRAIN SERVICE TO THE PROPOSED BUILDING.	WQ-3 FUELING AND STORAGE OPERATIONS
4. LANDSCAPING AND BONDING.	WQ-4 FUELING AND STORAGE OPERATIONS
5. ON-SITE EARTHWORK MOVED AND GRADED.	WQ-5 CLEAR WATER DRAINAGE
6. CONSTRUCTION OF A NEW 800-SQ-FT BURGERS RESTAURANT BUILDING AND COVERED/ENCLOSED TRASH ENCLOSURE STRUCTURE.	WQ-6 FUELING AND STORAGE OPERATIONS
7. PAVING LOT SURF.	WQ-7 PORTABLE WASH PROVISION
	WQ-8 VEHICLE AND EQUIPMENT FUELING
	WQ-9 FUELING AND STORAGE OPERATIONS
	WQ-10 FUELING AND STORAGE OPERATIONS
	WQ-11 FUELING AND STORAGE OPERATIONS
	WQ-12 FUELING AND STORAGE OPERATIONS
	WQ-13 FUELING AND STORAGE OPERATIONS
	WQ-14 FUELING AND STORAGE OPERATIONS
	WQ-15 FUELING AND STORAGE OPERATIONS
	WQ-16 FUELING AND STORAGE OPERATIONS
	WQ-17 FUELING AND STORAGE OPERATIONS
	WQ-18 FUELING AND STORAGE OPERATIONS
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	WQ-97 FUELING AND STORAGE OPERATIONS
	WQ-98 FUELING AND STORAGE OPERATIONS
	WQ-99 FUELING AND STORAGE OPERATIONS
	WQ-100 FUELING AND STORAGE OPERATIONS

IN-N-OUT BURGER

PREPARED FOR: IN-N-OUT BURGER (OWNER)
18026 HAMBURGER LANE
SALDWIN PARK, CA 91706-6686
CONTACT: JOHN PUENTE
PHONE: (925) 813-8288

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AGOURA HILLS, CA 91008
(909) 305-2284 FAX (909) 305-2287

Mark S. Loughran
MARK S. LOUGHRAN, P.E., 34884 EXP. 03-31-11

CIVIL ENGINEER:

INO

IN-N-OUT BURGER
28898 CANWOOD STREET
(SOUTH SIDE OF CANWOOD STREET AT CLARETTON DRIVE)
AGOURA HILLS, CA 91301

CITY ENTITLEMENT EROSION CONTROL PLAN - WEST HALF

INO

SCALE: 1"=20'

C11
SHEET 11 OF 11

CLIENT

IN-N-OUT
BURGER

PROJECT
IN-N-OUT #XXXX

LOCATION
CANWOOD ST, AGOURA
HILLS, CA

SHEET TITLE
SITE PLAN AND SIGN KEY

ARCHITECT
JENNIFER GALVIN
DESIGNER
JEREMY READ

DATE SCALE
11/18/08 NOTED

CUSTOMER APPROVAL

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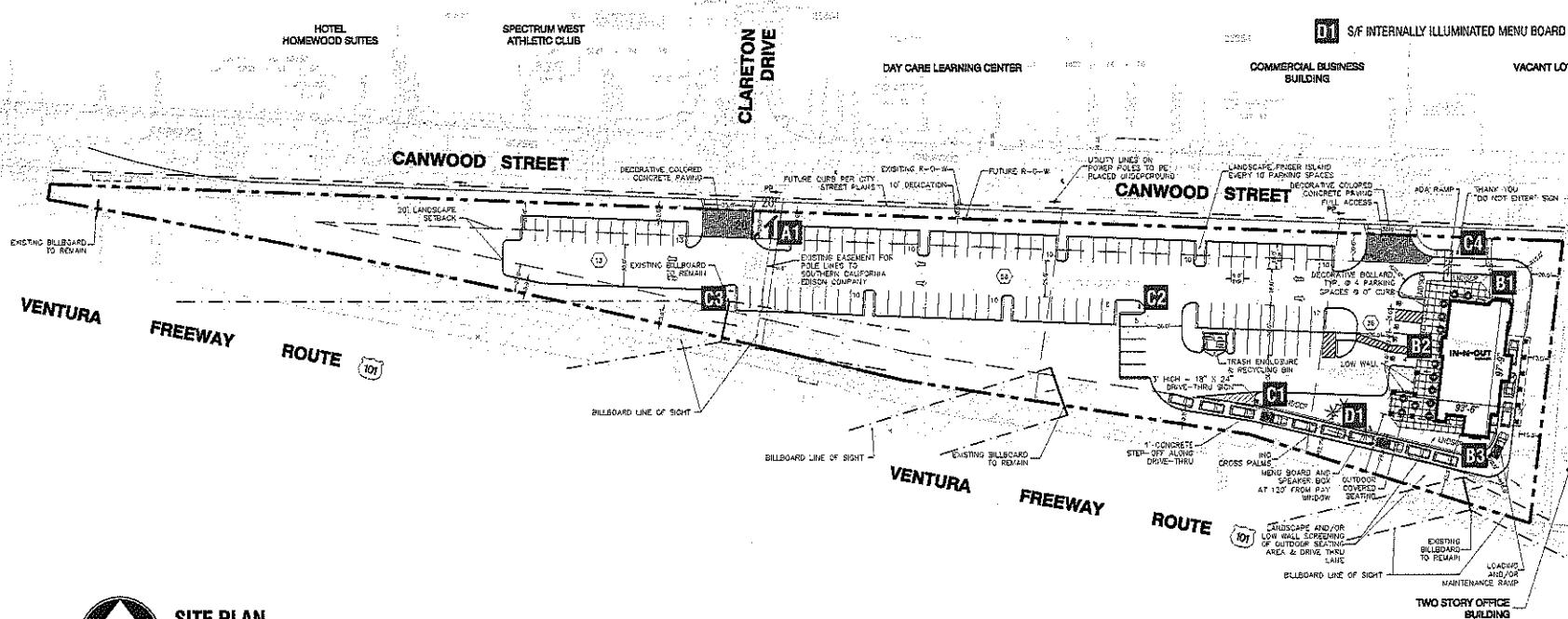
DRAWING NO. 08-727 PROJECT # 306958
SHEET NO. 8 OF 000000

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1	ISSUANCE JN 7 082011 JN
2	NOTING JN 8 032011 JN
3	NOTING JN 9
4	NOTING JN 10
5	NOTING JN 11
6	ISSUANCE JN 12

KEYNO.

KEY

- A1** D/F MONUMENT SIGN 5'-6" x 8'-0 3/4" CABINET @ 6'-0" OAH ("IN-N-OUT").
- B1** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (27.9 SQ. FT.)
- B2** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (27.9 SQ. FT.)
- B3** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (27.9 SQ. FT.)
- C1** S/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("DRIVE THRU")
- C2** S/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("DRIVE THRU")
- C3** S/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY (ENTRANCE/LOGO)
- C4** S/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("THANK YOU/DO NOT ENTER")
- D1** S/F INTERNALLY ILLUMINATED MENU BOARD



SITE PLAN
SCALE: 1"=80'-0"

CLIENT

IN-N-OUT
BURGER

PROJECT

IN-N-OUT #XXXX

LOCATION

CANWOOD ST., AGOURA
HILLS, CA 91301

SHEET TITLE

MONUMENT SIGN

ADCT REP

JENNIFER GALVIN

DESIGNER

JEREMY READ

DATE

11/18/08 NOTED

CUSTOMER APPROVAL

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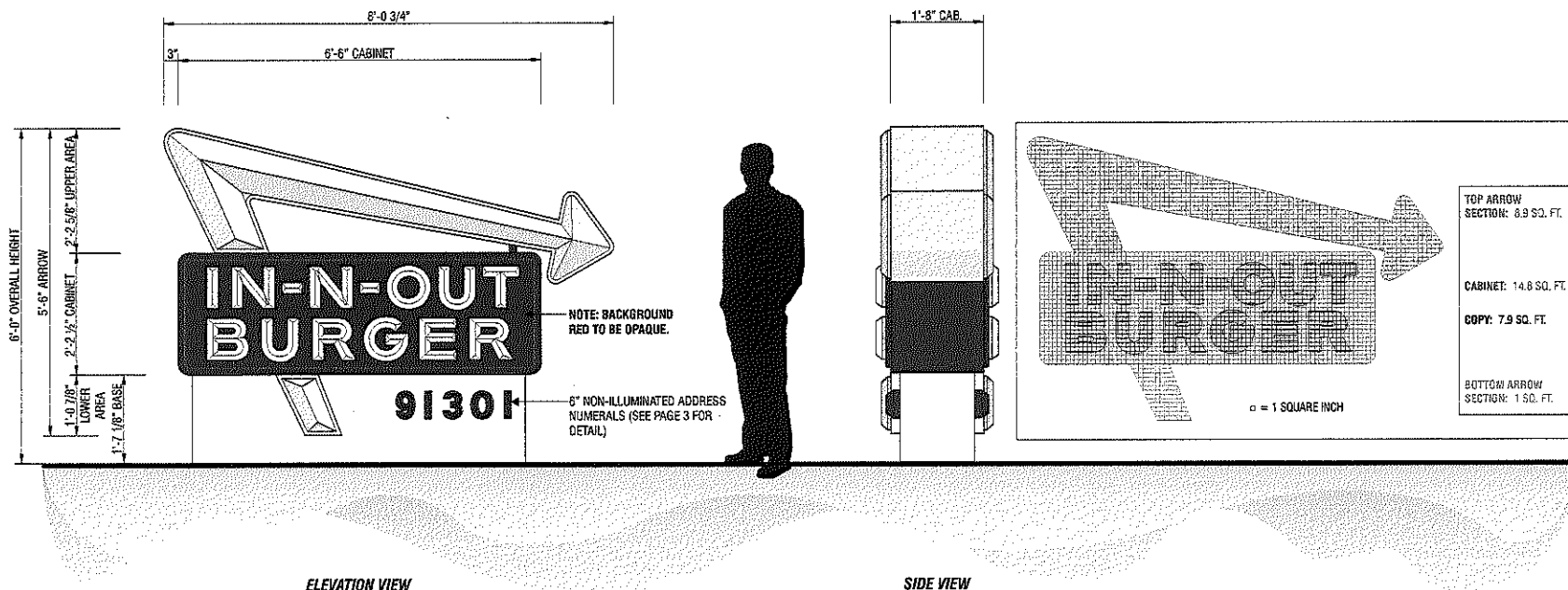
DATE	08-727	PROJECT #	306958
VERSION	8	ISSUE	000000

REVISIONS			
1	ISSUED	JA	7 022011 JA
2	ISSUED	JA	8 022011 JA
3	ISSUED	JA	9
4	ISSUED	JA	10
5	ISSUED	JA	11
6	ISSUED	JA	12

KEY NO.



2 of 9



ELEVATION VIEW

SIDE VIEW

SIGN SPECIFICATIONS:

D/F INTERNALLY ILLUMINATED MONUMENT SIGN W/ ALUMINUM CABINET & ARROW W/ FORMED FACES. COLORS ARE PER BELOW:

ARROW: FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH PMS YELLOW "C" W/ GLOSS FINISH. FORMED YELLOW #2037 ACRYLIC PLASTIC FACES WITH 1" YELLOW TRIMCAP EDGES. DOUBLE-TUBE 15MM GRID 'CLEAR GOLD 2' NEON ILLUMINATION.

CABINET: FABRICATED CABINET & RETAINERS PAINTED TO MATCH INO #95 RED LACRYL W/ GLOSS FINISH. FORMED ACRYLIC FACES TO HAVE SECOND SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED INO 443 RED (OPAQUE). LETTER COLOR TO BE PAINTED WHITE (TRANSLUCENT). HO FLUORESCENT LAMP ILLUMINATION.

BASE: FABRICATED ALUMINUM BASE PAINTED TO MATCH DUNN EDWARDS "BONE CHINA" #514 W/ FINE TEXTCOE FINISH. LOWER END OF ARROW TO BE FABRICATED INTO BASE & ILLUMINATED AS REQUIRED.

NOTE: BACKGROUND RED TO BE OPAQUE.

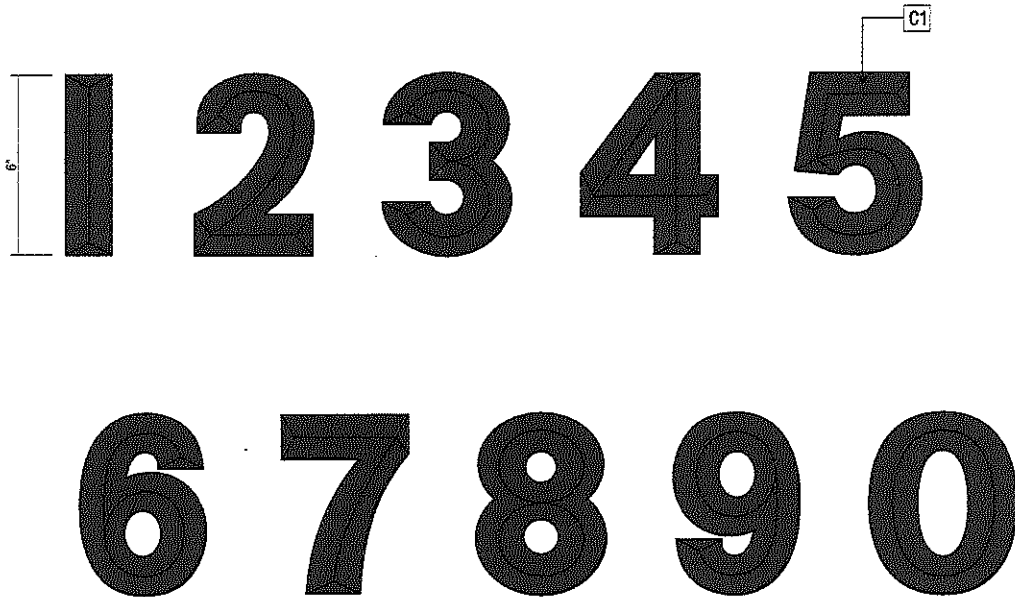
6" NON-ILLUMINATED ADDRESS NUMERALS (SEE PAGE 3 FOR DETAIL)

GENERAL NOTES:

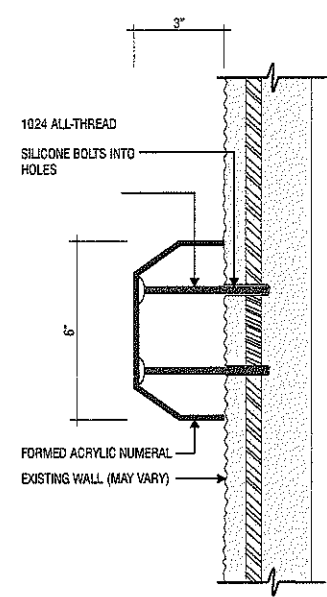
- 1) NO SIGN CAN BE ILLUMINATED AFTER 11:30PM OR CLOSE OF BUSINESS.
- 2) SIGN AREA MUST BE 48 SQ. FT.
- 3) SIGN HEIGHT CANNOT EXCEED 6 FT.
- 4) BACKGROUND MUST BE OPAQUE W/ ILLUMINATED LETTERS
- 5) LANDSCAPE IS REQUIRED - MUST BE TWICE THE AREA OF ONE (1) SIGN FACE.

D/F INTERNALLY ILLUMINATED 5'-6" X 8'-0 3/4" MONUMENT SIGN

SCALE: 1/2" = 1'-0"



COLOR SPECIFICATIONS
C1 RED ACRYLIC #211-1



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 4530 Mission Gorge Place
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 Fax: 619.283.9503
 Web: www.cnpsigns.com



CLIENT
 IN-N-OUT #XXXX

LOCATION
 CANWOOD ST., AGOURA
 HILLS, CA 91301

SHEET TITLE
 NON-ILLUMINATED
 ADDRESS NUMERALS

ADDT PER
 JENNIFER GALVIN
 DESIGNER
 JEREMY READ

DATE
 11/18/08
 SCALE
 NOTED

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DESIGN	08-727	PROJECT #	306958
REVISIONS	8	DATE	000000

NO.	REVISIONS	DATE
1	ISSUED	7/20/07
2	ISSUED	8/13/07
3	ISSUED	
4	ISSUED	
5	ISSUED	
6	ISSUED	

KEY NO.
A1

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CLIENT



PROJECT
 IN-N-OUT #XXXX

LOCATION
 CANWOOD ST., AGOURA
 HILLS, CA

SHEET TITLE
 ELEVATIONS

ARCH. REF.
 JENNIFER GALVIN

DESIGNER
 JEREMY READ

DATE 11/18/08 SCALE NOTED

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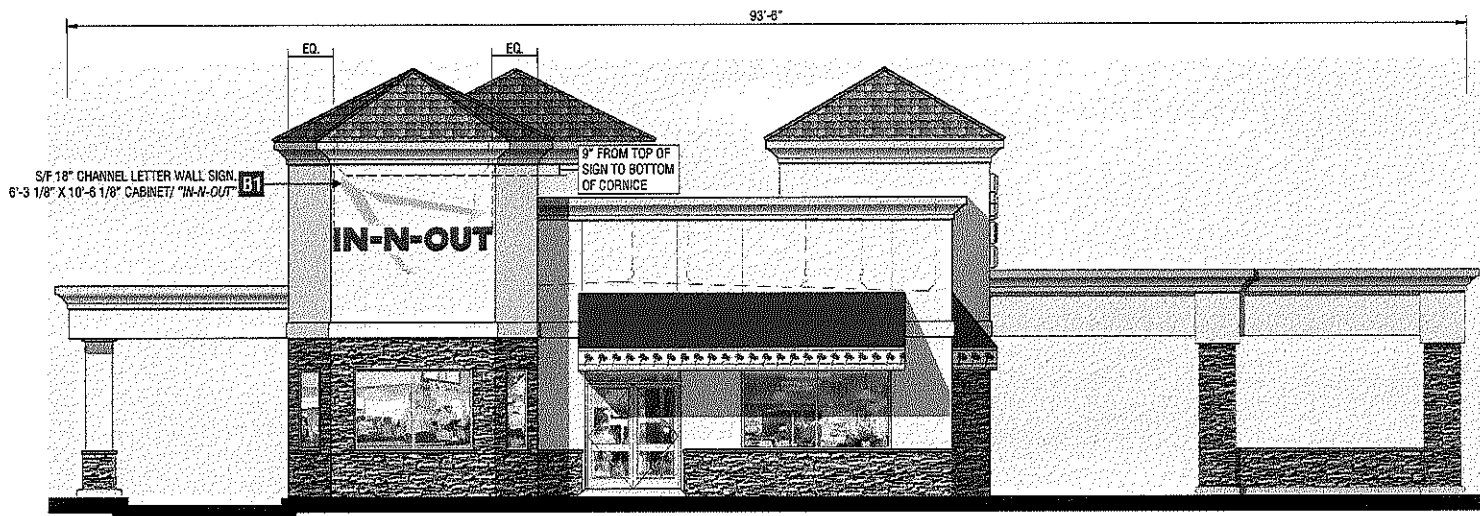
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DATE	08-727	PROJECT #	306956
VERSION	8	REV	000000

REVISIONS			
1	ISSUED	JR	7 02/2011 JR
2	ISSUED	JR	8 03/2011 JR
3	ISSUED	JR	9
4	ISSUED	JR	10
5	ISSUED	JR	11
6	ISSUED	JR	12

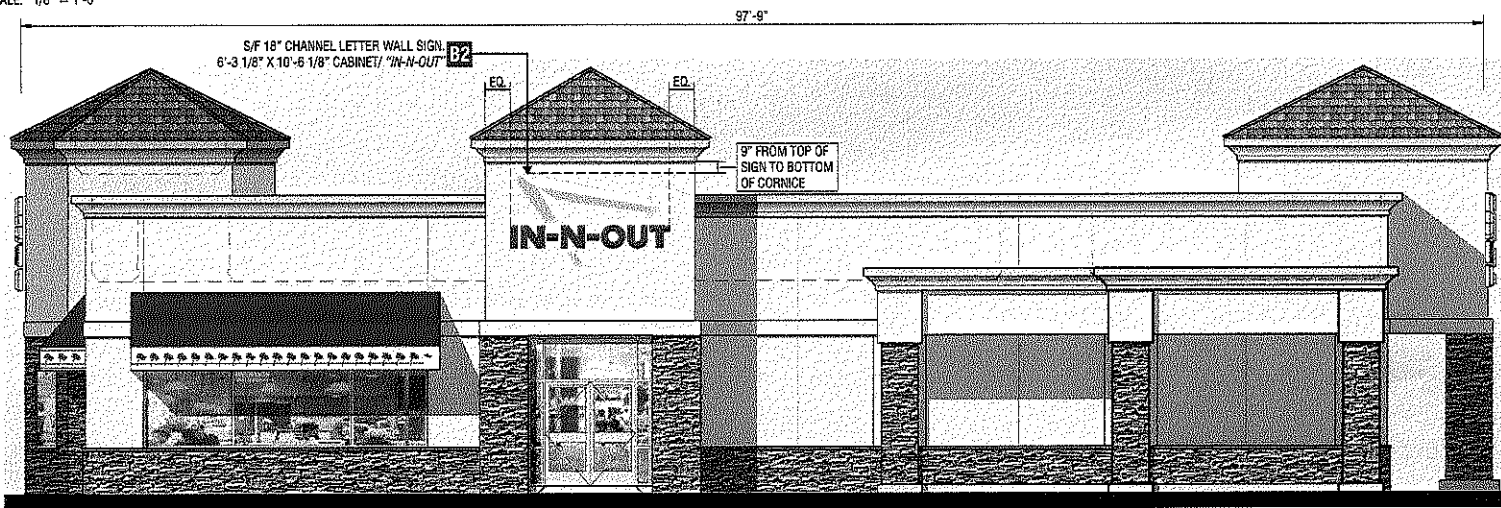
KEY NO.
B1 B2

4 of 9



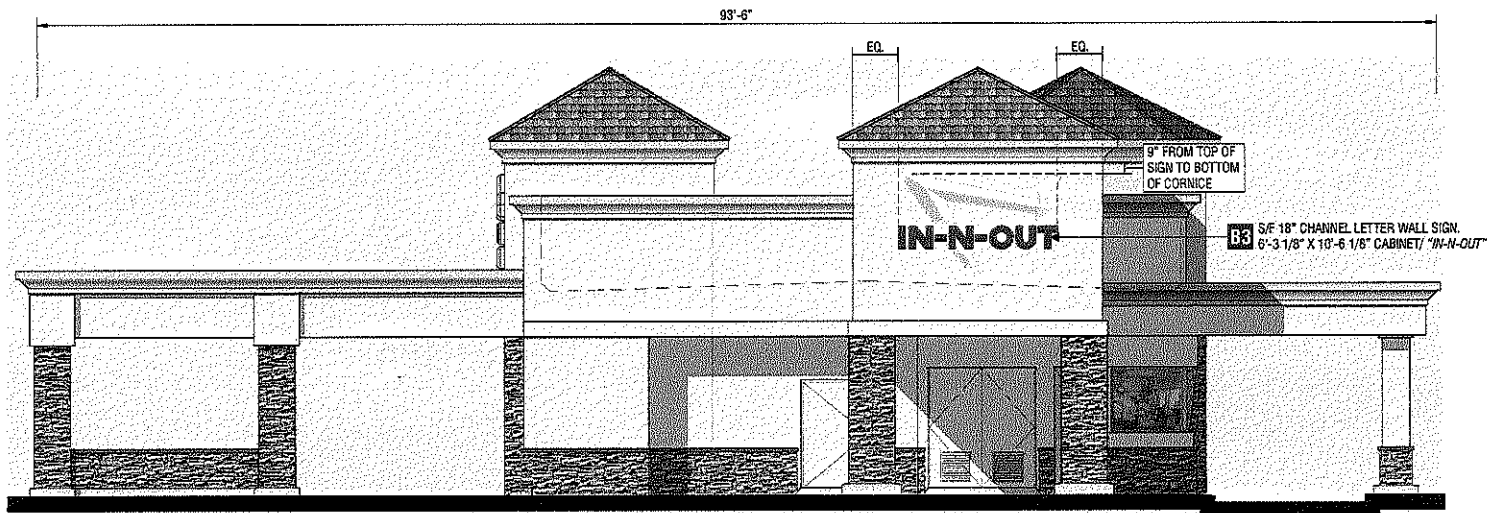
NORTH / FRONT ELEVATION

SCALE: 1/8" = 1'-0"



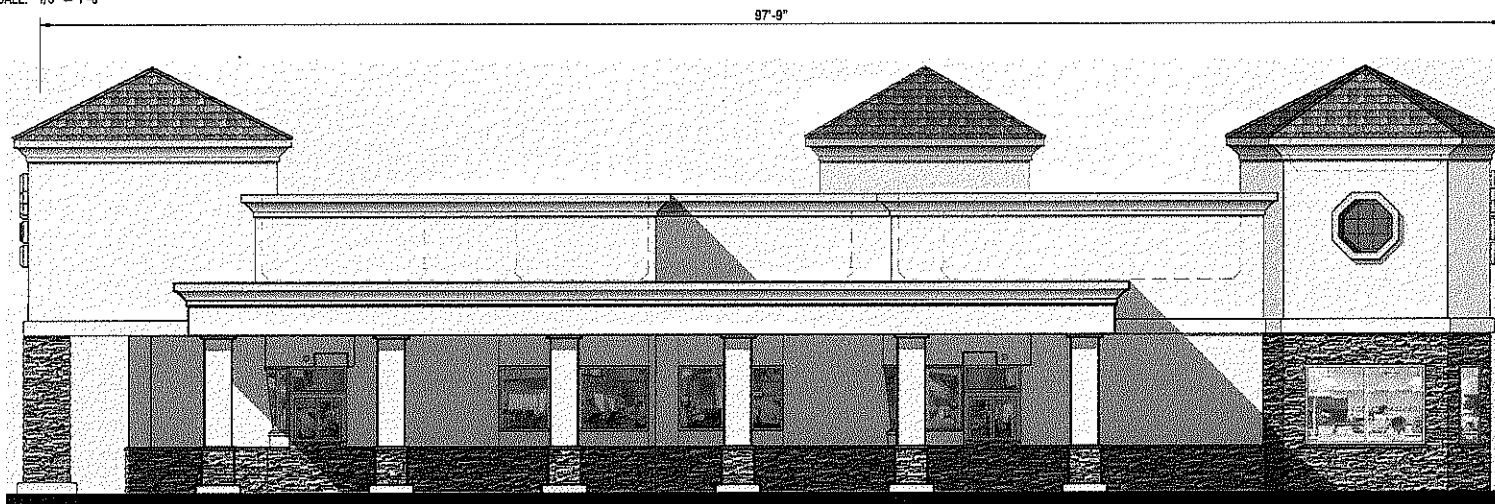
WEST / RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH / REAR ELEVATION

SCALE: 1/8" = 1'-0"



EAST / LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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CLIENT



PROJECT
 IN-N-OUT #XXXX

LOCATION
 CANWOOD ST., AGOURA
 HILLS, CA

SHEET TITLE
 ELEVATIONS

ACCT. REP.
 JENNIFER GALVIN
 DESIGNER
 JEREMY READ

DATE SCALE
 11/18/08 NOTED

CUSTOMER APPROVAL

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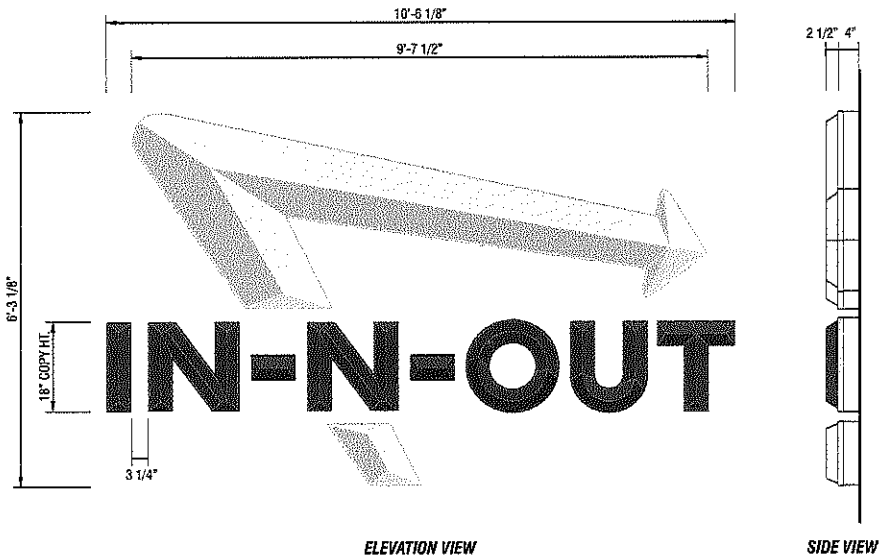
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DATE	08-727	PROJECT	306958
REVISIONS	8	NO.	000000

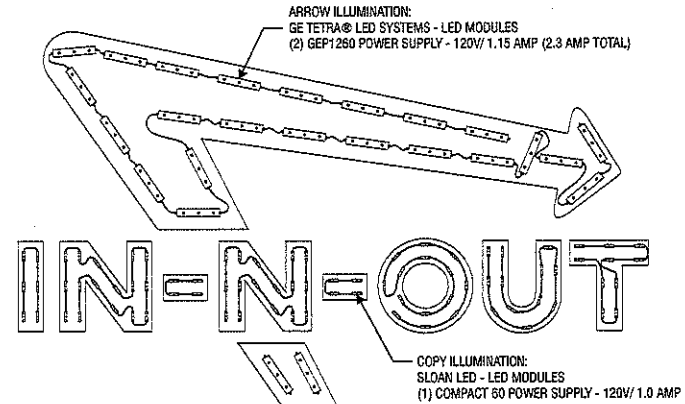
NO.	DATE	BY	CHKD.
1	08/07/08	JR	JR
2	08/07/08	JR	JR
3	08/07/08	JR	JR
4	08/07/08	JR	JR
5	08/07/08	JR	JR
6	08/07/08	JR	JR

KEY NO.

B3



NOTES:
 ALL LIGHTING COMPONENTS TO BE U.L. LISTED WITH DISCONNECT SWITCH @ POWER SUPPLY LOCATION (REMOTE). SIGNS PROVIDED WITH 3-WIRE 14 GAUGE JACK CABLE.



S/F 6' X 10' ILLUMINATED WALL SIGN

SCALE: 1/2" = 1'-0"

SIGN SPECIFICATIONS:

S/F INTERNALLY ILLUMINATED ALUMINUM CHANNEL LETTER SIGN DISPLAY WITH FORMED COPY & ARROW. COLORS/MATERIAL PER BELOW:

ARROW:

FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUNN EDWARDS W/ SATIN FINISH. FORMED YELLOW #2037 ACRYLIC FACES WITH 1" YELLOW TRIMCAP. LED ILLUMINATION (SEE ABOVE).

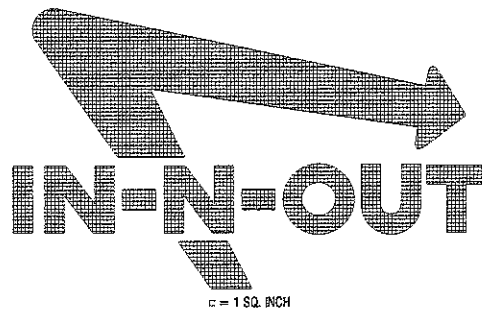
COPY:

FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUNN EDWARDS W/ SATIN FINISH. FORMED RED #211-1 ACRYLIC FACES WITH 1" GOLD TRIMCAP. RED LED ILLUMINATION (SEE ABOVE).

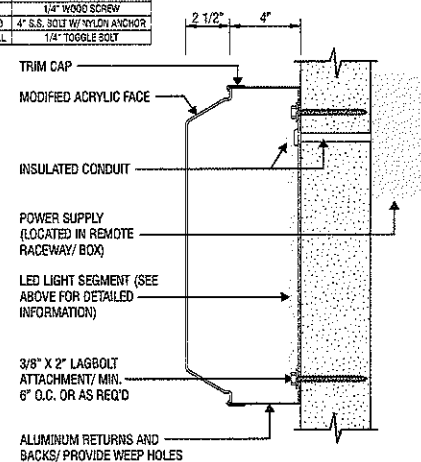
CHANNEL LETTERS TO BE 4" DEEP/ ALL SIGNS TO BE INSTALLED ONTO BUILDING AS REQUIRED.

SQUARE FOOTAGE CALCULATIONS:

UPPER ARROW:	15.6 S.F.
COPY:	11.0 S.F.
LOWER ARROW:	1.3 S.F.
TOTAL SIGN AREA:	27.9 S.F.



STANDARD HARDWARE FOR ATTACHMENTS	
CONCRETE	1/4" EXPANSION ANCHOR
WOOD	1/4" WOOD SCREW
STUCCO	4" S.S. BOLT W/ NYLON ANCHOR
DRYWALL	1/4" TOGGLE BOLT



GENERAL NOTES:
 1) SIGNS CANNOT EXCEED 3 TO 5 COLORS
 2) NO MORE THAN 12" PROJECTION FROM WALL

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CLIENT

IN-N-OUT
 BURGER

PROJECT
 IN-N-OUT #XXXX

LOCATION
 CANWOOD ST., AGWOOD HILLS, CA

SHEET TITLE
 WALL SIGNS

AGENT PER
 JENNIFER GALVIN
 DESIGNER
 JEREMY READ

DATE SCALE
 11/18/08 NOTED

CUSTOMER APPROVAL

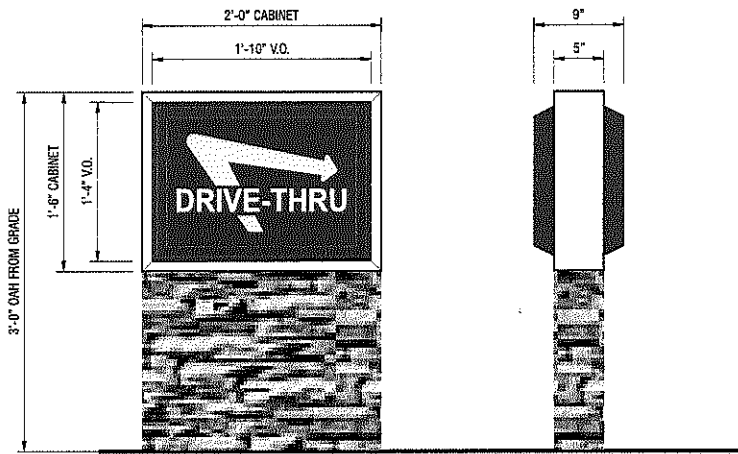
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Drawn	08-727	Project #	306958
Revised by	B	Rev	000000

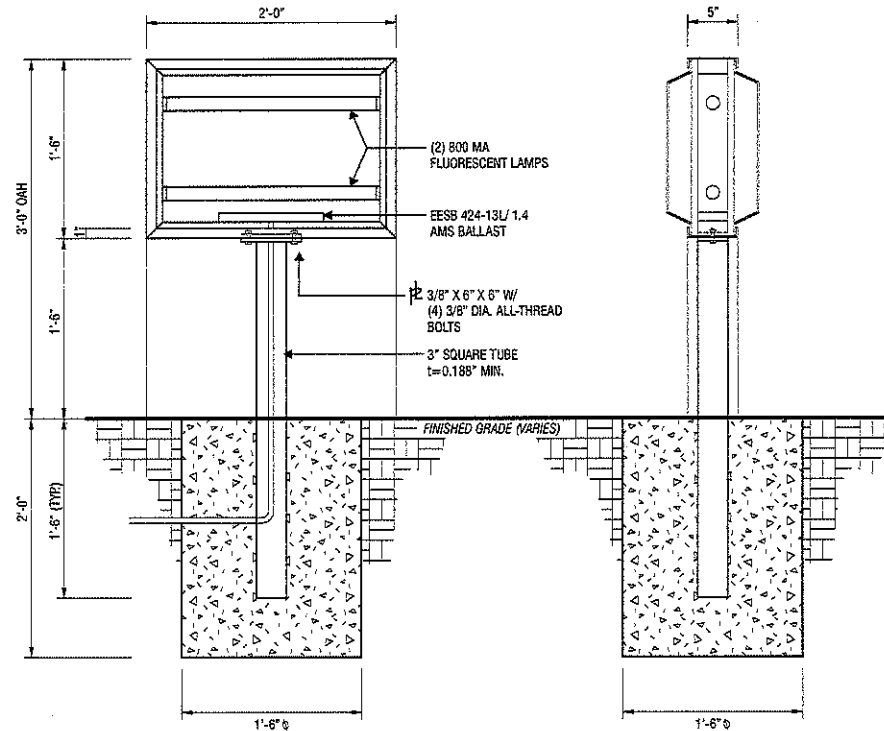
REVISIONS	
1	ISSUED
2	ISSUED
3	ISSUED
4	ISSUED
5	ISSUED
6	ISSUED

KEY NO.
 B1 B2 B3



ELEVATION VIEW

SIDE VIEW



ELEVATION VIEW

SIDE VIEW

D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGNS

SCALE: 3/4" = 1'-0"



GENERAL NOTES:
 1) SIGN AREA = 3 SQ. FT.
 2) 3 FT. OAH
 3) LOGOS OK TO USE

SIGN SPECIFICATIONS:

D/F INTERNALLY ILLUMINATED ALUMINUM DIRECTIONAL CABINET W/ FORMED FACES & ARROW. SIGN CABINET, RETAINERS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUNN EDWARDS W/ SATIN FINISH. FORMED ACRYLIC PLASTIC FACES TO HAVE SECOND-SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED INO 443 RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE. ARROW TO BE PAINTED INO 413 YELLOW (25% CLEAR) - AS APPLIES. SIGN CABINETS TO BE ILLUMINATED W/ 800MA COOL WHITE LAMPS.

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CLIENT



PROJECT

IN-N-OUT #XXXX

LOCATION

CANWOOD ST., AGOURA HILLS, CA

SHEET TITLE

INTERNALLY ILLUMINATED DIRECTIONAL SIGNS

ACCT REP

REYNOLDS GALVIN

DESIGNER

JEREMY READ

DATE

11/18/08

SCALE

NOTED

CUSTOMER APPROVAL

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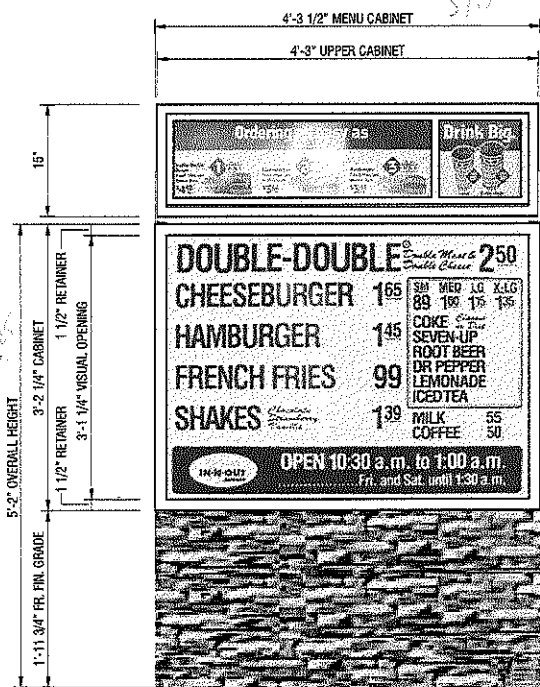
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Design	08-727	Project #	306958
Revision #	8	Web	000000

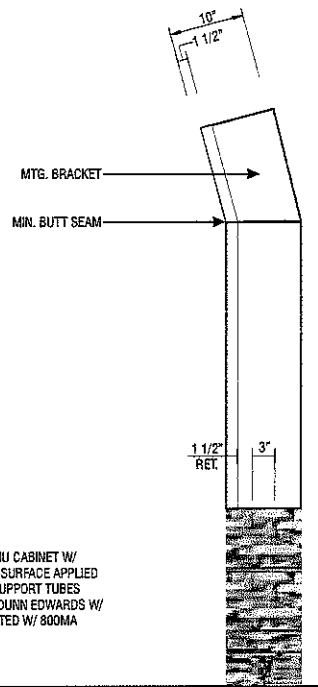
REVISIONS			
1	10/20/08	JR	T 10/20/08
2	10/20/08	JR	S 10/20/08
3	10/20/08	JR	S
4	10/20/08	JR	W
5	10/20/08	JR	W
6	10/20/08	JR	W

KEY NO.

C1 C2 C3 C4



ELEVATION VIEW



SIDE VIEW

SIGN SPECIFICATIONS:
 S/F INTERNALLY ILLUMINATED ALUMINUM MENU CABINET W/
 WHITE ACRYLIC PLASTIC SIGN FACES & FIRST-SURFACE APPLIED
 GRAPHICS. SIGN CABINET, RETAINERS & SQ. SUPPORT TUBES
 PAINTED TO MATCH "BONE CHINA" SP 514 BY DUNN EDWARDS W/
 SATIN FINISH. SIGN CABINETS TO BE ILLUMINATED W/ 800MA
 COOL WHITE LAMPS.

S/F INTERNALLY ILLUMINATED MENU BOARD

SCALE: 3/4" = 1'-0"

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 4830 Mission Gorge Place
 San Diego, CA 92120
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PROJECT

IN-N-OUT #XXXX

LOCATION

CANWOOD ST., AGOURA HILLS, CA

SHEET TITLE

MENU BOARD

ACCT. REP.

JENNIFER GALVIN

DESIGNER

JEREMY READ

DATE

11/18/08

SCALE

NOTED

CUSTOMER APPROVAL

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Order #	08-727	Project #	306558
Revision #	8	Web #	000000

REVISIONS			
1	ISSUED	07	02/20/08
2	ISSUED	08	03/21/08
3	ISSUED	08	
4	ISSUED	10	
5	ISSUED	11	
6	ISSUED	12	

KEY NO.



CLIENT



PROJECT
 IN-N-OUT #XXXX

LOCATION
 CANWOOD ST., AGOURA
 HILLS, CA

SHEET TITLE
 INTERIOR NEON

ACCT. REP.
 JENNIFER GALVIN
 DESIGNER
 JEREMY READ

DATE
 11/18/08 SCALE
 NOTED

CUSTOMER APPROVAL

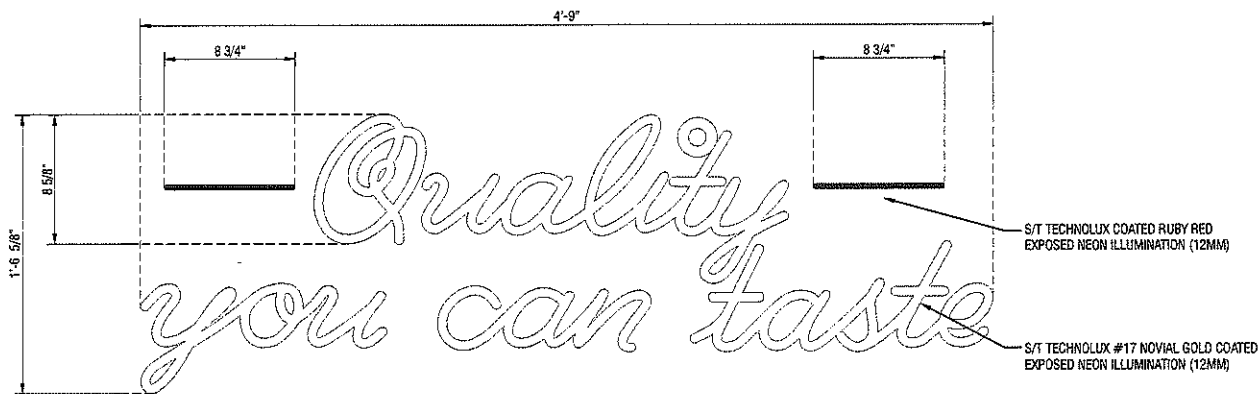
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Drawn: 08-727 Project #: 308958
 Revisions: 8 Rev: 000000

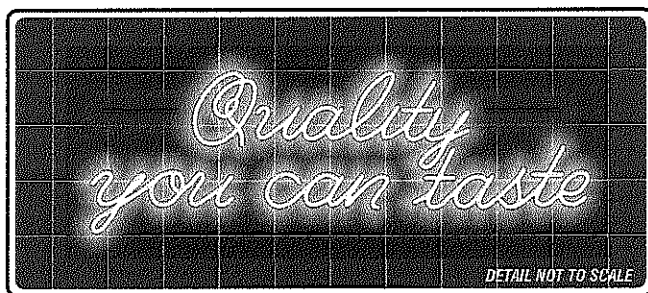
REVISIONS	
1	ISSUED .JN 7 102511 .JN
2	ISSUED .JN 8 102511 .JN
3	ISSUED .JN 9
4	ISSUED .JN 10
5	ISSUED .JN 11
6	ISSUED .JN 12

KEY NO.

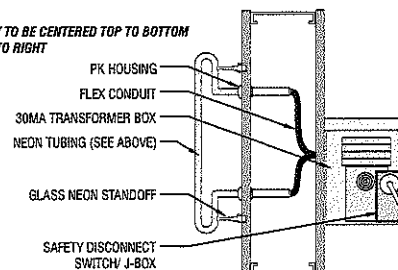


S/F WALL DISPLAY

SCALE: 1 1/2" = 1'-0"



***NOTE:**
 DISPLAY TO BE CENTERED TOP TO BOTTOM
 & LEFT TO RIGHT



CUT VIEW/ NOT TO SCALE



SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT D

Memorandum from the City Oak Tree/Landscape Consultant

Memo

To: Valerie Darbouze, City of Agoura Hills
From: Ann Burroughs for Kay Greeley, Landscape and Oak Tree Consultant
Date: May 12, 2011
Re: 10-SPR-004, 10-VAR-005, 10-SP-48, & 10-ZC-003 – In-n-Out Burger

As requested, we completed a preliminary review of the following materials submitted with respect to the subject entitlement request located at 28898 Canwood Street.

- Preliminary Landscape Planting Plan, prepared by Integrated Design Group LLP Landscape Architecture and Planning, dated March 2, 2011
- Architectural Site Plan, prepared by GreenbergFarrow, dated December 28, 2010 received by the City of Agoura Hills January 4, 2011
- Letter of response to City of Agoura Hill's initial review comments prepared by GreenbergFarrow, dated January 4, 2011
- Grading and Drainage and Demolition Plans prepared by MSL Engineering, Inc. dated March 2, 2011

The applicant proposes to construct a retail fast-foot establishment, to include one (1) single-story building with a drive-through lane on the site located on the south side of Canwood Street near Clareton Drive. The site, located within the Freeway Corridor Design Overlay, is currently undeveloped.

Section 9654.5.B of the Municipal Code requires a twenty-foot (20') wide fully landscaped planter along the full property lines adjacent to any public or private street or highway whenever the parking area abuts a public or private street. Based on current plans approximately three-quarters (3/4) of the landscape planter along Canwood Street would be less than 20' wide. Subject to Planning Commission approval, a minimum width of ten feet (10') could be permitted for up to one-half (1/2) the parking lot frontage. Staff supports such a modification and recommends the applicant adjust the site plan to meet these criteria. This could be achieved by the elimination of fifteen (15) parking spaces.

Section 9654.5.C.1 of the Municipal Code requires that shade trees be placed throughout the parking lot to provide fifty percent (50%) canopy cover within fifteen (15) years of issuance of building permit. The canopy coverage calculation provided indicates the design would provide fifty-four percent (54%) canopy coverage within 15 years. Our rough calculations indicate the design would provide only twenty-one percent (21%) canopy coverage within 15 years. We believe the applicant can meet or come close to meeting the 50% requirement.

In our memorandum dated December 10, 2010 we recommended a low wall on the order of three feet (3') in height, supplemented by planting, be considered immediately adjacent to the drive-through lane to provide substantial screening of headlights and vehicles. The applicant declined to provide this wall and instead proposed plant material alone as screening. We believe the plant material proposed will not attain sufficient height or density to achieve this screening.

Section 9544.1.B of the Municipal Code requires that all development adjacent to the freeway in the FC overlay district provide for the installation and maintenance of landscaping and automatic irrigation in the freeway right-of-way, subject to Caltrans approval. The Caltrans fence is located within this right-of-way, ten feet (10') south of the site's southerly property line. Once the subject site has been developed a vacant strip would run the length of the property and give the impression of a 'no man's land' when viewed from the south. Staff recommends the applicant provide planting and irrigation in this area.

Initially the Landscape Plan proposed over thirty-one thousand (31,000) square feet of cobblestone comprising over sixty percent (60%) of the landscape which the applicant has stated is a part of the company's 'theme' and provides product recognition. Although the applicant reduced the amount of cobble by approximately one-half (1/2), a large amount of cobble is still proposed in lieu of organic landscape mulch beneath the trees and shrubs. Unlike organic mulches, cobble does not improve soil structure, add organic matter to the soil, gradually provide required nutrients or moderate temperature and conserve moisture.

The City of Agoura Hills desires a cohesive landscape theme along Canwood Street. Staff recommends the applicant provide rail fencing like that used at the furniture center located at the intersection of Canwood and Derry Streets. The current planting plan proposes a formal hedge-like planting arrangement along Canwood Street which is not in keeping with the FC overlay district corridor requirement for naturalistic and native landscaping.

All development in the FC overlay district must provide for the use of naturalistic and native landscaping throughout the development. Although the applicant's landscape architect has increased the number of species of native plants in the proposed plant palette, in absolute numbers ornamental shrubs far outnumber the California native shrubs.

Staff has requested planting at the westerly end of the site that would provide screening from the freeway but still allow visibility of the hotel and other commercial buildings along the north side of Canwood Street. The most recent planting plan proposes planting that should fulfill this requirement with minor modifications.

As requested, we developed recommended conditions of approval related to landscaping for the subject entitlement request. They are as follows:

Oak Trees

There are no oak trees on or within the immediate vicinity of the site.

Landscaping

1. All development in the FC overlay district shall provide for the use of naturalistic and native landscaping, particularly native oaks, throughout the development. The applicant and his landscape architect shall work with the City Landscape Consultant to ensure this requirement is met.
2. The plans shall generally conform to the Preliminary Landscape Plan prepared by Integrated Design Group LLP Landscape Architecture and Planning, dated March 2, 2011. However, the plans shall be modified to conform to all of the conditions set forth below.
3. One copy of each of the following plans shall be submitted with the initial landscape plan check:
 - Site Plan
 - Elevations
 - Grading Plan
 - Conditions of Approval
4. Prior to the approval of grading permits, the applicant shall submit three (3) sets of landscape plans meeting the following requirements:
 - a. A California-licensed landscape architect shall prepare, stamp and sign the plans.
 - b. All plans shall be legible and clearly drawn.

- c. Plans shall not exceed thirty inches (30") by forty-two inches (42") in size. Plans shall be a minimum of twenty-two inches (22") by thirty-six inches (36") in size.
 - d. A true north arrow and plan scale shall be noted. The scale shall be no smaller than one inch equals twenty feet (1"=20'), unless approved by the City Landscape Consultant.
 - e. A title block shall be provided, indicating the names, addresses and telephone numbers of the applicant and landscape architect.
 - f. The project identification number shall be shown on each sheet.
 - g. The plans shall accurately and clearly depict the following existing and proposed features:
 - Landscape trees, shrubs, ground cover and any other landscaping materials
 - Property lines
 - Streets, street names, right-of-ways, easements, driveways, walkways, bicycle paths, and any other paved areas
 - Buildings and structures
 - Parking areas, including lighting, striping and wheel stops
 - General contour lines
 - Grading areas, including tops and toes of slopes
 - Utilities, including street lighting and fire hydrants
 - Natural features, including watercourses, rock outcroppings
 - h. The Planting Plan shall indicate the botanical name and size of each plant.
5. Plant symbols shall depict the size of the plants at maturity.
 6. Plant container sizes and/or spacing shall be provided. Minimum sizes shall be acceptable to the City Landscape Consultant and the Director. In general, woody shrubs shall be at least five gallon container size.
 7. All plant material must be considered compatible with Sunset Zone 18.
 8. The Landscape Plan shall not include any non-native plants considered invasive in the Santa Monica Mountains by the California Native Plant Society or the California Exotic Pest Plant Council.
 9. The final plans shall not include any palm species with the exception of one pair of the applicant's signature crossed palms.
 10. The landscape plan shall include at least one (1) twenty-four inch (24") box size oak tree per fifteen thousand (15,000) gross square feet of building area. According to the plans provided, one (1) such tree will be required.
 11. The landscape plans shall prominently display the following notes:
 - a. All plant material shall conform to the most recent edition of ANSI Z60.1 - American Standard for Nursery Stock.
 - b. All trees shall also conform to the California Department of Forestry and Fire Protection "Standards for Purchasing Container-Grown Landscape Trees".
 - c. Prior to scheduling an inspection of the landscape installation with the City, the applicant's landscape architect shall certify in writing that the installation is in conformance with the approved landscape plans.
 12. Proposed light standard locations shall be depicted on the planting plan. Any conflicts between light standard and tree locations shall be resolved to the satisfaction of the City Landscape Consultant.
 13. The Irrigation Plan shall be provided separate from but utilizing the same format as the Planting Plan.
 14. The irrigation design shall provide adequate coverage and sufficient water for the continued healthy growth of all proposed plantings with a minimum of waste and over-spray on adjoining areas.

15. The Irrigation Plan shall be concise and accurate and shall include the manufacturer, model, size, demand, radius, and location of the following, as appropriate:
 - a. Design and static pressures
 - b. Point of connection
 - c. Backflow protection
 - d. Valves, piping, controllers, heads, quick couplers
 - e. Gallon requirements for each valve
16. Three (3) copies of details and specifications shall be provided, addressing but not limited to, planting, soil preparation, tree staking, guying, installation details, and post installation maintenance.
17. A complete Landscape Documentation package shall be required at the time of initial plan check submittal, prepared in accordance with Article IX, Section 9658.6 – Water Efficient Landscaping, contained in the Zoning Code.
18. The landscape plan must be approved by the Fuel Modification Unit at the County of Los Angeles Fire Department.
19. All landscaping shall be irrigated and maintained in perpetuity in accordance with the approved Landscape Plan.
20. Poor landscape practices such as topping, hedging and “lollipoping” shall not be permitted and may require that plant materials be replaced with like size materials at the discretion of the City Landscape consultant.
21. A minimum of ten percent (10%) of the total lot shall be landscaped.
22. A minimum of fifteen percent (15%) of the parking lot, including driveways and aisles, shall be landscaped, distributed evenly throughout the parking lot.
23. All finger planters shall be at least eight feet (8') wide and spaced no more than ten (10) stalls apart.
24. Landscaped areas shall be a minimum of four feet (4') wide (including curbs).
25. No other usage or storage shall be permitted within any required yard, including transformers and trash enclosures.
26. Any unsightly uses, including trash enclosure and transformers shall be screened with berms, decorative walls or landscaping.
27. Any new perimeter walls shall be decorative with a height and design subject to review and approval by the City Landscape Consultant and the Director.
28. All development adjacent to the freeway in the FC overlay district shall provide for the provision of a six foot (6') high decorative wall or equivalent berming and planting for the full frontage of the freeway.
29. The applicant shall provide for the installation and maintenance of landscaping and automatic irrigation within the strip of unimproved ground between the site's south property line and the Caltrans fence. The applicant must obtain permission from the California Department of Transportation for this work within the Caltrans right-of-way.
30. The applicant shall provide planting at the proposed chain-link fence at the south property line to obscure visibility of the fence.
31. Shade trees shall be provided such that fifty percent (50%) of the parking lot, including driveways and aisles, shall be covered by tree canopies within fifteen (15) years after installation. The applicant has not demonstrated that this condition has been met but will work with staff to ensure the proposed design meets the highest percentage of canopy coverage that can be achieved.

32. The applicant shall provide a twenty-foot (20') wide fully landscaped planter along the full property line adjacent to Canwood Street. Up to ten feet (10') of parking encroachment shall be allowed within this landscape planter for no more than fifty percent (50%) of the length of the required twenty foot (20') wide fully landscaped. The reduction in the landscape area due to parking encroachment shall be substituted for an equal amount of landscaping elsewhere on the property.
33. The applicant shall provide screening of the parking area along Canwood Street through the use of plant material and landscape berming to reduce the visibility of automobiles from the public right-of-way to the satisfaction of the City Landscape Consultant.
34. The applicant shall provide screening along Canwood Street at the northeast corner of the site to reduce the visibility of vehicles and headlight glare from the public right-of-way. Screening shall be accomplished through the use of plant material and landscape berming to the satisfaction of the City Landscape Consultant.
35. The applicant shall provide substantial screening of headlights and vehicles adjacent to the drive-through lane, especially for the benefit of the office building to the east. Screening shall include a low wall on the order of three feet (3') in height, supplemented by planting, to the satisfaction of the City Landscape Consultant.
36. The applicant's landscape architect shall eliminate the use of cobblestones in the immediate vicinity of the proposed trees. Each tree shall be mulched with three inches (3") to four inches (4") of approved organic matter. Mulch shall be applied to a minimum five-foot (5') radius around the trunk of each tree, keeping the mulch three inches (3") from the trunk.
37. Landscape planting shall be provided at the westerly end of the site that will provide screening from the freeway but still allow visibility of the hotel and other commercial buildings along the north side of Canwood Street. The applicant and his landscape architect shall work with the City Landscape Consultant to modify the proposed planting to provide such screening.

Please contact me should further information be required.



SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT E

Memorandum from the City Traffic Engineer
with Exhibit Page



MEMORANDUM

DATE: May 5, 2011

TO: Valerie Darbouze – Associate Planner

COPY: Ramiro Adeva, P.E – City Engineer
Kelly Fisher – Public Works Project Manager

FROM: Sri Chakravarthy, P.E, T.E – City Traffic Engineer

SUBJECT: In-N-Out Burger Site Plan Review

Mike Kamino, Director of Community Development, and I have reviewed the proposed site plan for In-N-Out burger and request the following changes to be made to further improve the on-site circulation and access.

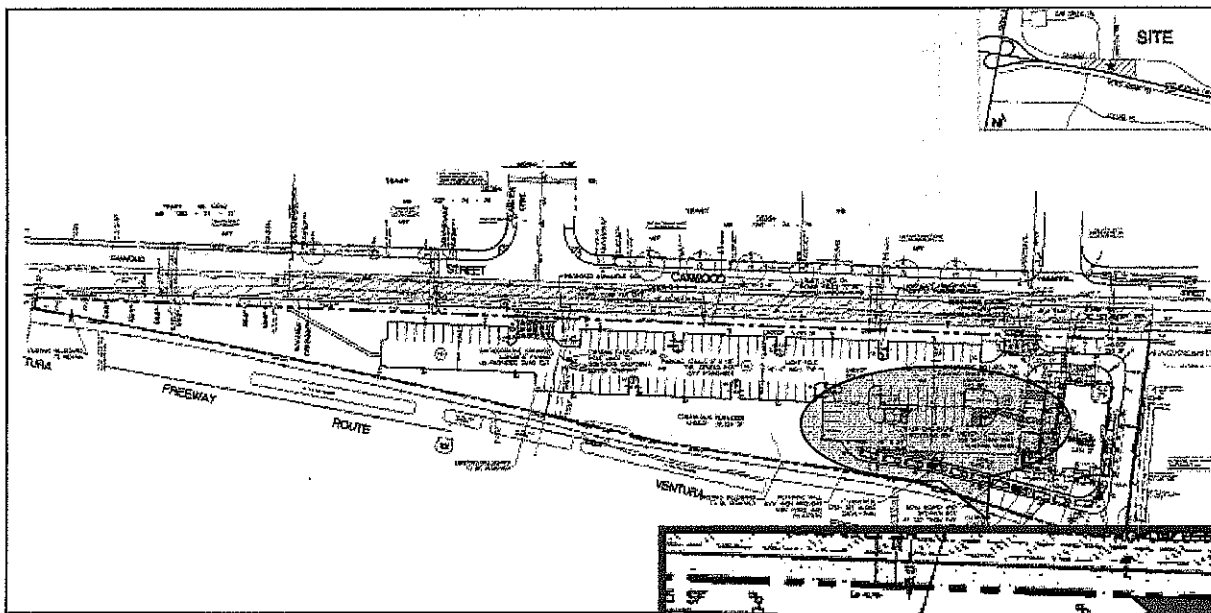
1. The drive-thru storage space can currently accommodate 15 cars. The revised traffic study report includes actual queue data from two existing In-N-Out locations – one in Newbury Park and the other in City of Moorpark. Based upon this data, the revised queuing analysis indicates that an average of 8-10 vehicles would be expected in the queue with a maximum of 16-20 vehicles during peak times. Therefore, it is recommended that the drive-thru storage be modified to include adequate storage space for at least 20 vehicles. This will result in eliminating about 4-6 on-site parking spaces.
2. The site plan currently shows parking stalls adjacent to the restaurant pad and two aisles with three rows of parking located west of the restaurant pad. The drive-thru also terminates at the entrance of the easterly driveway. This layout is expected to result in a lot of vehicular activity in the space identified as 'A' in the attached mark-up. To improve the circulation in this area and to remove any potential conflict points, it is recommended that the:
 - south row of parking stalls located on the north aisle be relocated to be contiguous to the drive-thru lane
 - easterly driveway entrance be widened by about 5-6 feet The north aisle and the space

This new parking aisle configuration would also create an opportunity to provide a pedestrian access between the rows of parking stalls as shown in the attached mark-up.

3. Because the easterly driveway is required to operate as a right-in and right-out access only driveway, it is recommended that appropriate signage be installed to guide traffic on-site destined towards US-101 or Kanan Road.

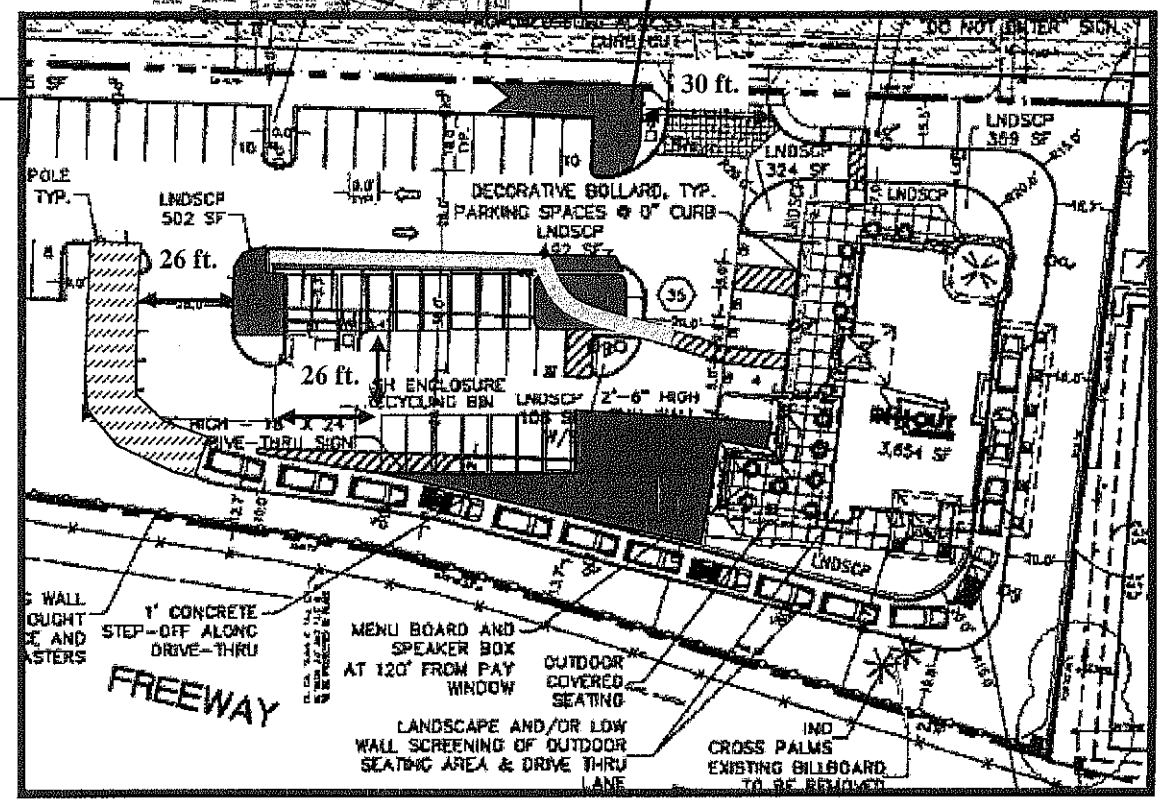
Please let me know if you have any questions or if you require any additional information.

Case Nos.
 10-ZC-003
 10-SPR-004
 10-SP-048
 10-VAR-005



**Proposed revisions to
 the parking layout
 and
 proposed signage**

-  New Landscape Planters
-  Relocated Parking Spaces
-  New Striping
-  New Dedicated Sidewalk
-  New Signage

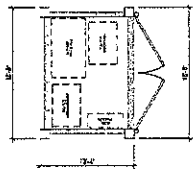




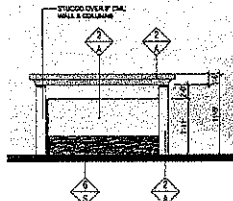
SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT F

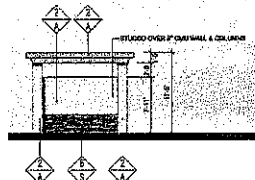
Renderings and Photo-simulations



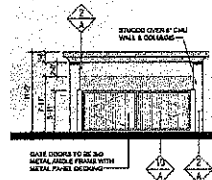
TRASH ENCLOSURE - FLOOR PLAN
SCALE: 1/8"=1'-0"



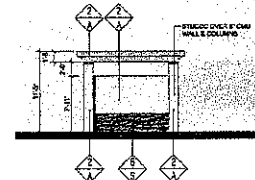
TRASH ENCLOSURE NORTH ELEVATION
SCALE: 1/8"=1'-0"



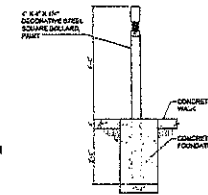
TRASH ENCLOSURE EAST ELEVATION
SCALE: 1/8"=1'-0"



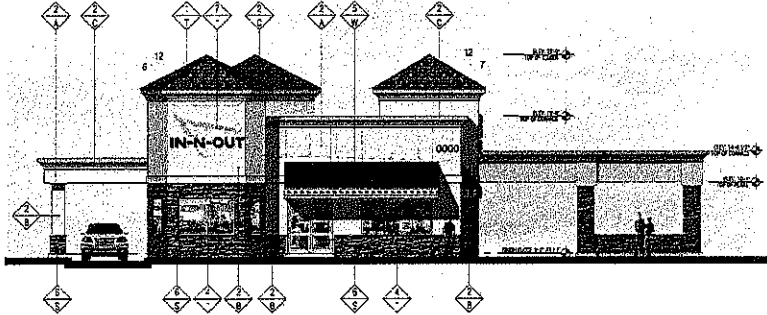
TRASH ENCLOSURE SOUTH ELEVATION
SCALE: 1/8"=1'-0"



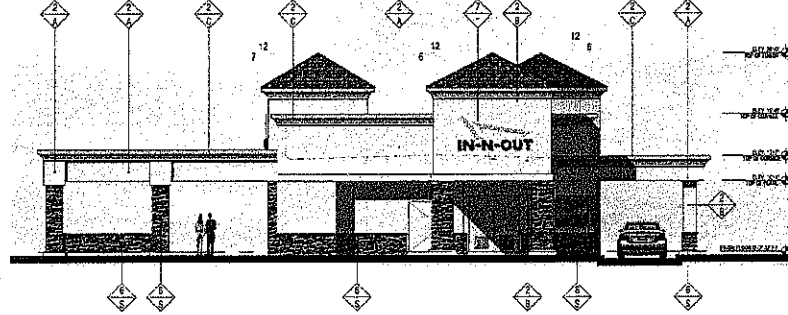
TRASH ENCLOSURE WEST ELEVATION
SCALE: 1/8"=1'-0"



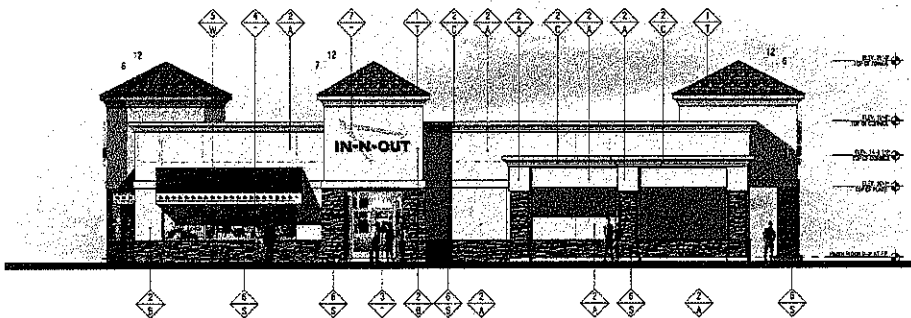
BOLLARD DETAIL
SCALE: 1/2"=1'-0"



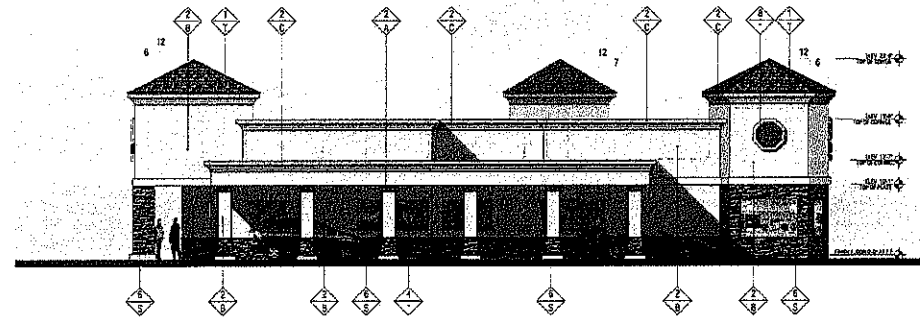
NORTH ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"

FINISH SCHEDULE

- ▲ FINISH MATERIAL
 - 1 TILE ROOF
 - 2 STUCCO WITH SAND FLOAT TEXTURE FINISH
 - 3 CLEAR ANODIZED ALUMINUM STOREFRONT DOORS
 - 4 CLEAR ANODIZED ALUMINUM WINDOWS
 - 5 PVC COATED WICK AWNING
 - 6 STONE VENEER WITH MATCHING WAINSCOT SILL
 - 7 ILLUMINATED LOGO SIGN UNDER SEPARATE PERMIT
 - 8 ACCENT FEATURE W/ TILE
- ▼ FINISH COLOR
 - A DUNN EDWARDS - DEW339 - BONE CHINA
 - B DUNN EDWARDS - DEW339 - BONE CHINA
 - C DUNN EDWARDS - DEC715 - SANDAL
- S CORONADO STONE - EASTERN MTN LEDGE - CARWEL
- T EAGLE ROOFING - CAPISTRANO STYLE
MONTEREY BLEND SCC8807
- W IN-N-OUT CUSTOM COLORS

Note:
Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturers samples.

SCALE: 1/8"=1'-0"

4 0 4 8 16 24 32



GreenbergFarrow

1920 Main Street, Suite 1150
Irvine, CA 92614
t: 949 258 0450 f: 949 296 0479



IN-N-OUT BURGER
CANWOOD ST. & HWY 101
AGOURA HILLS, CA

20090025.0

PERSPECTIVE
SCALE: AS NOTED

VIEW FROM EASTBOUND HWY 101

12/29/2010



GreenbergFarrow
1220 Main Street, Suite 1150
Irvine, CA 92614
T: 949 298 0450 F: 949 296 0479



IN-N-OUT BURGER
CANWOOD ST. & HWY 101
AGOURA HILLS, CA

PERSPECTIVE
SCALE: AS NOTED

VIEW FROM CANWOOD STREET

20090025.0

12/29/2010

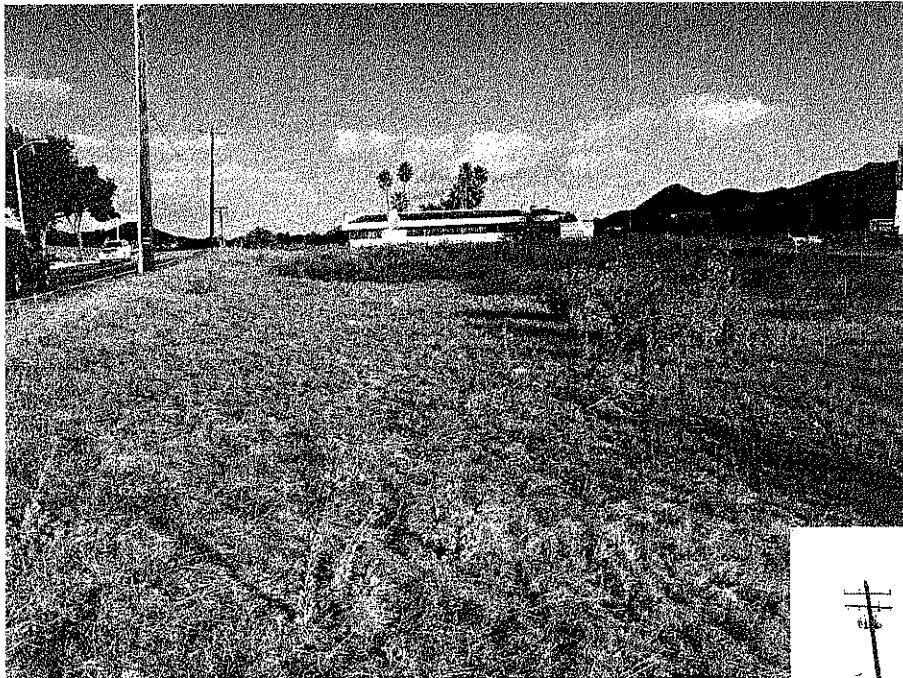


SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT G

Photographs of the Site
and
Color Copy of the Color and Material Board

CASE NOS.
10-ZC-003, 10-SPR-004, 10-SP-048 & 10-VAR-005



East End of the Property



West End of the Property

CASE NOS.
10-ZC-003, 10-SPR-004, 10-SP-048 & 10-VAR-005



South View

Northwest View



Southeast View



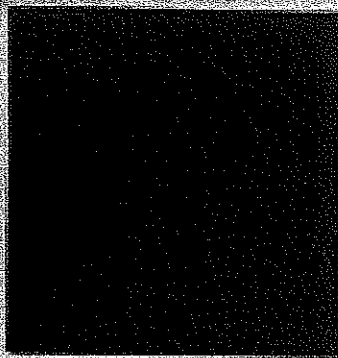
CASE NOS.
10-ZC-003, 10-SPR-004, 10-SP-048 & 10-VAR-005



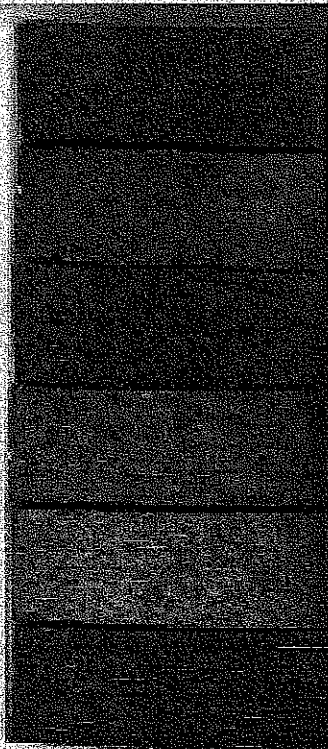
Views from Across
the Freeway



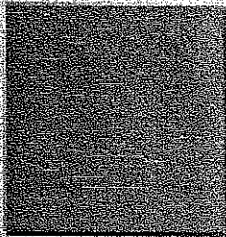
10-ZC-003, 10-SPR-004, 10-SP-048 & 10-VAR-005



PVC COATED WICK AWNINGS
 IN-H-OUT CUSTOM COLOR



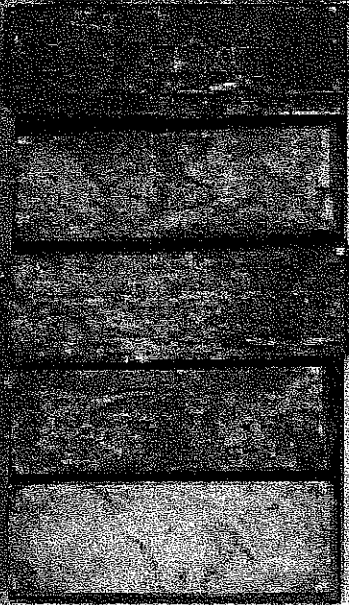
TILE ROOF
 EARLY AMERICAN PRODUCTS - CAPSTONE STEEL
 LIGHT MOUNTED BLIND



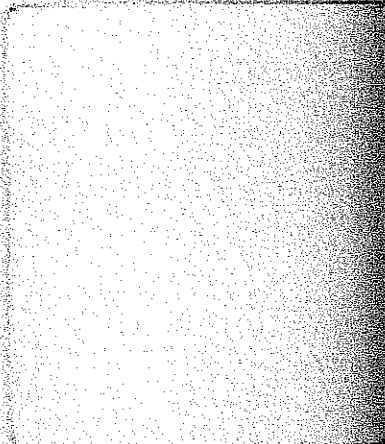
PAINT - CORNICE
 EARLY AMERICAN PRODUCTS - SANGAL



PAINT - MAIN BUILDING
 EARLY AMERICAN PRODUCTS - SANGAL



STONE VENEER
 CORNICE STONE - CALIFORNIA MOUNTAIN LOGS
 KATHMA MOUNTAIN



WINDOW MULLION
 PVC SYSTEMS - CLEAR LAMINATE GLASS
 STAIN FIBRE BOARD WINDOW





SITE PLAN/ARCHITECTURAL REVIEW CASE NO. 10-SPR-004
SIGN PERMIT CASE NO. 10-SP-048
VARIANCE REQUEST CASE NO. 10-VAR-005
ZONE CHANGE CASE NO. 10-ZC-003

EXHIBIT H

Final Mitigated Negative Declaration
and
Monitoring Plan